NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES, AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

# (I) CALL TO ORDER

# (II) APPOINTMENTS

(1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

# (III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

# (IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do <u>not</u> involve discretionary approvals.

(2) Approval of Minutes for the <u>May 13, 2025</u> Planning and Zoning Commission meeting.

# (3) **P2025-009 (ANGELICA GUEVARA)**

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Replat</u> for Lot 24, Block A, La Jolla Pointe, Phase 2 Addition being a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) Districts, zoned Commercial (C) District, generally located at the northwest corner of the intersection of Ridge Road (*FM-740*) and La Jolla Pointe Drive, and take any action necessary.

# (4) P2025-017 (BETHANY ROSS)

Consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of a <u>Replat</u> for Lot 7, Block A, Harbor District Addition being a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

# (V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

## (5) SP2025-011 (HENRY LEE) [TABLED BY THE APPLICANT TO THE JUNE 24, 2025 MEETING]

Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a <u>Site Plan</u> for the expansion of an existing *Mini-Warehouse Facility* on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [*Ordinance No. 25-12*] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

# (6) SP2025-014 (BETHANY ROSS)

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a *Site Plan* for a *Retail/Office Building* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District

Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

# (7) SP2025-016 (BETHANY ROSS)

Discuss and consider a request by Todd Martin, PE of Kimley-Horn on behalf of Tracy Tuttle of Lakepointe Church for the approval of an <u>Amended Site Plan</u> for an existing <u>Church/House of Worship</u> (i.e. <u>Lakepointe Church</u>) being a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

# (8) SP2025-017 (BETHANY ROSS)

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a <u>Site Plan</u> for a <u>Medical Office Building</u> on a portion of a 8.969-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at south of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

# (VI) <u>DISCUSSION ITEMS</u>

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is June 10, 2025.

# (9) **Z2025-023 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kyle Peterson on behalf of Dean and Cathy Barrett for the approval of a <u>Specific Use Permit (SUP)</u> for two (2) <u>Detached Covered Porches</u> on a 0.1653-acre parcel of land identified as Lot 9, Block A, Breezy Hill, Phase IX Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, addressed as 3326 Royal Ridge Drive, and take any action necessary.

# (10) **Z2025-024 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Anthony Winkler of Texas Wedge on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a <u>Specific Use Permit (SUP)</u> for <u>Outdoor Commercial Amusement/Recreation</u> and a <u>Structure Exceeding 60-Feet in Height in a Commercial (C) District for a Golf Driving Range on an 7.847-acre parcel of land identified as Lot 11, Block B, Fit Sport Life Addition, Rockwall County, Texas, zoned Commercial (C) District, generally located at the terminus of Fit Sport Life Boulevard, and take any action necessary.</u>

### (11) **Z2025-025 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Wholesale Showroom Facility</u> on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

# (12) **Z2025-026 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Elijah Tekurio for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Detached Garage</u> on a 0.7702-acre parcel of land identified as Lot 23, Block A, Stoney Hollow Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2743 Stoney Hollow Lane, and take any action necessary.

# (13) **Z2025-027 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for a <u>Specific Use Permit (SUP)</u> for a <u>Church/House of Worship</u> (i.e. <u>Ridgeview Church</u>) for the expansion of an existing <u>Church</u> on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action necessary.

#### (14) **Z2025-028 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Hailee Handy on behalf of John Liu for the approval of a <u>Zoning Change</u> to amend Planned Development District 37 (PD-37) being a ~7.10-acre tract of land identified as Lots 1 & 2 of the Dirkwood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 37 (PD-37) [*Ordinance No.*'s 92-44 & 99-44] for Single-Family 16 (SF-16) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3077 N. Goliad Street [SH-205], and take any action necessary.

# (15) P2025-016 (BETHANY ROSS)

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the for the approval of a <u>Preliminary Plat</u> for Erwin Farms Subdivision consisting of 122 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

# (16) **P2025-018 (BETHANY ROSS)**

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the for the approval of a <u>Master Plat</u> for Erwin Farms Subdivision consisting of 122 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

# (17) SP2025-018 (HENRY LEE)

Discuss and Consider a request by Mamta Bojjam on behalf of Grey Stogner of Metroplex Acquisition Fund, L.P. for the approval of a <u>Site Plan</u> for *Incidental Display* for an *ATM* on a portion of a 5.16-acre vacant parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 District (PD-70) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed generally located in between 3066 & 3068 N. Goliad Street [*SH-205*], and take any action necessary.

## (18) SP2025-020 (BETHANY ROSS)

Discuss and consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of an <u>Amended Site Plan</u> for a <u>Restaurant Without a Drive-Through</u> on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

# (19) SP2025-021 (HENRY LEE)

Discuss and consider a request by Jared Earney of Kimley-Horn on behalf of Joseph Bickham of Fuel City for a <u>Site Plan</u> for a <u>Retail Store with Gasoline Sales</u> on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the northwest corner of the intersection of Airport Road and John King Boulevard, and take any action necessary.

- (20) <u>Director's Report</u> of post City Council meeting outcomes for development cases (RYAN MILLER).
  - P2025-012: Final Plat for the Quail Hollow Subdivision (APPROVED)
  - P2025-014: Final Plat for the Peachtree Meadows Subdivision (APPROVED)
  - Z2025-012: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 614 E. Boydstun Avenue (2<sup>ND</sup> READING; APPROVED)
  - Z2025-017: Specific Use Permit (SUP) for a Church/House of Worship at 670 N. Stodghill Road (1st READING; APPROVED)
  - Z2025-018: Zoning Change (AG to SF-1) for 379 N. Country Lane (1st READING; APPROVED)
  - Z2025-020: Specific Use Permit (SUP) for an Accessory Structure for 1214 East Fork Road (1<sup>ST</sup> READING; APPROVED)
  - Z2025-021: Zoning Change (AG to C) for Fuel City (1<sup>ST</sup> READING; APPROVED)
  - Z2025-022: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 704 S. Alamo Road (DENIED)

### (VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on <u>May 23, 2025</u> at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



# PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS <u>MAY 13, 2025</u> IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES, AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

# I.CALL TO ORDER

Chairman Dr. Conway called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, John Hagaman and Carin Brock. Commissioners absent were Ross Hustings and Kyle Thompson. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price. Staff absent were City Engineer Amy Williams.

# II.APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

### **III.OPEN FORUM**

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Dr. Conway explained how open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being no one indicating such Chairman Dr. Conway closed the open forum.

# IV.CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do <u>not</u> involve discretionary approvals.

2. Approval of Minutes for the April 29, 2025 Planning and Zoning Commission meeting.

# 3. P2025-012 (BETHANY ROSS)

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Quail Hollow SF, LTD for the approval of a <u>Final Plat</u> for Phase 2 of the Quail Hollow Subdivision consisting of 111 lots on 42.742-acres being identified as Lot 20, Block G of Quail Hollow, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and Hays Road, and take any action necessary.

# 4. P2025-014 (HENRY LEE)

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a *Final Plat* for the Peachtree Meadows Subdivision consisting of 147 single-family residential lots on a 45.95-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

# 5. SP2025-015 (BETHANY ROSS)

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Quail Hollow SF, LTD for the approval of a <u>Site Plan</u> for Phase 2 of the Quail Hollow Subdivision consisting of 111 lots on 42.742-acres being identified as Lot 20, Block G of Quail Hollow, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and Hays Road, and take any action necessary.

Vice-Chairman Womble made a motion to approve the Consent Agenda. Commissioner Hagaman seconded the motion which passed by a vote of 4-0.

### V.PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a <u>Request to Address the Planning and Zoning Commission</u> (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

6. **Z2025-017 (ANGELICA GUEVARA)** 

Hold a public hearing to discuss and consider a request by James Jackson on behalf of Eastridge Church of Christ for the approval of a <u>Specific Use Permit (SUP)</u> for a Church/House of Worship on a 15.159-acre parcel of land identified as a portion of Lot 1, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 670 N. Stodghill Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicant's request. The applicant is requesting approval of a Specific Use Permit (SUP) to allow an expansion for a Church/ House of Worship within an Agricultural (AG) District. March of 2004 a conditional use permit was approved to allow the institutional use within an Agricultural (AG) District which is essentially the same request the applicant is inquiring about. Currently on the property s a 54,766 SF church and a 50,000 SF parking lot. According to the concept plan that was submitted the proposed expansion will be approximately 31,500 SF and will consist of classrooms and offices. It also details the proposed location for parking and the existing accent stripes surrounding the property. If this request is approved then it would be superseding the conditional use permit that was approved in 2004. However, approval of this request is a discretionary decision for City Council pending a recommendation from Planning and Zoning Commission. On April 18, 2025 staff mailed out notices to property owners and occupants within 500 feet of the subject property. At that time staff had received two (2) notices in opposition of the applicant's request.

James Jackson 1085 Hidden Lakes Way Rockwall, TX 75087

 Mr. Jackson came forward and provided additional details in regard to his request.

Chairman Dr. Conway opened the public hearing and asked if anyone who wished to speak to come forward at this time.

Judy Larson 5556 N Stodghill Rockwall, TX 75087

Mrs. Larson came forward and explained she spoke with Angelica and wanted a bit more clarification since the building backs up to her house.

Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time, there being no one indicating such; Chairman Dr. Conway closed the Public hearing and brought the item back for discussion or action.

Vice-Chairman Womble made a motion to approve Z2025-017. Commissioner Brock seconded the motion which passed by a vote of 4-0.

# 7. **Z2025-018** (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District on a 2.581-acre portion of a larger 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 379 N. Country Lane, and take any action necessary.

Planner Bethany Ross provided a brief summary in regard to the applicants request. The 2.581-acre portion of land is currently zoned Agricultural (AG) District. The applicant is requesting to change the zoning of the property to a Single-Family 1 (SF-1) District. The applicant has indicated that the purpose of the zoning change is to rezone the 2.581-acre portion of the 101.43-acre tract of land leftover from the Erwin Farms subdivision zoning case, which was recently approved as PD-104 and allows for 123 single family homes. In conjunction with the development of PD-104, the applicant is stubbing out sewer for the subject property. The subject property is located within the Northeast Residential District which is designated for Low Density Residential. The applicant's request of Single-Family 1 or 1 unit per acre falls within the maximum requirement of 2.0 units per acre for Low Density Residential and therefore conforms to the Density Requirement of the City's Comprehensive Plan. However, all zoning cases are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission. Staff should note, that if any development occurs on the subject property, the applicant will need to conform the requirements of the Single-Family 1 District within the UDC. On April 22, staff notified 62 property owners and occupants within 500-feet of the subject property. At this time, staff has not received any notices in regard to the applicant's request.

Adam Buczek 8214 Westchester Drive Suite 900 Dallas, TX 75225

Mr. Buczek came forward and expressed he is rezoning to comprehensive plan.

Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time, there being no one indicating such; Chairman Dr. Conway closed the Public hearing and brought the item back for discussion or action.

Vice-Chairman made a motion to approve Z2025-018. Commissioner Brock seconded the motion which passed by a vote of 4-0.

# 8. Z2025-019 (ANGELICA GUEVARA) [REQUEST TO WITHDRAW CASE]

Hold a public hearing to discuss and consider a request by Luis and Elsa Cervantes for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Detached Garage</u> that does not meet the minimum requirements on a 0.4950-acre parcel of land identified Lots 1208, 1209, 1210 of the Rockwall Lake Estates #2 Addition, City

of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 251 Wayne Drive, and take any action necessary.

Vice-Chairman Womble made a motion to Withdraw Z2025-019. Commissioner Hagaman seconded the motion which passed by a vote of 4-0.

#### 9. **Z2025-020** (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Justin Jeffus for the approval of a <u>Specific Use Permit (SUP)</u> for an Accessory Structure that exceeds the maximum size on a 1.06-acre parcel of land identified Lot 2 of the Blase Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1214 East Fork Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicant's request. The applicant is requesting approval of a Specific Use Permit (SUP) for the purpose of constructing an accessory structure. On the subject property. The structure is a total of 655 SF in size and has an approximate total height of 20 feet, 4 ½ inches exceeding the maximum permissible size and height requirements. In addition, the proposed building elevations provided by the applicant indicate the structure will be clad in stone, have brick or cast stone header and consist of shaker siding. A chimney will also be incorporated into the structure. If this request were to be approved staff has included operational conditions in the ordinance that will tie down the size and height of the proposed structure. On April 18, 2025 staff mailed out notices to property owners and occupants within 500 feet of the subject property. At this time, staff had not received any notices regarding the applicants request.

Justin Jeffus 1214 E. Fork Road Rockwall, TX 75087

Mr. Jeffus came forward and provided additional details in regards to the request.

Vice-Chairman Womble aske if materials matched his house.

Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Dr. Conway closed the public hearing and brought the item back to Commission for discussion or action.

Vice-Chairman Womble made a motion to approve Z2025-020. Commissioner Hagaman seconded the motion which passed by a vote of 4-0.

#### 10. **Z2025-021** (HENRY LEE)

Hold a public hearing to discuss and consider a request by Joseph Bickham of the Trinity River Development, LLC on behalf of Aaron Albright of BYJ Holdings for the approval of a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 1.650-acre portion of a larger 31.393-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located north of the intersection of John King Boulevard and Airport Road, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting to rezone the subject property from Agricultural (AG) District to Commercial (C) District with the intent to construct a general retail store with gasoline sales. In addition, if approved the applicant will be replating this portion of the property into the property to the south. They have indicated this will allow them more space to utilize the site for the future use if approved. When looking at the comprehensive plan this is located within the central district. Currently that portion of this property has been indicated as medium density residential and with this change it would be looking at taking it into a commercial retail. At this time, it is not in conformance with the future land use map within the comprehensive plan. If approved there would be a condition of approval to make that change to the future land use map to the commercial retail district standard. On April 22, 2025 staff did mail out notices to property owners and occupants within 500 feet of the subject property. At this time, staff did receive one (1) notice from a property owner within the 500 feet in favor of the applicant's request.

Jeff Carroll 750 E. Interstate 30 Rockwall, TX 75087

Mr. Carroll came forward and provided additional details in regards to the applicants request.

Chairman Dr. Conway opened the public hearing and asked anyone who wished to speak to come forward at this time.

Herndon Richardson 2701 Cypress Drive Rockwall, TX 75087

Mr. Richardson came forward and explained his concern in regards to the intersection and the traffic control.

194 Bill Bricker
195 505 Westway Drive
196 Rockwall, TX 75087
197

Mr. Bricker came forward and explained it would be a useful gas station.

Director of Ryan Miller explained John King is a divided roadway and this property will only give them a right in right out and that's material because there will be no additional turn lane provided for cars going northbound. This is simply for a right in right out on John King.

Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Dr. Conway closed the public hearing and brought the item back to Commission for discussion or action.

Commissioner Brock asked if giving them zoning and this access would this make it a little bit safer than if they were to develop without this access.

Director of Planning and Zoning Ryan Miller explained that it does in in the aspect it gives it another point of entrance. They would not be able to get a right in right out therefore they would only have access off of airport road if they built south of the subject property. This gives a right in right out and it actually increases their residential adjacency.

Director of Planning and Zoning Ryan Miller explained that once it meets traffic warrants it will have a light that will probably come after it has been transferred to TXDOT in 2026.

Commissioner Brock made a motion to approve Z205-021. Commissioner Hagaman seconded the motion which passed by a vote of 4-0.

#### 11. Z2025-022 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an <u>Established Subdivision</u> on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval of a Specific Use Permit (SUP) for Residential Infill for the purpose of constructing a single-family home on the subject property. In reviewing the proposal Specific Use Permit (SUP), the planning and zoning commission and City Council are tasked in considering the proposed size and, location and architecture of the home compared to the existing housing in the established subdivision. In this case, the applicant is proposing to construct an approximately 5,000SF single-family home that will consist of siding and will incorporate a j-swing garage meeting all the density and dimensional requirements for a home in this district. On April 18, 2025 staff mailed out notices to property owners and occupants within 500 feet of the subject property. Staff had not received any notices in return.

Jerret Smith 704 S. Alamo Rockwall, TX 75087

Mr. Smith came forward and provided additional details in regards to the applicants request.

Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Dr. Conway closed the public hearing and brought the item back to Commission for discussion or action.

Vice-Chairman Womble made a motion to approve Z2025-022. Commissioner Hagaman seconded the motion which passed by a vote of 4-0.

# VI.ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

# 12. P2025-013 (HENRY LEE) [TABLED TO THE JUNE 10, 2025 PLANNING AND ZONING COMMISSION MEETING]

Discuss and consider a request by Joshua Ince of Kirkman Engineering, LLC on behalf of Matt Bodzy of Zennial Rockwall, LLC for the approval of a <u>Preliminary Plat</u> for Lots 1-10, Block A, Rockwall Retail Addition being a 11.836-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) and SH-276 Overlay (SH-276 OV) District, generally located southeast corner of the intersection of SH-276 and S. John King Boulevard, and take any action necessary.

#### 13. **SP2025-011** (HENRY LEE)

Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a <u>Site Plan</u> for the expansion of an existing *Mini-Warehouse Facility* on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [Ordinance No. 25-12] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicants request. They are requesting the expansion of the mini warehouse facility and it was previously tabled due to concerns with the unit count. The applicant has originally requested 760 units and 81 greater then what is permitted by the unified development code (UDC). They have now returned requesting 641 storage units which is still an excess of 16 units over the permitted 625. That being said, in addition they did make a change to there compensatory measures that were listed on the site plan no longer showing emergency sirens. Beside the unit count variance, they have due to the expanded use of SH-276. They have the variance to the roof design standards. They also have a variance to the four-side architecture and the landscape requirements given. They have less then 20% landscaping. In this case, they're requesting the five variances and based on what was outlined in the memo for their compensatory measures. They essentially need 10 compensatory measures and they have identified three (3).

Director of Planning and Zoning Ryan Miller explained nothing else had changed they kept the same size building they just reduced the overall unit count.

Drew Donosky 1903 Central Drive Suite 406, Bedford, TX 76021

Mr. Donosky came forward and explained they went down in the number of units and met the request.

Commissioner Brock asked why they couldn't provide more compensatory measure.

Commissioner Hagaman asked why they can't add more windows on the other side.

Mr. Donosky explained that in their discussions with staff it was likely not necessary and only on the street facing frontages.

Director of Planning and Zoning Ryan Miller explained they were never given a minimum, they were told what they needed to do to at least get considered by the Architecture Review Board (ARB) which ARB did ultimately sent an approval.

Shah Shrenik 3935 Bowie Lane Dallas, TX 75220

Mr. Shrenik came forward and provided additional details in regards to the request.

Commissioner Hagaman made a motion to table SP2025-011 to the May 27th meeting. Commissioner Brock seconded the motion which passed by a vote of 4-0.

### 14. SP2025-014 (BETHANY ROSS) [TABLED TO THE MAY 27, 2025 PLANNING AND ZONING COMMISSION MEETING]

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a <u>Site Plan</u> for a <u>Retail/Office Building</u> on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

## 15. SP2025-016 (BETHANY ROSS)

Discuss and consider a request by Todd Martin, PE of Kimley-Horn on behalf of Tracy Tuttle of Lakepointe Church for the approval of an <u>Amended Site Plan</u> for an existing *Church/House of Worship* (*i.e. Lakepointe Church*) being a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

Planner Bethany Ross provided a brief summary in regard to the applicants request. The subject property is zoned Commercial (C) District and located within the IH-30 Overlay District. The applicant is requesting an amended site plan to update the plaza area of the property and add (2) shade structures, artificial turf, and a commercial building for food service within the plaza area. Specifically, a 30'X45' canopy structure for dining/seating and a 96'X50' structure for a playground. The applicant is also proposing to add a new commercial building for food service that will be vinyl wrapped to look like stone on each side. Since the proposed structure is considered a commercial building, it would need to meet all of the requirements of the General Commercial District and General Overlay District Standards. Since the building does not meet these standards, the applicant will be requesting exceptions to the 20% stone, 90% masonry, primary and secondary articulation, the roof design standards, parapet requirements, four (4) sided architecture, and mechanical equipment screening requirements of the UDC. The proposed artificial turf will mostly be used as a fall zone for the playground as well as high-trafficked areas designated for children's activities, fellowship gatherings, and general recreation. The applicant has indicated in their letter that the artificial turf also serves as an ADA accessible surface allowing the plaza to be utilized by all and that the proposed additions are integral to the operations of the church and will be located within the site, not visible from any right-of-way.

Vice-Chairman Womble asked if vinyl would meet the material requirements.

Todd Martin 283 W. Nash Street Suite 100 Terrell, TX 75160

Mr. Martin came forward and expressed this would be beneficial for attendees and would be a great improvement to the church.

Director of Planning and Zoning Ryan Miller explained that the food truck ordinance approved by City Council does not allow the food truck to remain in place. What Lakepointe is trying to do is create a food service area that can remain to service during outside services. For them to remove that each night would be infeasible but they can't take it under the premise of food truck since that would violate the ordinance. It would have to come as a commercial building. They're doing their best to make it a permanent structure on the site to meet the commercial building requirements.

336 John Wardell 337 880 Ivy Lane 338 Rockwall, TX 75087 340 Mr. Wardell came fo 341 permanent structure

Mr. Wardell came forward and explained they initially looked at building a permanent structure, but it was very cost prohibitive to build a permanent structure there.

Commissioner Hagaman asked if they would be able to take the wheels off the trailer.

Director of Planning and Zoning Ryan Miller explained that if they were to remove the wheels it would be a temporary structure which is not a permitted use. What the applicant is proposing meets a structure. It is a fully enclosed structure that's fixed to a concrete pad. If they were to take the wheels off it would make it a temporary structure. Which then could still be moved around the property. Temporary structures are not allowed in commercial districts. The reason it was brought to you in this manner is because this can actually be approved by this commission.

Vice-Chairman Womble asked if they can request alternative materials.

Commissioner Hagaman made a motion to table SP2025-016 to the May 27th meeting. Vice-Chairman Womble seconded the motion which passed by a vote of 4-0.

# 355 VII. DISCUSSION ITEMS

- <u>Director's Report</u> of post City Council meeting outcomes for development cases (RYAN MILLER).
- P2025-011: Replat for Lots 4, 5, 6 & 7, Block A, Integrity Addition (APPROVED)
- MIS2025-008: Alternative Tree Mitigation Settlement Agreement for the Southside Hills Subdivision (APPROVED)
- Z2025-011: PD Development Plan for Townhomes in PD-32 (2ND READING; APPROVED)
- Z2025-012: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 614 E. Boydstun Avenue (1<sup>ST</sup> READING; APPROVED)
- Z2025-013: Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 588 Cornelius Road (2<sup>ND</sup> READING; APPROVED)
- Z2025-014: Specific Use Permit (SUP) for a Minor Automotive Repair Garage at 1460 T. L. Townsend Drive, Suite 116 (2ND READING; APPROVED)
- Z2025-015: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit at 403B S. Clark Street (2<sup>ND</sup> READING; APPROVED)
- Z2025-016: Specific Use Permit (SUP) for an Accessory Building at 2201 Sanderson Lane (2ND READING; APPROVED)

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

# 371 VIII.ADJOURNMENT

Chairman Dr. Conway adjourned the meeting at 7:08PM	
PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this , 2025.	day of
, 2025.	
Dr. Jean Conway, Chairman	
Attest:	
Melanie Zavala, Planning Coordinator	



PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE:** May 27, 2025

APPLICANT: Phil Wagner; Rockwall Economic Development Corporation (REDC)

CASE NUMBER: P2025-009; Replat for Lot 24, Block A, La Jolla Point, Phase 2 Addition

# **SUMMARY**

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Replat</u> for Lot 24, Block A, La Jolla Pointe, Phase 2 Addition being a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) Districts, zoned Commercial (C) District, generally located at the northwest corner of the intersection of Ridge Road (*FM-740*) and La Jolla Pointe Drive, and take any action necessary.

# **PLAT INFORMATION**

- ☑ <u>Purpose.</u> The applicant is requesting the approval of a <u>Replat</u> for a 9.9406-acre tract of land (i.e. Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition) for the purpose of dedicating and abandoning easements on the subject property and consolidating two (2) lots into one (1) lot (i.e. Lot 24, Block A, La Jolla Pointe, Phase 2 Addition).
- ☑ Background. The subject property was annexed by the City Council on September 5, 1960 by Ordinance No. 60-02 [i.e. Case No. A1960-002]. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between the time of annexation and January 3, 1972, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District. On November 17, 2003, the City Council approved a final plat [i.e. Case No. P2003-024] that establish the subject property as Lot 1, Block A, La Jolla Pointe, Phase 2 Addition. On February 7, 2005 the City Council approved a replat [i.e. Case No. P2004-068] that reestablished the subject property as a Lots 4-6, Block A, La Jolla Pointe, Phase 2 Addition. On August 21, 2006, the City Council approved another replat [i.e. Case No. P2006-019] that changed the subject property to Lots 6, 7, and a portion of Lot 8, Block A, La Jolla Pointe, Phase 2 Addition. On April 2, 2018, the City Council approved a Specific Use Permit (SUP) [i.e. Ordinance No. 18-20; S-187] allowing a Limited Service Hotel on a portion of the subject property. This Specific Use Permit (SUP) expired on October 1, 2020. On August 20, 2018 the City Council approved two (2) site plans [i.e. Case No. SP2018-024 & SP2018-025] to allow the construction of an Office Building and a Medical Office Building on the subject property. These site plans expired on August 20, 2020. On October 1, 2018 the City Council approved a site plan [i.e. Case No. SP2018-023] to allow the construction of a Hotel. This site plan expired on October 1, 2020. On March 2, 2020, the City Council approved a replat [i.e. Case No. P2020-009] that reestablished the subject property as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition. On January 2, 2024, the City Council approved Ordinance No. 24-01, S-322 [i.e. Case No. Z2023-052] allowing an office building exceeding 36-feet in height on the subject property; however, the office building has not been constructed and the subject property has remained vacant since the time of annexation.
- ☑ <u>Conformance to the Subdivision Ordinance.</u> The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ <u>Conditional Approval.</u> Conditional approval of this <u>Replat</u> by the City Council shall constitute approval subject to the conditions stipulated in the <u>Conditions of Approval</u> section below.

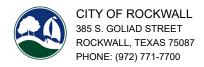
☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the <u>Replat</u> for Lot 24, Block A, La Jolla Pointe, Phase 2 Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this <u>Replat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: P2025-009

PROJECT NAME: Replat for Lot 1, Block A, La Jolla Pointe Addition

SITE ADDRESS/LOCATIONS: 550 LA JOLLA POINTE DR

CASE CAPTION: Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Replat for Lot

24, Block A, La Jolla Pointe, Phase 2 Addition being a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) Districts, zoned Commercial (C) District, generally located at the northwest corner of the intersection of Ridge Road (FM-740) and La

Jolla Pointe Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Angelica Guevara	05/22/2025	Approved w/ Comments	

05/22/2025: P2025-009: Final Plat for Lot 24, Block A, La Jolla Pointe, Phase 2 Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lot 24, Block A, La Jolla Pointe, Phase 2 Addition being a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) Districts, zoned Commercial (C) District, generally located at the northwest corner of the intersection of Ridge Road (FM-740) and La Jolla Pointe Drive.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (P2025-009) in the lower right-hand corner of all pages on future submittals.
- M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 24, BLOCK A
LA JOLLA POINTE, PHASE 2 ADDITION
BEING A REPLAT OF
LOTS 22 & 23, BLOCK A
LA JOLLA POINTE, PHASE 2 ADDITION
BEING
ONE (1) LOT
9.9406-ACRES OR 433,011 SF
SITUATED IN THE
WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9 AND THE
JAMES SMITH SURVEY, ABSTRACT NO.200
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- M.5 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.6 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).
- M.7 Please remove the second notary stamp beneath the Surveyor's Statement.
- M.8 Please provide the following Surveyor's/Registered Engineer Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR SIGNATURE [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR NO. [OR] PROFESSIONAL ENGINEER NO.

M.9 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL	
PLANNING AND ZONING COMMISSION C	HAIRMAN
CITY SECRETARY	

CITY ENGINEER

- I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.
- I.11 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: May 27, 2025

City Council Meeting: June 2, 2025

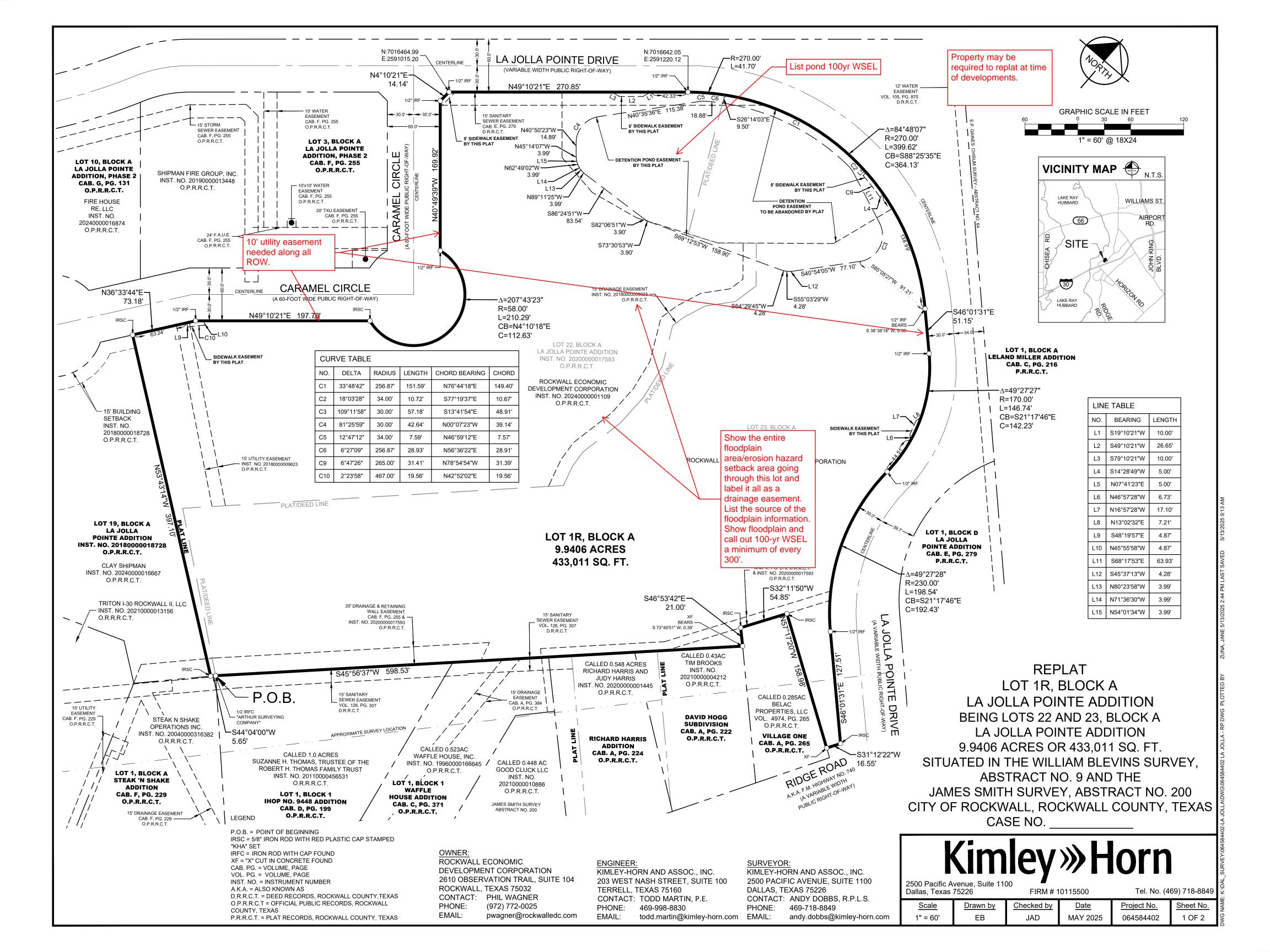
I.12 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments
05/22/2025: 1. 10' utility easer	ment needed along all ROW.		

- 2. Show the entire floodplain area/erosion hazard setback area going through this lot and label it all as a drainage easement. List the source of the floodplain information. Show floodplain and call out 100-yr WSEL a minimum of every 300'.
- 3. List pond 100yr WSEL
- 4. Property may be required to replat at time of developments.

REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Craig Foshee	05/22/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Ariana Kistner	05/20/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Lance Singleton	03/17/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Chris Cleveland	03/17/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Travis Sales	05/19/2025	Approved	
	Craig Foshee  REVIEWER Ariana Kistner  REVIEWER Lance Singleton  REVIEWER Chris Cleveland  REVIEWER	Craig Foshee 05/22/2025  REVIEWER DATE OF REVIEW Ariana Kistner 05/20/2025  REVIEWER DATE OF REVIEW Lance Singleton 03/17/2025  REVIEWER DATE OF REVIEW Chris Cleveland 03/17/2025  REVIEWER DATE OF REVIEW	Craig Foshee       05/22/2025       Approved         REVIEWER       DATE OF REVIEW       STATUS OF PROJECT         Ariana Kistner       05/20/2025       Approved         REVIEWER       DATE OF REVIEW       STATUS OF PROJECT         Lance Singleton       03/17/2025       Approved         REVIEWER       DATE OF REVIEW       STATUS OF PROJECT         Chris Cleveland       03/17/2025       Approved         REVIEWER       DATE OF REVIEW       STATUS OF PROJECT         REVIEWER       DATE OF REVIEW       STATUS OF PROJECT

No Comments





NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

# **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

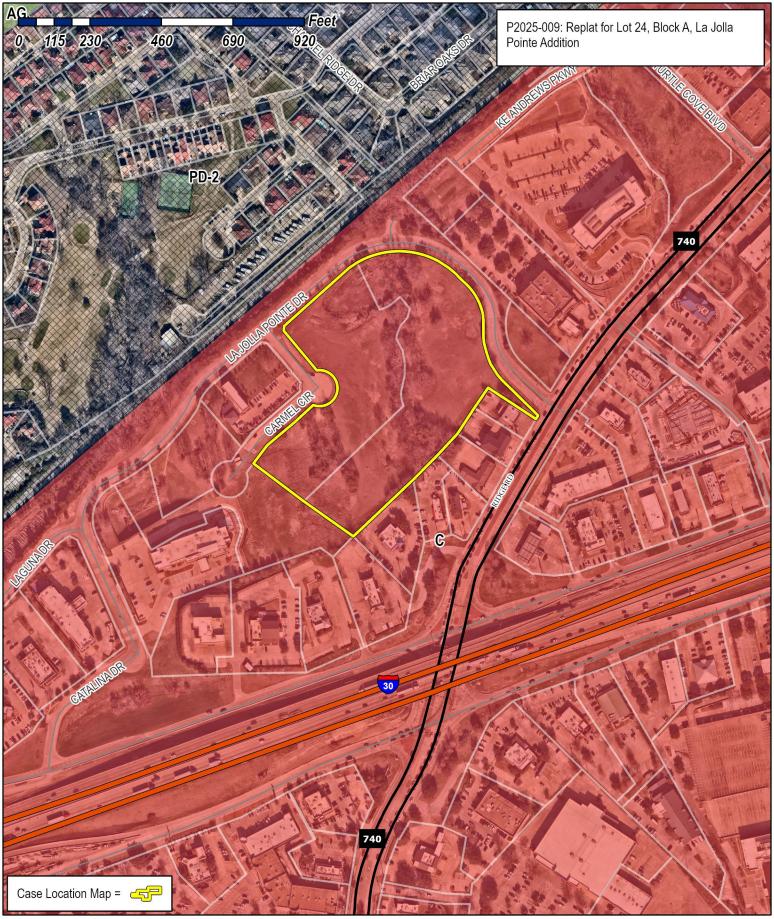
PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

	Unit.	LITOMELIA	
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE	TYPE OF DEVELOPMENT REC	QUEST [SELECT ONLY ONE BOX]:	
PLATTING APPLICATION FEES:  ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)  SITE PLAN APPLICATION FEES: ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	☐ SPECIFIC US ☐ PD DEVELOF OTHER APPLIC. ☐ TREE REMOV ☐ VARIANCE R NOTES: ☐ IN DETERMINING TI PER ACRE AMOUNT. ② A \$1,000.00 FEE V	NGE (\$200.00 + \$15.00 ACRE) 1 SE PERMIT (\$200.00 + \$15.00 ACRE) 1 & 2 PMENT PLANS (\$200.00 + \$15.00 ACRE) 1 ATION FEES:	ACRE.
PROPERTY INFORMATION [PLEASE PRINT]			
ADDRESS 550 La Jolla Pointe Dr., Rocks	wall, TX 75087		
SUBDIVISION La Jolla Pointe Addition		LOT   22 & 23 BLOCK   A	
GENERAL LOCATION   Northeast Corner of La Jolla	Pointe Dr & Carmel	Circle	
ZONING, SITE PLAN AND PLATTING INFORMATION	[PLEASE PRINT]		
CURRENT ZONING C	CURRENT USE	Undeveloped	
PROPOSED ZONING C	PROPOSED USE	Office	
ACREAGE 9.94 LOTS [CU	IRRENT] 2	LOTS [PROPOSED] 1	
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWL REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS RESULT IN THE DENIAL OF YOUR CASE.	EDGE THAT DUE TO THE PASS ANY OF STAFF'S COMMENTS BY	AGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBI THE DATE PROVIDED ON THE DEVELOPMENT CALE!	LITY WITH VDAR WILL
OWNER/APPLICANT/AGENT INFORMATION [PLEASE P	RINT/CHECK THE PRIMARY CON	ITACT/ORIGINAL SIGNATURES ARE REQUIRED]	
□ OWNER [Phil Wagner	☐ APPLICANT	Phil Wagner	
CONTACT PERSON [Rockwall EDC	CONTACT PERSON	Rockwall EDC	
ADDRESS 2610 Observation Trail	ADDRESS	2610 Observation Trail	
Suite 104		Suite 104	
CITY, STATE & ZIP Rockwall, TX 75032		Rockwall, TX 75032	
PHONE (972) 772-0025		(972) 772-0025	
E-MAIL   pwagner@rockwalledc.com	E-MAIL	pwagner@rockwalledc.com	
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY A STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIF		[OWNER] THE UNDERSIGN	IED, WHO
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION  TO COVER THE COST OF THIS APPLICATION  ON THE PUBLIC. THE SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION	ATION, HAS BEEN PAID TO THE CIT IN, I AGREE THAT THE CITY OF RC E CITY IS ALSO AUTHORIZED ANI	Y OF ROCKWALL ON THIS THE	DAY_OF O PROVIDE
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF	march 202	5 JENNIFER L. HAMM	INDS)
OWNER'S SIGNATURE		ID # 12230083-	POXIS )



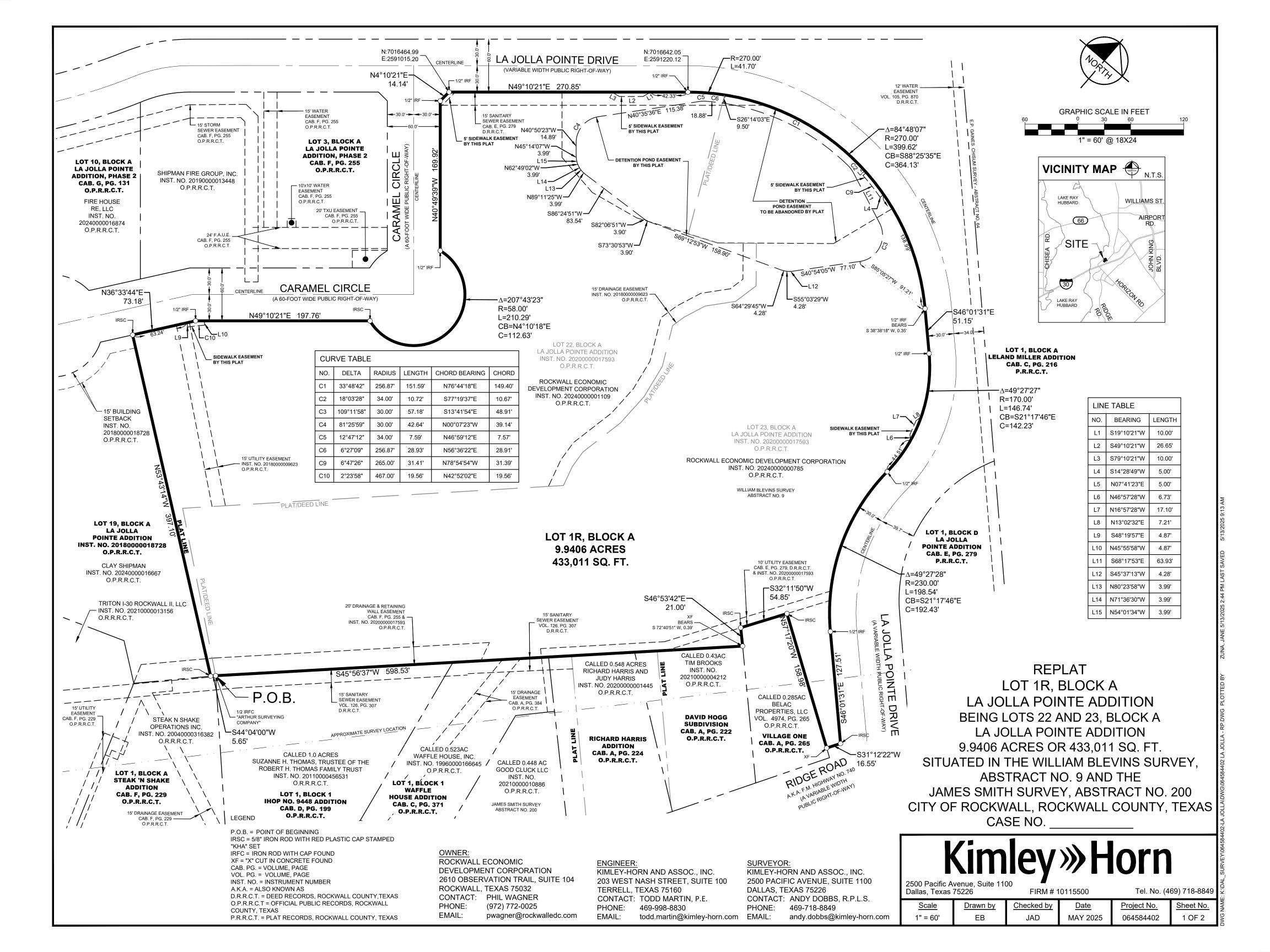


# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





# **OWNERS CERTIFICATE:**

# STATE OF TEXAS § COUNTY OF ROCKWALL §

WHEREAS ROCKWALL ECONOMIC DEVELOPMENT CORPORATION is the owner of a tract of land situated in the William Blevins Survey, Abstract No. 9 and the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas and being all of a tract of land described in Special Warranty Deed to Rockwall Economic Development Corporation, recorded in Instrument No. 20240000000785, Official Public Records, Rockwall County, Texas, and being all of a tract of land described in Special Warranty Deed to ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, recorded in Instrument No. 20240000001109, of said Official Public Records, and being all of Lots 22 and 23, Block A, La Jolla Pointe Addition, an addition to the City of Rockwall, according to the plat recorded in Instrument No. 20200000017593, of said Official Public Records, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "ARTHUR SURVEYING COMPANY" found for the south corner of said Lot 23 and the west corner of Lot 1, Block 1, IHOP No. 9448 Addition, an addition to the City of Rockwall. according to the plat recorded in Cabinet D, Page 199, of said Official Public Records and the most southerly east corner of said Lot 22:

**THENCE** with the most southerly southeast line of said Lot 22, South 44°04'00" West, a distance of 5.65 feet to a 5/8" iron rod with plastic cap stamped "KHA" set in the south corner of said Lot 22 and the east corner of Lot 19, Block A, La Jolla Pointe Addition, an addition to the City of Rockwall, according to the plat recorded in Instrument No. 20180000016667, of said Official Public Records;

THENCE with the southwest line of said Lot 22, North 53°43'14" West, a distance of 397.10 feet to a 5/8" iron rod with plastic cap stamped "KHA" set the west corner of said Lot 22, in the southeast right-of-way line of Caramel Circle (a 60 foot wide public right-of-way);

THENCE with said southeast right-of-way line and the northeast right-of-way line of Caramel Circle, the following courses and distances:

North 36°33'44" East, a distance of 73.18 feet to a 1/2" iron rod found for corner:

North 49°10'21" East, a distance of 197.76 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the beginning of a non-tangent curve to the left with a radius of 58.00 feet, a central angle of 207°43'23", and a chord bearing and distance of North 04°10'18" East, 112.63 feet;

In a northeasterly direction, with said non-tangent curve to the left, an arc distance of 210.29 feet to a 1/2" iron rod found for corner;

North 40°49'39" West, a distance of 169.92 feet to a 1/2" iron rod found for south end of a corner clip at the intersection of said northeast right-of-way line of Caramel Circle and the southeast right-of-way line of La Jolla Pointe Drive (a variable width public right-of-way);

THENCE with said corner clip, North 04°10'21" East, a distance of 14.14 feet to a 1/2" iron rod found for the north end of said corner clip;

THENCE with said southeast right-of-way line and the southwest right-of-way line of said La Jolla Pointe Drive, the following courses and distances:

North 49°10'21" East, a distance of 270.85 feet to a 1/2" iron rod found for the beginning of a tangent curve to the right with a radius of 270.00 feet, a central angle of 84°48'07", and a chord bearing and distance of South

In a southeasterly direction, with said tangent curve to the right, an arc distance of 399.62 feet to a point for corner, from which a 1/2" iron rod found bears South 38°38'18" West, a distance of 0.35 feet;

South 46°01'31" East, a distance of 51.15 feet to a 1/2" iron rod found for the beginning of a tangent curve to the right with a radius of 170.00 feet, a central angle of 49°27'27", and a chord bearing and distance of South 21°17'46" East, 142.23 feet;

In a southeasterly direction, with said tangent curve to the right, an arc distance of 146.74 feet to a 1/2" iron rod found for the beginning of a reverse curve to the left with a radius of 230.00 feet, a central angle of 49°27'28", and a chord bearing and distance of South 21°17'46" East, 192.43 feet;

In a southeasterly direction, with said reverse curve to the left, an arc distance of 198.54 feet to a 1/2" iron rod found for corner:

South 46°01'31" East, a distance of 127.51 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the southeast corner of said Lot 23, at the intersection of said southwest right-of-way line of La Jolla Pointe Drive and the northwest right-of-way line of Ridge Road, also known as F.M. Highway No. 740 (a variable width public right-of-way);

THENCE with said northwest right-of-way line of Ridge Road, South 31°12'22" West, a distance of 16.55 feet to an "X"

THENCE departing said northwest right-of-way line of Ridge Road, and with the most northerly southwest line of said Lot 23, North 57°17'20" West, a distance of 158.98 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** with the southeast lines of said Lot 23, the following courses and distances:

South 32°11'50" West, a distance of 54.85 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner; South 46°53'42" East, a distance of 21.00 feet to a point for corner, from which an "X" cut in concrete found bears South 72°40'50" West, a distance of 0.39 feet;

South 45°56'37" West, a distance of 598.53 feet to the POINT OF BEGINNING and containing 433,011 square feet or 9.9406 acres of land.

Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).

# FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

# **OWNERS DEDICATION:**

# STATE OF TEXAS 8 COUNTY OF ROCKWALL §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

We, ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, the undersigned owner of the land shown on this plat, and designated herein as the LA JOLLA POINTE ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed, except those created by separate instrument, which are governed by the terms of such separate instruments. We further certify that all other parties who have a mortgage or lien interest in the LA JOLLA POINTE ADDITION have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, except those created by separate instrument, which are governed by the terms of such separate instruments. We also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the city.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

Property Owner Signature

# STATE OF TEXAS COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, on this day personally appeared mown to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_

Notary Public in and for the State of

# **GENERAL NOTES:**

- 1. Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the city and chapter 212, municipal regulation of subdivisions and property development, of the Texas Local Government Code, and shall be subject to the city withholding utilities and building permits.
- 2. It shall be the policy of the city to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the city does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the city of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the city.
- The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- 4. All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane
- 5. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the homeowner's association (HOA).

# **SURVEYOR'S STATEMENT:**

# NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, J. ANDY DOBBS, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the	day of	, 2025.
J. ANDY DOBBS		
Registered Profession	nal Land Surveyor No. 6196	
KIMLEY-HORN AND	ASSOC., INC.	
2500 Pacific Ave., Su	uite 1100	
Dallas, Texas 75226		
469-718-8849		
andy.dobbs@kimley-	horn.com	

# STATE OF TEXAS COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared J. ANDY DOBBS known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

IVEN UNDER MY HAND AND SEAL OF OFFICE this	dav of	2025

Notary Public in and for the State of Texas

	SIGNATURE BLOCK
APPROVED:	
	ing plat of an addition to the City of Rockwall, Texas, was approved by the City Council or day of, 202
——————————————————————————————————————	——————————————————————————————————————
City Secretary	 City Engineer

REPLAT LOT 1R, BLOCK A LA JOLLA POINTE ADDITION BEING LOTS 22 AND 23, BLOCK A LA JOLLA POINTE ADDITION 9.9406 ACRES OR 433,011 SQ. FT. SITUATED IN THE WILLIAM BLEVINS SURVEY. ABSTRACT NO. 9 AND THE JAMES SMITH SURVEY, ABSTRACT NO. 200 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NO.

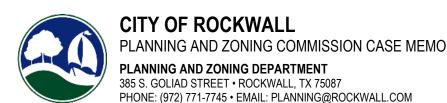


Dallas, Texas 75226

N/A

FIRM # 10115500 Tel. No. (469) 718-8849

Checked by Project No. Sheet No. JAD MAY 2025 064584402 2 OF 2 ECB



**TO:** Planning and Zoning Commission

**DATE:** May 27, 2025

**APPLICANT:** Cameron Slown; Teague, Nall, and Perkins

**CASE NUMBER:** P2025-017; Replat for Lot 7, Block A, Harbor District Addition

# **SUMMARY**

Consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of a <u>Replat</u> for Lot 7, Block A, Harbor District Addition being a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

# **PLAT INFORMATION**

- Purpose. The applicant is requesting approval of a Replat for a 0.90-acre parcel of land (i.e. Lot 5, Block A, Harbor District Addition) for the purpose of establishing new easements associated with the development of a restaurant on the subject property.
- ☑ Background. The subject property was annexed into the city on September 5, 1960 by Ordinance No. 60-02 [Case No. A1960-002]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between September 5, 1960 and January 3, 1972, the zoning changed from an Agricultural (AG) District to a Commercial (C) District. On September 20, 2010, the City Council passed Ordinance No. 10-21 [Planned Development District 32 (PD-32)], which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as PD-32 or the Harbor District. Within the approved concept plan, PD-32 was divided into ten (10) subdistricts that contained individual development and land use standards. On May 2, 2011, the City Council adopted Ordinance No. 11-16, which contained a PD Development Plan for a 3.945-acre tract of land located in the Summit Office Subdistrict (i.e. the subject property). This PD Development Plan showed a series of buildings would be constructed along Sunset Ridge Drive in conformance to the requirements of Ordinance No. 10-21. On July 15, 2015, the Planning and Zoning Commission approved a site plan [Case No. SP2015-015] for a 6,800 SF Restaurant with 2,000 SF or More without Drive-Through or Drive-In on the subject property. Following this approval, the applicant was granted variances to the stone and masonry requirements by the City Council on July 20, 2015. On September 8, 2015, the City Council approved Case No. MIS2015-006. This case involved the applicant requesting to utilize 15 of the 441 parking spaces in the Trend Tower parking garage to meet the required parking requirements. On December 13, 2016, the Planning and Zoning Commission approved an amended site plan [Case No. SP2016-027], which approved changes to the building elevations; however, no engineering plans or other submittals were submitted after this approval. On March 6, 2017, the City Council approved a replat [Case No. P2017-011] establishing the subject property as Lot 5, Block A, Harbor District Addition. On April 19, 2021, the Planning and Zoning Commission approved a Site Plan [Case No. SP2021-005] for a Restaurant with 2,000 SF or more without Drive-Through or Drive-In on the subject property. On April 19, 2021, the City Council approved an increase to the parking variance for the approved site plan for HG Supply Co. from 15 parking spaces to 18 parking spaces. This Site Plan approval was set to expire on April 19, 2023 in accordance with Subsection 03.05(A), Site Plan Expiration, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2021-011]. Based on this, the Site Plan was deemed to be active. The Engineering Plans were approved on July 11, 2023, and were considered to be valid for a period of one (1) year. On January 5, 2023, the applicant submitted a Building Permit [Case No. COM2023-36]; however, this permit expired due to inactivity on August 28, 2024. Since the Building Permit was holding both the Site Plan and Engineering Plans open, when it expired the Site Plan and Engineering Plans

also expired. On February 25, 2025, the Planning and Zoning Commission approved the reinstatement of the previously approved Site Plan [Case No. SP2025-005]. Concurrently with this request to replat the subject property, the applicant has submitted a request for an Amended Site Plan [Case No. SP2025-020] proposing to enlarge the proposed Restaurant with 2,000 SF or more without Drive-Through or Drive-In.

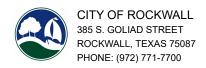
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this <u>Replat</u> by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the <u>Replat</u> for Lot 7, Block A, Harbor District Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this *Replat*; and,
- (2) Any construction resulting from the approval of this <u>Replat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: P2025-017

PROJECT NAME: Replat for Lot 7, Block A, Harbor District

SITE ADDRESS/LOCATIONS: 2651 SUNSET RIDGE DR

CASE CAPTION: Consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of a Replat for Lot

7, Block A, Harbor District Addition being a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30

Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset

Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	05/21/2025	Approved w/ Comments	

05/21/2025: P2025-017: Replat for Lot 7, Block A, Harbor District Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for for Lot 7, Block A, Harbor District Addition being a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, and generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive.
- I.2 For guestions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (P2025-017) in the lower right-hand corner of all pages on future submittals.
- M.4 Provide the following General Notes provided in the Standard Plat Wording section of the application packet and which is attached to these comments:
- 1) Subdivider's Statement
- 2) Public Improvement Statement
- Drainage and Detention Easements
- 4) Fire Lanes
- 5) Street Appurtenances
- M.5 Provide the appropriate standard signature block for approval of the plat provided in the Standard Plat Wording section of the application packet.

APPROVED: I hereby certify that the above and forgoing subdivision plat	— being an addition to the City of Rockwall,	Texas — was approved by the city council of the City of
Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].		

MAYOR OF THE CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CHAIRMAN

- M.6 Please provide the right-of-way, and centerline for IH-30 along the property lines. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.
- I.8 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: May 27, 2025

City Council: June 2, 2025

I.9 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments	
05/22/2025: 1. Curve information	on needed.			
2. Include the latest applicable	general notes.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved	

No Comments

N.T.S. - NOT TO SCALE R.O.W. - RIGHT OF WAY INST. NO. - INSTRUMENT NUMBER CAB. - CABINET PG. - PAGE W.E. - WATER EASEMENT D.E. - DRAINAGE EASEMENT

**POINT OF** 

\_15' RCH W.S.C.

EASEMENT VOL. 64, PG. 215

LOT 2 BLOCK B

HARBOR DISTRICT ADDITION INSTRUMENT NO.

> 20200000019318 O.P.R.R.C.T.

**BEGINNING** 

D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS

FAULKNER INVESTMENT CO., LTD.

**VOLUME 1542, PAGE 296** 

D.R.R.C.T.

N=7014393.07

WOOD — MONUMENT

AS' R.O.W

DRIVE

NOTES:

INTERSTATE 30

(VARIABLE WIDTH R.O.W.)

N 82°55'59" E 135.87

LOT 7, BLOCK A

needed.

Curve information

- 1. BEARINGS AND COORDINATES ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202;NAD83(2011)EPOCH 2010) AND TIED TO THE CITY OF ROCKWALL GPS
- 2. UNLESS OTHERWISE NOTED ALL CORNERS ARE A 5/8 INCH IRON ROD SET WITH CAP STAMPED "R.P.L.S. 5430"
- 3. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 4. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT
- 5. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED. AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

**OWNERS CERTIFICATE** 

LOT 4 BLOCK A

HARBOR DISTRICT ADDITION

CAB. I, SLIDE 168

P.R.R.C.T.

10' T.X.U. EASEMENT

CAB. D, SLD. 245 P.R.R.C.T.

10' ONCOR ELEC. EASEMENT

STATE OF TEXAS COUNTY OF ROCKWALL}

WHEREAS, EightyTwenty Real Estate Holdings, LLC is the owner of a tract of land in the M.J. Barksdale Survey, Abstract No. 11, situated in the City of Rockwall, in Rockwall County, Texas, said tract being all of Lot 5, Block A, of the Replat of the Harbor District Addition, an addition to The City of Rockwall as recorded in Cabinet J, Slide 328, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for the northwest corner of said Lot 5, Block A, said point also lying on the southerly Right of Way of Interstate 30, (a variable width Right of Way) and the east line of Sunset Ridge Drive (a variable width Right of Way) dedicated by the Harbor District Addition, an addition to The City of Rockwall as recorded in Cabinet I, Slide 7, of the Plat Records of Rockwall County, Texas;

THENCE North 74 degrees 49 minutes 50 seconds East along the southerly Right of Way of said Interstate 30, a distance of 32.37 feet to a wood right-of-way monument found for the northwest corner of a remainder tract of land described by deed to Faulkner Investment Company, Ltd. Recorded in Volume 1542, Page 296 of the Deed Records of Rockwall County, Texas;

THENCE South 14 degrees 20 minutes 24 seconds West departing the southerly line of said Interstate 30 and along said Faulkner tract, a distance of 57.31 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 49 degrees 36 minutes 39 seconds East continuing along said Faulkner tract a distance of 1.89 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE North 73 degrees 25 minutes 30 seconds East continuing along said Faulkner tract a distance of 36.01 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE North 16 degrees 31 minutes 03 seconds West continuing along said Faulkner tract a distance of 49.47 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner lying on the aforementioned southerly line of Interstate 30;

THENCE North 82 degrees 55 minutes 59 seconds East along said southerly line a distance of 135.87 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for the northeast corner of said Lot 5, Block A and the northwest corner of Lot 4, Block A of the Replat of the Harbor District Addition, an addition to The City of Rockwall as recorded in Cabinet I, Slide 168, of the Plat Records of Rockwall County, Texas;

THENCE South 17 degrees 15 minutes 53 seconds East along the common line of said Lot 5, Block A and said Lot 4, Block A, a distance of 217.09 feet to a "X" cut in concrete found for the southeast corner of said Lot 5, Block A and the southwest corner of said Lot 4, Block A, said point also lying on the north line of Lot 6, Block A of the Replat of the Harbor District Addition, an addition to The City of Rockwall as recorded in Instrument Number 20210000005570, of the Official Public Records of Rockwall County, Texas:

THENCE South 72 degrees 42 minutes 13 seconds West along the common line of said Lot 5, Block A, and said Lot 6, Block A, a distance of 173.70 feet to a "X" cut in concrete found for the southwest corner of said Lot 5, Block A, the northwest corner of said Lot 6, Block A, and lying on the aforementioned east right-of-way line of Sunset Ridge Drive;

THENCE North 17 degrees 15 minutes 53 seconds West along the east line of said Sunset Ridge Drive and the west line of said Lot 5, Block A, a distance of 243.79 feet to the POINT OF BEGINNING containing 39,204 square Feet, or 0.900 of an acre of land

# SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_

PRELIMINARY, THIS DOCUMENT SHALL NOT BE **RECORDED FOR ANY PURPOSE AND SHALL NOT** BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. BRIAN J. MADDOX, R.P.L.S. NO. 5430

NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL

# OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL}

I the undersigned owner of the land shown on this plat, and designated herein as the LOT 7, BLOCK A HARBOR DISTRICT ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

7. Drainage/Detention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

EIGHTYTWENTY REAL ESTATE HOLDINGS, LLC

Representative:

STATE OF TEXAS} COUNTY OF ROCKWALL}

Before me, the undersigned authority, on this day personally appeared

known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ 2025.

Notary Public in and for the State of Texas

on Expires:

# GENERAL NOTES [Please add this to any other notes included on the plat.]

- (1) <u>Subdivider's Statement</u>. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or quarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City
- <u>Drainage and Detention Easements</u>. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements,
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

EIGHTYTWENTY REAL ESTATE HOLDINGS, LLC 5740 Prospect Avenue, Ste 2001 Dallas, Texas 75206

<del>-roject no.: н</del>SP 21134 Date: April 28, 2025 Drawn By:

# **FINAL PLAT**

G A REPLAT OF LOT 5, BLOCK A, HARBOR DISTRICT ADDITION

39,204 SQUARE FEET OR 0,900 ACRES

SITUATED IN THE M.J. BARKSDALE SURVEY, ABSTRACT NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

NFORMATION

SURVEYOR

TEAGUE NALL AND PERKINS, INC. 825 Watters Creek Boulevard, Suite M300 Allen, Texas 75013 214.461.9867 ph 214.461.9864 fx T.B.P.L.S. Registration No. 10194381 www.tnpinc.com

1.89

THE PURPOSE OF THIS REPLAT IS TO ADD AN ADDITIONAL 24' FIRELANE, PUBLIC ACCESS, DRAINAGE & UTILITY EASEMENT FOR LOT CROSS **ACCESS AS SHOWN** 

Scale: 1"=60' SHEET 1 of 1

CASE NO. (P

VICINITY MAP

EASEMENT LINE TABLE

LINE BEARING DISTANCE

L1 S 72°44'07" W 2.27'

L2 N 72°44'07" E 66.27'

L3

EASEMENT CURVE TABLE 
 CURVE
 RADIUS
 DELTA ANGLE
 ARC LENGTH
 CHORD BEARING
 CHORD LENGTH

 C1
 20.00'
 90°00'00"
 31.42'
 \$ 27°44'07" W
 28.28'

 C2
 44.00'
 90°00'00"
 69.12'
 N 62°15'53" W
 62.23'

HARBOR HEIGHTS DRIVE

HARBOR DISTRICT ADDITION INSTRUMENT NO. 20210000005570

LOT 6 BLOCK A

Include the latest

applicable general notes.

BOUNDARY LINE TABLE **BEARING** DISTANCE 32.37 N 74°49'50" E L2 S 14°20'24" W 57.31

L4 N 73°25'30" E 36.01 L5 N 16°31'03" W 49.47

S 49°36'39" E



# **DEVELOPMENT APPLICATION**

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

TAFF	USE	ONLY	•

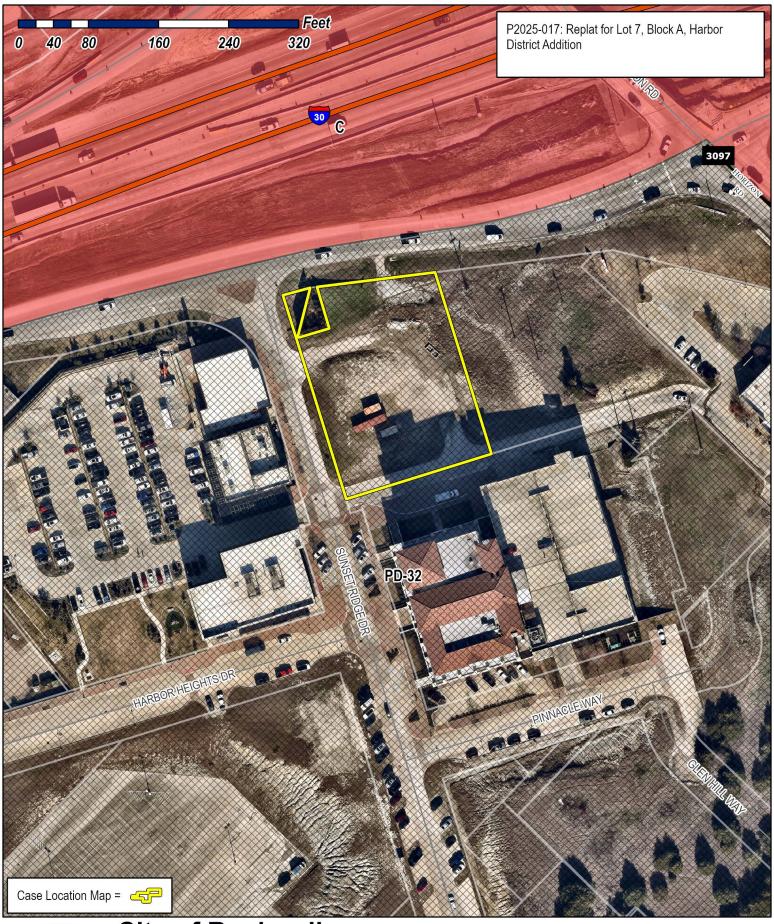
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

	APPROPRIATE BOX BELOW 1	O INDICATE THE TYPE OF	DEVELOPMENT REQU	JEST  SELECT	ONLY ONE BO	g	
☐ PRELIMINARY ☐ FINAL PLAT (\$ 300. ☐ AMENDING OR ☐ PLAT REINSTA  SITE PLAN APPLI ☐ SITE PLAN (\$28	(\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 300.00 + \$20.00 ACRE) 1 .00 + \$20.00 ACRE) 1 R MINOR PLAT (\$150.00) LITEMENT REQUEST (\$100.00)	ZONING APPLICA  ZONING CHAN  SPECIFIC USE  PD DEVELOPA  OTHER APPLICA  TREE REMOVA  VARIANCE REI  VARIANCE REI  NOTES:  IN DETERMINING THE PER ACRE AMOUNT. FC  A \$1,000.00 FEE WIL INVOLVES CONSTRUCT PERMIT.	GE (\$200.00 + \$ PERMIT (\$200. MENT PLANS (\$: TION FEES: AL (\$75.00) QUEST/SPECIA  FEE, PLEASE USE TO REQUESTS ON LE L BE ADDED TO TE	00 + \$15.00 ÅC 200.00 + \$15.00 L EXCEPTIONS THE EXACT ACREA SS THAN ONE ACRE HE APPLICATION F	O ACRE) 1  S (\$100.00) 2  SE WHEN MULTIPL E. ROUND UP TO OI TEE FOR ANY RE	NE (1) ACRE	
PROPERTY INFO	ORMATION [PLEASE PRINT]	BUT DUTKE DE	1875-00	TOTAL Y	D. 18.3	37 09	
ADDRES	s 2651 Sunset Ric	dge Drive, Rockwa	il, TX 75032				
SUBDIVISIO				LOT	7	BLOCK	Α
GENERAL LOCATIO	N Interstate 30 and	Sunset Ridge Drive					
ZONING, SITE P	LAN AND PLATTING IN		PRINTI				
CURRENT ZONING			CURRENT USE	N/A			113
PROPOSED ZONING	G PD-32		PROPOSED USE	Restau	rant		
ACREAG	E 0.9	LOTS [CURRENT]	1	LOTS	[PROPOSED]	1	
RESULT IN THE D	D PLATS: BY CHECKING THIS BU APPROVAL PROCESS, AND FAILU DENIAL OF YOUR CASE.  ANT/AGENT INFORMA	URE TO ADDRESS ANY OF ST	K THE PRIMARY CONTA	HE DATE PROVID CT/ORIGINAL SK	SNATURES ARE	REQUIRED]	ILENDAR WIL
OWNER DEPON	Etta Daniel		APPLICANT		Nall and	Perkins, I	nc.
CONTACT PERSON	Elias Pope		ONTACT PERSON		on Slown		
ADDRESS	2010 Greenville A	ve.	ADDRESS		atters Cre	ek Blvd.	
CITY, STATE & ZIP	Suite D		NTV OTATE O TIP		M300		
PHONE	Dallas, TX 75206		PHONE		TX 75013 89-5050	3	
E-MAIL	732-887-9699				n@tnpinc.	com	
NOTARY VERIFIC BEFORE ME, THE UNDER	elias@unco.com  CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DA ION ON THIS APPLICATION TO BE	AY PERSONALLY APPEARED _ TRUE AND CERTIFIED THE FO	Elias Pope	GSIUWI		THE UNDERS	IGNED, WHO
THEREBY CERTIFY THAT  S INFORMATION CONTAINS	I AM THE OWNER FOR THE PURPO. TO COVER THE COS	SE OF THIS APPLICATION ALL II ST OF THIS APPLICATION, HAS B G THIS APPLICATION, I AGREE TO THE BURNEY THE CONTROL	NFORMATION SUBMITTED EEN PAID TO THE CITY OF THAT THE CITY OF ROCK	WALL (I.E. "CITY")	IS AUTHORIZED		DAY OF
	AND SEAL OF OFFICE ON THIS TI		20 25		JACO Notary	WENTWORTH ID #13483695 Imitssion Expire	3
	OWNER'S SIGNATURE		2			rii 5, 2028	
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	Lev Jarob W	entworth	MY COMM	ISSION EXPIRES	04/05	12025





City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



# **LEGEND**

N.T.S. - NOT TO SCALE R.O.W. - RIGHT OF WAY INST. NO. - INSTRUMENT NUMBER CAB. - CABINET PG. - PAGE W.E. - WATER EASEMENT D.E. - DRAINAGE EASEMENT

**POINT OF** 

\_15' RCH W.S.C.

EASEMENT VOL. 64, PG. 215

**BEGINNING** 

D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS

FAULKNER INVESTMENT CO., LTD.

**VOLUME 1542, PAGE 296** 

D.R.R.C.T.

N=7014393.07

WOOD — MONUMENT

# NOTES:

- 1. BEARINGS AND COORDINATES ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202;NAD83(2011)EPOCH 2010) AND TIED TO THE CITY OF ROCKWALL GPS
- 2. UNLESS OTHERWISE NOTED ALL CORNERS ARE A 5/8 INCH IRON ROD SET WITH CAP STAMPED "R.P.L.S. 5430"
- 3. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 4. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT
- 5. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION. ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT. AS REQUIRED UNDER ORDINANCE 83-54.

# **OWNERS CERTIFICATE**

LOT 4 BLOCK A

HARBOR DISTRICT ADDITION

CAB. I, SLIDE 168

P.R.R.C.T.

10' T.X.U. EASEMENT

CAB. D, SLD. 245 P.R.R.C.T.

10' ONCOR ELEC. EASEMENT

STATE OF TEXAS COUNTY OF ROCKWALL}

WHEREAS, EightyTwenty Real Estate Holdings, LLC is the owner of a tract of land in the M.J. Barksdale Survey, Abstract No. 11, situated in the City of Rockwall, in Rockwall County, Texas, said tract being all of Lot 5, Block A, of the Replat of the Harbor District Addition, an addition to The City of Rockwall as recorded in Cabinet J, Slide 328, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for the northwest corner of said Lot 5, Block A, said point also lying on the southerly Right of Way of Interstate 30, (a variable width Right of Way) and the east line of Sunset Ridge Drive (a variable width Right of Way) dedicated by the Harbor District Addition, an addition to The City of Rockwall as recorded in Cabinet I, Slide 7, of the Plat Records of Rockwall County, Texas;

THENCE North 74 degrees 49 minutes 50 seconds East along the southerly Right of Way of said Interstate 30, a distance of 32.37 feet to a wood right-of-way monument found for the northwest corner of a remainder tract of land described by deed to Faulkner Investment Company, Ltd. Recorded in Volume 1542, Page 296 of the Deed Records of Rockwall County, Texas;

THENCE South 14 degrees 20 minutes 24 seconds West departing the southerly line of said Interstate 30 and along said Faulkner tract, a distance of 57.31 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 49 degrees 36 minutes 39 seconds East continuing along said Faulkner tract a distance of 1.89 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE North 73 degrees 25 minutes 30 seconds East continuing along said Faulkner tract a distance of 36.01 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE North 16 degrees 31 minutes 03 seconds West continuing along said Faulkner tract a distance of 49.47 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner lying on the aforementioned southerly line of Interstate 30;

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# SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE

PRELIMINARY, THIS DOCUMENT SHALL NOT BE **RECORDED FOR ANY PURPOSE AND SHALL NOT** BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. BRIAN J. MADDOX, R.P.L.S. NO. 5430

RECOMMENDED FOR FINAL APPROVAL

NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

# OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL}

I the undersigned owner of the land shown on this plat, and designated herein as the LOT 7, BLOCK A HARBOR DISTRICT ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings. fences. trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

7. Drainage/Detention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

EIGHTYTWENTY REAL ESTATE HOLDINGS, LLC	

Representative: STATE OF TEXAS} COUNTY OF ROCKWALL}

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged

to me that he executed the same for the purpose and consideration therein stated.

ven upon my hand and seal of office this _	day of	, 2025.

Notary Public in and for the State of Texas

My Commission Expires:

Giv

Planning and Zoning Commission	n	Date
APPROVED	nd foregoing plat of an addition to th	e City of Rockwall, Texas, was approved by the
	all on the day of	
This approval shall be invalid up		
	less the approved plat for such addi one hundred eighty (180) days from	tion is recorded in the office of the County Clerk of said date of final approval.
	one hundred eighty (180) days from	said date of final approval.

# **FINAL PLAT** LOT 7, BLOCK A, HARBOR DISTRICT ADDITION

BEING A REPLAT OF LOT 5, BLOCK A, HARBOR DISTRICT ADDITION

# 39,204 SQUARE FEET OR 0.900 ACRES

SITUATED IN THE

M.J. BARKSDALE SURVEY, ABSTRACT NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

# **OWNER**

THE PURPOSE OF THIS REPLAT IS TO ADD AN ADDITIONAL 24' FIRELANE, PUBLIC ACCESS, DRAINAGE & UTILITY EASEMENT FOR LOT CROSS **ACCESS AS SHOWN** 

# PROJECT INFORMATION Project No.: HSP 21134

JM

Date: April 28, 2025 Drawn By: Scale: 1"=60' SHEET 1 of 1

**SURVEYOR** 

TEAGUE NALL AND PERKINS, INC. 825 Watters Creek Boulevard, Suite M300 Allen, Texas 75013 214.461.9867 ph 214.461.9864 fx T.B.P.L.S. Registration No. 10194381 www.tnpinc.com

# 36.01 L5 N 16°31'03" W 49.47 EASEMENT CURVE TABLE CURVE RADIUS DELTA ANGLE ARC LENGTH CHORD BEARING CHORD LENGTH C1 20.00' 90°00'00" 31.42' \$ 27°44'07" W 28.28' C2 44.00' 90°00'00" 69.12' N 62°15'53" W 62.23'

LOT 2 BLOCK B HARBOR DISTRICT ADDITION INSTRUMENT NO. 20200000019318 O.P.R.R.C.T.

INTERSTATE 30

(VARIABLE WIDTH R.O.W.)

N 82°55'59" E 135.87

LOT 7, BLOCK A

39,204 SQUARE FEET

0.900 ACRES

LOT 6 BLOCK A HARBOR DISTRICT ADDITION INSTRUMENT NO. 20210000005570

HARBOR HEIGHTS DRIVE

VICINITY MAP

EASEMENT LINE TABLE
LINE BEARING DISTANCE
L1 S 72°44'07" W 2.27'

N 74°49'50" E L2 S 14°20'24" W L3 S 49°36'39" E N 73°25'30" E L4

BOUNDARY LINE TABLE

DISTANCE 32.37

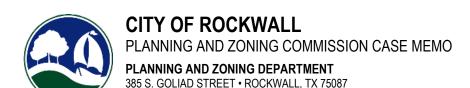
57.31

1.89

**BEARING** 

EIGHTYTWENTY REAL ESTATE HOLDINGS, LLC 5740 Prospect Avenue, Ste 2001

Dallas, Texas 75206 CASE NO. (P



**TO:** Planning and Zoning Commission

**DATE:** May 27, 2025

**APPLICANT:** Jimmy Stohmeyer; *Strohmeyer Architects, Inc.* 

**CASE NUMBER:** SP2025-014: Site Plan for 2351 Harbor Heights Drive

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

# **SUMMARY**

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a <u>Site Plan</u> for a <u>Retail/Office Building</u> on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

# **BACKGROUND**

The subject property was annexed into the city on September 5, 1960 by Ordinance No. 60-02 [Case No. A1960-002]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between September 5, 1960 and January 3, 1972, the zoning changed from an Agricultural (AG) District to a Commercial (C) District. On September 20, 2010, the City Council passed Ordinance No. 10-21 [Planned Development District 32 (PD-32)], which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as PD-32 or the Harbor District. Within the approved concept plan, PD-32 was divided into ten (10) subdistricts that contained individual development and land use standards. On November 17, 2014, the City Council adopted Ordinance No. 14-51, which contained a PD Development Plan for a 2.893-acre tract of land located in the Hillside Subdistrict (i.e. the subject property). This PD Development Plan showed a series of buildings would be constructed along Harbor Heights Drive and Sunset Ridge Drive in conformance to the requirements of Ordinance No. 10-21. With the approval of Ordinance No. 14-51, the City Council also approved waivers to the building placement requirements and pedestrian access requirements to allow retaining walls ranging from seven (7) to nine (9) feet in height to be established along Harbor Heights Drive. The approval of these walls was tied to building elevations submitted by the applicant and which were tied down as a part of the City Council's approval. On May 1, 2017, the City Council adopted Ordinance No. 17-22, which amended Ordinance No. 10-21 to update various exhibits in the ordinance; however, no changes were made to the requirements of the Hillside Subdistrict or for the subject property.

On May 15, 2019, the applicant -- *Jimmy Strohmeyer of Strohmeyer Architects, Inc.* -- submitted an application requesting to amend *Ordinance No. 14-51* to change the PD Development Plan approved for the subject property (*i.e. Case No. Z2019-013*). The new PD Development Plan showed additional buildings being added along Sunset Ridge Drive and a central green space being incorporated adjacent to Harbor Heights Drive. This request was approved on July 1, 2019 by *Ordinance No. 19-25*. On September 10, 2019, the Planning and Zoning Commission approved a site plan [*SP2019-033*] for a retail and restaurant development on the subject property, which included all areas with the exception of the subject property. On May 9, 2023, the Planning and Zoning Commission approved a Site Plan [*SP2023-015*] for a retail and restaurant development on a portion of the subject property. Currently existing on the subject property are three (3) buildings; a 5,530 SF *restaurant*, a 5,000 SF *restaurant*, and a 17,204 SF *office/retail* building.

# **PURPOSE**

The applicant -- Jimmy Strohmeyer of Strohmeyer Architects, Inc.-- is requesting the approval of a <u>Site Plan</u> for a Restaurant with 2,000 SF or more without Drive-Through or Drive-in on the subject property.

# ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2351 Harbor Heights Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the eastbound frontage road for IH-30, followed by the main lanes of IH-30, and the westbound frontage road for IH-30. IH-30 is identified as a TXDOT 6D (i.e. Texas Department of Transportation, six (6) lane, principal arterial roadway).

<u>South</u>: Directly south of the subject property is Harbor Heights Drive, which is classified as a <u>Street Type 'D'</u> according to Planned Development District 32 (PD-32) [Ordinance No. 17-22] which is defined as "...a primary connector to the existing harbor development with adjacent subdistricts". Beyond this is a 6.1978-acre tract of land owned by the City of Rockwall, and which currently has a parking lot that serves the greater <u>Harbor District</u>. This property is zoned Planned Development District 32 (PD-32) and is located within the <u>Hillside Mixed-Use Subdistrict</u>.

East: Directly east of the subject property is Sunset Ridge Drive, which is identified as a Street Type 'B' and 'E' according to Planned Development District 32 (PD-32) [Ordinance No. 17-22]. East of this roadway is a 0.900-acre parcel of land (i.e. lot 5, block A, Harbor District Addition), which is currently vacant but was approved for a site plan on April 13, 2021 (SP2021-005) and again on February 25, 2025 (SP2025-005) for a restaurant on the subject property. This property is zoned Planned Development District 32 (PD-32) and is located within the Summit Mixed-Use Subdistrict.

<u>West</u>: Directly west of the subject property is a 0.2930-acre tract of land (*i.e. Tract 17*, of the M.J. Barksdale Survey, Abstract No. 11) zoned Planned Development District 32 (PD-32) and is located within the Hillside Subdistrict. Beyond this is a restaurant (*i.e. Culpepper Steakhouse*), which is situated on a 1.40-acre parcel of land that is located within the Hillside Subdistrict. Beyond this is Shoreline Trial, which is identified as a Street Type 'A' according to Planned Development District 32 (PD-32) [Ordinance No. 17-22], which is defined as "...a primary entry in to the Harbor District from the Eastbound Interstate 30 off ramp." Beyond this is a restaurant (*i.e. the Oar House*), which is situated on a 0.65-acre parcel of land that is located within the Freeway Frontage Subdistrict.

# **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Exhibit D, Subdistrict Land Use Chart, of Planned Development District 32 (PD-32) [Ordinance No. 10-21], a Restaurant with 2,000 SF or more without Drive-Through or Drive-In is permitted by-right within the Hillside Subdistrict of Planned Development District 32 (PD-32). With the exception of the variances being requested, the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the PD Development Plan approved with Ordinance No. 19-25, the design guidelines contained in Resolution No. 10-40, the technical requirements contained within Ordinance No. 17-22, and the UDC for a property located within the Hillside Subdistrict of Planned Development District 32 (PD-32). A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Build-To-Line (Distance from ROW Line)	8' (Harbor Heights Drive) 4' (Sunset Ridge Drive)	Approved Per Ord. 19-25; In Conformance
Minimum Setback from ROW	250' (IH-30 Frontage Road) 5' (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
Minimum Building Façade along ROW	85% (Harbor Heights) 100% (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
Maximum Lot Coverage	30%	27.9%; In Conformance
Maximum Building Height	2 Stories or 35'	X=22'; In Conformance
Surface Parking Setbacks	10'	X>10'; In Conformance
Surface Parking	100% <mark>1</mark>	100%; In Conformance
Minimum Pedestrian Ways	2	2; In Conformance
Minimum Stone Requirement	20%	X>20%; In Conformance

### NOTES:

<sup>1:</sup> PARKING WAS ESTABLISHED THROUGH THE APPROVAL OF THE SITE PLAN [SP2019-033], THE DEVELOPER PROVIDED A SHARED PARKING CALCULATION FOR RETAIL, RESTAURANT, AND OFFICE PARKING.

# **CONFORMANCE WITH THE CITY'S CODES**

Planned Development District 32 (PD-32) [Ordinance No. 17-22], provides flexibility in order to create high quality projects for the *Harbor District*. Non-residentially zoned projects are to generally conform to the Commercial (C) District standards. In this case, the subject property is located in the *HIllside Subdistrict* and is within the IH-30 Overlay (IH-30 OV) District, which is more restrictive than the *Design Guidelines* [Resolution No. 10-40] required by PD-32. With this being said, the standards of the IH-30 OV (i.e. Subsection 06.02, Art. 05, UDC) shall apply to the development of the subject property. The *Hillside Subdistrict* is intended to provide a cluster of restaurant anchors that contribute to the creation of a vibrant, pedestrian oriented character within the *Harbor District*. This district also takes advantage of existing slopes, which adds to the characteristics of the *Hilliside Subdistrict*. In this case, the applicant's proposal is adjacent to the IH-30 Frontage Road and is accessible from Sunset Ridge Drive. Additionally, by virtue of being in Planned Development District 32 (PD-32) and generally conforming to *Ordinance No.* 19-25, the proposed site plan appears to be in conformance to the majority of the requirements intended for properties within the *Hillside Subdistrict*.

# **VARIANCES BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance:

# Variances:

- (1) <u>Primary Building Facades.</u> According to Subsection 04.01(C)(1) of Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property." In this case the PD Development Plan recorded in *Ordinance No. 19-25 also states that*, "(a)ll buildings throughout the development shall be constructed with a consistent design scheme, incorporate four (4) sided architecture that creates a dual entry appearance". The applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations, the applicant does not meet the wall projection requirements. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)|| structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building does not meet this standard; however, this is not atypical for buildings situated within the IH-30 corridor, and the proposed building matches the existing development on the remainder of the subject property. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (3) <u>Parking Requirements.</u> According to Subsection 03.03 (B), *Joint Use of Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), (p)arking adjustments may be allowed according to the following percentages by time of day:

TABLE 1: JOINT USE OF PARKING CALCULATIONS

TIME OF DAY	OFFICE	RETAIL	RESTAURANT	THEATER	HOTEL
6:00 AM - 12:00 PM	1.00	0.97	0.50	0.30	1.00
12:00 PM - 1:00PM	0.90	1.00	0.70	0.70	0.30
1:00 PM - 4:00 PM	0.97	0.97	0.60	0.70	0.45
4:00 PM - 6:00 PM	0.47	0.82	0.90	0.80	0.70
6:00 PM - 8:00 PM	0.07	0.89	1.00	1.00	1.00
8:00 PM - 12:00 AM	0.03	0.61	1.00	1.00	1.00

Staff has provided a shared parking requirement table in the attached packet that outlines the required parking for the development based on the current and proposed land uses. In this case, the applicant is required 186 parking spaces at peak time; however, the applicant has only provided 142 parking spaces throughout the development. The original zoning request allocated 19 city parking spaces from the *Trend Tower Parking Garage* for the development. With these parking spaces, the development is still deficient 25 parking spaces. To remedy this deficiency, the applicant has indicated that they will be providing a stairwell to the City of Rockwall parking lot on a 6.1978-acre tract of land which serves the greater *Harbor District* as depicted on the proposed Site Plan. Staff should point out that the proposed stairwell will have benefit to not just the subject property, but also the surrounding properties and appears to be a good compensatory measure to account for the parking deficiency.

According to Subsection 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] to construct a stairway down to the City of Rockwall parking lot south of the development, [2] to construct a sidewalk and curb ramps along the city parking lot, and [3] provide additional landscaping. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

# **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

By virtue of being in Planned Development District 32 (PD-32), generally conforming to *Ordinance No. 17-22* and the approved PD Development Plan (*i.e. Ordinance No. 19-25*), the proposed site plan conforms to the majority of the district strategies intended for properties in the *Harbor District* as stipulated by the *Land Use Plan* outlined in the OURHometown Vision 2040 Comprehensive Plan.

# ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 29, 2025, the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant on April 17, 2025 and recommended that the applicant provide an awning on the west elevation and provide a similar rust colored brick to other buildings on the subject property. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the *May 13, 2025* Planning and Zoning Commission meeting.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of a *Restaurant with* 2,000 SF or more without Drive-Through or Drive-in on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The proposed stairwell, ramps, and sidewalk will be required to be constructed prior to a Certificate of Occupancy being issued for the proposed building on the subject property.

(3)	Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified
,	Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

# **DEVELOPMENT APPLICATION**

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

- STAFF USE ONLY -

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

		Rockwall, Texas 75007		CITY	ENGINEER:			
P	LEASE CHECK THE API	PROPRIATE BOX BELOW TO INDICATE TH	E TYPE OF D	EVELOPMENT REG	UEST [SELECT	ONLY ONE B	OXJ:	
	☐ PRELIMINARY PLA ☐ FINAL PLAT (\$300. ☐ REPLAT (\$300.00 - ☐ AMENDING OR MII ☐ PLAT REINSTATE  SITE PLAN APPLICA  X SITE PLAN (\$250.0	00.00 + \$15.00 ACRE) 1 NT (\$200.00 + \$15.00 ACRE) 1 00 + \$20.00 ACRE) 1 + \$20.00 ACRE) 1 NOR PLAT (\$150.00) MENT REQUEST (\$100.00)	100.00)	ZONING APPLICA  ZONING CHA  SPECIFIC US  PD DEVELOP  OTHER APPLICA  TREE REMON  VARIANCE RI  NOTES:  NOTES:  NOTES:  NOTES AMOUNT. IS  A \$1,000.00 FEE WI  INVOLVES CONSTRUCTED	NGE (\$200.00 + E PERMIT (\$200 MENT PLANS (\$ ATION FEES: /AL (\$75.00) EQUEST/SPECI. HE FEE, PLEASE USE FOR REQUESTS ON L VILL BE ADDED TO	0.00 + \$15.00 A 0.00 + \$15.00 AL EXCEPTION THE EXACT ACRE ESS THAN ONE ACRE THE APPLICATION	ACRE) 1 & 2 00 ACRE) 1 NS (\$100.00) 2 FAGE WHEN MULTIPLY IRE, ROUND UP TO ON	E (1) ACRE. UEST THAT
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	ADDRESS	2600 SUNSET RIDGE						
	SUBDIVISION	HARBOR DISTRICT ADDITION			LOT	2	BLOCK	В
į	GENERAL LOCATION							
Z	ONING, SITE PLA	N AND PLATTING INFORMATIO	N [PLEASE P	RINT]				
	CURRENT ZONING	PD-32		CURRENT USE	RESTAU	RANT/RET	AIL/OFFICE	
	PROPOSED ZONING	PD-32		PROPOSED USE	RESTAU	RANT/RET	AIL/OFFICE	
	ACREAGE	2.893 ACRES LOTS [	CURRENT]	2	LOT	S [PROPOSEI	0]	
-		LATS: BY CHECKING THIS BOX YOU ACKNOW PROVAL PROCESS, AND FAILURE TO ADDRES WAL OF YOUR CASE.						
0	WNER/APPLICAN	NT/AGENT INFORMATION [PLEASI	E PRINT/CHEC	K THE PRIMARY CON	TACT/ORIGINAL S	GIGNATURES A	RE REQUIRED]	
	☐ OWNER	HH RETAIL CENTER, LP		X APPLICANT	STROHME	YER ARCH	IITECTS INC.	
C	CONTACT PERSON	DAN BOBST	CC	ONTACT PERSON	JIMMY ST	ROHMEYE	7	
	ADDRESS	2701 SUNSET RIDGE., STE 61	0	ADDRESS	2701 SUNS	SET RIDGE	., STE 601	
	CITY, STATE & ZIP	ROCKWALL, TX, 75032	С	ITY, STATE & ZIP	ROCKWAL	L, TX, 750	32	
	PHONE	214-553-5505		PHONE	214-497-20	57		
	E-MAIL	DWBOBST@TRENDHR.COM		E-MAIL	JIMMY@S	TROHMEY	ERARCHITE	CTS.COM
BE		ATION [REQUIRED] GNED AUTHORITY, ON THIS DAY PERSONALLY I ON THIS APPLICATION TO BE TRUE AND CER		Daniel OLLOWING:	W Bob	5+ [OWNE	R] THE UNDERS	igned, who
\$_  N	FORMATION CONTAINED	M THE OWNER FOR THE PURPOSE OF THIS APPL , TO COVER THE COST OF THIS APPLICAT , 20 <b>26</b> BY SIGNING THIS APPLICAT WITHIN THIS APPLICATION TO THE PUBLIC. T N WITH THIS APPLICATION, IF SUCH REPRODUCT	CATION, HAS BE TION, I AGREE T THE CITY IS ALS	EEN PAID TO THE CITY THAT THE CITY OF RO SO AUTHORIZED AND	OF ROCKWALL O CKWALL (I.E. "CIT" PERMITTED TO	N THIS THE (") IS AUTHORIZ REPRODUCE AI	ED AND PERMITTED NY COPYRIGHTED	DAY O
Gi	IVEN UNDER MY HAND AN	ID SEAL OF OFFICE ON THIS THE	OF Apri	1 20 <u>2 F</u>	2		MARLENA BROY Notary ID #1350 My Commission E	30641 F Expires
		OWNER'S SIGNATURE	110 11 11	1 15 1 -41		1 205	August 7 20	126 %

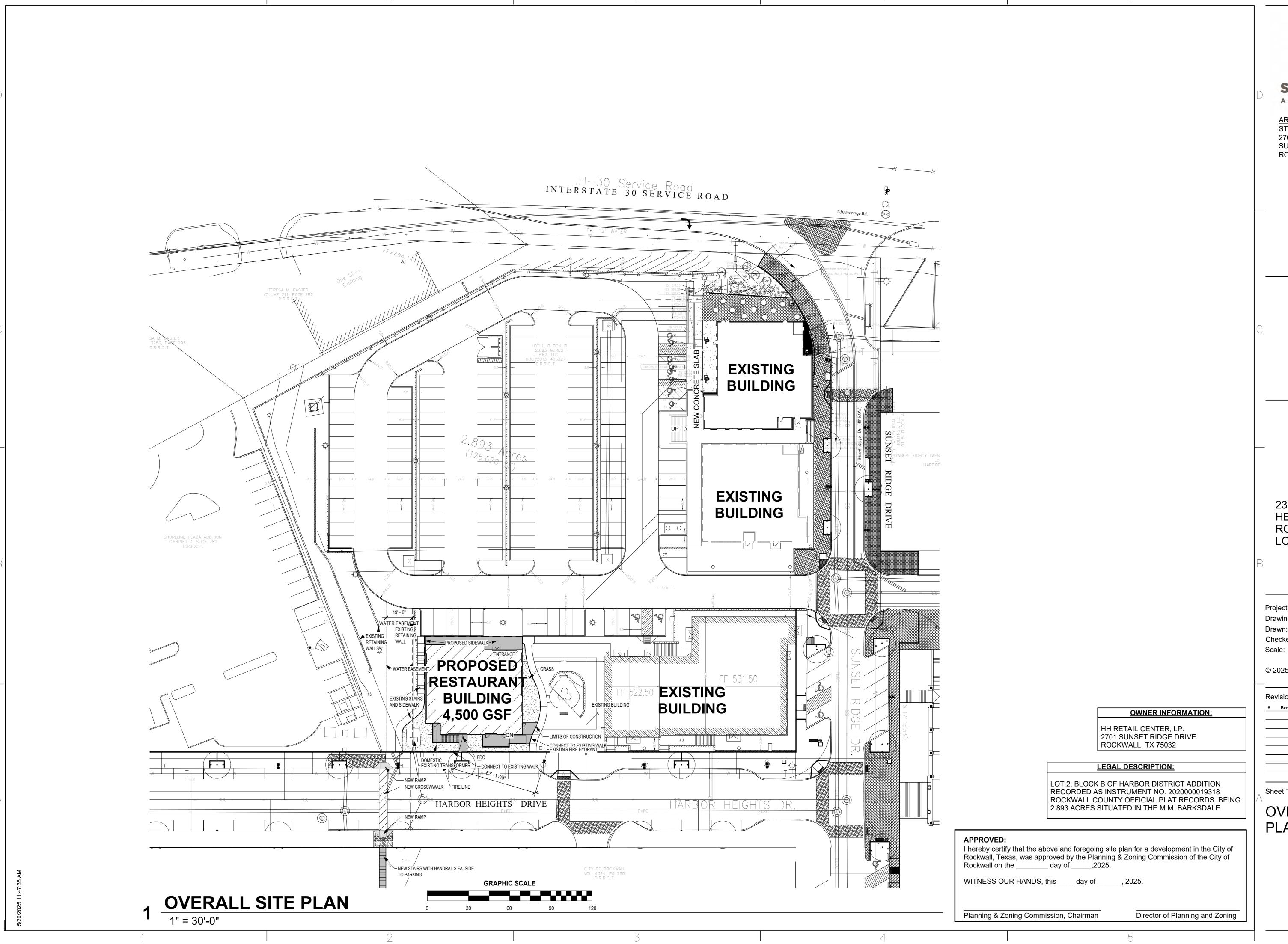




City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**STROHMEYER** ARCHITECTS INC.

**ARCHITECT** STROHMEYER ARCHITECTS, INC. 2701 SUNSET RIDGE DR. SUITE 601 ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR** CONSTRUCTION **PERMITTING OR REGULATORY APPROVAL** 

# HARBOR HEIGHTS BLDG. #4

2351 HARBOR HEIGHTS DR. ROCKWALL, TX 75032 LOT 2, BLOCK B

Project Number: 52411 Drawing Date: 4.20.2025 PC Drawn: Checked: JS As indicated

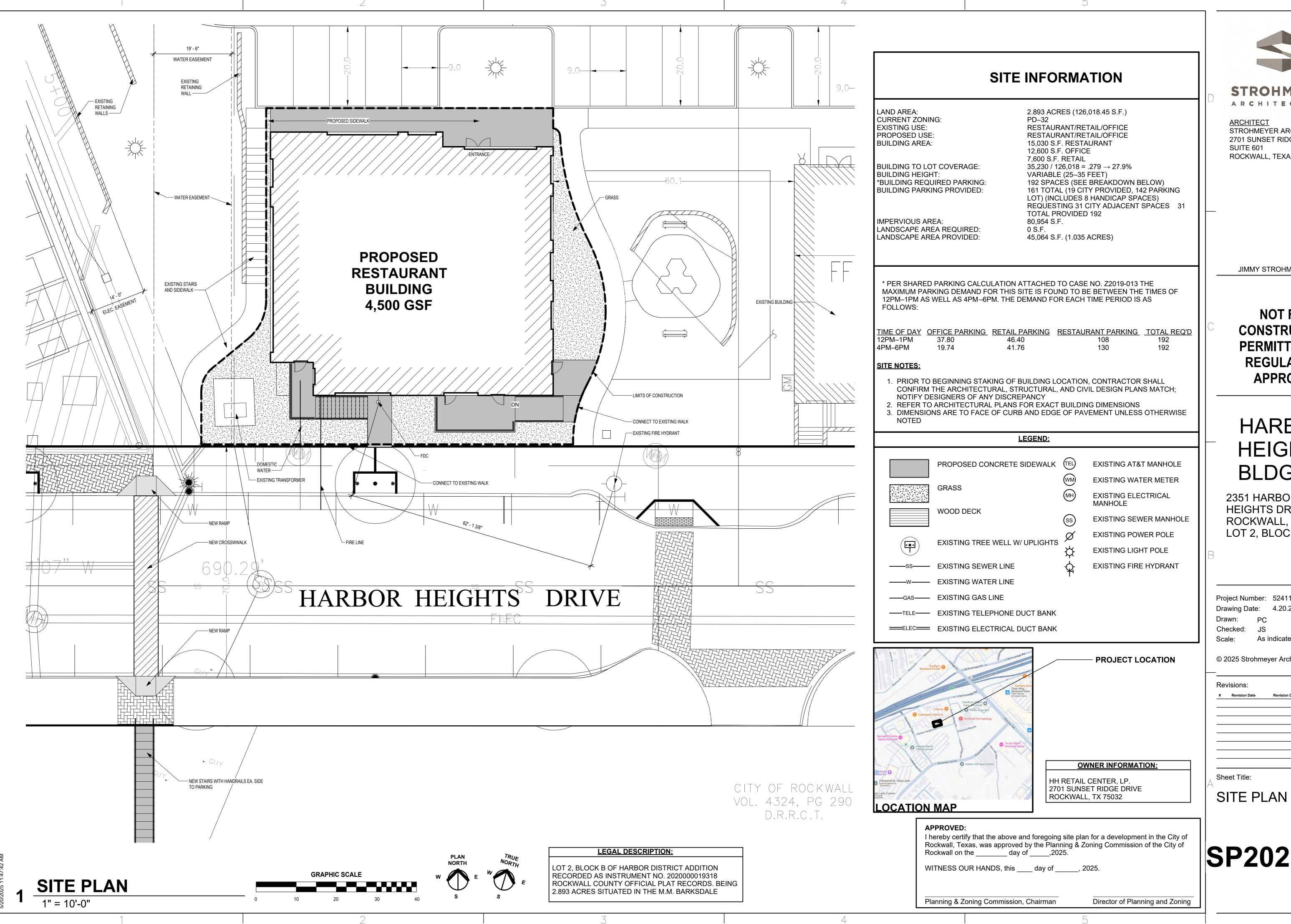
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Re	visions:		
#	Revision Date	Revision Description	

Sheet Title:

OVERALL SITE PLAN

A100



**STROHMEYER** 

<u>ARCHITECT</u> STROHMEYER ARCHITECTS, INC. 2701 SUNSET RIDGE DR. SUITE 601 ROCKWALL, TEXAS 75032

ARCHITECTS INC.

JIMMY STROHMEYER, AIA

NOT FOR CONSTRUCTION **PERMITTING OR REGULATORY APPROVAL** 

# **HARBOR HEIGHTS** BLDG. #4

2351 HARBOR HEIGHTS DR. ROCKWALL, TX 75032 LOT 2, BLOCK B

Project Number: 52411 Drawing Date: 4.20.2025 Checked: JS

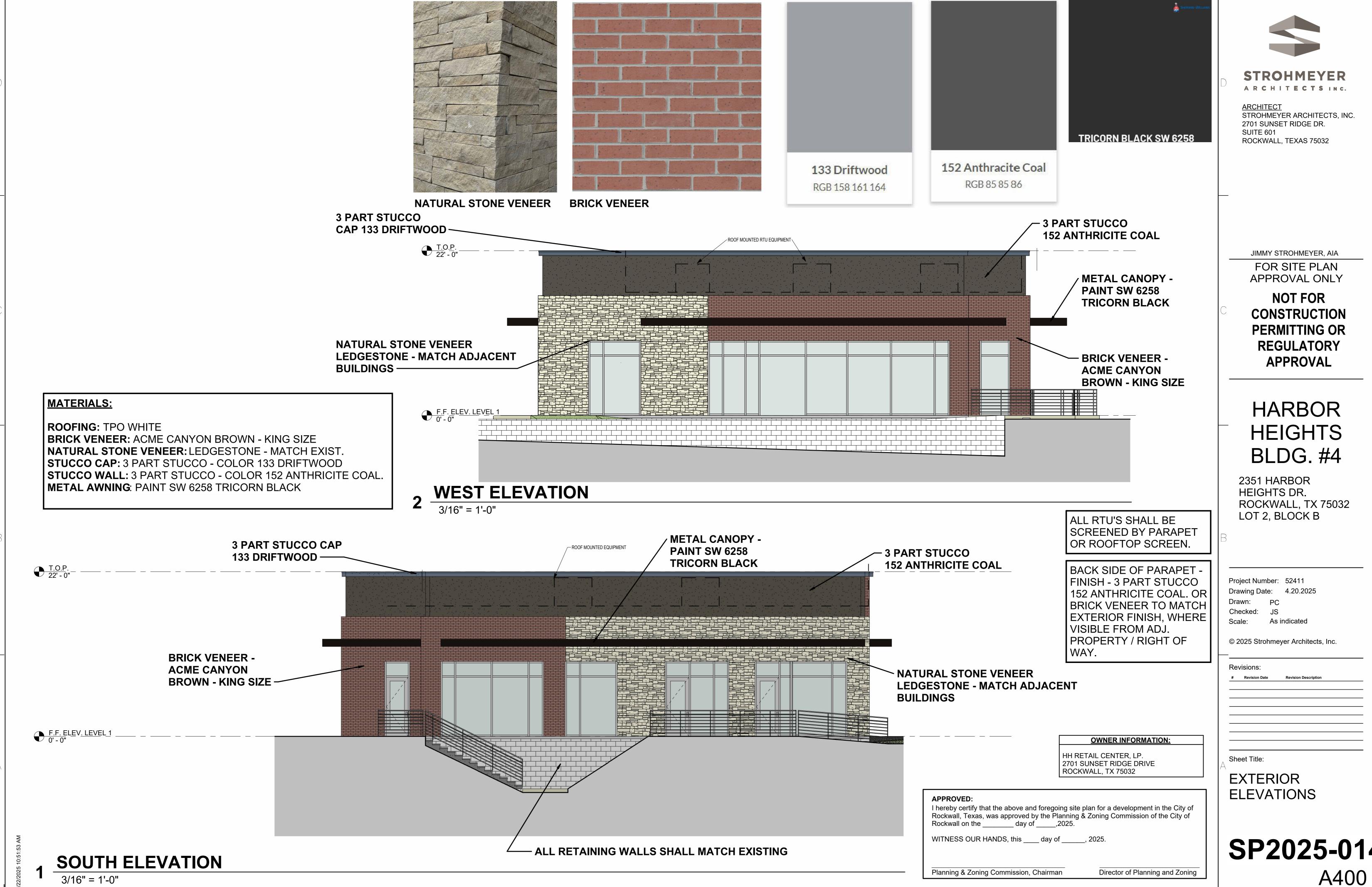
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As indicated

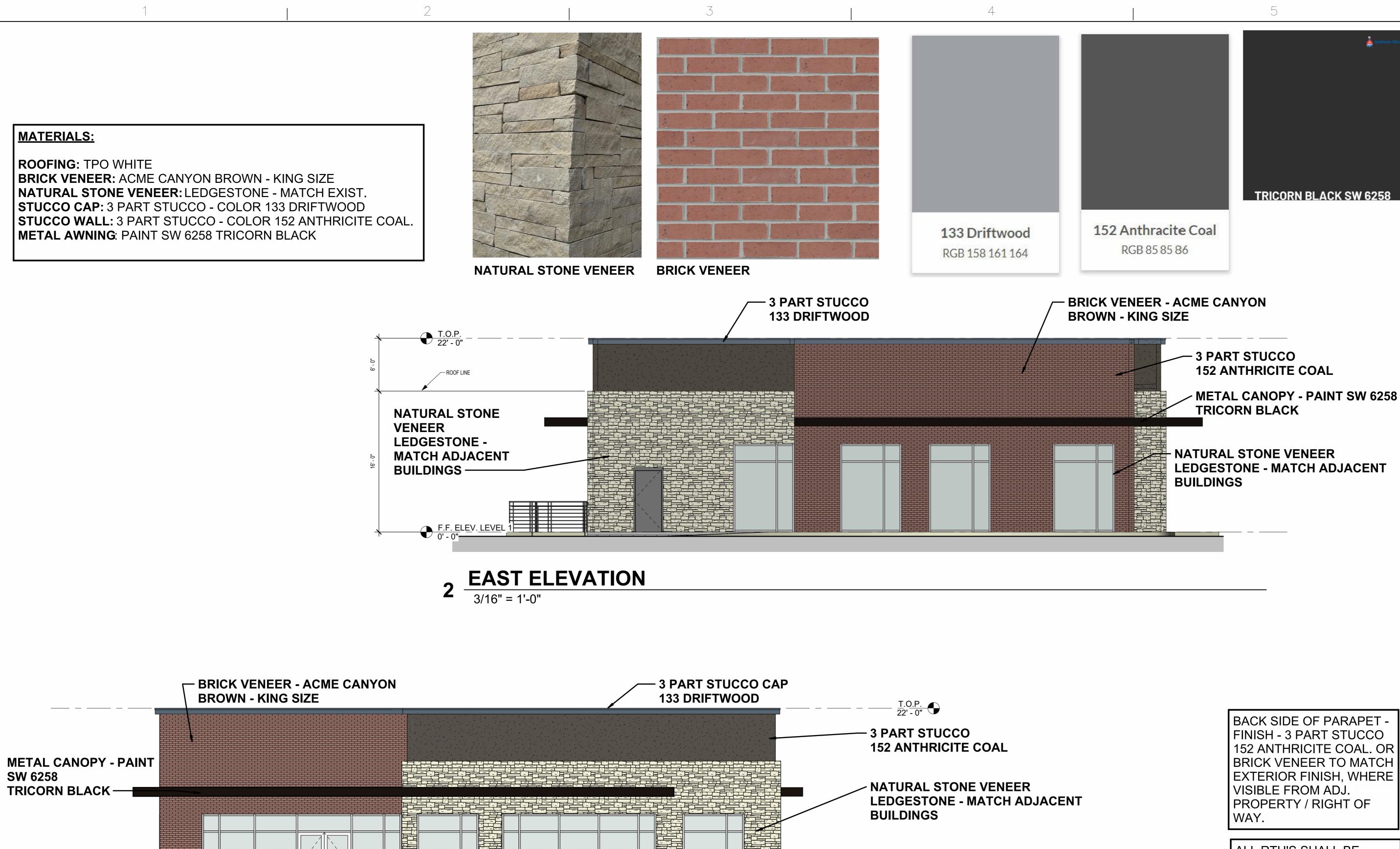
#	Revision Date	Revision Description	
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SP2025-014

A101



SP2025-014



BACK SIDE OF PARAPET -FINISH - 3 PART STUCCO 152 ANTHRICITE COAL. OR BRICK VENEER TO MATCH EXTERIOR FINISH, WHERE VISIBLE FROM ADJ. PROPERTY / RIGHT OF

ALL RTU'S SHALL BE SCREENED BY PARAPET OR ROOFTOP SCREEN.

# OWNER INFORMATION:

HH RETAIL CENTER, LP. 2701 SUNSET RIDGE DRIVE ROCKWALL, TX 75032

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_,2025.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**STROHMEYER** ARCHITECTS INC.

**ARCHITECT** STROHMEYER ARCHITECTS, INC. 2701 SUNSET RIDGE DR. SUITE 601 ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN APPROVAL ONLY

NOT FOR CONSTRUCTION **PERMITTING OR REGULATORY APPROVAL** 

# HARBOR HEIGHTS BLDG. #4

2351 HARBOR HEIGHTS DR. ROCKWALL, TX 75032 LOT 2, BLOCK B

Project Number: 52411 Drawing Date: 4.20.2025 Author Checker Checked: As indicated

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Revisions:

Sheet Title:

**EXTERIOR ELEVATIONS** 

SP2025-014

A401

**NORTH ELEVATION** 3/16" = 1'-0"

F.F. ELEV. LEVEL 1 0' - 0"

SIDEWALK CONN -10' - 0"

✓ ALL RETAINING WALLS SHALL BE STONE

**AND MATCH EXISTING** 





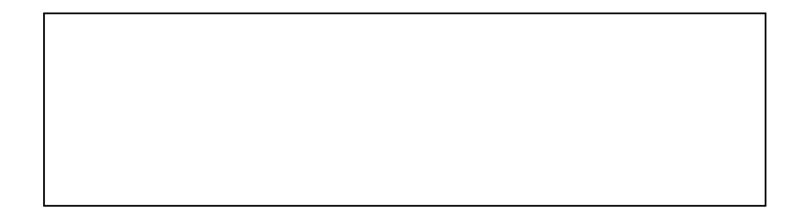




152 Anthracite Coal RGB 85 85 86

**3 PART STUCCO** 

**NATURAL STONE VENEER** 



**BRICK VENEER** 

HARBOR HEIGHTS BLDG. #4





2.893 ACRES (126,018.45 S.F.)

RESTAURANT/RETAIL/OFFICE

RESTAURANT/RETAIL/OFFICE

7,600 S.F. RETAIL 35,230 / 126,018 = .279 → 27.9%

192 SPACES (SEE BREAKDOWN BELOW)

161 TOTAL (19 CITY PROVIDED, 142 PARKING

15,030 S.F. RESTAURANT

VARIABLE (25–35 FEET)

TOTAL PROVIDED 192

45,064 S.F. (1.035 ACRES)

80,954 S.F.

0 S.F.

12,600 S.F. OFFICE

## PLANTER POT EXAMPLE

PD-32

# SITE INFORMATION

LAND AREA: **CURRENT ZONING:** EXISTING USE: PROPOSED USE: **BUILDING AREA:** 

BUILDING TO LOT COVERAGE:

**BUILDING HEIGHT:** \*BUILDING REQUIRED PARKING: BUILDING PARKING PROVIDED: LOT) (INCLUDES 8 HANDICAP SPACES) REQUESTING 31 CITY ADJACENT SPACES 31

IMPERVIOUS AREA:

LANDSCAPE AREA REQUIRED: LANDSCAPE AREA PROVIDED:

(A) General Irrigation Requirements.

The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall: (1) Provide a moisture level in an amount and frequency adequate

to sustain growth of the plant materials on a permanent basis.

(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).

(3) Be maintained and kept operational at all times to provide for

**LANDSCAPING NOTE:** 

efficient water distribution.

TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

## **OWNER INFORMATION:**

HH RETAIL CENTER, LP. 2701 SUNSET RIDGE DRIVE ROCKWALL, TX 75032

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_,2025.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



<u>ARCHITECT</u> STROHMEYER ARCHITECTS, INC. 2701 SUNSET RIDGE DR. SUITE 601 ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN APPROVAL ONLY

NOT FOR CONSTRUCTION **PERMITTING OR REGULATORY APPROVAL** 

# HARBOR HEIGHTS BLDG. #4

2351 HARBOR HEIGHTS DR. ROCKWALL, TX 75032 LOT 2, BLOCK B

Project Number: 52411 Drawing Date: 4.20.2025 Drawn: Checked: JS

Scale:

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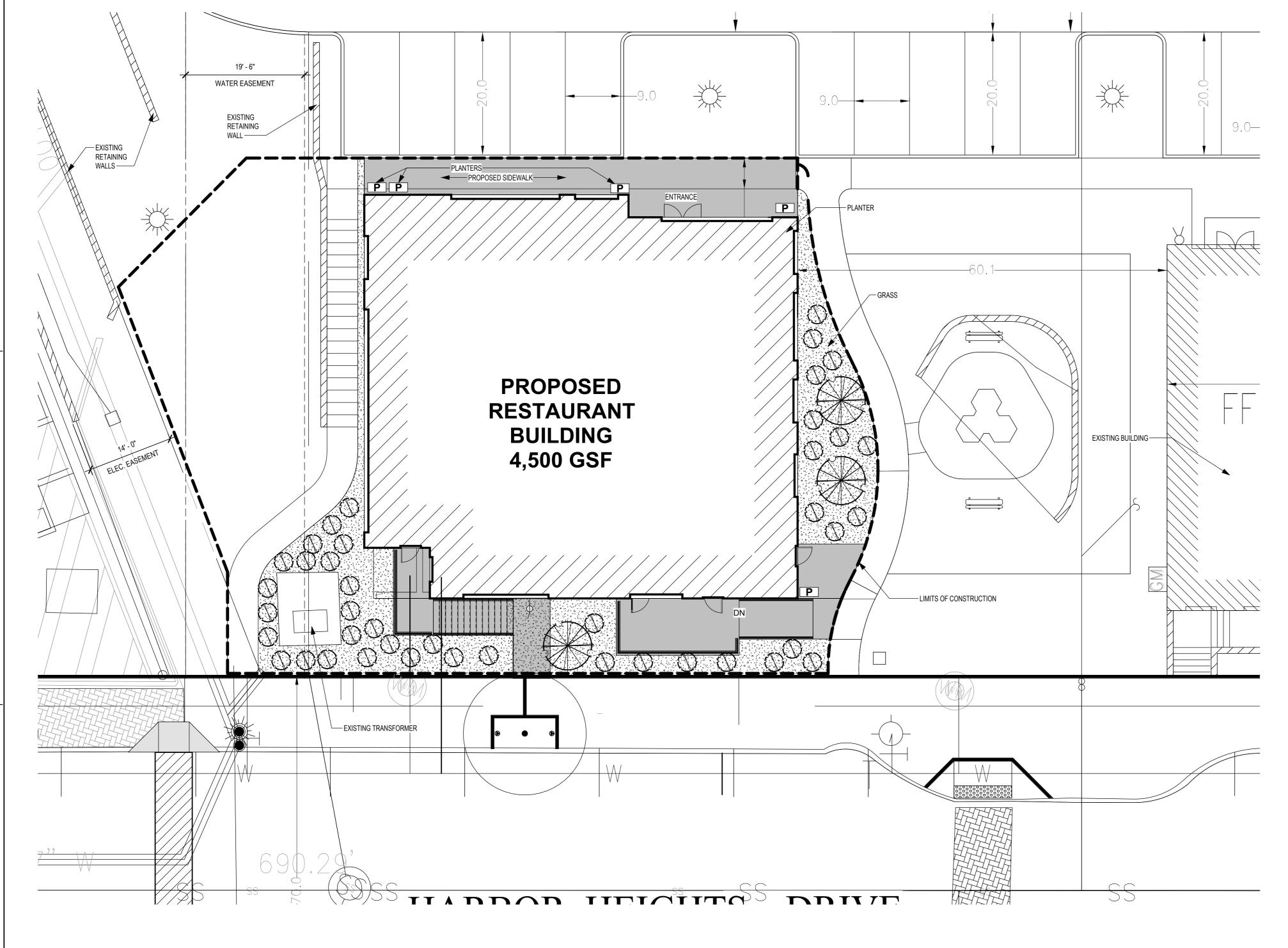
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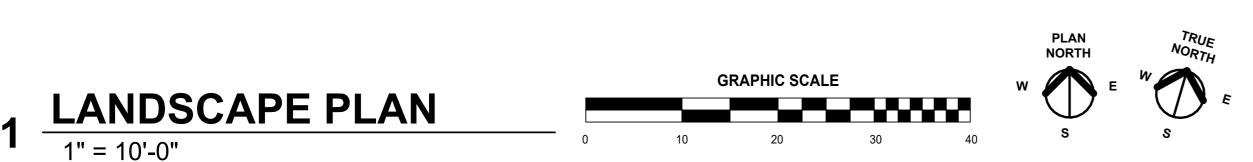
Revisions:						
#	Revision Date	Revision Description				
She	eet Title:					

LANDSCAPE PLAN

SP2025-014

A102





# LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 2020000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.M. BARKSDALE

GENERAL NOTES SITE LIGHTING LUMINAIRE SCHEDULE REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES. MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS. VOLTS ARRANGEMENT INSTALLATION MANUFACTURER REMARKS NO. TYPE TOTAL FIXT WATTS MODEL# PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL. HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES. **STROHMEYER** COOPER EATON IST-AF-600-LED-E1-SL2 WP OVER-DOOR LED OUTDOOR EGRESS LED'S 33.4 W LED UNIV AND SECURITY LIGHT 4045 LUMENS ARCHITECTS INC. WITH CUT OFF SHEILDING ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED. LED'S UNIV ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES. WPE OVER-DOOR LED OUTDOOR EGRESS COOPER EATON IST-AF-600-LED-E1-SL2-BBB 1,3 EMERGENCY AND SECURITY LIGHT 4045 LUMENS MOUNT ARCHITECT STROHMEYER ARCHITECTS, INC. WITH CUT OFF SHEILDING EMERGENCY BATTERY ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS. 2701 SUNSET RIDGE DR. P1 SITE AND PARKING LIGHT POLE LED'S 113 W UNIV SINGLE POLE GLEON-AF-02-LED-E1-SL4-HSS SUITE 601 CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS. ROCKWALL, TEXAS 75032 GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON 8. CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAT 0.2 FC. LED'S UNIV P2 SITE AND PARKING LIGHT POLE 113 W SINGLE POLE GLEON-AF-02-LED-E1-SWQ MOUNT PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP. GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON 10. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL. HES ENGINEERS 2626 COLE AVENUE NOTES:
1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA. KEYED NOTES DESIGNATED BY "01" 2. REFER TO DETAIL SHEET FOR CONCRETE BASE. SUITE 300 3. FINISHES BY ARCHITECT. 1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL. DALLAS, TEXAS 75204 4. PROVIDE 3 FT ROUND CONCRETE BASES. 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET. CIVIL FC CUNY CORPORATION 6. CUT OFF OF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES. LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING #2 HORIZON COURT SUITE 500 HEATH, TEXAS 75032 STRUCTURAL DFW STRUCTURAL CONSULTING, INC. 12575 MILL RUN DRIVE FRISCO, TEXAS 75035 **PERMIT** HARBOR HEIGHTS RESTAURANT & RETAIL BUILDING D **ROCKWALL, TEXAS PROPOSED RESTAURANT BUILDING** 4,500 GSF Project Number: 82401 LIT BOUNDARY Drawing Date: 03.24.25 Checked: © 2024 Strohmeyer Architects, Inc. PROPERTY LINE HARBOR HEIGHTS DRIVE Sheet Title: SITE PLAN -**ELECTRICAL** LIGHTING TRUE NORTH **PLAN** SITE PLAN **ELECTRICAL LIGHTING** 1/16" = 1'-0" E1.01



#### CITY OF ROCKWALL

#### PLANNING AND ZONING COMMISSION MEMORANDUM

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

FROM: Bethany Ross, *Planner* 

**DATE:** May 27, 2025

SUBJECT: SP2025-016; Amended Site Plan for 701 E. IH-30

On May 13, 2025, the Planning and Zoning Commission tabled Case No. SP2025-016 to the May 27, 2025 Planning and Zoning Commission meeting and requested that the applicant consider making changes to the commercial building for food service within the plaza area. This case dealt with a request for an Amended Site Plan to update the existing campus, creating a plaza area that incorporated two (2) shade structures, artificial turf areas, and a new commercial building for food service. This request was tied to Lakepointe Church's desire to provide an outdoor space for services and church events. As was previously discussed in this meeting, the applicant originally wanted to allow a food truck/trailer to remain on the property; however, this request would have violated the conditional land use standards for the Food Truck/Trailer land use. Specifically, the ordinance only allows the food truck/trailer to remain on-site from the hours of 7:00 AM to 10:00 PM, and requires that the food truck/trailer be removed from the site during non-operation hours. Based on this, staff recommended to the applicant that they make the proposed food truck/trailer a permanent structure. This was deemed to be an acceptable alternative due to [1] the scope of service of the facility (i.e. the facility would only serve parishioners on the site and would not be open to the general public), [2] the limited visibility of the facility from rights-of-way



<u>FIGURE 1</u>. LOCATION OF THE COMMERCIAL BUILDING FOR FOOD SERVICE SHOWN BY THE <u>RED</u> STAR.

and adjacent properties (see Figure 1), and [3] the limited hours of service (i.e. only on Wednesdays and Saturdays); however, this request has number of variances associated with it since the proposed facility would not meet many of the General Commercial District Standards or General Overlay District Standards. Specifically, the request would need the following variances:

- (1) <u>Materials and Masonry Composition.</u> According to Subsection 06.02(C)(1), <u>Materials and Masonry Composition</u>, of Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials…" In this case, the applicant is not proposing masonry materials on the building. The applicant has indicated that [1] adding any masonry materials would hinder the functionality of the food service building and [2] retract from the aesthetics that the church is trying to achieve with the facility. This will require a <u>variance</u> from the Planning and Zoning Commission.
- (2) <u>20% Stone.</u> According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades…" In this case, the applicant is not proposing stone on the building. Since the building is not visible from any adjacent properties or right-of-way, the applicant is requesting a variance to this requirement. This will require a variance from the Planning and Zoning Commission.

- (3) <u>Primary Building Facades.</u> According to Subsection 04.01(C)(1) of Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property." In this case, the proposed building does not meet the commercial building articulation standards on any of the facades. As previously mentioned, the applicant originally wanted to allow a food truck/trailer to remain on the property; however, this request would have violated the conditional land use standards for the *Food Truck/Trailer* land use. This will require an <u>exception</u> from the Planning and Zoning Commission.
- (4) Roof Design Standards. According to Subsection 06.02 (C)(3), Roof Design Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides." In this case, the applicant is requesting to have a flat roof for the structure and not be providing a parapet around the building; however, the proposed building is located within the site and will not be visible from any right-of-way or adjacent property. This will require an exception from the Planning and Zoning Commission.
- (5) <u>Mechanical Equipment Screening.</u> According to Subsection 06.02(C)2, <u>Mechanical Equipment Screening</u>, of Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC), "All buildings shall be designed so that no HVAC, satellite dishes, appurtenances and/or any other mechanical equipment visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site." In this case, the commercial building for food service has a vent-a-hood at the top of the building which is visible; however, the proposed building is located within the site and will not be visible from any right-of-way or adjacent property. This will require an <u>exception</u> from the Planning and Zoning Commission.

According to Subsection 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. According to the applicant's variance request letter, the proposed commercial building for food service is intended to support church ministries and outreach programs that take place on the church campus. The commercial building for food service will be used primarily on Saturday evenings and will play a vital role in facilitating Saturday evening worship services. Staff should again reiterate that the building is internal to the campus and will not be visible from adjacent properties or rights-of-way.

In addition to the commercial building for food service, the applicant is also proposing to add two (2) shade structures, a playground, and artificial turf areas. Specifically, the applicant is also proposing to add a 96' x 50' artificial turf area for the playground as well as high-traffic areas designated for children's activities, fellowship gatherings, and general recreation.

According to Section 04, Landscape Materials, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (e.g. artificial grass, turf, trees shrubs) shall be prohibited on all non-residentially zoned property; however, the Planning and Zoning Commission can grant an Exception in accordance with the procedures contained in Article 09.01, Exceptions to the General Standards, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) where it is found that the artificial plant materials are integral to the operations of the proposed non-residential land use or where it will serve as an on-site amenity to the non-residential land use." The applicant has provided a landscape plan showing the locations of the artificial turf and according to the applicant's variance letter, the artificial turf also serves as an ADA accessible surface allowing the plaza space to be utilized and enjoyed by all. As mentioned previously, the applicant has indicated that the proposed additions are integral to the operations of the church and will be located within the site, not visible from any right-of-way.

With all this being said, requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception or variance. Should the Planning and Zoning Commission have any questions concerning this request, staff will be available at the <u>May 27, 2025</u> Planning and Zoning Commission meeting.

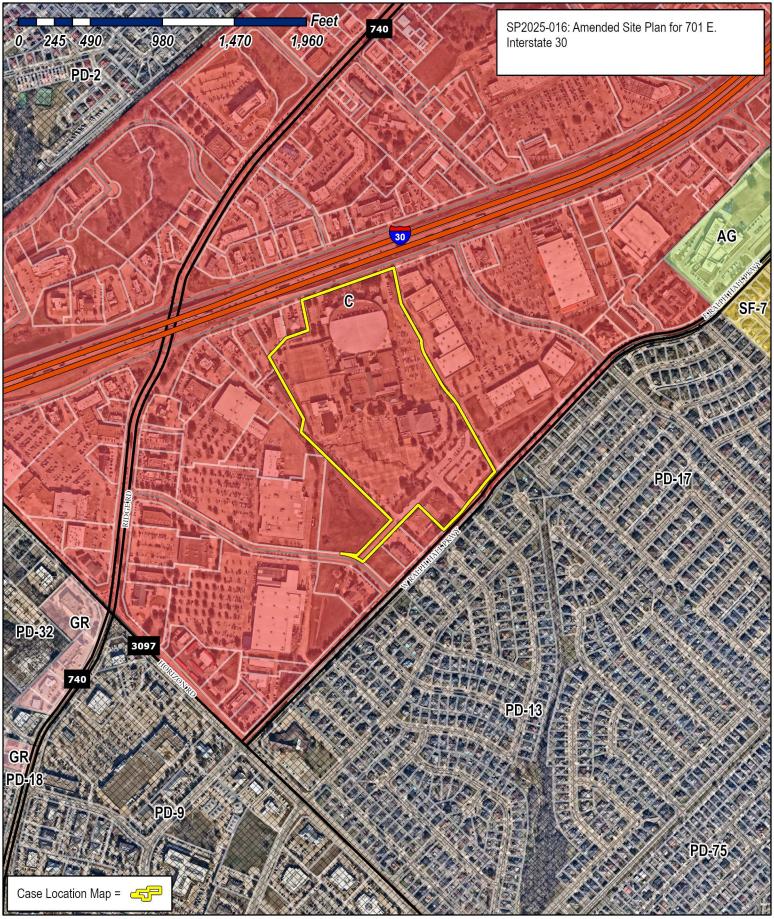


## **DEVELOPMENT APPLICATION**

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:

	Rockwall, Texas 75087	CITYE	CITY ENGINEER:						
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:									
☐ PRELIMINARY PI ☐ FINAL PLAT (\$30 ☐ REPLAT (\$300.00 ☐ AMENDING OR M	100.00 + \$15.00 ACRE)	ZONING APPLICATION FEES:  ZONING CHANGE (\$200.00 + \$15.00 ACRE)  SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)  SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)  OTHER APPLICATION FEES:  TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)  NOTES:							
☑ SITE PLAN (\$250 ☐ AMENDED SITE	.00 + \$20.00 ACRE)	.00)	1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  2: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.						
	RMATION [PLEASE PRINT] 701 E INTERSTATE 30, ROCKWALL, TX	75007							
ADDRESS	701 E INTERSTATE 30, ROCKWALL, TX	73007							
SUBDIVISION	LAKE POINTE BAPTIST CHURCH ADDITI	ON		LOT	3	BLOCK	Α		
GENERAL LOCATION	PLAZA AREA ADJACENT TO MAIN BUILD	ING							
ZONING, SITE PL	AN AND PLATTING INFORMATION	[PLEASE P	PRINT]						
CURRENT ZONING	COMMERCIAL		CURRENT USE	CHURCH PI	_AZA				
PROPOSED ZONING	N/A		PROPOSED USE	CHURCH P	LAZA				
ACREAGE	2 AC (DISTURBANCE) LOTS [CU	RRENT]	N/A	LOT	S [PROPOSED]	N/A			
REGARD TO ITS A	SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.								
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PI	RINT/CHEC	K THE PRIMARY CONT	ACT/ORIGINAL S	IGNATURES ARE I	REQUIRED]			
☑ OWNER	LAKEPOINTE CHURCH		☐ APPLICANT	KIMLEY-HOR					
CONTACT PERSON	TRACY TUTTLE	CC	ONTACT PERSON	TODD MARTI	N, P.E.				
ADDRESS	701 E INTERSTATE 30		ADDRESS	203 WEST NA	ASH STREET				
				SUITE 100					
CITY, STATE & ZIP	ROCKWALL, TX 75087	C	CITY, STATE & ZIP	TERRELL, TX	75160				
PHONE	469-698-2200		PHONE	469-998-8830					
E-MAIL	tracy.tuttle@lakepointe.church		E-MAIL	todd.martin@l	kimley-horn.com				
NOTARY VERIFICATION [REQUIRED]  BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NOTATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:  [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:									
\$	AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION  TO COVER THE COST OF THIS APPLICATION  20 15 BY SIGNING THIS APPLICATION WITHIN THIS APPLICATION TO THE PUBLIC. THE DOWN WITH THIS APPLICATION, IF SUCH REPRODUCTION  WIND SEAL OF OFFICE ON THIS THE 15 DAY OF	TION, HAS BI I, I AGREE T CITY IS AL IS ASSOCIA	EEN PAID TO THE CITY THAT THE CITY OF ROC SO AUTHORIZED AND	OF ROCKWALL ON CKWALL (I.E. "CITY PERMITTED TO	ITHIS THEST ") IS AUTHORIZED A REPRODUCE ANY OR PUBLIC INFORMA	1n AND PERMITTED COPYRIGHTED I TION." KRISTI DONAC tary ID #1322	DAY OF TO PROVIDE INFORMATION CHY		
GIVEN UNDEK MY HAND A	OWNER'S SIGNATURE	Rea	, 20 <u>.05</u>			Commission E October 15, 2			
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Whisti Bonoghy MY COMMISSION EXPIRES 10/15/2027									



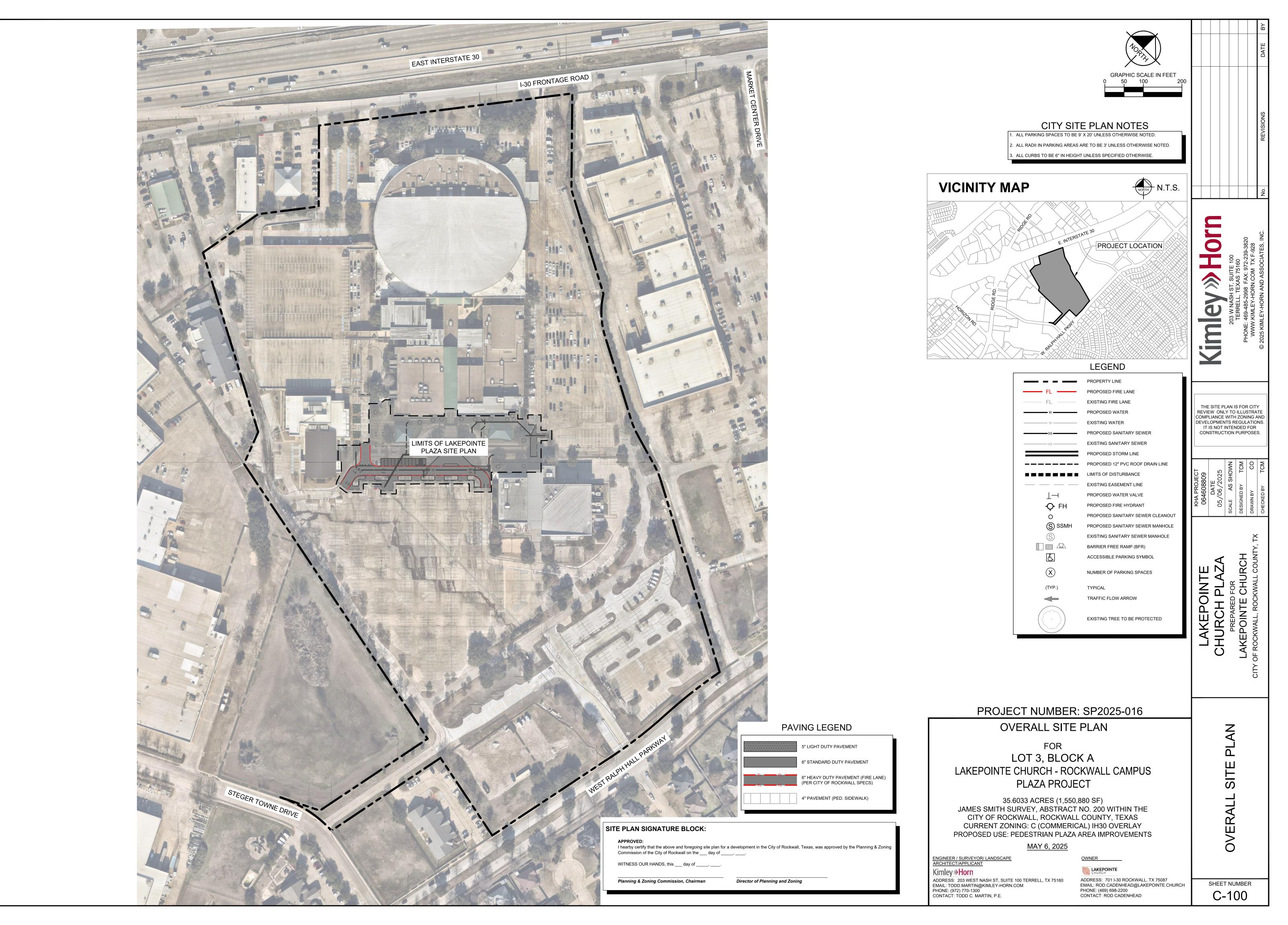


# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

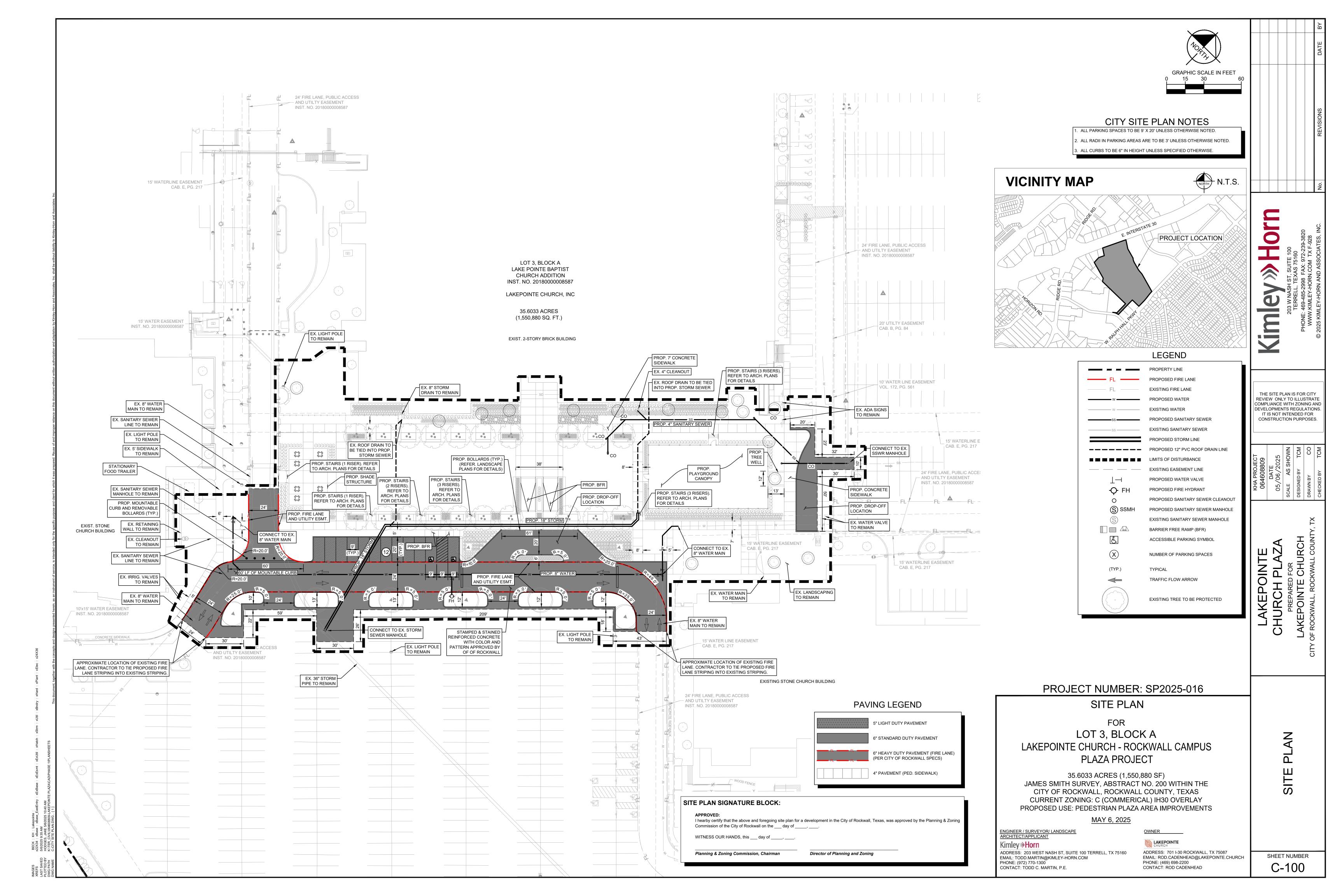
(P): (972) 771-7745 (W): www.rockwall.com

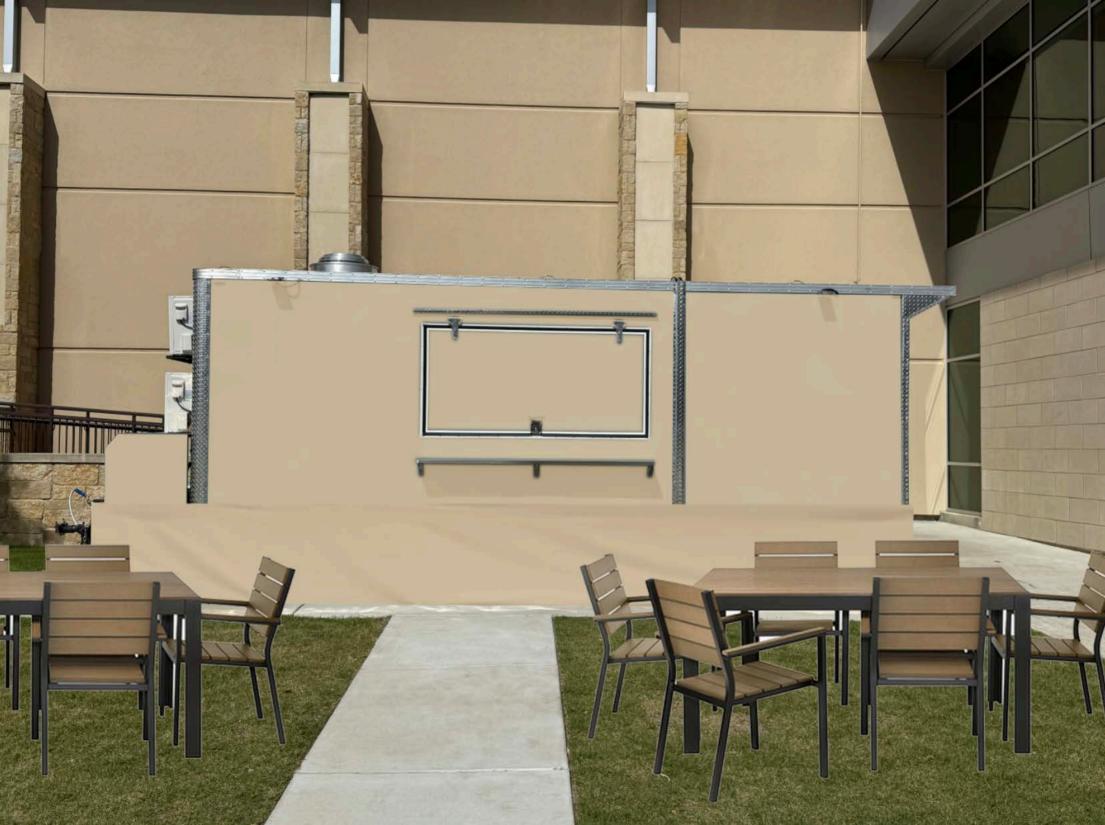
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

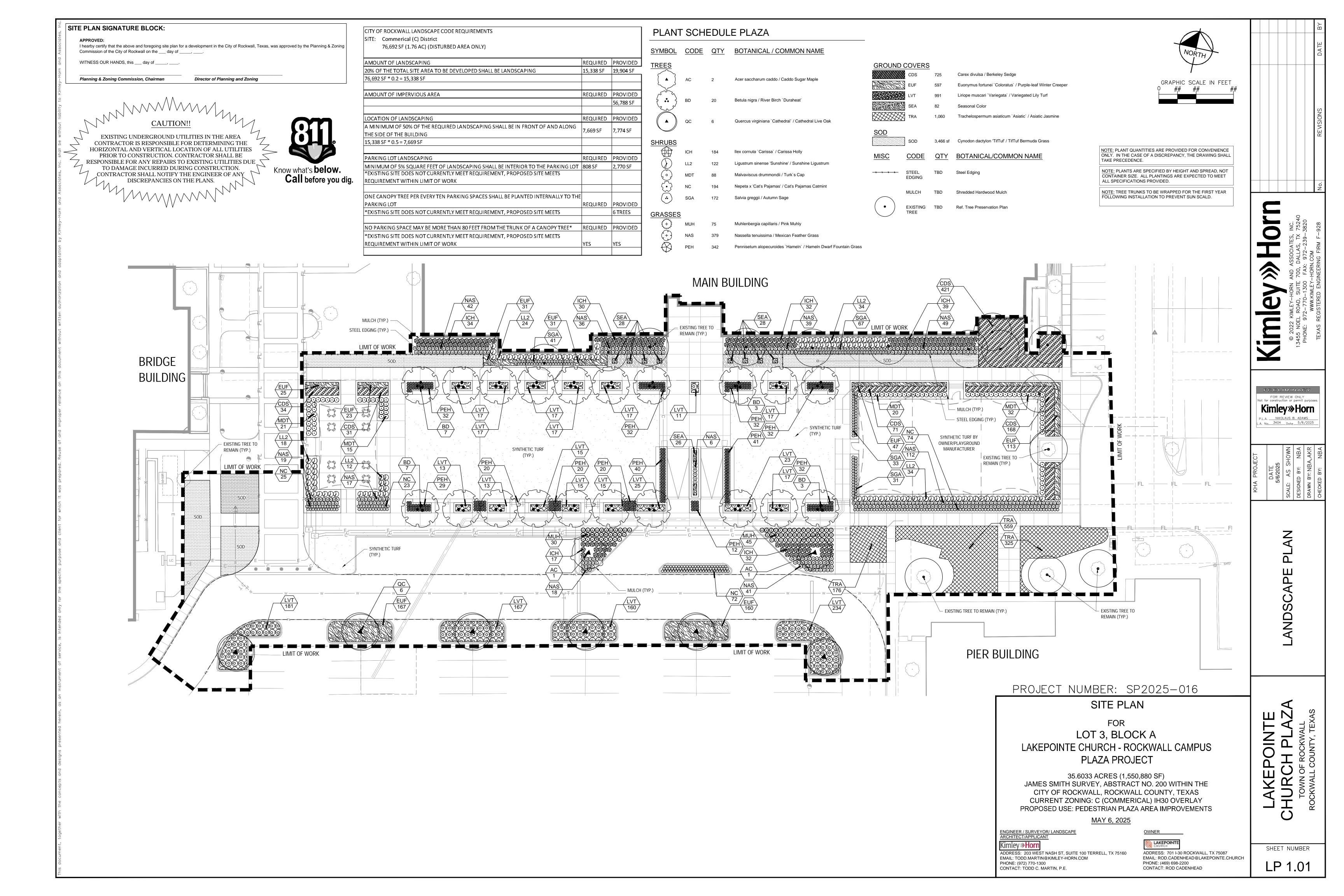


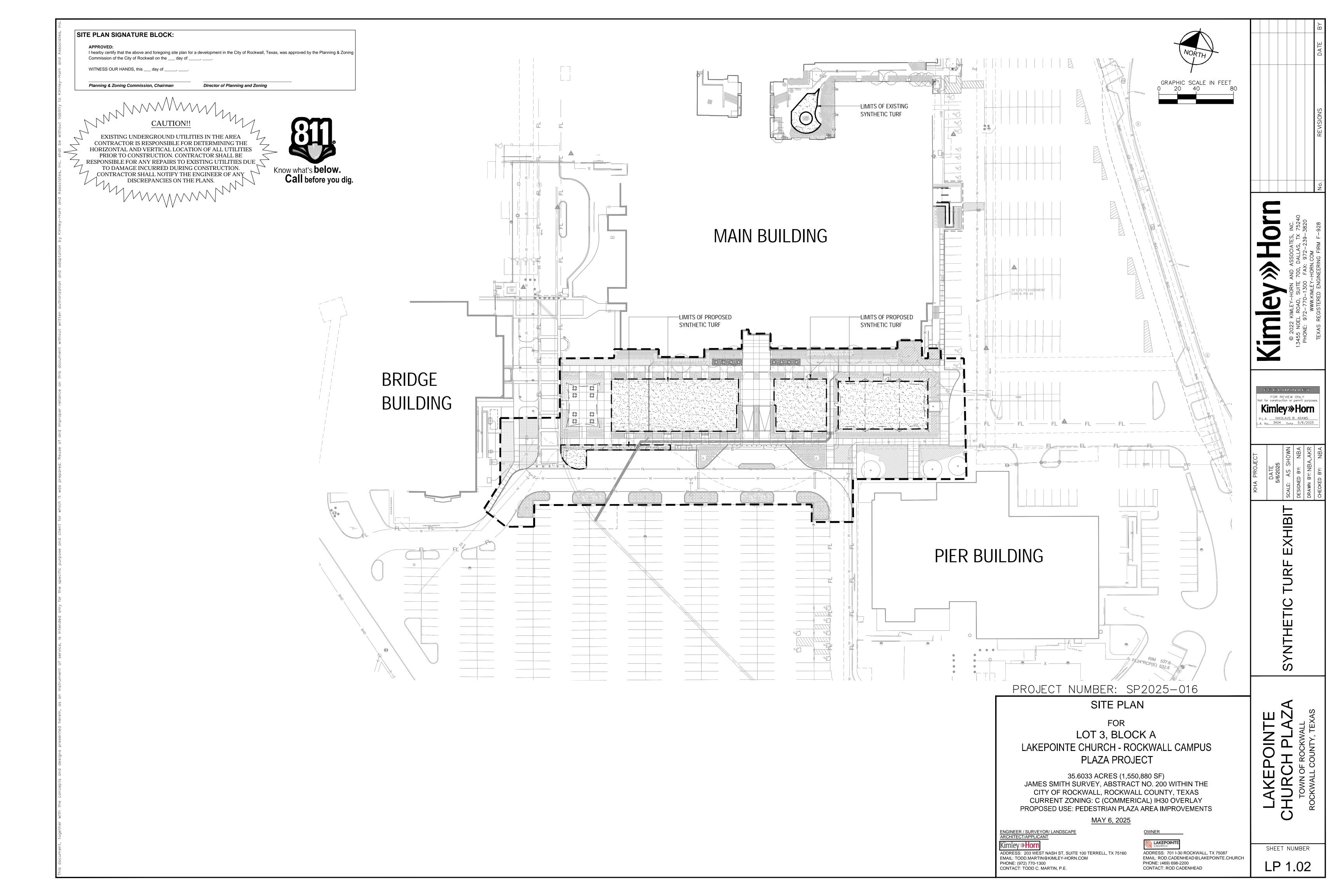


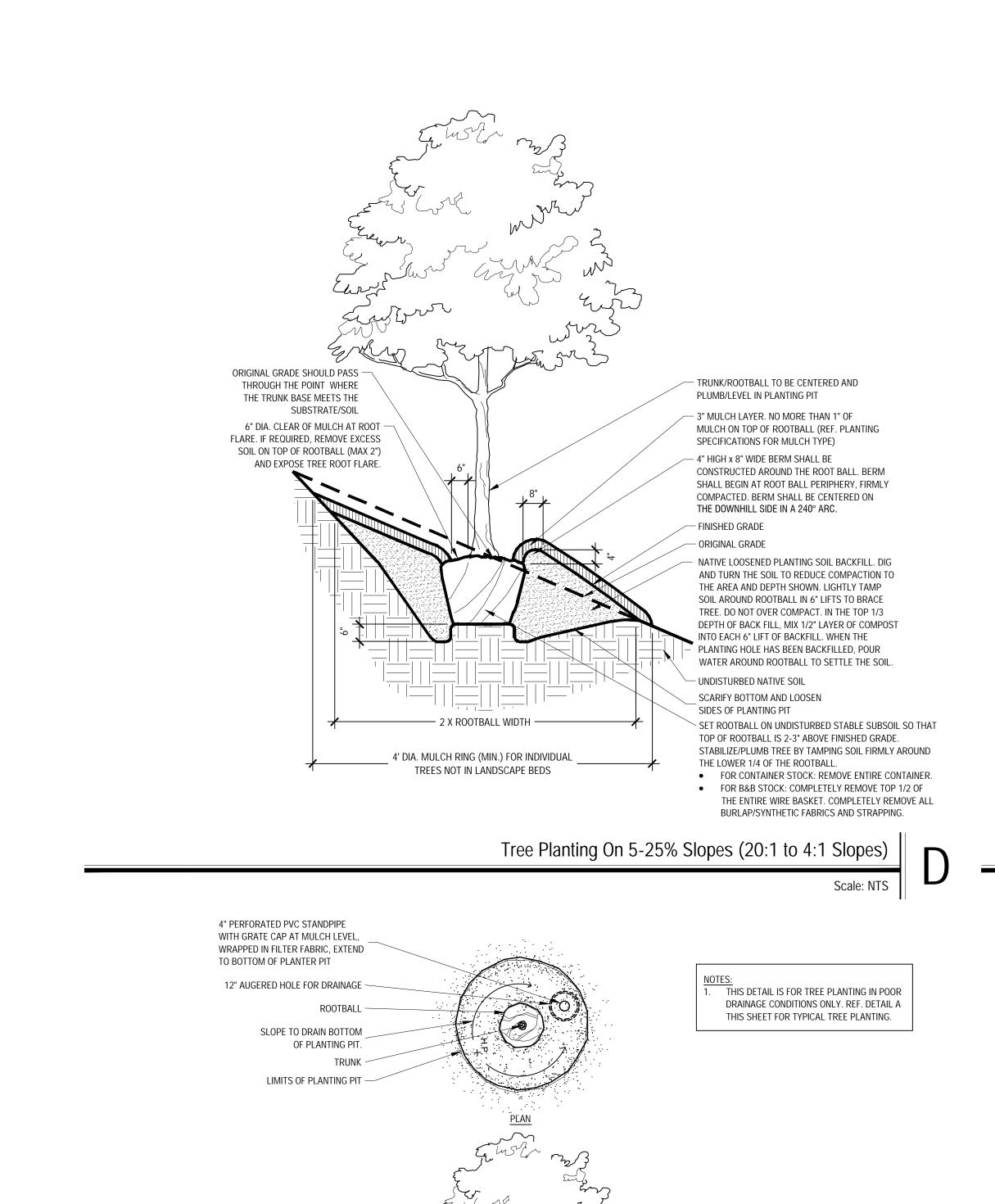












— 2 X ROOTBALL WIDTH —

TREES NOT IN LANDSCAPE BEDS

4' DIA. MULCH RING (MIN.) FOR INDIVIDUAL

TOP OF ROOTBALL SHALL BE —

POSITIONED 1/4 OF ROOTBALL DEPTH ABOVE ORIGINAL GRADE

ADD ADDITIONAL SOIL AS NEEDED TO

PLANTING SOIL BACKFILL IN ORDER TO

TOP OF THE RAISED ROOT BALL TO THE

CREATE A SMOOTH TRANSITION FROM THE

SET ROOTBALL ON UNDISTURBED STABLE

STABILIZE/PLUMB TREE BY TAMPING SOIL

FIRMLY AROUND THE LOWER 1/4 OF THE

FOR CONTAINER STOCK: REMOVE

FOR B&B STOCK: COMPLETELY

REMOVE TOP 1/2 OF THE ENTIRE

REMOVE ALL BURLAP/SYNTHETIC

WIRE BASKET. COMPLETELY

FABRICS AND STRAPPING.

SUBSOIL SO THAT TOP OF ROOTBALL IS

2-3" ABOVE FINISHED GRADE.

ENTIRE CONTAINER.

ORIGINAL GRADE AT A 15% MAX SLOPE.

- 6" DIA. CLEAR OF MULCH AT ROOT FLARE. IF REQUIRED, REMOVE EXCESS SOIL ON TOP OF

ROOTBALL (MAX 2") AND EXPOSE TREE ROOT FLARE.

4" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT

- 3" MULCH LAYER. NO MORE THAN 1" OF MULCH ON TOP OF ROOTBALL (REF. PLANTING SPECIFICATIONS FOR MULCH TYPE)

ROOT BALL PERIPHERY, FIRMLY COMPACTED.

• 12" DIA. AUGERED HOLE FILLED WITH 1/2" -

FILTER FABRIC. PENETRATE HOLE

TO ASSURE PROPER PERCOLATION.

4" PERFORATED PVC PIPE WITH GRATE CAP

AT MULCH LEVEL, WRAPPED IN FILTER

FABRIC, EXTEND TO BOTTOM OF SUMP.

Scale: NTS

3/4" WASHED GRAVEL AND WRAPPED IN

THROUGH OCCLUDING LAYER TO A DEPTH

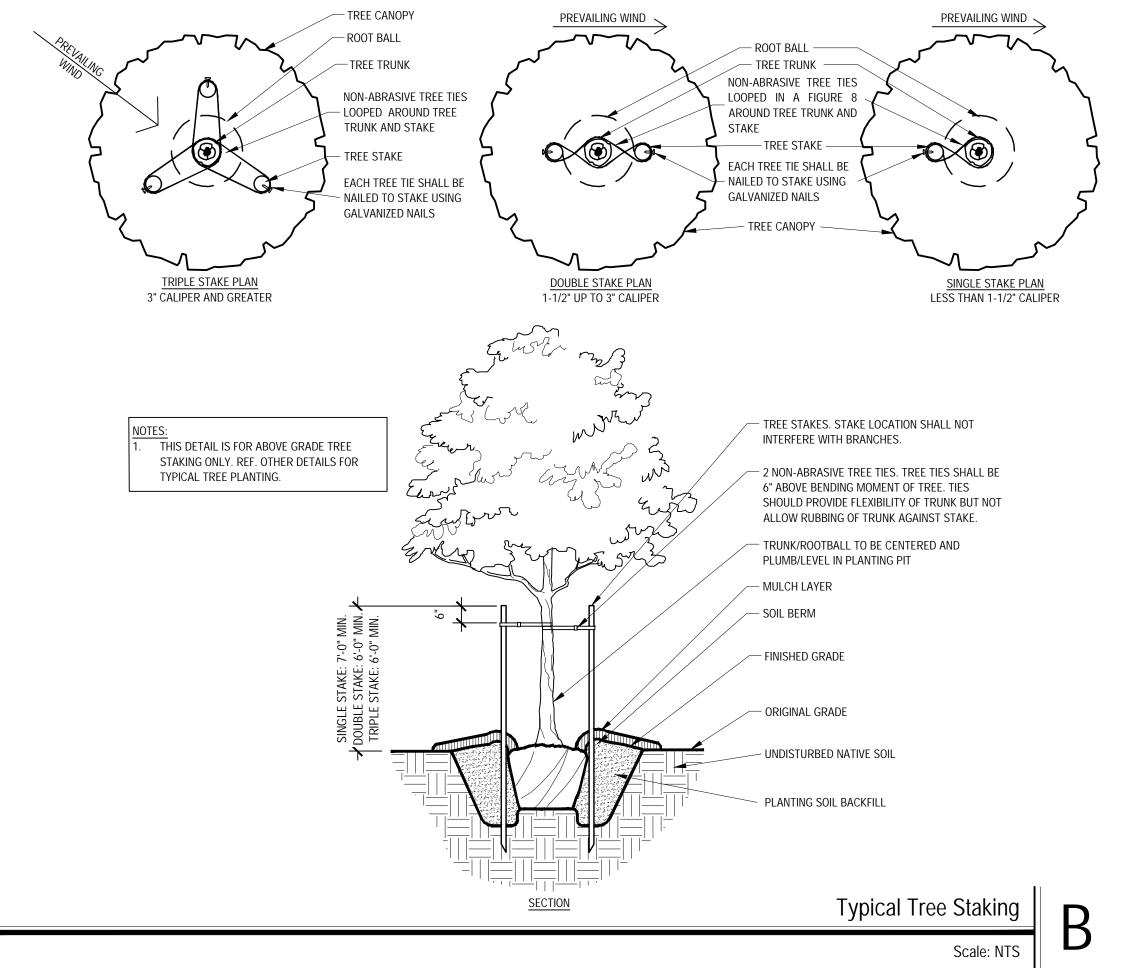
- FINISH GRADE

Tree Planting (Poor Drainage Condition)

- ORIGINAL GRADE

- NATIVE PLANTING BACKFILL

- UNDISTURBED NATIVE SOIL



TRUNK/ROOTBALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT - 6" DIA. CLEAR OF MULCH AT ROOT FLARE. IF REQUIRED, REMOVE EXCESS SOIL ON TOP OF ROOTBALL (MAX 2") AND EXPOSE TREE ROOT FLARE. - 4" MULCH LAYER. PLACE NO MORE THAN 1" OF MULCH ON TOP OF ROOTBALL (REF. PLANTING SPECIFICATIONS FOR - 3" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY, FIRMLY COMPACTED. - FINISHED GRADE — ORIGINAL GRADE UNDISTURBED NATIVE SOIL NATIVE LOOSENED PLANTING SOIL BACKFILL. DIG AND TURN THE SOIL TO REDUCE COMPACTION TO THE AREA AND SET ROOTBALL ON UNDISTURBED STABLE -SUBSOIL SO THAT TOP OF ROOTBALL IS DEPTH SHOWN. LIGHTLY TAMP SOIL AROUND ROOTBALL IN 2-3" ABOVE FINISHED GRADE. 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. IN THE TOP 1/3 DEPTH OF BACK FILL, MIX 1/2" LAYER OF COMPOST STABILIZE/PLUMB TREE BY TAMPING SOIL INTO EACH 6" LIFT OF BACKFILL. WHEN THE PLANTING HOLE FIRMLY AROUND THE LOWER 1/4 OF THE HAS BEEN BACKFILLED, POUR WATER AROUND ROOTBALL ROOTBALL. TO SETTLE THE SOIL. ADD ADDITIONAL SOIL AS NEEDED TO FOR CONTAINER STOCK: REMOVE ENTIRE CONTAINER. MEET REQUIRED FINISH GRADE. FOR B&B STOCK: COMPLETELY — SCARIFY BOTTOM AND LOOSEN SIDES OF PLANTING PIT REMOVE TOP 1/2 OF THE ENTIRE WIRE BASKET. COMPLETELY ——— 2 X ROOTBALL WIDTH —— REMOVE ALL BURLAP/SYNTHETIC FABRICS AND STRAPPING. 4' DIA. MULCH RING (MIN.) FOR INDIVIDUAL TREES NOT IN LANDSCAPE BEDS

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: C (COMMERICAL) IH30 OVERLAY PROPOSED USE: PEDESTRIAN PLAZA AREA IMPROVEMENTS MAY 6, 2025

PROJECT NUMBER: SP2025-016

SITE PLAN

LOT 3, BLOCK A

LAKEPOINTE CHURCH - ROCKWALL CAMPUS

PLAZA PROJECT

35.6033 ACRES (1,550,880 SF)

JAMES SMITH SURVEY, ABSTRACT NO. 200 WITHIN THE

ADDRESS: 701 I-30 ROCKWALL, TX 75087 EMAIL: ROD.CADENHEAD@LAKEPOINTE.CHURCH PHONE: (469) 698-2200 CONTACT: ROD CADENHEAD

LP 3.01

SECTION Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 EMAIL: TODD.MARTIN@KIMLEY-HORN.COM PHONE: (972) 770-1300 CONTACT: TODD C. MARTIN, P.E.

ANDSC,

PRELIMINARY

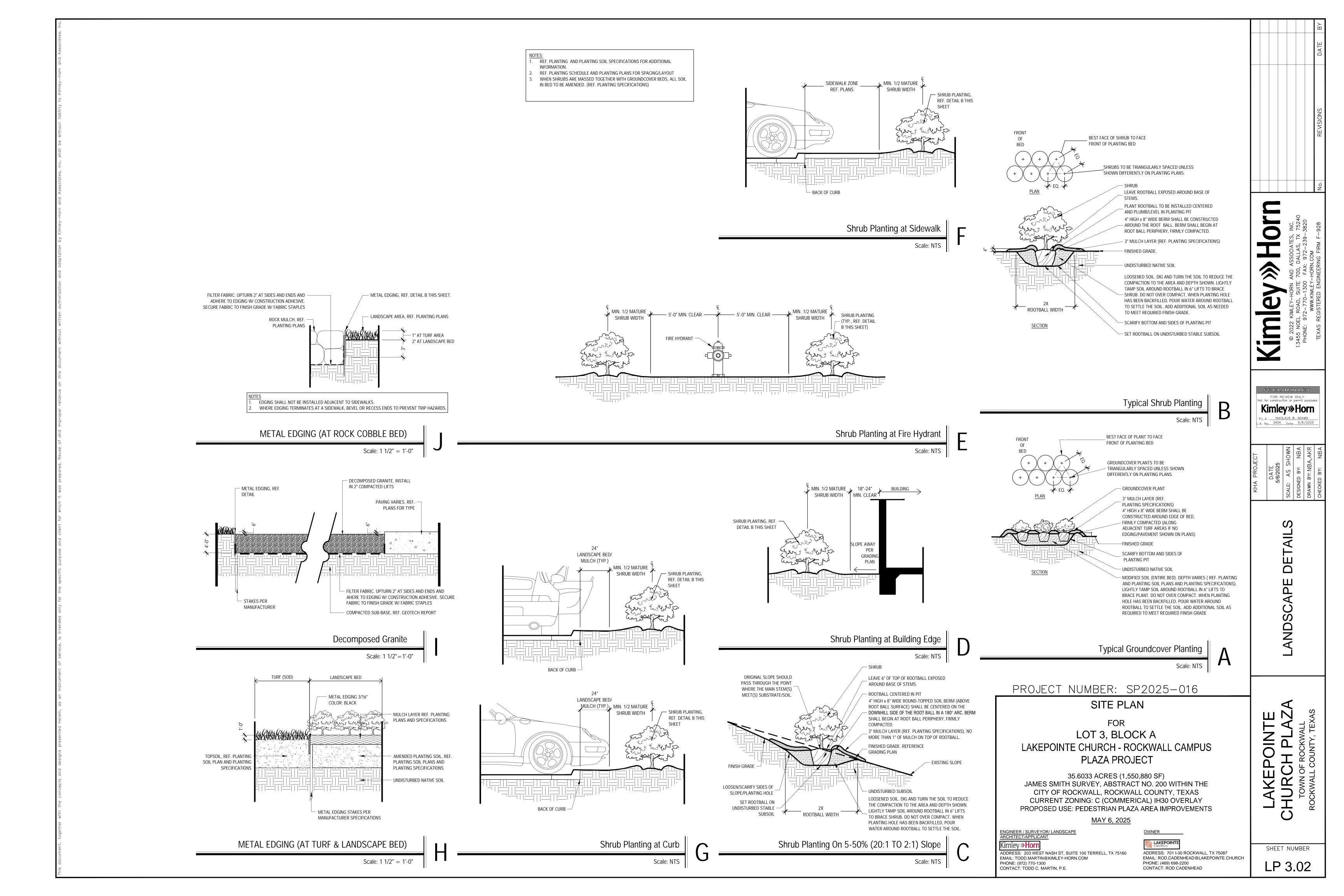
FOR REVIEW ONLY Not for construction or permit purpose:

**Kimley»Horn** 

L.A. No<u>3404</u> Date 5/6/2025

OINT

SHEET NUMBER



WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

# GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED. 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS

REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER. C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT. STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE HE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC YARD

PLANTS ONE (1) OF EACH VARIETY

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG. SOUND. HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED. THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE AS DETERMINED BY THE OWNER FOR QUALITY SIZE AND VARIETY: SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OI ANY OTHER MATERIAL WHICH MAY BE HARMEUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL

2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL INDISTURBED BY GRADING OR EXCAVATION OPERATIONS, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH

3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO

4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT. 5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6

INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES 6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS.

OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE 7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.

8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.

a. ORGANIC SOIL AMENDMENTS

1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS: FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO

2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.

3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.

4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.

5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.

6. WORM CASTINGS: EARTHWORMS.

b. INORGANIC SOIL AMENDMENTS 1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.

2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, ITH A MINIMUM OF 99 PERCENT PASSING NO.6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE. 3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT

IRON AND 10 PERCENT SULFUR. 4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM

5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED

2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL

SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF RASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL. NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO

ADDITIONAL COST TO THE OWNER J. COMMERCIAL FERTILIZER

> COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA: IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14
3. SOD - 8-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

I. WATER

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING

4 PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND

M. CONTAINER GROWN STOCK

NURSERY GROWN STOCK OF THE SAME VARIETY.

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN

IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS. 3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE 4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE

CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT N. COLLECTED STOCK WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE.

THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW. P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING

O. NATIVE STOCK

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.

AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE TENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW. FULL HOSE STREAM ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION. EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS: TWO (2) TABLETS PER 1 GAL. PLAN

FOUR (4) TABLETS PER 10 GAL, PLANT

LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING

11 FILLHOLF WITH SOIL MIXTURE MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS FILLHOLF WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. 13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE

DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM

DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION. 14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE

PROPERTY 15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE

OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD

HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR

AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT. 16 HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOLIS WEEDS LINTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER. "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALI PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2 LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS. WEEDS. AND DEBRIS. AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE 3 SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF

TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS. ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABI E AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SI OPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OF PPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER. LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER, AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SFEDED ARFAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

6 LAWN MAINTENANCE

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS. THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE T. CLEAN-UP

LIPON COMPLETION OF ALL PLANTING WORK AND REFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, TIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GL SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR LINTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER, MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM) 1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1 THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE

CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE 2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90

CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. 3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED

UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER. 4 IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE. THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

PLANTING NOTES

EASEMENT, PROVIDE IRRIGATION AS NECESSARY

1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL 3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.

 REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION. 5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER

OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER. 6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS, REFERENCE SITE PLAN.

8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED. 9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL.

FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY. 11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE, WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF

PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART 12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMLIDA SOD AND IRRIGATED 13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS.

INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN. 14 ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS. 16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

CITY OF ROCKWALL LANDSCAPE CODE REQUIREMENTS SITE: Commerical (C) District 76,692 SF (1.76 AC) (DISTURBED AREA ONLY) REQUIRED PROVIDED AMOUNT OF LANDSCAPING 20% OF THE TOTAL SITE AREA TO BE DEVELOPED SHALL BE LANDSCAPING 15,338 SF | 19,904 SF 76,692 SF \* 0.2 = 15,338 SF AMOUNT OF IMPERVIOUS AREA REQUIRED PROVIDED 56,788 SF LOCATION OF LANDSCAPING REQUIRED PROVIDED A MINIMUM OF 50% OF THE REQUIRED LANDSCAPING SHALL BE IN FRONT OF AND ALONG 7,669 SF 7,774 SF THE SIDE OF THE BUILDING 15.338 SF \* 0.5 = 7.669 SF PARKING LOT LANDSCAPING REQUIRED PROVIDED MINIMUM OF 5% SQUARE FEET OF LANDSCAPING SHALL BE INTERIOR TO THE PARKING LOT 808 SF \*EXISTING SITE DOES NOT CURRENTLY MEET REQUIREMENT, PROPOSED SITE MEETS REQUIREMENT WITHIN LIMIT OF WORK ONE CANOPY TREE PER EVERY TEN PARKING SPACES SHALL BE PLANTED INTERNALLY TO THE PARKING LOT REQUIRED | PROVIDED \*EXISTING SITE DOES NOT CURRENTLY MEET REQUIREMENT, PROPOSED SITE MEETS 6 TREES NO PARKING SPACE MAY BE MORE THAN 80 FEET FROM THE TRUNK OF A CANOPY TREE\* REQUIRED PROVIDED \*EXISTING SITE DOES NOT CURRENTLY MEET REQUIREMENT, PROPOSED SITE MEETS REQUIREMENT WITHIN LIMIT OF WORK

## PLANT SCHEDULE PLAZA

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS		
TREES	TREES						
<u> </u>	AC	2	Acer saccharum caddo / Caddo Sugar Maple	4" cal, 14`-16` ht, 6`-8` spr	Full, Straight, Single Leader. Trunks shall be wrapped for 1 year after installation to prevent sun scald.		
\$ }	BD	20	Betula nigra / River Birch `Duraheat`	4" cal, 12`-14` ht, 5`-6` spr	Full, 2 trunks @ 2" cal. ea.		
	QC	6	Quercus virginiana `Cathedral` / Cathedral Live Oak	4" cal, 14` ht, 7` spr	Full, Straight, Single Leader		
SHRUBS							
	ICH	184	Ilex cornuta `Carissa` / Carissa Holly	24" ht, 24" spr, 30" oc	Full		
	LL2	122	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	36" ht, 36" spr, 36" oc	Full		
₹°}	MDT	88	Malvaviscus drummondii / Turk`s Cap	24" ht, 24" spr, 30" oc	Full		
$\odot$	NC	194	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint	12" ht, 12" spr, 18" oc	Full		
*	SGA	172	Salvia greggii / Autumn Sage	18" ht, 12" spr, 18" oc	Full		
GRASSES							
+ }	MUH	75	Muhlenbergia capillaris / Pink Muhly	24" ht, 30" oc	Full		
(+)	NAS	379	Nassella tenuissima / Mexican Feather Grass	18" ht, 24" oc	Full		
$\bigotimes$	PEH	342	Pennisetum alopecuroides `Hameln` / Hameln Dwarf Fountain Grass	12" ht, 24" oc	Full		
GROUND	COVERS						
		725	Carex divulsa / Berkeley Sedge	12" ht, 12" spr, 18" oc	Full, 1 gallon min.		
	EUF	597	Euonymus fortunei `Coloratus` / Purple-leaf Winter Creeper	8" ht, 8" spr, 18" oc	Full, 1 gallon min.		
	LVT	991	Liriope muscari `Variegata` / Variegated Lily Turf	12" ht, 12" spr, 18" oc	Full, 1 gallon min.		
	SEA	82	Seasonal Color	12" ht, 12" oc	Full, owner to provide final direction on selected plants.		
	TRA	1,060	Trachelospermum asiaticum `Asiatic` / Asiatic Jasmine	8" ht, 8" spr, 18" oc	Full, 1 gallon min.		
SOD							
	SOD	3,466 sf	Cynodon dactylon 'TifTuf' / TifTuf Bermuda Grass	N/A	Solid sod, rolled tight with sand filled joints, 100% weed, disease, and pest free.		
MISC	CODE	<u>QTY</u>	BOTANICAL/COMMON NAME	SPECIFICATIONS			
<del></del>	STEEL EDGING	TBD	Steel Edging	3/16" x 6", Black			
	MULCH	TBD	Shredded Hardwood Mulch	3" depth. All trees in sod to rece	eive a 4' dia. mulch ring		
•	EXISTING TREE	TBD	Ref. Tree Preservation Plan				

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT

CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET

ALL SPECIFICATIONS PROVIDED

NOTE: TREE TRUNKS TO BE WRAPPED FOR THE FIRST YEAR FOLLOWING INSTALLATION TO PREVENT SUN SCALD.

PROJECT NUMBER: SP2025-016

SITE PLAN

LOT 3, BLOCK A LAKEPOINTE CHURCH - ROCKWALL CAMPUS PLAZA PROJECT

35.6033 ACRES (1,550,880 SF) JAMES SMITH SURVEY, ABSTRACT NO. 200 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: C (COMMERICAL) IH30 OVERLAY PROPOSED USE: PEDESTRIAN PLAZA AREA IMPROVEMENTS

MAY 6, 2025

NGINEER / SURVEYOR/ LANDSCAPE (imley»Horn

ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 EMAIL: TODD.MARTIN@KIMLEY-HORN.COM PHONE: (972) 770-1300 CONTACT: TODD C. MARTIN, P.E.

OWNER LAKEPOINT ADDRESS: 701 I-30 ROCKWALL, TX 75087 EMAIL: ROD.CADENHEAD@LAKEPOINTE.CHURCH PHONE: (469) 698-2200 CONTACT: ROD CADENHEAD

0

<u>Z</u>

PRELIMINARY

FOR REVIEW ONLY

lot for construction or permit purpos

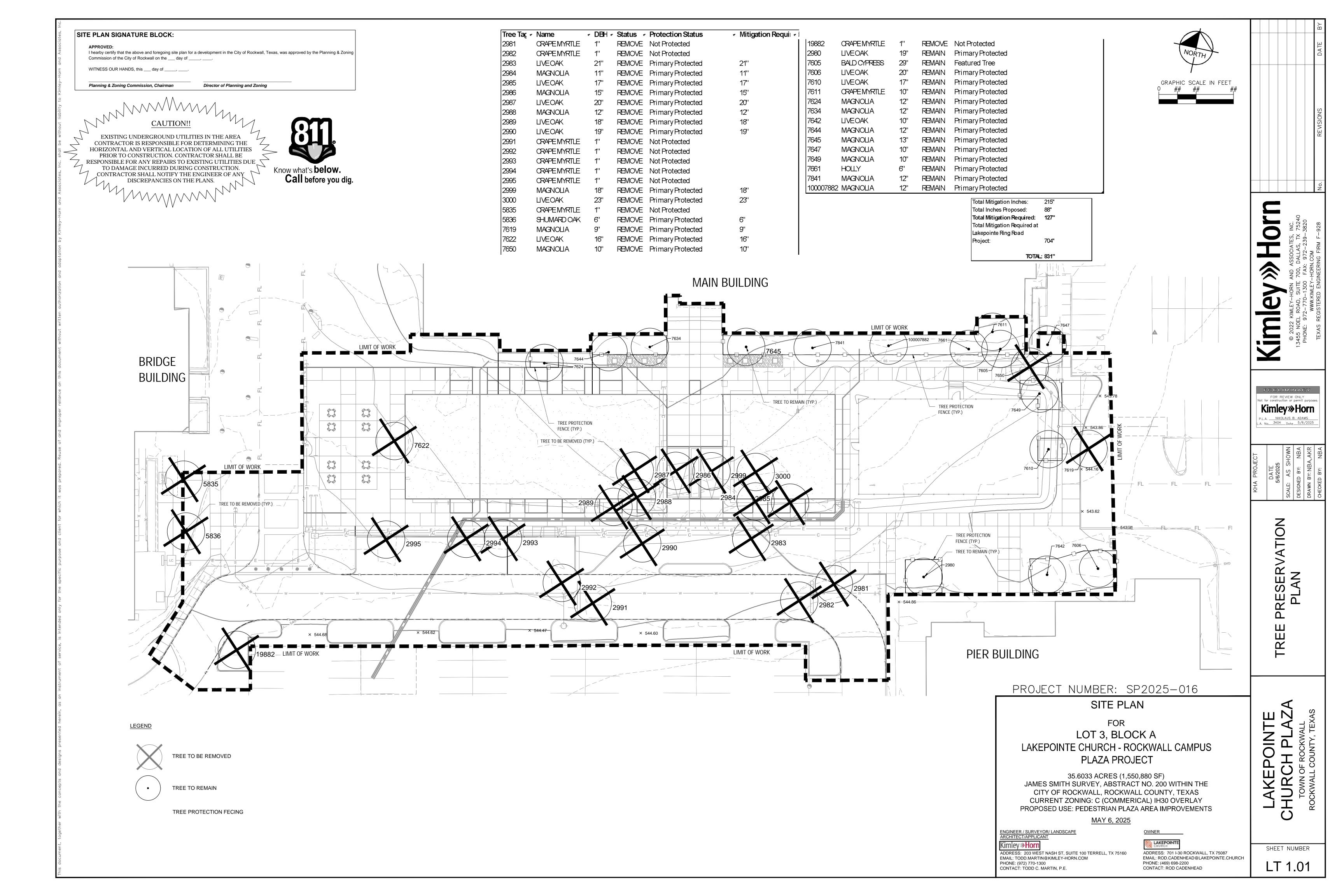
**Kimley** Horn

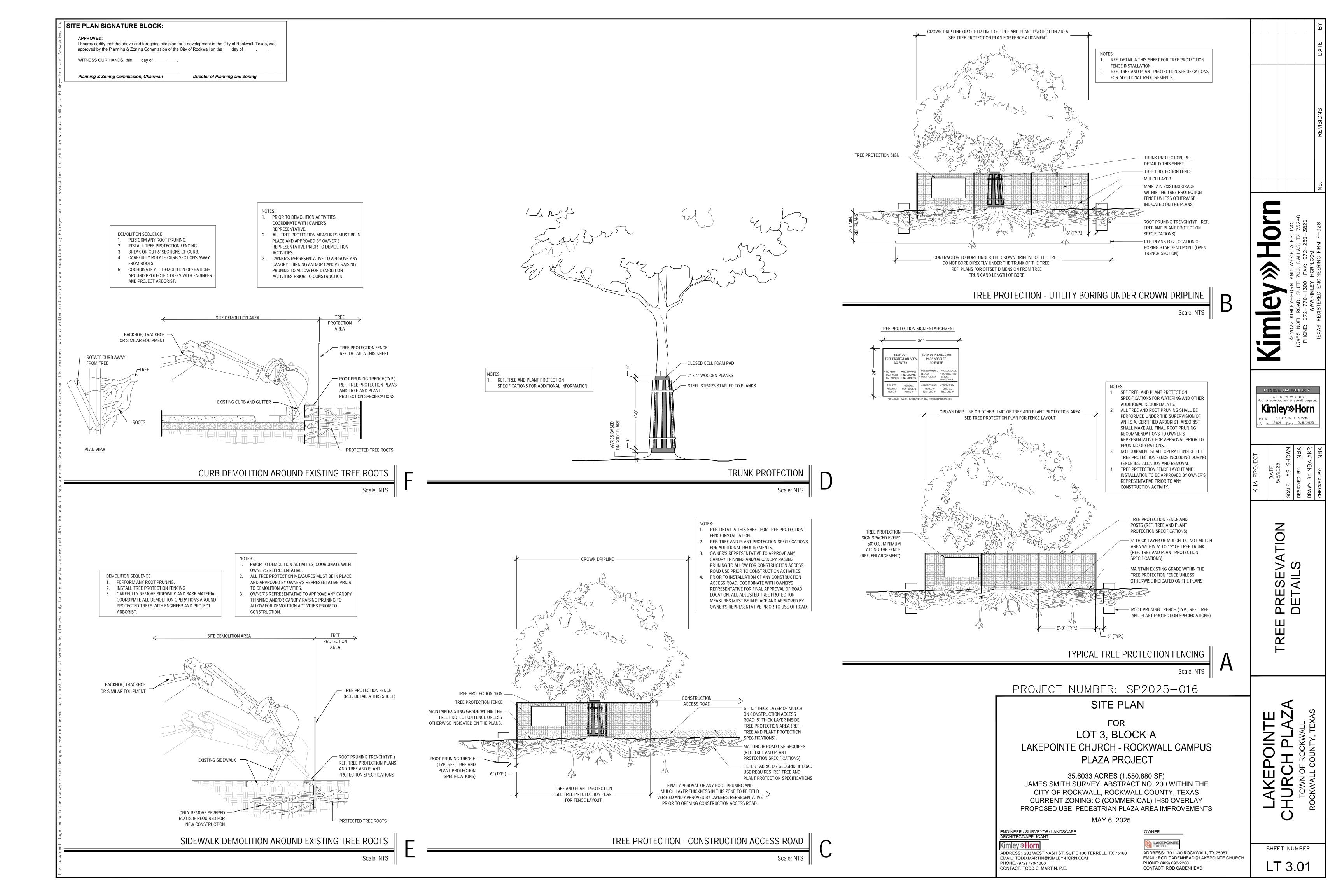
.A. No<u>3404</u> Date 5/6/2025

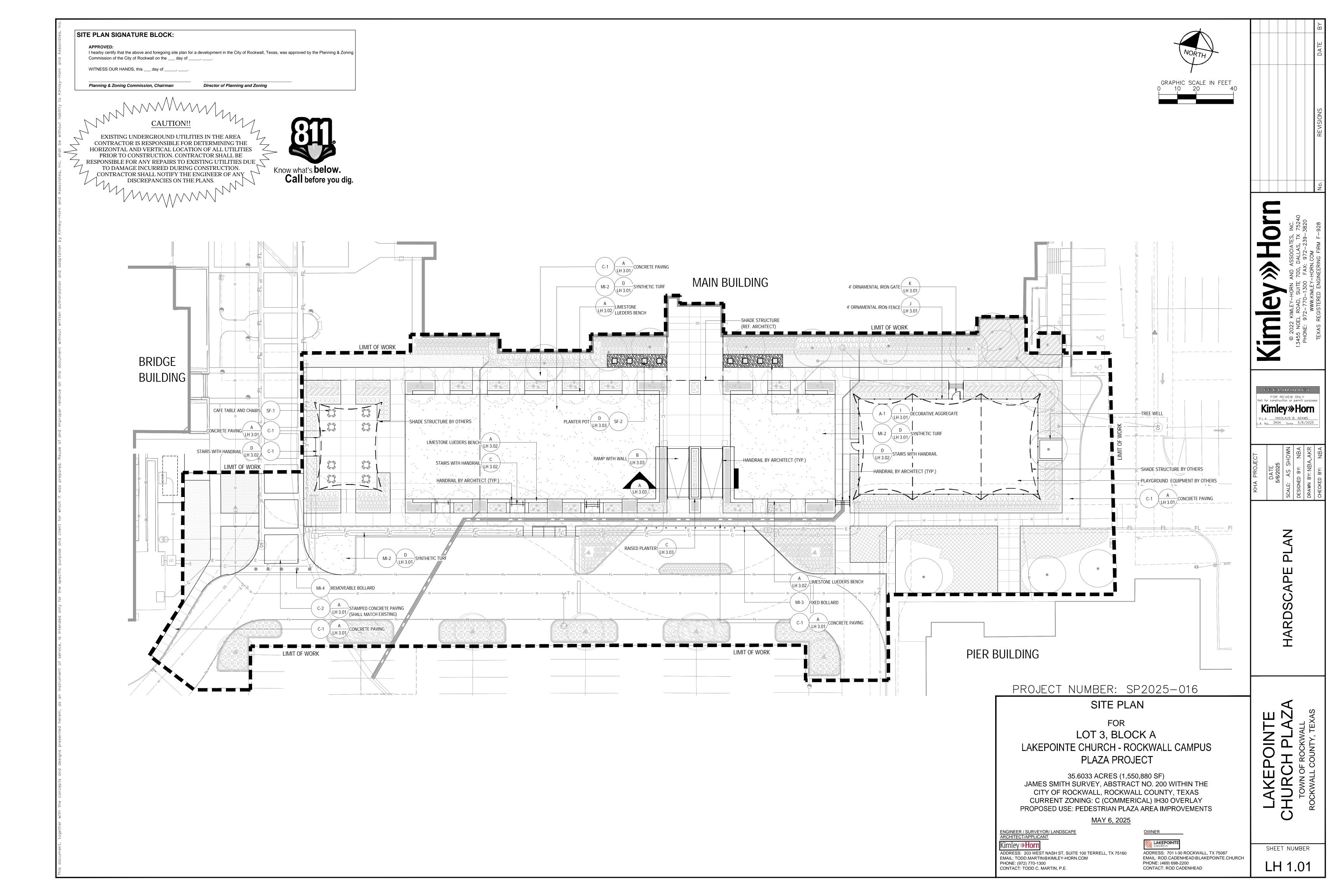
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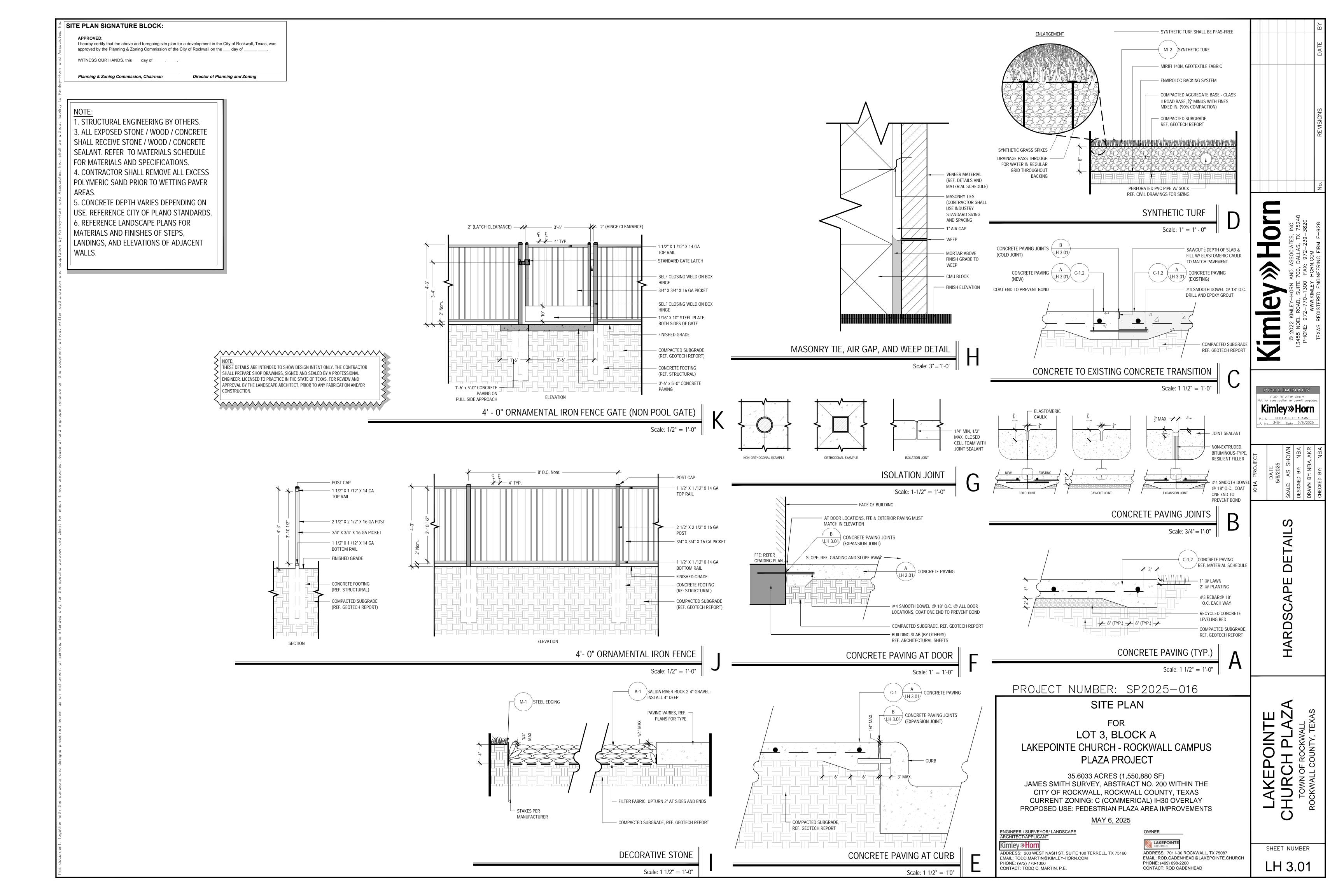
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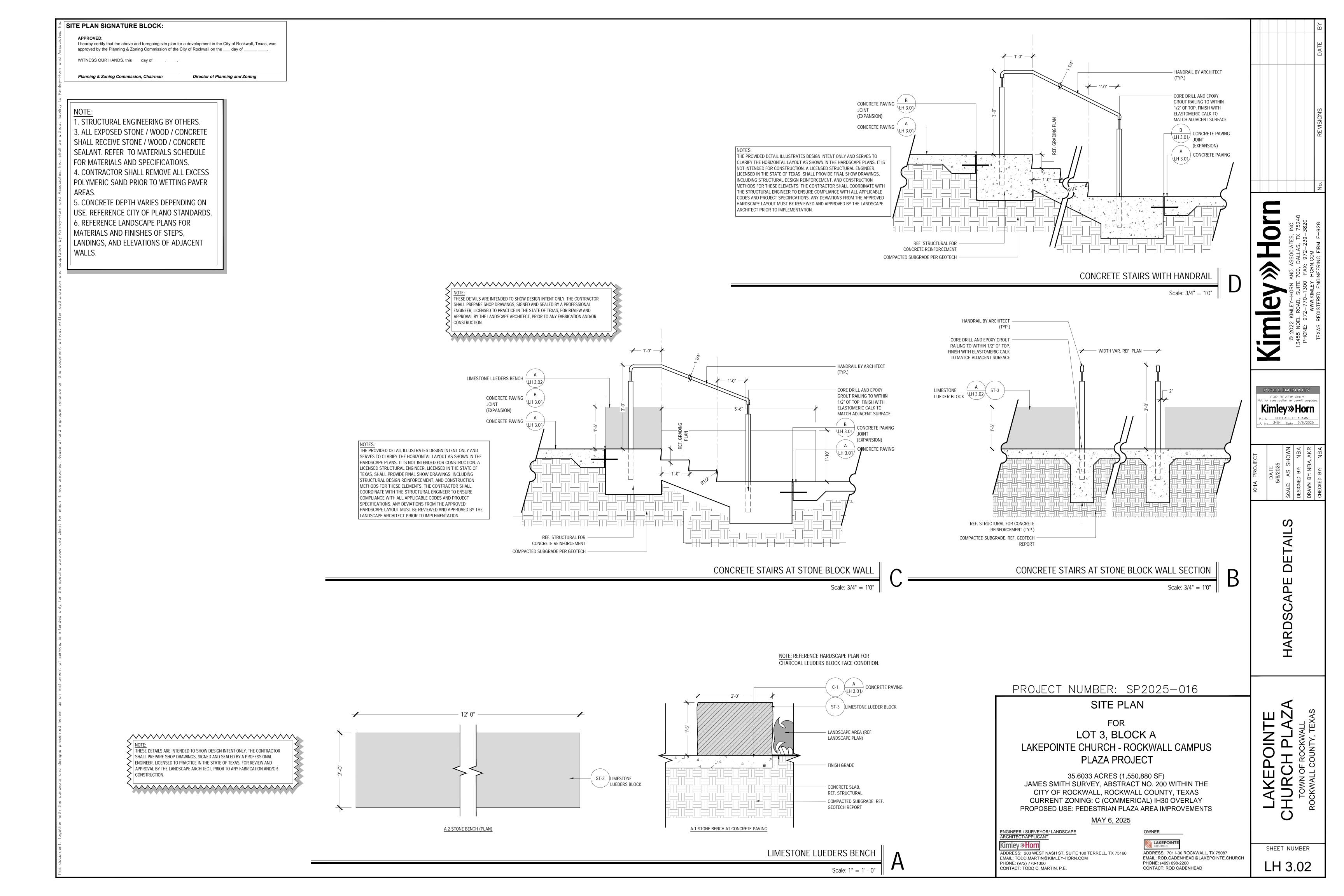
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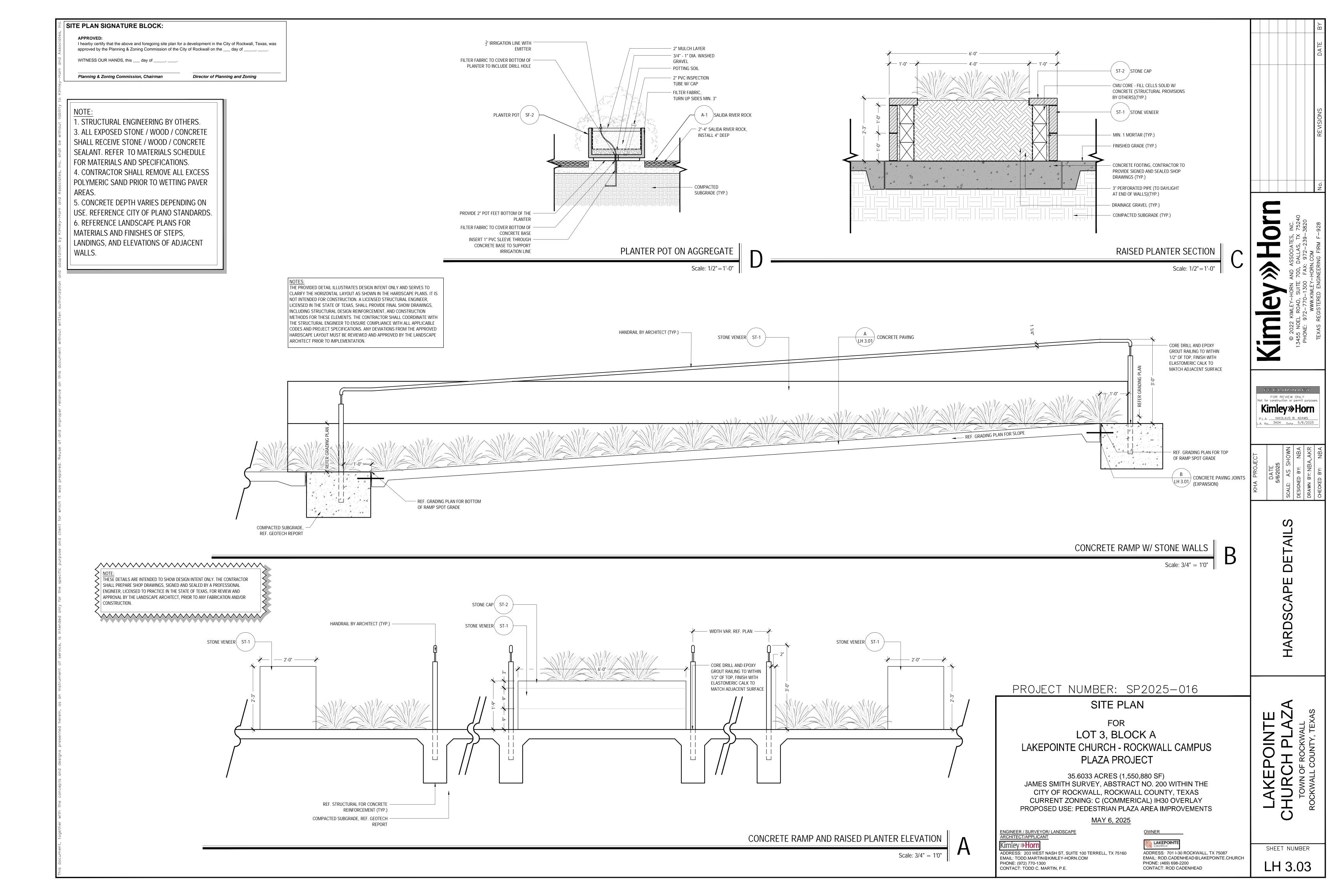


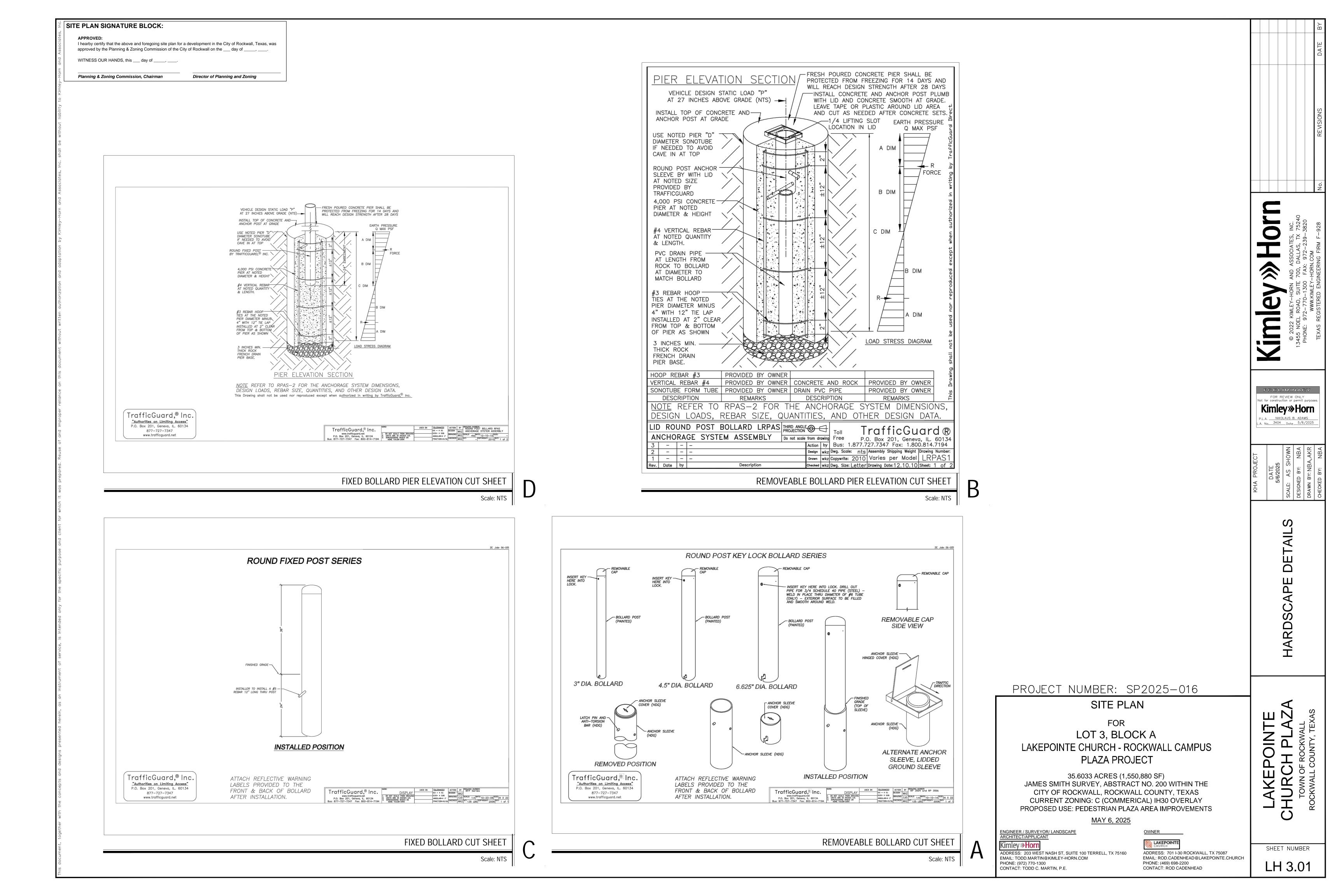














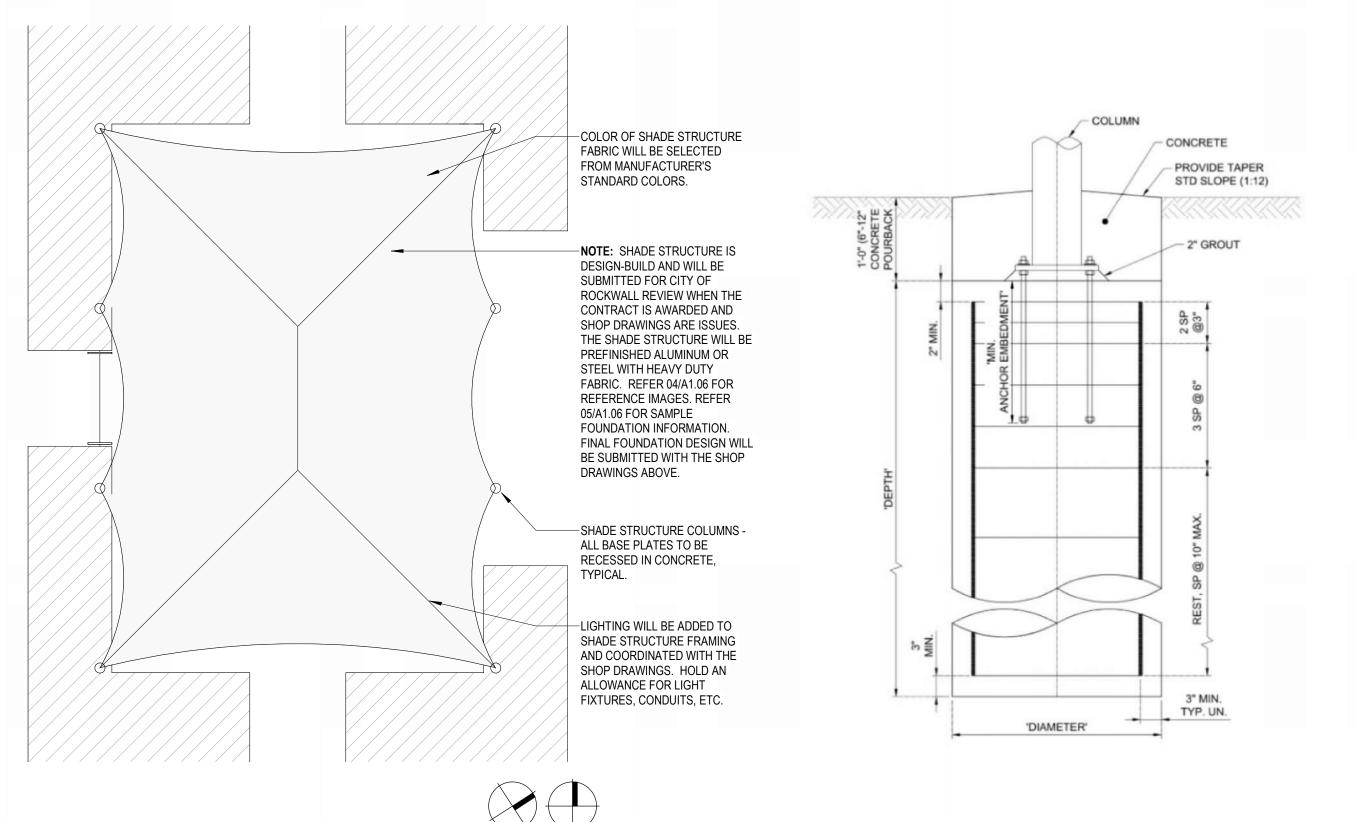


# 5 REFERENCE IMAGES FOR THE DINNING AREA SHADE STRUCTURE SCALE: NO SCALE



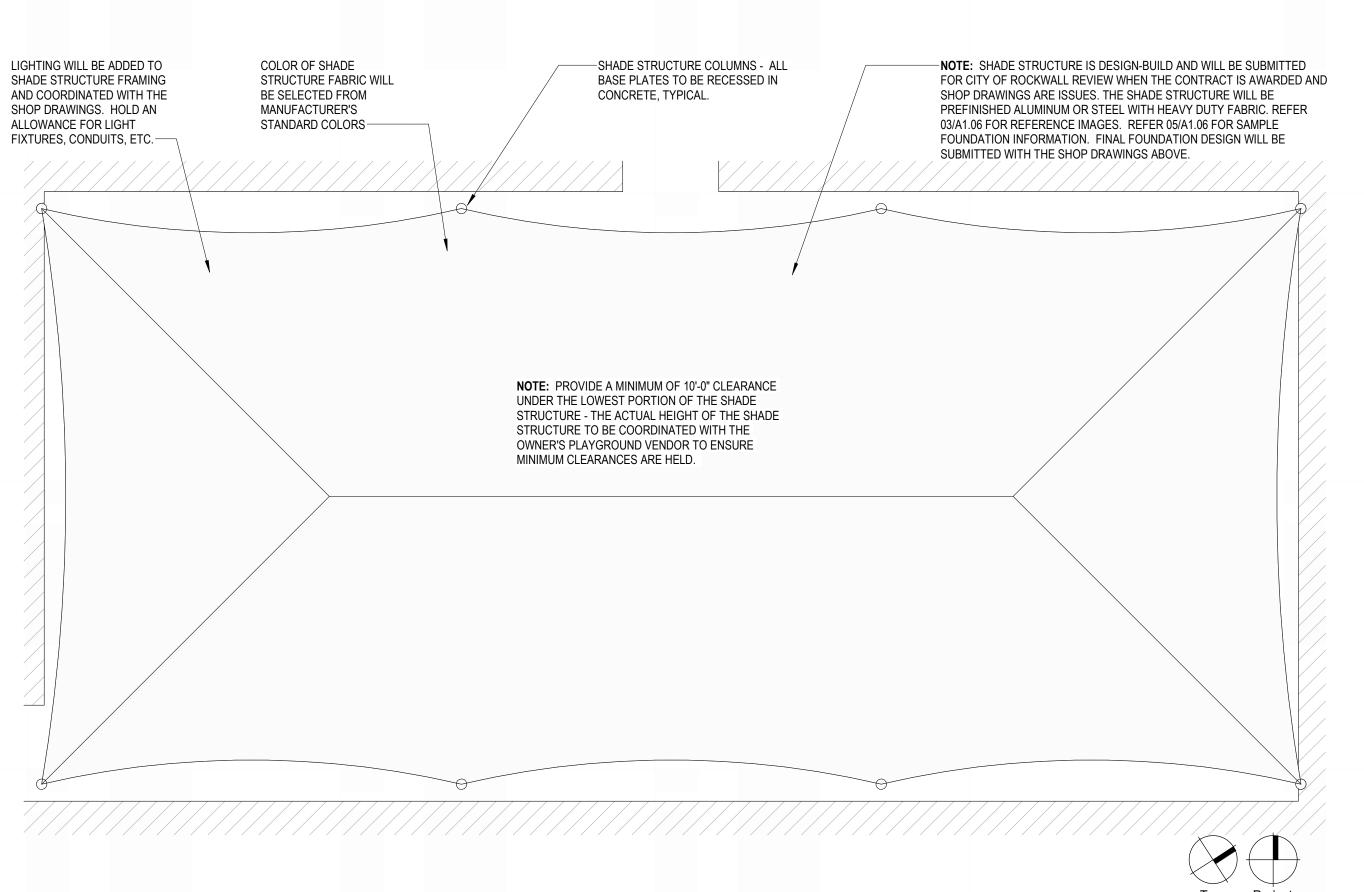


NOTE: PROVIDE A MINIMUM OF 10'-0" CLEARANCE UNDER THE LOWEST PORTION OF THE SHADE STRUCTURE -THE ACTUAL HEIGHT OF THE SHADE STRUCTURE TO BE COORDINATED WITH THE OWNER'S PLAYGROUND VENDOR TO ENSURE MINIMUM CLEARANCES ARE HELD.



2 ENLARGED SITE PLAN - DINNING AREA SHADE STRUCTURE SCALE: 1/8" = 1'-0"

**2** CANOPY COLUMN FOUNDATION SCALE: NO SCALE



1 ENLARGED SITE PLAN - PLAYGROUND SHADE STRUCTURE
SCALE: 1/8" = 1'-0"

PROJECT NUMBER: SP2025-016





BECK GROUP 1601 ELM STREET SUITE 2800 DALLAS, TX 75201 PH: 214-303-6200 FAX: 214-303-6300 WWW.BECKGROUP.COM



JOHN PAUL DEFRANK, AIA NCARB STATE OF TEXAS 19612

ARCHITECT SEAL

CURRENT SUBMISSION: DESIGN DEVELOPMENT

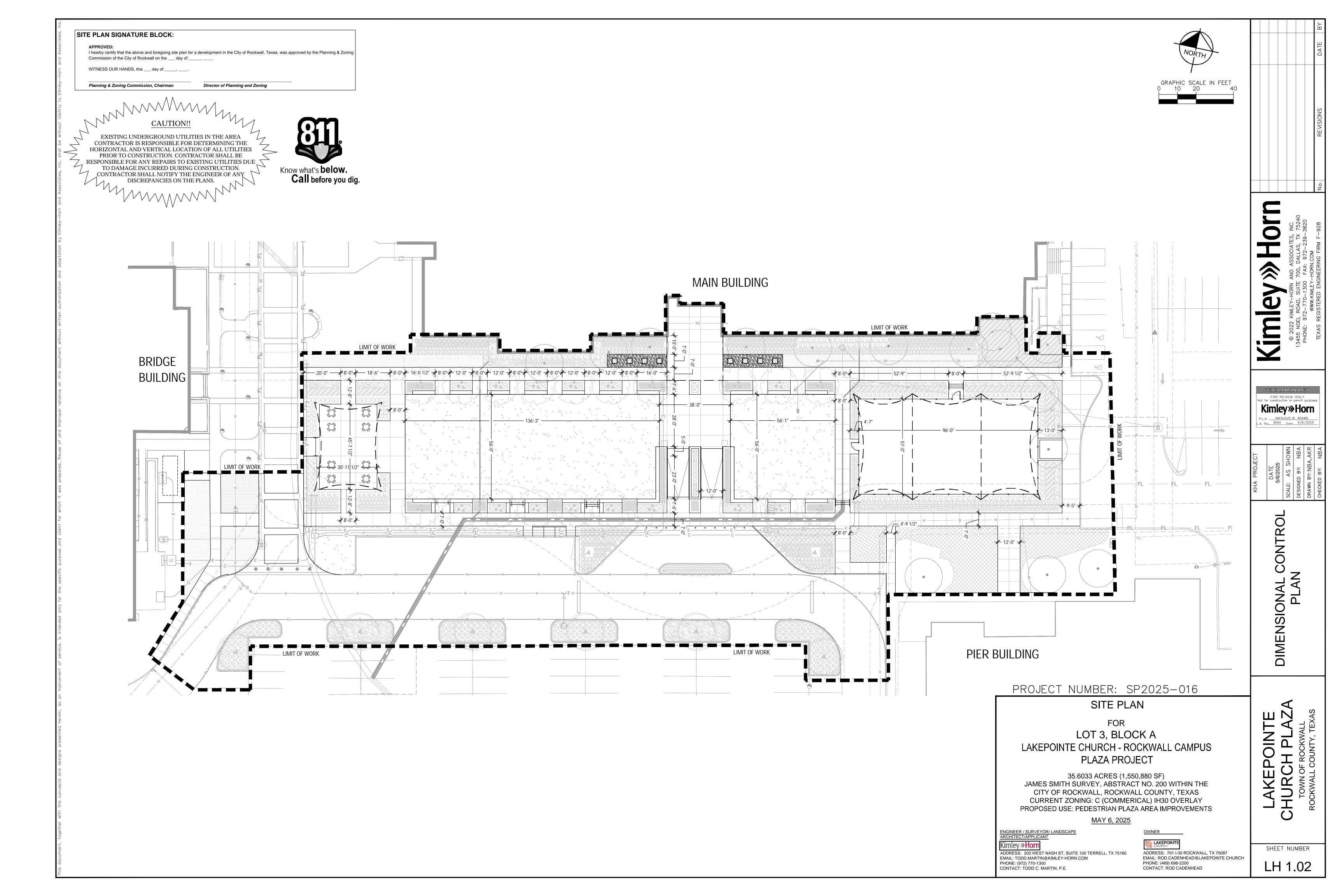
CORRENT SUBMISSION. DESIGN DEVELOPMENT					
#	DATE	SUBMISSION			
Α	04/11/2025	100% DESIGN DEVELOPMENT			

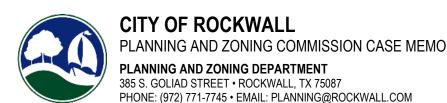
LAKEPOINT CHURCH ROCKWALL CAMPUS: SOUTH PLAZA

SHADE STRUCTURES

A1.06 SHEET







**TO:** Planning and Zoning Commission

**DATE:** May 27, 2025

**APPLICANT:** Jake Hodges; Kimley-Horn

CASE NUMBER: SP2025-017; Site Plan for Rockwall Medical Building

#### **SUMMARY**

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a <u>Site Plan</u> for a <u>Medical Office Building</u> on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

#### **BACKGROUND**

The subject property was annexed on September 16, 1974 by *Ordinance No. 74-23* [Case No. A1974-003]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 4, 1974, the City Council approved a zoning change from an Agricultural (AG) District to Planned Development District 10 (PD-10) [*Ordinance No. 74-32*] for *Townhouse* and *Cluster Homes* on the subject property. On February 19, 1996, the City Council approved an amendment to Planned Development District 10 [*Ordinance No. 96-03*], which superseded the previous ordinance [*Ordinance No. 74-32*] and re-designated the subject property for Commercial (C) District land uses. On April 3, 2000, the City Council approved an additional amendment to the Planned Development District 10 (PD-10) [*Ordinance No. 00-08*], which superseded the previous ordinance [*Ordinance No. 96-03*] and amended the concept plan for the Planned Development District. On August 3, 2020, the City Council approved an amendment to Planned Development District 10 (PD-10), which consolidated all of the regulating ordinances into one (1) regulating ordinance [*Ordinance No. 20-30*]. The subject property has remained vacant since annexation. On November 26, 2024, the Planning and Zoning Commission approved a *site plan* [*Case No. SP2024-*043] for a *medical office building* on a portion of the subject property.

#### **PURPOSE**

On May 2, 2025, the applicant -- *Jake Hodges with Kimley-Horn* -- submitted an application requesting the approval of a site plan for a 55,577 SF *Medical Office Building* on the subject property.

#### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property is SH-276, which is designated as a P6D (*i.e. principal arterial, six* [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this roadway, is a 5.354-acre tract of land (*i.e. Tract 1-3, of the J Cadle Survey, Abstract No.* 65), zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. Beyond this is Phase 1 of the Meadow Creek Estates Subdivision, which is zoned Planned Development District 10 (PD-10) for Single Family 6 (SF-6) District land uses. Phase 1 of the Meadow Creek Estates Subdivision consists of 157 residential lots that were established on June 8, 1999.

South: Directly south of the subject property is a 12.3909-acre parcel of dedicated open space (i.e. Lot 1, Block X, Meadowcreek Estates, Phase III) owned by the City of Rockwall and zoned Planned Development 10 (PD-10) District. Beyond this is a 4.75-acre parcel of dedicated open space (i.e. Lot 5, Block X, Hickory Ridge, Phase I) owned by the City of Rockwall, and zoned Planned Development 10 (PD-10) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six (6) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Phase 3 of the Meadowcreek Estates Subdivision, which is zoned Planned Development 10 (PD-10) District for Single Family 6 (SF-6) District land uses. This subdivision consists of 132 residential lots and was established on February 27, 2001. Beyond this is Faircrest Drive, which is identified as a Minor Collector on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 4 of the Meadowcreek Estates Subdivision, which is zoned Planned Development 10 (PD-10) District for Single Family 6 (SF-6) District land uses. This subdivision consists of 192 residential lots and was established on August 16, 2001.

<u>West</u>: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six* (6) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.868-acre parcel of land (*i.e. Lot 1, Block 1, Helwig Addition*), which is zoned Planned Development 44 District (PD-44) for Heavy Commercial (HC) District land uses.

#### **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Medical Office Building is a permitted by-right land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 10 (PD-10) and the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X=8.4841-acres; In Conformance
Minimum Lot frontage	60-Feet	X>60-feet; In Conformance
Minimum Lot Depth	100-Feet	X~513.77-feet; In Conformance
Minimum Front Yard Setback	50-Feet	X~121-feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X>10-feet; In Conformance
Minimum Side Yard Setback	10-Feet	X>10-feet; In Conformance
Maximum Building Height	60-Feet	X~44.5-feet; In Conformance
Max Building/Lot Coverage	60%	X<60%; In Conformance
Minimum Masonry Requirement	90%	X >90%; In Conformance
Minimum Number of Parking Spaces	1/200 SF = 278 spaces	X=278; In Conformance
Minimum Stone Requirement	20%	X=0%; Not in Conformance
Minimum Landscaping Percentage	20%	X=26%; In Conformance
Maximum Impervious Coverage	85-90%	X=74%; In Conformance

#### TREESCAPE PLAN

The *Treescape Plan* provided by the applicant indicates that 37 protected Eastern Red Cedar trees -- *totaling 148-inches* -- are to be removed from the site. To satisfy this mitigation balance, the applicant is proposing to plant 142, four (4) inch caliper trees totaling 568 caliper inches on site.

#### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(D)(2), Office or Medical Office Building, of Article 13, Definitions, of the Unified Development Code (UDC) defines Office or Medical Office Building as "...(a) facility designed to support a range of healthcare services, including diagnostics, treatments, and administrative functions. These services encompass procedures requiring medical

devices or the expertise of a qualified medical professional. Examples include but are not limited to medical doctor offices, physical therapy, massage therapy, chiropractic care, Botox treatments, and sonograms". In this case, the applicant is requesting a *Medical Office Building*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). In addition, the proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

According to Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative, the code allows the Planning and Zoning Commission to consider the use of three (3) tiered landscaping and a berm along the entire residential adjacency. In this case, the applicant has provided a 25-foot wide landscape buffer along the east property line and a ten (10) foot landscape buffer along the south property line with a three (3) tiered landscape buffer and a berm.

#### **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As previously stated, the applicant's request appears to generally conform to the requirements of Planned Development District 10 (PD-10) and the Unified Development Code (UDC); however, staff has identified the following variance and exception associated with the applicant's request:

#### (1) Architectural Standards.

- (a) <u>Stone</u>. According to Subsection 05.01(A), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades..." In this case, the material sample board provided by the applicant shows the use of burnished block on 100.00% of the exterior of the building. Based on this, the applicant will require a <u>variance</u> from the Planning and Zoning Commission.
- (b) <u>Primary Articulation</u>. According to Subsection 05.01(C)(1), <u>Primary Building Articulation</u>, of Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property." This section of the code goes on to state that these facades "...shall meet the standards for articulation on primary building facades as depicted in <u>Figure 13</u>." In this case, the eastern and western building façades do <u>not</u> meet the articulation requirements for a <u>Primary Building Façade</u>, and will require an <u>exception</u> from the Planning and Zoning Commission.
- (2) Residential Adjacency Screening. According to Subsection 04.01(4), Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(w)here the property immediately abuts a residential zoning district or residentially used property -- unless separated by an M4D (major collector, four [4] lane, divided roadway) or larger thoroughfare -- a minimum 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF in area, a minimum of a 50-foot wide landscaped buffer for buildings with a building footprint of 50,000 SF or greater." In this case, the applicant is required to provide a 50-foot wide landscaped buffer along the east and south property lines. In lieu of this, the applicant has provided a 25-foot wide landscape buffer along the east property line and a ten (10) foot landscape buffer along the south property line with a three (3) tiered landscape buffer and a berm. Staff should point out that there is an approximately 800-foot natural buffer of floodplain between the south property line and the residential homes in Hickory Ridge Subdivision. Regardless of this buffer, this aspect of the applicant's request will still require an exception from the Planning and Zoning Commission.

According to Subsection 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue

hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. In this case, the applicant has provided the following compensatory measures in their variance letter: [1] increased landscaping, [2] addition of architectural and shading elements over the main façade, [3] pedestrian areas adjacent to the building, and [4] additional architectural features in the design of the building. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission, that require a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- for the approval of a variance or exception.

#### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the <u>South Central Residential District</u> which "...contains a mixture of established medium and low density residential subdivisions along with several large tracts of land designated for low density residential land uses." The <u>South Central Residential District</u> is "...anticipated to add additional suburban developments in the western and southern areas of the district." The applicant's site plan appears to meet the intent of Comprehensive Plan for a supportive retail/office land use within the <u>South Central Residential District</u>.

#### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The applicant has provided building elevations that will be reviewed by the Architectural Review Board (ARB) at the <u>May 27</u>, <u>2025</u> Planning and Zoning Commission meeting.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for a medical office building on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO.

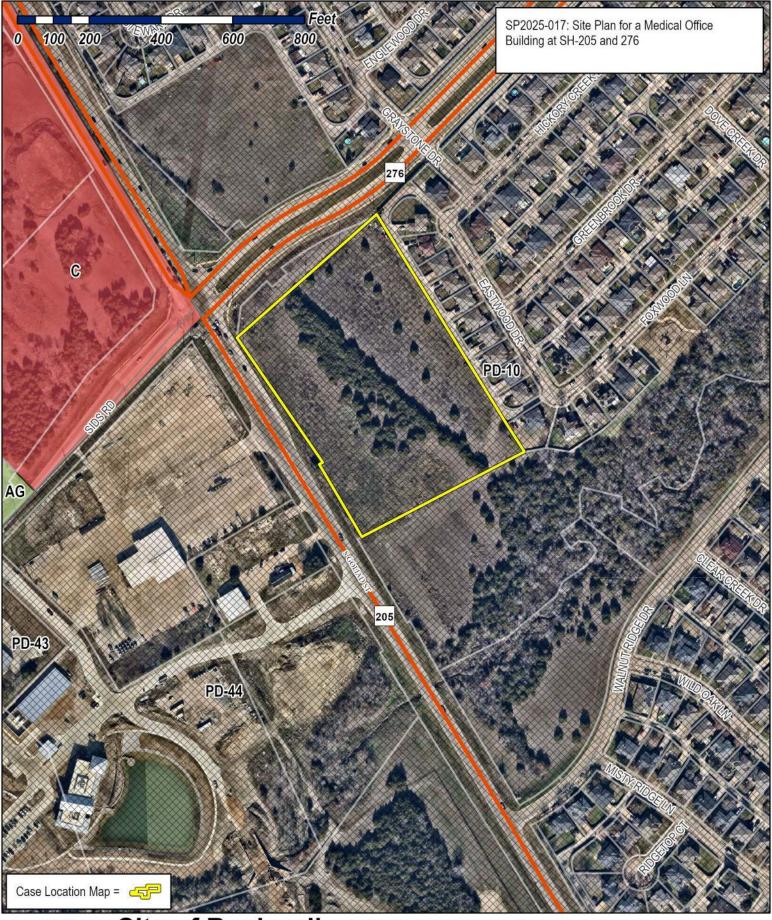
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPMENT RE	QUEST [SELECT ONLY ONE BOX]:			
☐ PRELIMINARY ☐ FINAL PLAT (\$ ☐ REPLAT (\$300. ☐ AMENDING OF ☐ PLAT REINSTA  SITE PLAN APPLI ☐ SITE PLAN (\$2	(\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 300.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 R MINOR PLAT (\$150.00) ITEMENT REQUEST (\$100.00)	☐ ZONING CHA ☐ SPECIFIC US ☐ PD DEVELOI  OTHER APPLIC ☐ TREE REMO ☐ VARIANCE F  NOTES: 1 IN DETERMINING T PER ACRE AMOUNT. 2 A \$1,000.00 FEE!	ZONING APPLICATION FEES:  ZONING CHANGE (\$200.00 + \$15.00 ACRE)  SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)  DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)  OTHER APPLICATION FEES:  TREE REMOVAL (\$75.00)  VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)  NOTES:  IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING			
PROPERTY INF	ORMATION [PLEASE PRINT]					
	S E Corner of the intersection of S	Goliad St and S	H 276			
SUBDIVISIO	N Unplatted - W.H. Barnes Survey,	Abstract No. 26	S LOT N/A BLOCK N/A			
GENERAL LOCATIO	N E Corner of the intersection of S					
	LAN AND PLATTING INFORMATION (PLEA					
CURRENT ZONIN			Undeveloped			
PROPOSED ZONIN			Medical Office			
	E 8.4841 LOTS [CURREN		LOTS [PROPOSED] 2			
ACKLAG	0.4041 E013 [GUNNEN	i) IN/A	EOTO [I NOT OSED]			
REGARD TO ITS RESULT IN THE	APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE.	STAFF'S COMMENTS BY	AGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL			
	ANT/AGENT INFORMATION [PLEASE PRINT/C					
	Vue Real Estate		Kimley-Horn			
	Jeff Brockette	CONTACT PERSON	Jake Hodges			
ADDRESS	9600 N Central Expressway	ADDRESS	203 W Nash St, Suite 100			
	Suite 100					
CITY, STATE & ZIP	Dallas, Texas 75231	CITY, STATE & ZIP	Terrell, Texas 75160			
PHONE	Address	PHONE	972-588-4263			
E-MAIL	Dani.carr@vuerealestate.com	E-MAIL	Jake.Hodges@kimley-horn.com			
BEFORE ME, THE UNDE	ICATION [REQUIRED] PRIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEAR FION ON THIS APPLICATION TO BE TRUE AND CERTIFIED TH	ED JEHPIRUT. BY	ickotte [owner] the undersigned, who			
\$	, TO COVER THE COST OF THIS APPLICATION, H , 20 BY SIGNING THIS APPLICATION, I AGF	IAS BEEN PAID TO THE CIT REE THAT THE CITY OF RO	OCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE			
'NEORMATION CONTAIN SUBMITTED IN CONJUNC	ED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY I TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS	S ALSO AUTHORIZED AND SOCIATED OR IN RESPONSE	TO A REQUEST FOR RUBLIO INFORMATION L. TOMLINSON.			
GIVEN UNDER MY HANL	O AND SEAL OF OFFICE ON THIS THE 14th DAY OF AP	ril 20 <u>0</u>	Notary Public, State of Texas Comm. Expires 06-02-2025			
	OWNER'S SIGNATURE	no	Winner Notary ID 133133189			

MY COMMISSION EXPIRES

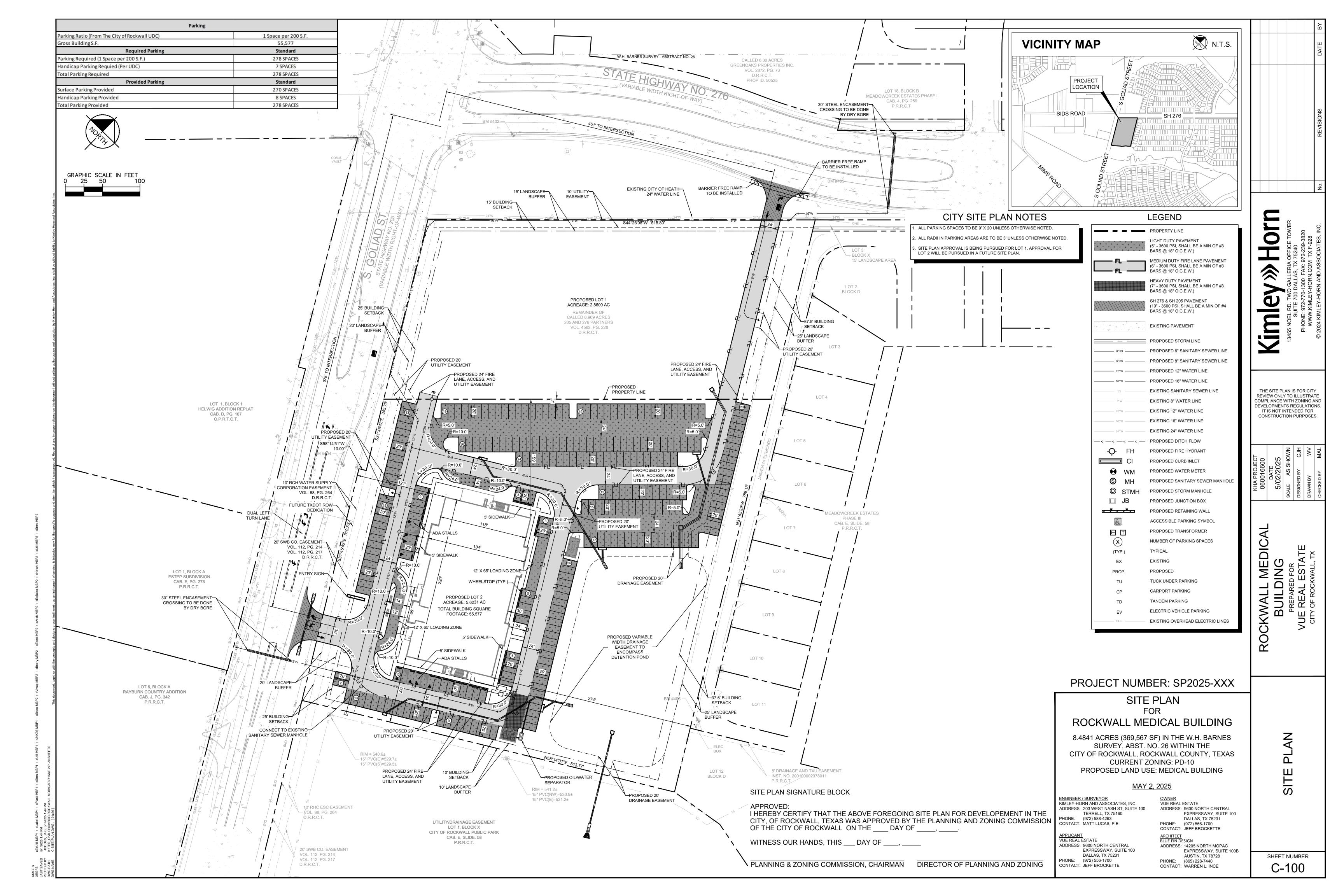


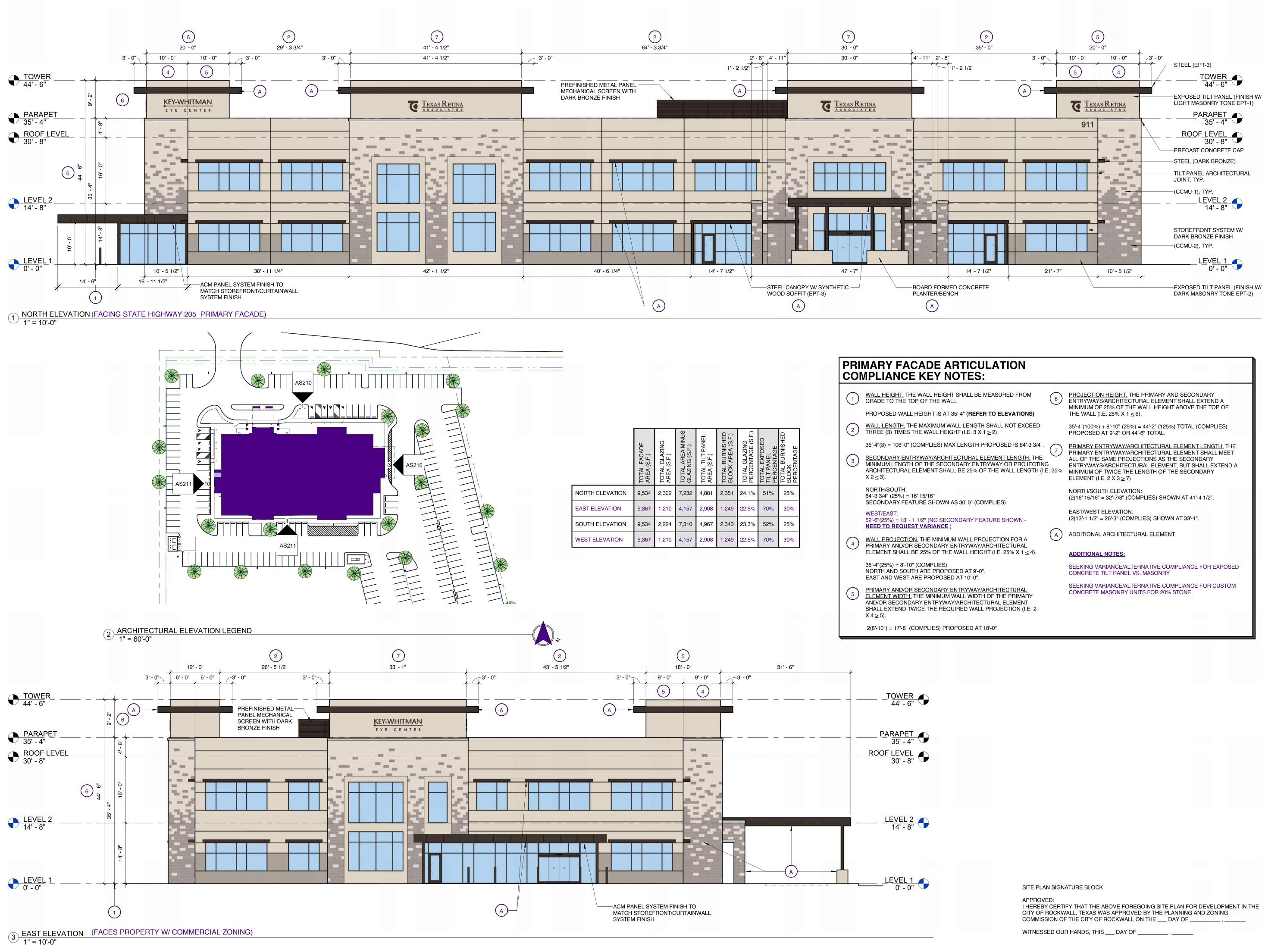


City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









SI #:

25101

LTY GROUP, LLC.
WALL MOB

ROCKW

SEAL:

RE



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS

DATE # DESCRIPTION

DATE: 2025.05.01

DRAWN BY: WLI

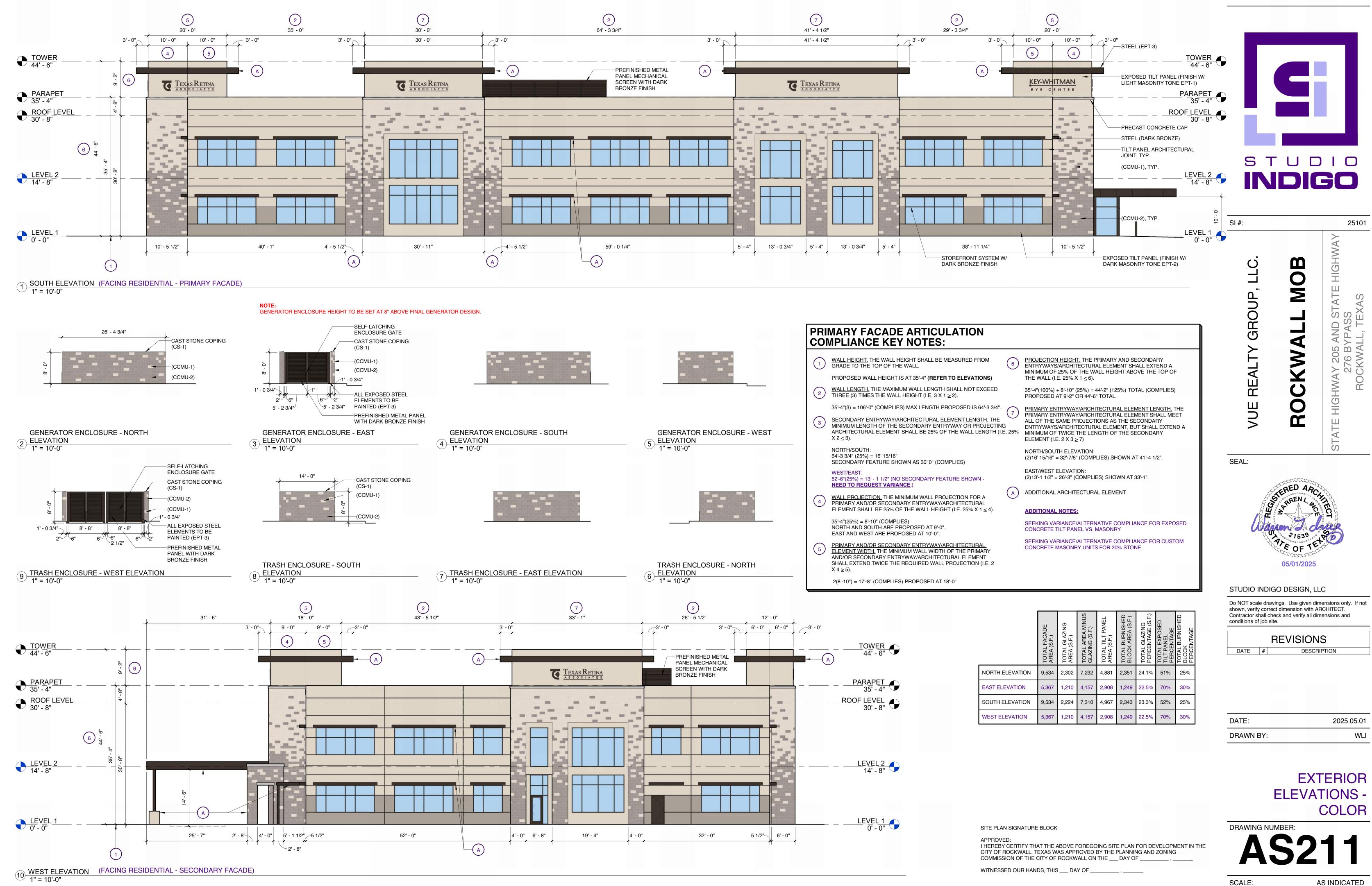
EXTERIOR ELEVATIONS -COLOR

DRAWING NUMBER:

**AS210** 

SCALE: AS INDICATED

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

AS INDICATED



SOUTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 205



SOUTHEAST PERSPECTIVE/RENDERING - VIEW FROM INTERIOR OF SITE

## FINISH LEGEND - MATERIAL **BOARD:**



(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY MORTAR: TBD



STOREFRONT SYSTEM: MFR: KAWNEER OR EQUAL FINISH: DARK BRONZE ANODIZED



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD



(EPT-1): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7516 KESTREL WHITE



(EPT-2): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7024 FUNCTIONAL GRAY



(EPT-3): EXTERIOR PAINT MFR: SHERWIN WILLIAMS



(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL





STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

**REVISIONS** DESCRIPTION DATE #

DATE:

DRAWN BY:

2025.05.01

AS INDICATED

BUILDING MATERIAL SAMPLE **BOARD & COLOR** RENDERINGS

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE

SITE PLAN SIGNATURE BLOCK

WITNESSED OUR HANDS, THIS \_\_\_ DAY OF



NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM DRIVE

## FINISH LEGEND - MATERIAL **BOARD:**



(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY MORTAR: TBD



STOREFRONT SYSTEM: MFR: KAWNEER OR EQUAL FINISH: DARK BRONZE ANODIZED



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD



(EPT-1): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7516 KESTREL WHITE



(EPT-2): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7024 FUNCTIONAL GRAY



(EPT-3): EXTERIOR PAINT MFR: SHERWIN WILLIAMS FINISH: SW7048 - URBANE BRONZE



(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL



SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

**REVISIONS** DATE # DESCRIPTION

DATE:

2025.05.01

AS INDICATED

Author

DRAWN BY:

BUILDING MATERIAL SAMPLE **BOARD & COLOR** 

RENDERINGS

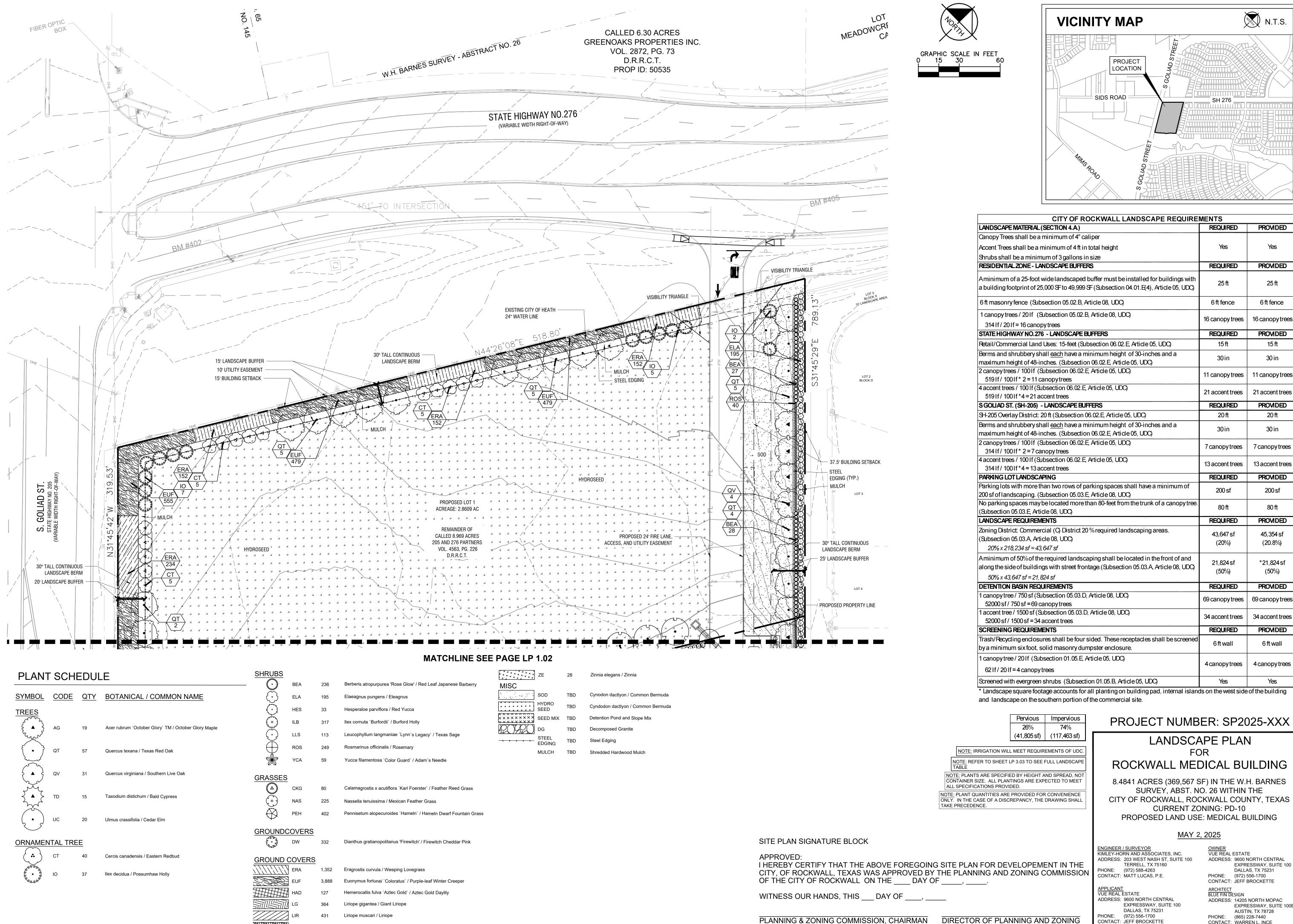
SCALE:

SITE PLAN SIGNATURE BLOCK

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_

WITNESSED OUR HANDS, THIS \_\_\_ DAY OF

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



N.T.S.

CITY OF ROCKWALL LANDSCAPE REQUIRE	MENTS	
LANDSCAPE MATERIAL (SECTION 4.A.)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper		
Accent Trees shall be a minimum of 4 ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size		
RESIDENTIAL ZONE - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Aminimum of a 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF (Subsection 04.01.E(4), Article 05, UDC)	25 ft	25 ft
6 ft masonry fence (Subsection 05.02.B, Article 08, UDC)	6 ft fence	6 ft fence
1 canopy trees / 20 If (Subsection 05.02.B, Article 08, UDC) 314 If / 20 If = 16 canopy trees	16 canopy trees	16 canopy trees
STATE HIGHWAY NO.276 - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Retail/Commercial Land Uses: 15-feet (Subsection 06.02.E, Article 05, UDC)	15 ft	15 ft
Berms and shrubbery shall <u>each</u> have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopytrees / 100 lf (Subsection 06.02.E, Article 05, UDC) 519 lf / 100 lf * 2 = 11 canopytrees	11 canopy trees	11 canopy trees
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC) 519 lf / 100 lf *4 = 21 accent trees	21 accent trees	21 accent trees
S GOLIAD ST. (SH-205) - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
SH-205 Overlay District: 20 ft (Subsection 06.02.E, Article 05, UDC)	20 ft	20 ft
Berms and shrubbery shall <u>each</u> have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopytrees / 100 lf (Subsection 06.02.E, Article 05, UDC) 314 lf / 100 lf * 2 = 7 canopytrees	7 canopy trees	7 canopy trees
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC) 314 lf / 100 lf *4 = 13 accent trees	13 accent trees	13 accent trees
PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping. (Subsection 05.03.E, Article 08, UDC)	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
Zoning District: Commercial (C) District 20 % required landscaping areas.  (Subsection 05.03.A, Article 08, UDC)  20% x 218, 234 sf = 43, 647 sf	43,647 sf (20%)	45,354 sf (20.8%)
Aminimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC) $50\% \times 43,647 \text{ sf} = 21,824 \text{ sf}$	21,824 sf (50%)	*21,824 sf (50%)
DETENTION BASIN REQUIREMENTS	REQUIRED	PROVIDED
1 canopy tree / 750 sf (Subsection 05.03.D, Article 08, UDC) 52000 sf / 750 sf = 69 canopy trees	69 canopy trees	69 canopy trees
1 accent tree / 1500 sf (Subsection 05.03.D, Article 08, UDC) 52000 sf / 1500 sf = 34 accent trees	34 accent trees	34 accent trees
SCREENING REQUIREMENTS	REQUIRED	PROVIDED
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum six foot, solid masonry dumpster enclosure.		6 ft wall
1 canopytree / 201f (Subsection 01.05.E, Article 05, UDC) 621f / 201f = 4 canopytrees	4 canopy trees	4 canopy trees
	Yes	Yes
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	res	<sub>l</sub> res

### MAY 2, 2025

OWNER VUE REAL ESTATE

CONTACT: JEFF BROCKETTE

ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440

CONTACT: WARREN L. INCE

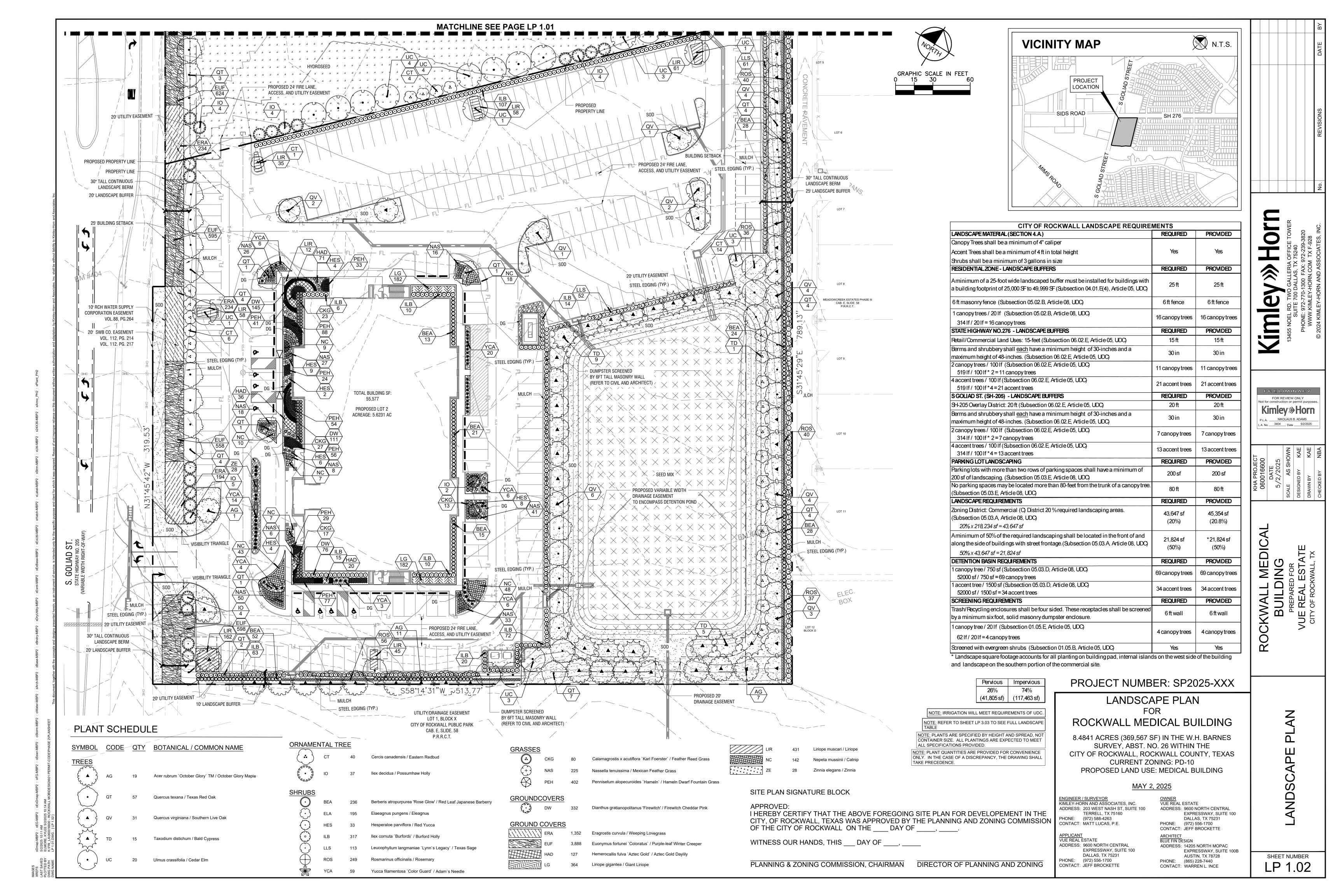
AND

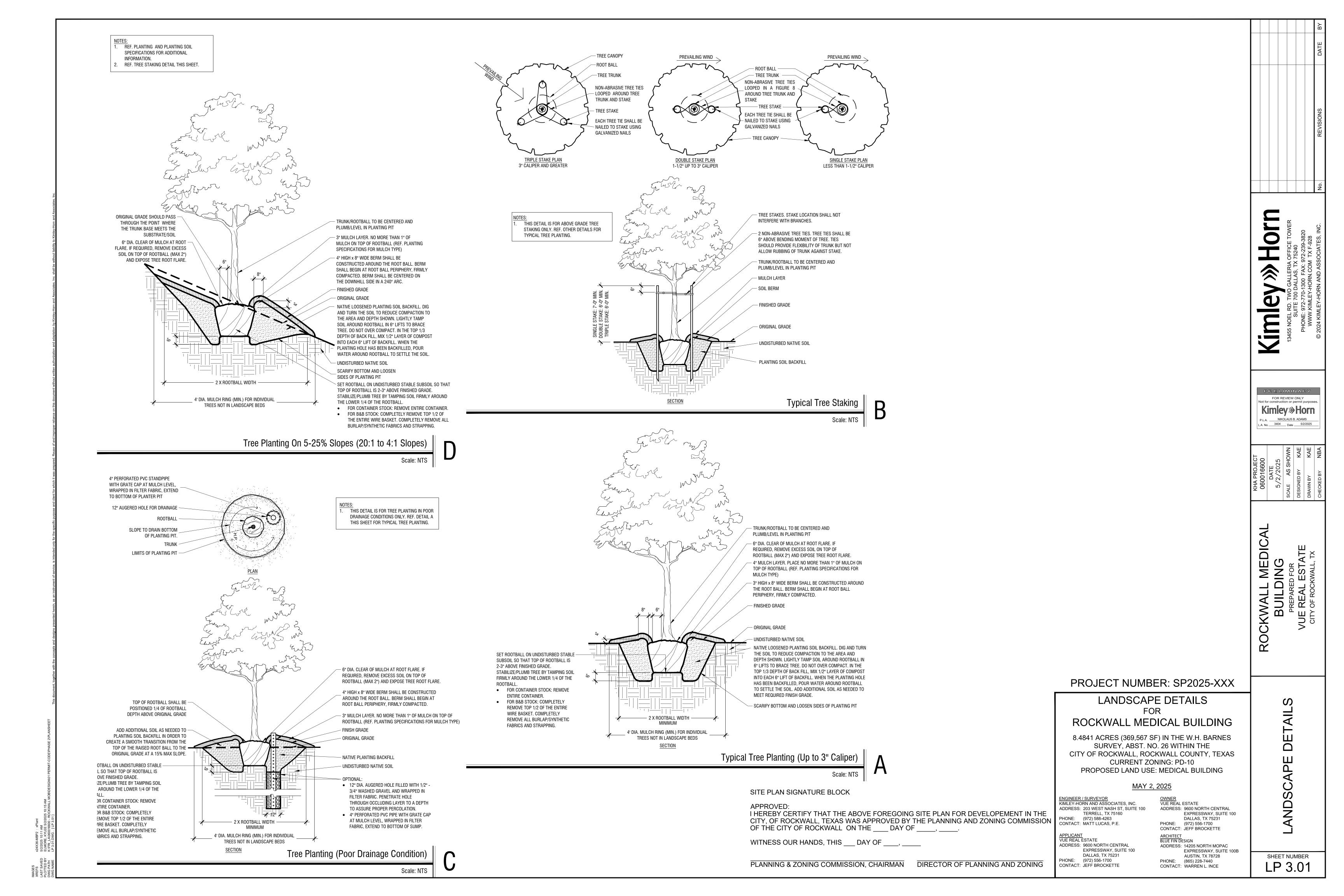
SHEET NUMBER LP 1.01

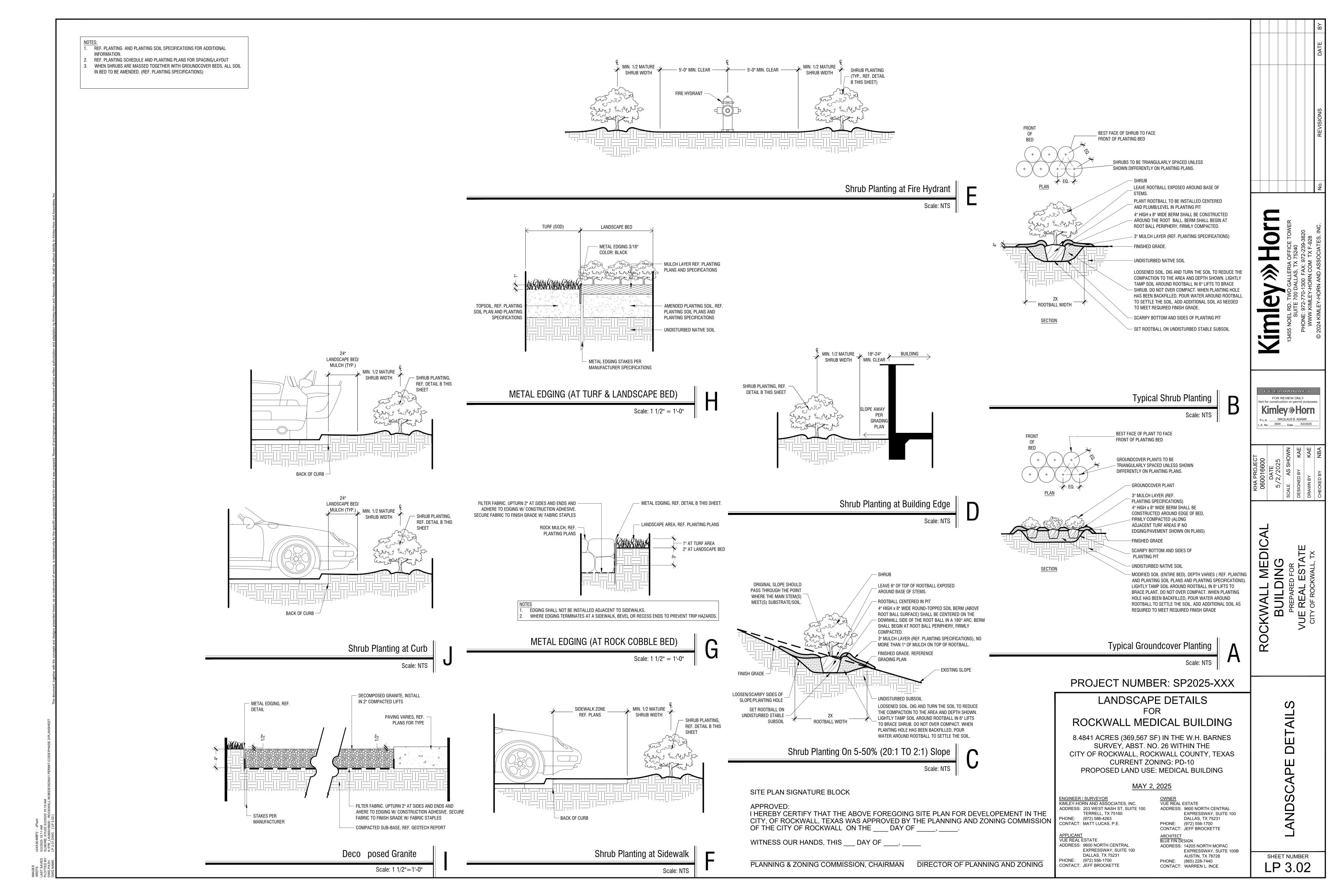
**Kimley** Horn

L.A. No. 3404 Date 5/2/2025

SCKWALL MEDICA
BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX







### NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

### PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- 3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY
- 4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- 5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- 6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.

7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN

- 8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- 9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT, PROVIDE IRRIGATION AS NECESSARY
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE
- 11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.

MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED

- 12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
- 13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- 14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS. AND TWIGS/BRANCHES
- 15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS. 16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY

### GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER. B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT. STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR

AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN

MATERIALS SAMPLES TOPSOIL ONE (1) CUBIC YARD

PLANTS ONE (1) OF EACH VARIETY 2. PLANT MATERIALS

A PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS NOMENCI ATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG. SOUND. HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR LIPON DELIVERY TO THE SITE AS DETERMINED BY THE OWNER FOR QUALITY SIZE ANI VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

### E. TOPSOIL

D. MATERIALS

1. ASTM D5268. NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL

2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3 VERIEY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO

4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.

5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 NCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES

6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE

7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE

8 AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.

a. ORGANIC SOIL AMENDMENTS 1 MANURE: WELL-ROTTED LINEFACHED STABLE OR CATTLE MANURE CONTAINING NOT MORE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO

2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.

3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.

4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.

5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS. WORM CASTINGS: EARTHWORMS.

### b. INORGANIC SOIL AMENDMENTS

1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8

SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE. 2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR,

WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.

3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.

4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM

5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCEN ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS PFR PI ANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN

2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY

OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES

IN 1 GAL (MIN.) CONTAINER.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL. NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

### J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA: IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE

FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14
3. SOD - 8-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS. ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10 MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM. NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

### M. CONTAINER GROWN STOCK

O. NATIVE STOCK

P. MATERIALS LIST

Q. FINE GRADING

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT

THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS. 3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.

THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A

GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE. 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

### R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES. CONDUITS. SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3 SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS JTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW. FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

THREE (3) TABLETS PER 3 GAL. PLANT

 FOUR (4) TABLETS PER 10 GAL. PLANT - LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH

WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT 13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE

DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PI

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_, \_\_\_\_

### SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING. ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL. AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER. TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS

SOD AND THOROUGHLY WATERED IN.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

F PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER, AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH. H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN-UP LIPON COMPLETION OF ALL PLANTING WORK AND REFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY

THE OWNER'S AUTHORIZED REPRESENTATIVE

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

U. PLANT MATERIAL MAINTENANCE ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, ULTIVATING. SPRAYING. AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GU SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER, MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM) 1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3 REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED

## PROJECT NUMBER: SP2025-XXX

# LANDSCAPE PLAN **ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

VUE REAL ESTATE (IMI FY-HORN AND ASSOCIATES INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 (972) 588-4263 CONTACT: MATT LUCAS, P.E.

PHONE: (972) 556-1700

CONTACT: JEFF BROCKETTE

VUE REAL ESTATE BLUE FIN DESIGN ADDRESS: 9600 NORTH CENTRAL **EXPRESSWAY SUITE 100** DALLAS, TX 75231

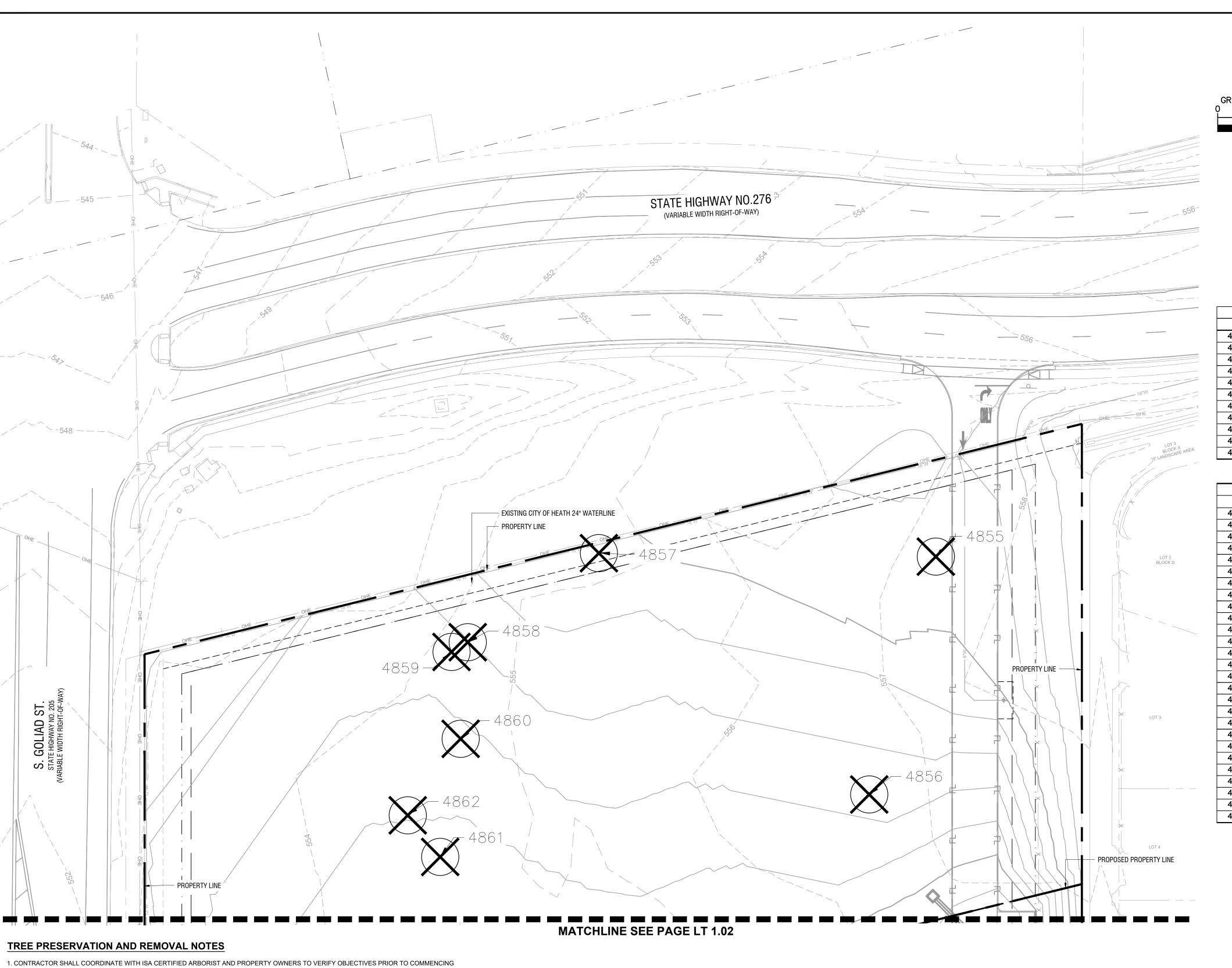
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

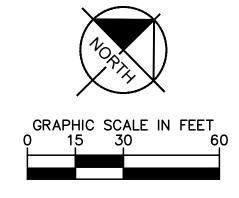
PRELIMINARY FOR REVIEW ONLY **Kimley** WHorn P.L.A. NIKOLAUS B. ADAMS L.A. No. 3404 Date 5/2/2025

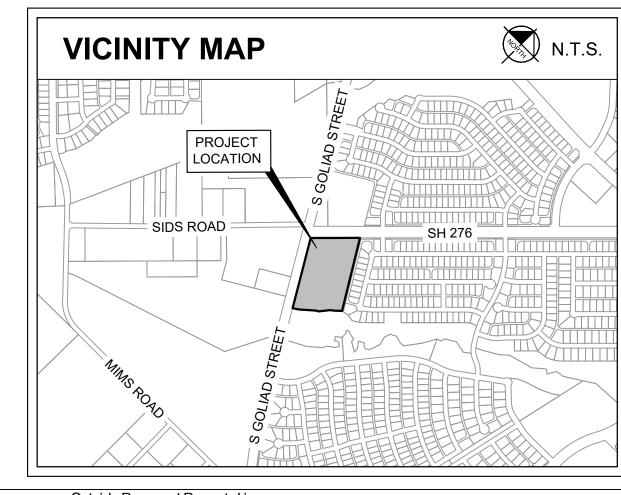
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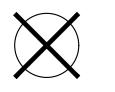


	Outside Proposed Property Line						
#	SPECIES	CALIPER(IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)		
4855	Eastern Redcedar / Juniperus virginiana	13.9 (15 ft tall)	Remove	Healthy (5)	4		
4856	Eastern Redcedar / Juniperus virginiana	17.3 (20 ft tall)	Remove	Healthy (5)	4		
4857	Eastern Redcedar / Juniperus virginiana	13.7 (15 ft tall)	Remove	Healthy (5)	4		
4858	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4859	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4		
4860	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4861	Eastern Redcedar / Juniperus virginiana	18.8 (20 ft tall)	Remove	Healthy (5)	4		
4862	Eastern Redcedar / Juniperus virginiana	12.2 (12 ft tall)	Remove	Healthy (5)	4		
4863	Eastern Redcedar / Juniperus virginiana	12.3 (12 ft tall)	Remove	Healthy (5)	4		
4865	Eastern Redcedar / Juniperus virginiana	14.7 (15 ft tall)	Remove	Healthy (5)	4		
4866	Eastern Redcedar / Juniperus virginiana	12.6 (12 ft tall)	Remove	Healthy (5)	4		
				Total Mitigation Required:	44		

# SPECIES CAUPER (IN) PROTECT OR REMOVE TREE HEALTH (1-5) MITIGATION REQURED (IN) 4864 Eastern Redoedar / Juniperus virginiana 11 (10ft tall) Remove Healthy (5) 4  4867 Chittamwood / Sderoxylon lanuginosum 9.1 (10ft tall) Remove Declining (1) 0  4868 Eastern Redoedar / Juniperus virginiana 15.4 (15ft tall) Remove Healthy (5) 4  4870 Eastern Redoedar / Juniperus virginiana 19.1 (20ft tall) Remove Healthy (5) 4  4871 Eastern Redoedar / Juniperus virginiana 19.1 (20ft tall) Remove Healthy (5) 4  4872 Eastern Redoedar / Juniperus virginiana 18.2 (20ft tall) Remove Healthy (5) 4  4873 Eastern Redoedar / Juniperus virginiana 18.2 (20ft tall) Remove Healthy (5) 4  4874 Eastern Redoedar / Juniperus virginiana 18.2 (20ft tall) Remove Healthy (5) 4  4875 Eastern Redoedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4  4876 Eastern Redoedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4  4877 Eastern Redoedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4  4878 Eastern Redoedar / Juniperus virginiana 14.3 (15ft tall) Remove Healthy (5) 4  4879 Eastern Redoedar / Juniperus virginiana 15.2 (10ft tall) Remove Healthy (5) 4  4870 Eastern Redoedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4  4871 Eastern Redoedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4  4872 Eastern Redoedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4  4873 Eastern Redoedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4  4874 Eastern Redoedar / Juniperus virginiana 15.3 (15ft tall) Remove Healthy (5) 4  4880 Eastern Redoedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4  4881 Eastern Redoedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4  4882 Eastern Redoedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4  4883 Eastern Redoedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4  4884 Eastern Redoedar / Juniperus virginiana 15.6 (15ft tall) Remove Healthy (5) 4  4885 Eastern Redoedar / Juniperus vi		Inside Proposed Property Line							
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4897 Eastern Redcedar / Juniperus virginiana 14.9 (15 ft tall) Remove Healthy (5) 4 4898 Eastern Redcedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4895	Cedar ⊞m / Ulmus crassifolia	15.5 (15 ft tall)	Remove	Healthy (5)	4			
4898 Eastern Red cedar / Juniperus virginiana 14.8 (15 ft tall) Remove Healthy (5) 4	4896	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4			
	4897	Eastern Redcedar / Juniperus virginiana	14.9 (15 ft tall)	Remove	Healthy (5)	4			
4899 Eastern Redcedar / Juniperus virginiana 18.5 (20 ft tall) Remove Healthy (5) 4	4898	Eastern Redcedar / Juniperus virginiana	14.8 (15 ft tall)	Remove	Healthy (5)	4			
	4899	Eastern Redcedar / Juniperus virginiana	18.5 (20 ft tall)	Remove	Healthy (5)	4			

### TREE PRESERVATION LEGEND

Total Mitigation Required:



EXISTING TREE TO BE REMOVED

Grand Total Mitigation Required: 148 in

NOTE: TREE REMOVAL PERMIT SHALL BE REQUESTED AT THE TIME OF TREE REMOVAL.

SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

### MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160

PHONE: (972) 556-1700 ARCHITECT BLUE FIN DESIGN

EXPRESSWAY, SUITE 100 AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 CONTACT: JEFF BROCKETTE ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B

SHEET NUMBER LT 1.01

FOR REVIEW ONLY Not for construction or permit purp

Kimley»Horn

P.L.A. NIKOLAUS B. ADAMS
L.A. No. 3404 Date 5/2/2025

PROJECT NUMBER: SP2025-XXX

# TREE PRESERVATION PLAN

# ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION CONTACT: MATT LUCAS, P.E. OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, \_\_\_.

APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN SIGNATURE BLOCK

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_, \_\_\_\_

APPROVED:

EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING, OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE HARVESTED AS BALLED & BURLAPPED TREE SPECIMENS, PER ANSI Z60 STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

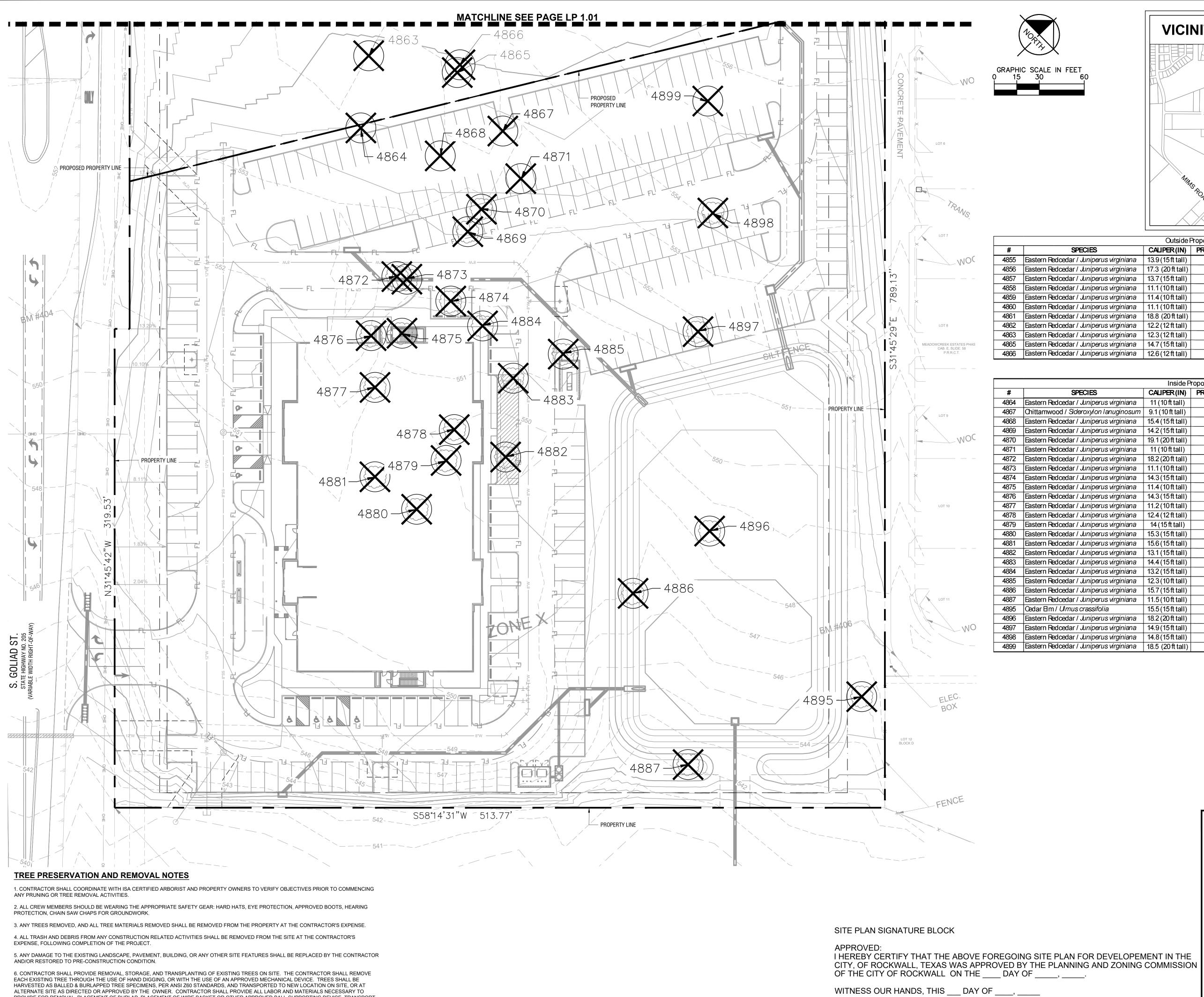
5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR

6. CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPLANTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE

2. ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.

AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.

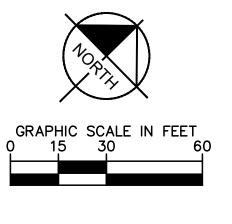
3. ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE. 4. ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.

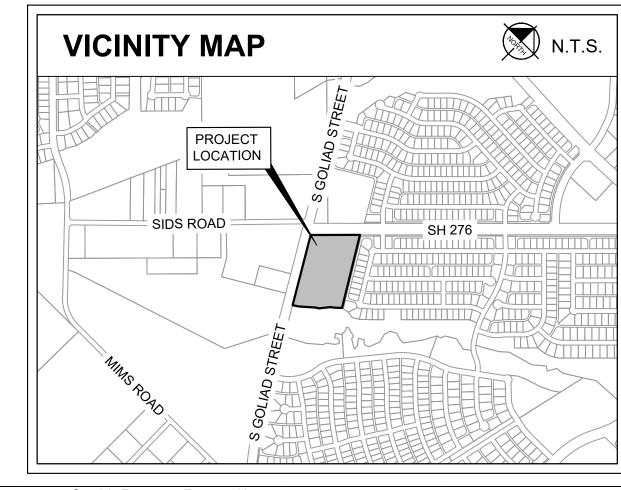


ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO

PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT

TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.





	Outside Proposed Property Line						
#	SPECIES	CALIPER(IN)	PROTECT OR REVIOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)		
4855	Eastern Redcedar / Juniperus virginiana	13.9 (15 ft tall)	Remove	Healthy (5)	4		
4856	Eastern Redcedar / Juniperus virginiana	17.3 (20 ft tall)	Remove	Healthy (5)	4		
4857	Eastern Redcedar / Juniperus virginiana	13.7 (15 ft tall)	Remove	Healthy (5)	4		
4858	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4859	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4		
4860	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4861	Eastern Redcedar / Juniperus virginiana	18.8 (20 ft tall)	Remove	Healthy (5)	4		
4862	Eastern Redcedar / Juniperus virginiana	12.2 (12 ft tall)	Remove	Healthy (5)	4		
4863	Eastern Redcedar / Juniperus virginiana	12.3 (12 ft tall)	Remove	Healthy (5)	4		
4865	Eastern Redcedar / Juniperus virginiana	14.7 (15 ft tall)	Remove	Healthy (5)	4		
4866	Eastern Redcedar / Juniperus virginiana	12.6 (12 ft tall)	Remove	Healthy (5)	4		
				Total Mitigation Required:	44		

	Inside Proposed Property Line						
#	SPECIES	CALIPER(IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)		
4864	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4		
4867	Chittamwood / Sideroxylon lanuginosum	9.1 (10 ft tall)	Remove	Declining (1)	0		
4868	Eastern Redcedar / Juniperus virginiana	15.4 (15 ft tall)	Remove	Healthy (5)	4		
4869	Eastern Redcedar / Juniperus virginiana	14.2 (15 ft tall)	Remove	Healthy (5)	4		
4870	Eastern Redcedar / Juniperus virginiana	19.1 (20 ft tall)	Remove	Healthy (5)	4		
4871	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4		
4872	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4		
4873	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4		
4874	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4		
4875	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4		
4876	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4		
4877	Eastern Redcedar / Juniperus virginiana	11.2 (10 ft tall)	Remove	Healthy (5)	4		
4878	Eastern Redcedar / Juniperus virginiana	12.4 (12 ft tall)	Remove	Healthy (5)	4		
4879	Eastern Redcedar / Juniperus virginiana	14 (15 ft tall)	Remove	Healthy (5)	4		
4880	Eastern Redcedar / Juniperus virginiana	15.3 (15 ft tall)	Remove	Healthy (5)	4		
4881	Eastern Redcedar / Juniperus virginiana	15.6 (15 ft tall)	Remove	Healthy (5)	4		
4882	Eastern Redcedar / Juniperus virginiana	13.1 (15 ft tall)	Remove	Healthy (5)	4		
4883	Eastern Redcedar / Juniperus virginiana	14.4 (15 ft tall)	Remove	Healthy (5)	4		
4884	Eastern Redcedar / Juniperus virginiana	13.2 (15 ft tall)	Remove	Healthy (5)	4		
4885	Eastern Redcedar / Juniperus virginiana	12.3 (10 ft tall)	Remove	Healthy (5)	4		
4886	Eastern Redcedar / Juniperus virginiana	15.7 (15 ft tall)	Remove	Healthy (5)	4		
4887	Eastern Redcedar / Juniperus virginiana	11.5 (10 ft tall)	Remove	Healthy (5)	4		
4895	Cedar ⊞m / Ulmus crassifolia	15.5 (15 ft tall)	Remove	Healthy (5)	4		
4896	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4		
4897	Eastern Redcedar / Juniperus virginiana	14.9 (15 ft tall)	Remove	Healthy (5)	4		
4898	Eastern Redcedar / Juniperus virginiana	14.8 (15 ft tall)	Remove	Healthy (5)	4		
4899	Eastern Redcedar / Juniperus virginiana	18.5 (20 ft tall)	Remove	Healthy (5)	4		

### TREE PRESERVATION LEGEND

Total Mitigation Required:



Grand Total Mitigation Required: 148 in

NOTE: TREE REMOVAL PERMIT SHALL BE REQUESTED AT THE TIME OF TREE REMOVAL.

### PROJECT NUMBER: SP2025-XXX

### ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

### MAY 2, 2025

TERRELL, TX 75160

EXPRESSWAY, SUITE 100 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ARCHITECT BLUE FIN DESIGN

ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL

Kimley»Horn

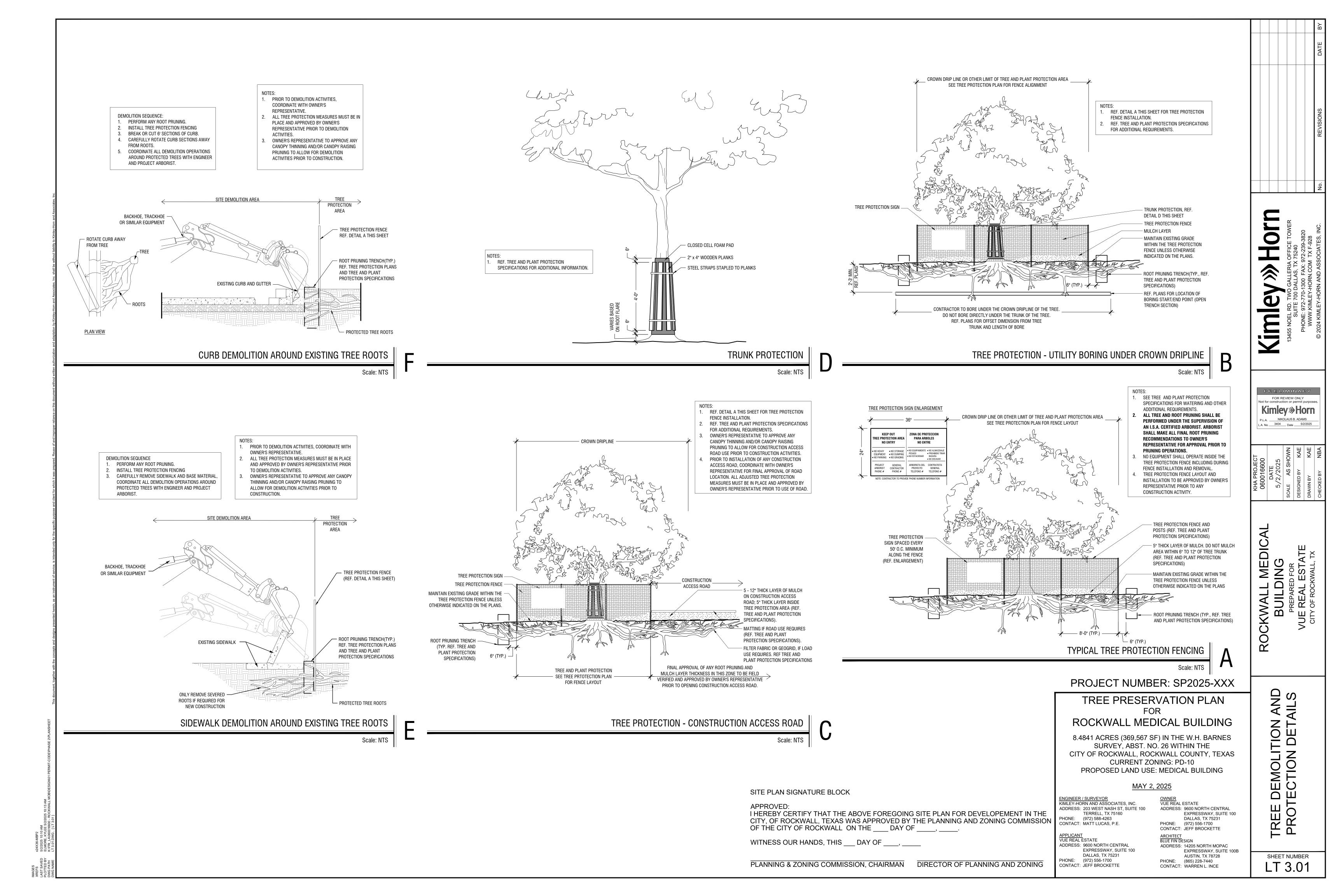
SHEET NUMBER LT 1.02

# TREE PRESERVATION PLAN

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 CONTACT: MATT LUCAS, P.E.

APPLICANT VUE REAL ESTATE

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



EXISTING TREES AND OTHER PLANTS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. 1. PROVIDE PRECONSTRUCTION EVALUATIONS

2. PROVIDE PROTECTION OF ROOT ZONES AND ABOVE GROUND TREES AND PLANTS

PROVIDE PRUNING OF EXISTING TREES AND PLANTS. 4. COORDINATE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MODIFICATIONS TO THE SOIL WITHIN THE ROOT ZONE OF EXISTING TREES AND PLANTS.

SERVICES NECESSARY FOR. AND INCI DENTAL TO PERFORMING ALL OPERATIONS IN CONNECTION WITH PROTECTION OF

PROVIDE ALL INSECT AND DISEASE CONTROL.

6. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE CONSTRUCTION PERIOD B. AS RECOMMENDED BY THE ARBORIST REPORT.

7. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE POST CONSTRUCTION PLANT MAINTENANCE PERIOD.

8. REMOVE TREE PROTECTION FROM AROUND AND UNDER TREES AND PLANTS.

### 9. CLEAN UP AND DISPOSAL OF ALL EXCESS AND SURPLUS MATERIAL 1.2 CONTRACT DOCUMENTS

SHALL CONSIST OF SPECIFICATIONS AND GENERAL CONDITIONS AND THE DRAWINGS. THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR. MATERIALS. AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE DOCUMENTS ARE TO BE CONSIDERED AS ONE. WHATEVER IS CALLED FOR BY ANY PARTS SHALL BE AS BINDING AS IF

B. IT IS THE INTENT OF THIS SECTION THAT THE REQUIREMENTS APPLY TO ALL OTHER SECTIONS OF THE PROJECT SPECIFICATION SUCH THAT ANY SUBCONTRACTOR MUST COMPLY WITH THE RESTRICTIONS ON WORK WITHIN DESIGNATED 1.12 PRE-CONSTRUCTION CONFERENCE TREE AND PLANT PROTECTION AREAS

### 1.3 RELATED DOCUMENTS AND REFERENCES

A. RELATED DOCUMENTS: 1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND

DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION. 2. IRRIGATION SPECIFICATIONS 3 PLANTING SPECIFICATIONS

REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERETO. IN THE EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS SPECIFICATION SECTION, THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL

1. ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE (9 PARTS), MOST 1.13 QUALITY ASSURANCE

2. INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES (ISA BMP) MOST CURRENT EDITIONS.

 a. TREE PRUNING b. SOIL MANAGEMENT FOR URBAN TREES

c. Tree support systems: cabling, bracing, guying, and propping

d. TREE LIGHTING PROTECTION SYSTEMS

e. MANAGING TREES DURING CONSTRUCTION

f. TREE PLANTING

g. TREE RISK ASSESSMENT h. TREE INVENTORY

i. INTEGRATED PEST MANAGEMENT i. TREE INJECTIONS

CURRENT EDITION.

k. Tree and shrub fertilization 3. PRUNING PRACTICES SHALL CONFORM WITH RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN

INDUSTRY"; PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA; MOST CURRENT EDITION. 4. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST

### 1.4 VERIFICATION

ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM A. THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS, REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE OWNER'S REPRESENTATIVE

### 1.5 PERMITS AND REGULATIONS

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE OPERATION OR CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING

FROM CHANGES IN THE WORK. WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED PART 3 EXECUTION OR TESTED. THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH.

IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS. THE MORE RESTRICTIVE STANDARD OR CODE SHALL APPLY OR OWNER'S REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

### 1.6 PROTECTION OF WORK, PROPERTY AND PERSON

THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS.

### THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK, AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION

1.7 CHANGES IN THE WORK

MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED. 1.8 CORRECTION OF WORK THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT

3.4

PREPARATION

AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S

### REPRESENTATIVE, AT THE SOONEST POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL WEATHER DEMANDS

1.9 DEFINITIONS ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS

1. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE

OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK. 2. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT PLANTS ARE NOT FREE OF DEFECTS, AND THAT PLANT CONDITIONS CHANGE WITH D. TIME. THIS SPECIFICATION ALSO RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSION JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S

REPRESENTATIVE EXPERT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE. 3. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 25 FEET.

4. TREE AND PLANT PROTECTION AREA: AREA SURROUNDING INDIVIDUAL TREES, GROUPS OF TREES, SHRUBS, OR OTHER VEGETATION TO BE PROTECTED DURING CONSTRUCTION, AND DEFINED BY A CIRCLE CENTERED ON THE TRUNK WITH EACH TREE WITH A RADIUS EQUAL TO THE CLOWN DRIPLINE UNLESS OTHERWISE INDICATED BY THE OWNER'S REPRESENTATIVE OR THE CONSTRUCTION DRAWINGS.

5. TREE: SINGLE AND MULTI-STEMMED PLANTS, INCLUDING PALMS WITH ANTICIPATED MATURE HEIGHT APPROXIMATELY GREATER THAN 25 FEET OR ANY PLANT IDENTIFIED ON THE PLANS AS A TREE

### 1.10 SUBMITTALS

A. ARBORIST REPORT

1. PRIOR TO THE START OF CONSTRUCTION, SUBMIT, FOR APPROVAL BY THE OWNER'S REPRESENTATIVE, THE REPORT OF A CONSULTING ARBORIST WHO IS A REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED ARBORIST, WHICH DETAILS THE FOLLOWING INFORMATION FOR ALL TREES TO REMAIN WITHIN THE AREA DESIGNATED ON THE DRAWINGS AS THE TREE AND PLANT PROTECTION AREA. THE REPORT SHALL INCLUDE THE FOLLOWING:

a. A DESCRIPTION OF EACH TREE TO REMAIN INDICATING ITS GENUS AND SPECIES, CONDITION INCLUDING ANY VISIBLE DAMAGE TO THE ROOT SYSTEM OR SOIL WITHIN THE ROOT ZONE, TREE DIAMETER AT BREAST HEIGHT (DBH) AND APPROXIMATE HEIGHT AND CANOPY SPREAD, SIZE AND ANY VISIBLE DISEASE, INSECT INFESTATIONS AND OR

BRANCH AND TRUNK STRUCTURAL DEFICIENCIES. b. THE REPORT SHALL NOTE ALL TREES OR PARTS OF TREES, WHICH ARE CONSIDERED A HAZARD OR SIGNIFICANT OR

EACH TREE, WHICH MAY REASONABLY BE IDENTIFIED AS A POTENTIAL HAZARD TREE. c. RECOMMENDATIONS AS TO TREATMENT OF ALL INSECT, DISEASE AND STRUCTURAL PROBLEMS ENCOUNTERED.

d. RECOMMENDATIONS FOR FERTILIZER TREATMENTS, IF ANY. e. A PLAN OF THE SITE SHOWING THE LOCATION OF ALL TREES INCLUDED IN THE REPORT.

PRODUCT DATA 1. SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL BEFORE THE START OF ANY WORK AT THE

QUALIFICATIONS SUBMITTAL 1. FOR EACH APPLICABLE PERSON EXPECTED TO WORK ON THE PROJECT, PROVIDE COPIES OF THE QUALIFICATIONS AND EXPERIENCE OF THE CONSULTING ARBORIST, PROOF OF EITHER THE REGISTERED CONSULTING ARBORIST® (RCA)

WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED MASTER ARBORIST, ANY ISA

CERTIED ARBORISTS, AND ANY REQUIRED HERBICIDE/PESTICIDE LICENSE TO THE OWNER'S REPRESENTATIVE, FOR REVIEW PRIOR TO THE START OF WORK. 1.11 OBSERVATION OF THE WORK

### A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.

SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE

1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:

a. GENERAL CONTRACTOR. b. CONSULTING ARBORIST/CERTIFIED ARBORIST

c. TREE AND PLANT PROTECTION SUB-CONTRACTOR.

d FARTHWORK SUB-CONTRACTOR

e. ALL SITE UTILITY SUB-CONTRACTORS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.

f. LANDSCAPE SUB-CONTRACTOR. g. IRRIGATION SUB-CONTRACTOR.

h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE

### A. CONTRACTOR QUALIFICATIONS:

1. ALL PRUNING, BRANCH TIE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF ISA CERTIFIED ARBORIST. SUBMIT

2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY CHEMICAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

AFOREMENTIONED INDIVIDUAL'S QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.

### PART 2 PRODUCTS

2.1 TREE PROTECTION SIGN:

A. HEAVY-DUTY PLASTIC LAMINATED OR CORRUGATED PLASTIC SIGNS, 24 INCHES X 36 INCHES, WHITE COLORED BACKGROUND WITH BLACK 2 INCH HIGH OR LARGER LETTERS BLOCK LETTERS. THE SIGNS SHALL BE STAKED ADJACENT TO EXISTING TREES. THE TREE PROTECTION SIGN SHALL READ "KEEP OUT - TREE AND PLANT PROTECTION AREA" AND OTHER PROJECT INFORMATION AS SHOWN ON DRAWINGS.

MATTING FOR VEHICLE AND WORK PROTECTION SHALL BE HEAVY DUTY MATTING DESIGNED FOR VEHICLE LOADING OVER TREE ROOTS, ALTURNAMATS AS MANUFACTURED BY ALTURNAMATS, INC. FRANKLIN, PA 16323 OR APPROVED EQUAL. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL

GEOGRID SHALL BE WOVEN POLYESTER FABRIC WITH PVC COATING, UNI-AXIAL OR BIAXIAL GEOGRID, INERT TO BIOLOGICAL DEGRADATION, RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS, ACIDS.

1. GEOGRID SHALL BE MIRAGRID 2XT AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL

### SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL

2.4 FILTER FABRIC A. FILTER FABRIC SHALL BE NONWOVEN POLYPROPYLENE FIBERS, INERT TO BIOLOGICAL DEGRADATION AND RESISTANT OF NATURALLY OCCURRING CHEMICALS, ALKALIS AND ACIDS.

1. MIRAFI 135 N AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED

SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL

3.1 SITE EXAMINATION EXAMINE THE SITE, TREE, PLANT AND SOIL CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS THAT MAY IMPACT THE SUCCESSFUL TREE AND PLANT PROTECTIONS THAT IS THE INTENT OF THIS SECTION.

THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES CURRENTLY PRESENT ON THE IRRIGATION PLAN, HEADS OR THE CONDUITS OF OTHER UTILITY LINES OR STRUCTURES THAT ARE IN CONFLICT WITH TREE LOCATIONS. TREE ROOTS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

THE TREE AND PLANT PROTECTION AREA IS DEFINED AS ALL AREAS INDICATED ON THE TREE PROTECTION PLAN. WHERE NO LIMIT OF THE TREE AND PLANT PROTECTION AREA IS DEFINED ON THE DRAWINGS, THE LIMIT SHALL BE THE

DRIP LINE (OUTER EDGE OF THE BRANCH CROWN) OF EACH TREE. PRIOR TO THE PRECONSTRUCTION MEETING, LAYOUT THE LIMITS OF THE TREE AND PLANT PROTECTION AREA AND THEN ALIGNMENTS OF REQUIRED TREE AND PLANT PROTECTION FENCING AND ROOT PRUNING. OBTAIN THE OWNER'S

REPRESENTATIVE'S APPROVAL OF THE LIMITS OF THE PROTECTION AREA AND THE ALIGNMENT OF ALL FENCING AND ROOT FLAG ALL TREES AND LARGE SHRUBS TO BE REMOVED BY WRAPPING ORANGE PLASTIC RIBBON AROUND THE TRUNK AND OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND LARGE SHRUBS TO BE REMOVED PRIOR TO THE START OF TREE AND SHRUB REMOVAL. AFTER APPROVAL, MARK ALL TREES AND SHRUBS TO BE REMOVED WITH ORANGE PAINT IN A BAND COMPLETELY AROUND THE BASE OF THE TREE OR LARGE SHRUB 4.5 FEET ABOVE THE GROUND.

FI AG ALL TREES AND LARGE SHRUBS TO REMAIN WITH WHITE PLASTIC RIBBON TIED COMPLETELY AROUND THE TRUNK OR EACH TREE AND ON A PROMINENT BRANCH FOR EACH SHRUB. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND SHRUBS TO REMAIN PRIOR TO THE START OF TREE AND SHRUB REMOVAL

PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, FILTER FABRIC, SILT FENCE, TREE PROTECTION SIGNS, GEOGRID, MULCH AND OR WOOD CHIPS AS SHOWN ON THE DRAWINGS.

VOLUMETRIC SOIL MOISTURE LEVEL, IN ALL SOILS WITHIN THE TREE AND PLANT PROTECTION AREA SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT TO A DEPTH OF AT LEAST 8 INCHES. NO SOIL WORK OR OTHER ACTIVITY SHALL BE PERMITTED WITHIN THE TREE AND PLANT PROTECTION AREA WHEN THE VOLUMETRIC SOIL MOISTURE IS ABOVE FIELD CAPACITY. THE PERMANENT WILT POINT AND FIELD CAPACITY FOR EACH TYPE OF SOIL TEXTURE SHALL BE DEFINED AS FOLLOWS (NUMBERS INDICATE PERCENTAGE VOLUMETRIC SOIL MOISTURE):

SOIL TYPE PERMANENT WILT POINT V/V FIELD CAPACITY V/V SAND, LOAMY SAND, SANDY LOAM 12 - 18% 5 - 8% LOAM, SANDY CLAY, SANDY CLAY LOAM 27 - 36% 14 - 25%

CLAY LOAM. SILT LOAM 11 - 22% 31 - 36% SILTY CLAY SILTY CLAY LOAM 22 - 27% 38 - 41%

VOLUMETRIC SOIL MOISTURE SHALL BE MEASURED WITH A DIGITAL, ELECTRIC CONDUCTIVITY METER. THE METER SHALL BE THE DIGITAL SOIL MOISTURE METER, DSMM500 BY GENERAL SPECIALTY TOOLS AND INSTRUMENTS, OR APPROVED

SUSPEND OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.

THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS WITH A MOISTURE METER. IF THE MOISTURE IS TOO HIGH,

EXTREME RISK LEVEL. INCLUDE THE INTERNATIONAL SOCIETY OF ARBORICULTURE HAZARD EVALUATION SHEET FOR A. FINAL RECOMMENDATIONS ON ANY ROOT PRUNING REQUIREMENTS AND PROCEDURES ARE TO BE DETERMINED BY THE PROJECT ARBORIST AND PROVIDED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY ROOT PRUNING. B. PRIOR TO ANY EXCAVATING INTO THE EXISTING SOIL GRADE WITHIN 25 FEET OF THE LIMIT OF THE TREE AND PLANT PROTECTION AREA OR TREES TO REMAIN, ROOT PRUNE ALL EXISTING TREES TO A DEPTH OF 24 INCHES BELOW EXISTING GRADE IN ALIGNMENTS FOLLOWING THE EDGES OF THE TREE AND PLANT PROTECTION AREA OR AS DIRECTED BY

> 1. USING A ROCK SAW, CHAIN TRENCHER OR SIMILAR TRENCHING DEVICE, MAKE A VERTICAL CUT WITHIN 2 FEET OF THE LIMIT OF GRADING.

2. AFTER COMPLETION OF THE CUT, MAKE CLEAN CUTS WITH A LOPPER, SAW OR PRUNER TO REMOVE ALL TORN ROOT ENDS ON THE TREE SIDE OF THE EXCAVATION, AND BACKFILL THE TRENCH IMMEDIATELY WITH EXISTING SOIL, FILLING ALL VOIDS.

### 3.7 INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, AND OR AGGREGATE

THE OWNER'S REPRESENTATIVE. ROOT PRUNING SHALL BE IN CONFORMANCE WITH ANSI A300

INSTALL GEOGRIDS, FILTER FABRIC, MATTING, AND/OR AGGREGATE IN AREAS AND DEPTHS SHOWN ON THE PLANS AND DETAILS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IN GENERAL IT IS THE INTENT OF THIS SPECIFICATION TO 3.11 PRUNING: PROVIDE THE FOLLOWING LEVELS OF PROTECTION:

1. AREAS WHERE FOOT TRAFFIC OR STORAGE OF LIGHTWEIGHT MATERIALS IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF FILTER FABRIC UNDER THE 6 INCHES OF MULCH. 2. AREAS WHERE OCCASIONAL LIGHT VEHICLE TRAFFIC IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF

GEOGRIDS UNDER 8 INCHES OF MULCH. 3. AREAS WHERE HEAVY VEHICLE TRAFFIC IS UNAVOIDABLE PROVIDE A LAYER OF GEOGRIDS UNDER 8 - 12 INCHES OF MULCH AND A LAYER OF MATTING OVER THE MULCH.

### THE OWNER'S REPRESENTATIVE SHALL APPROVE THE APPROPRIATE LEVEL OF PROTECTION.

IN THE ABOVE REQUIREMENTS, LIGHT VEHICLE IS DEFINED AS A TRACK SKID STEER WITH A GROUND PRESSURE OF 4 PSI OR LIGHTER. A HEAVY VEHICLE IS ANY VEHICLE WITH A TIRE OR TRACK PRESSURE OF GREATER THAN 4 PSI. LIGHTWEIGHT MATERIALS ARE ANY PACKAGED MATERIALS THAT CAN BE PHYSICALLY MOVED BY HAND INTO THE LOCATION. BULK MATERIALS SUCH AS SOIL, OR AGGREGATE SHALL NEVER BE STORED WITHIN THE TREE AND PLANT PROTECTION AREA.

### 3.8 PROTECTION:

A. PROTECT THE TREE AND PLANT PROTECTION AREA AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.

### 3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA: THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT;

STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND 3.13 WEED REMOVAL SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE A. AREA ANY REASON. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW. IN THE EVENT THAT CONSTRUCTION/VEHICULAR ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION

AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE  $_{
m R}$ PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. TREE PROTECTION FOR THE REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: 1. IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH

EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL. 2. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN MULCH AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER

ARBORIST. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS B. 3. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE C. POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY D. INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF

BY THE CONTRACTOR

IN DIAMETER SHALL NOT BE CUT WITHOUT THE APPROVAL OF THE OWNERS REPRESENTATIVE AND PROJECT

ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PARTS 1 AND 8) AND BE

3.16 REMOVAL OF TREE AND PLANT PROTECTION PERFORMED UNDER SUPERVISION OF THE I.S.A. CERTIFIED ARBORIST. 4. MATTING: INSTALL TEMPORARY MATTING OR AN ADDITIONAL 12 INCH MULCH LAYER OVER THE MULCH SPECIFIED HEREFORD WITHIN THESE SPECIFICATIONS TO THE EXTENT INDICATED. DO NOT PERMIT FOOT TRAFFIC, SCAFFOLDING, VEHICULAR TRAFFIC, OR THE STORAGE OF MATERIALS WITHIN THE TREE AND PLANT PROTECTION AREA TO OCCUR OFF

OF THE TEMPORARY MATTING. 5. TRUNK PROTECTION: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A CLOSED CELL FOAM PAD AND A RING OF 2" x 4" x 4'-0" PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE. TRUNK PROTECTION MUST BY KEPT IN PLACE NO LONGER THAN 12 MONTHS. IF CONSTRUCTION REQUIRES WORK NEAR A PARTICULAR TREE TO CONTINUE LONGER THAN 12 MONTHS, THE STEEL BANDS SHALL BE INSPECTED EVERY SIX MONTHS AND LOOSENED IF THEY ARE FOUND TO

HAVE BECOME TIGHT. 6. AIR EXCAVATION TOOL: IF EXCAVATION FOR FOOTINGS OR UTILITIES IS REQUIRED WITHIN THE TREE AND PLANT PROTECTION AREA, AIR EXCAVATION TOOL TECHNIQUES SHALL BE USED WHERE PRACTICAL OR AS DESIGNED ON THE

a. REMOVE THE MULCH FROM AN AREA APPROXIMATELY 18 INCHES BEYOND THE LIMITS OF THE HOLE OR TRENCH TO BE EXCAVATED. COVER THE MULCH FOR A DISTANCE OF NOT LESS THAN 15 FEET AROUND THE LIMIT OF THE EXCAVATION AREA WITH FILTER FABRIC OR PLASTIC SHEETING TO PROTECT THE MULCH FROM SILT. MOUND THE MULCH SO THAT THE PLASTIC SLOPES TOWARDS THE EXCAVATION.

AT LEAST 4 HOURS, APPROXIMATELY 12 HOURS PRIOR TO THE WORK SO THAT THE GROUND WATER LEVEL IS AT OR NEAR FIELD CAPACITY AT THE BEGINNING OF THE WORK. FOR EXCAVATIONS THAT GO BEYOND THE DAMP SOIL, REWET THE SOIL AS NECESSARY TO KEEP SOIL MOISTURE NEAR FIELD CAPACITY. C. USING AN AIR EXCAVATION TOOL SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE INTENDED PURPOSE. AND AT PRESSURES RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT, FRACTURE THE EXISTING SOIL TO THE

b. USING A SPRINKLER OR SOAKER HOSE, APPLY WATER SLOWLY TO THE AREA OF THE EXCAVATION FOR A PERIOD OF

SHAPE AND THE DEPTHS REQUIRED. WORK AT RATES AND USING TECHNIQUES THAT DO NOT HARM TREE ROOTS. AIR PRESSURE SHALL BE A MAXIMUM OF 90-100 PSL. 1.) THE AIR EXCAVATION TOOL SHALL BE "AIR-SPADE" AS MANUFACTURED BY CONCEPT ENGINEERING GROUP, INC., VERONA, PA (412) 826-8800, OR AIR KNIFE AS MANUFACTURED BY EASY USE AIR TOOLS, INC. ALLISON PARK, PA

(866) 328-5723 OR APPROVED EQUAL. d. USING A COMMERCIAL, HIGH-POWERED VACUUM TRUCK IF REQUIRED, REMOVE THE SOIL FROM THE EXCAVATION PRODUCED BY THE AIR KNIFE EXCAVATION. THE VACUUM TRUCK SHOULD GENERALLY OPERATE SIMULTANEOUSLY E WITH THE HOSE OPERATOR, SUCH THAT THE SOIL PRODUCED IS PICKED UP FROM THE EXCAVATION HOLE, AND THE EXPOSED ROOTS CAN BE OBSERVED AND NOT DAMAGED BY THE ONGOING OPERATION. DO NOT DRIVE THE VACUUM TRUCK INTO THE TREE AND PLANT PROTECTION AREA UNLESS THE AREA IS PROTECTED FROM COMPACTION AS END OF SECTION 015639 APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.

e. REMOVE ALL EXCAVATED SOIL AND EXCAVATED MULCH, AND CONTAMINATED SOIL AT THE END OF THE EXCAVATION. f. SCHEDULE THE WORK SO THAT FOUNDATIONS OR UTILITY WORK IS COMPLETED IMMEDIATELY AFTER THE EXCAVATION. DO NOT LET THE ROOTS DRY OUT. MIST THE ROOTS SEVERAL TIMES DURING THE DAY. IF THE EXCAVATED AREA MUST REMAIN OPEN OVER NIGHT, MIST THE ROOTS AND COVER THE EXCAVATION WITH BLACK

g. DISPOSE OF ALL SOIL IN A MANNER THAT MEETS LOCAL LAWS AND REGULATIONS. h. RESTORE SOIL WITHIN THE TRENCH AS SOON AS THE WORK IS COMPLETED. UTILIZE SOIL OF SIMILAR TEXTURE TO THE REMOVED SOIL AND LIGHTLY COMPACT WITH HAND TOOLS. LEAVE SOIL MOUNDED OVER THE TRENCH TO A

HEIGHT OF APPROXIMATELY 10% OF THE TRENCH DEPTH TO ACCOUNT FOR SETTLEMENT i. RESTORE ANY GEOGRIDS, FILTER FABRIC, OR MULCH AND OR MATTING THAT WAS PREVIOUSLY REQUIRED FOR THE

3.10 TREE REMOVAL:

PLASTIC.

REMOVE ALL TREES INDICATED BY THE DRAWINGS AND SPECIFICATIONS, AS REQUIRING REMOVAL, IN A MANNER THAT WILL NOT DAMAGE ADJACENT TREES OR STRUCTURES OR COMPACTS THE SOIL.

REMOVE TREES THAT ARE ADJACENT TO TREES OR STRUCTURES TO REMAIN, IN SECTIONS, TO LIMIT THE OPPORTUNITY OF DAMAGE TO ADJACENT CROWNS, TRUNKS, GROUND PLANE ELEMENTS AND STRUCTURES. DO NOT DROP TREES WITH A SINGLE CUT UNLESS THE TREE WILL FALL IN AN AREA NOT INCLUDED IN THE TREE AND PLANT PROTECTION AREA. NO TREE TO BE REMOVED WITHIN 50 FEET OF THE TREE AND PLANT PROTECTION AREA SHALL

BE PUSHED OVER OR UP-ROOTED USING A PIECE OF GRADING EQUIPMENT. PROTECT ADJACENT PAVING, SOIL, TREES, SHRUBS, GROUND COVER PLANTINGS AND UNDERSTORY PLANTS TO REMAIN FROM DAMAGE DURING ALL TREE REMOVAL OPERATIONS, AND FROM CONSTRUCTION OPERATIONS. PROTECTION SHALL INCLUDE THE ROOT SYSTEM, TRUNK, LIMBS, AND CROWN FROM BREAKAGE OR SCARRING, AND THE SOIL FROM COMPACTION.

REMOVE STUMPS AND IMMEDIATE ROOT PLATE FROM EXISTING TREES TO BE REMOVED. GRIND TRUNK BASES AND LARGE BUTTRESS ROOTS TO A DEPTH OF THE LARGEST BUTTRESS ROOT OR AT LEAST 18 INCHES BELOW THE TOP MOST ROOTS WHICH EVER IS LESS AND OVER THE AREA OF THREE TIMES THE DIAMETER OF THE TRUNK (DBH).

1. FOR TREES WHERE THE STUMP WILL FALL UNDER NEW PAVED AREAS, GRIND ROOTS TO A TOTAL DEPTH OF 18 INCHES BELOW THE EXISTING GRADE. IF THE SIDES OF THE STUMP HOLE STILL HAVE GREATER THAN APPROXIMATELY 20% WOOD VISIBLE. CONTINUE GRINDING OPERATION DEEPER AND OR WIDER UNTIL THE RESULTING HOLE HAS LESS THAN 20% WOOD, REMOVE ALL WOOD CHIPS PRODUCED BY THE GRINDING OPERATION AND BACK FILL IN 8 INCH LAYERS WITH CONTROLLED FILL OF A QUALITY ACCEPTABLE TO THE SITE ENGINEER FOR FILL MATERIAL UNDER STRUCTURES COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. THE OWNER'S REPRESENTATIVE SHALL APPROVE EACH HOLE AT THE END OF THE GRINDING OPERATION.

2. IN AREAS WHERE THE TREE LOCATION IS TO BE A PLANTING BED OR LAWN, REMOVE ALL WOODCHIPS AND BACKFILL STUMP HOLES WITH PLANTING SOIL AS DEFINED IN THE SOIL MANAGEMENT SPECIFICATIONS, IN MAXIMUM OF 12 INCH LAYERS AND COMPACT TO 80 - 85% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR.

WITHIN SIX MONTHS OF THE ESTIMATED DATE OF SUBSTANTIAL COMPLETION, PRUNE ALL DEAD OR HAZARDOUS BRANCHES LARGER THAN 2 INCH IN DIAMETER FROM ALL TREES TO REMAIN.

IMPLEMENT ALL PRUNING RECOMMENDATIONS FOUND IN THE ARBORIST REPORT. PRUNE ANY LOW. HANGING BRANCHES AND VINES FROM EXISTING TREES AND SHRUBS THAT OVERHANG WALKS, STREETS

AND DRIVES, OR PARKING AREAS AS FOLLOWS: 1. WALKS - WITHIN 8 FEET VERTICALLY OF THE PROPOSED WALK ELEVATION.

2. PARKING AREAS - WITHIN 12 FEET VERTICALLY OF THE PROPOSED PARKING SURFACE ELEVATION.

3. STREETS AND DRIVES - WITHIN 14 FEET VERTICALLY OF THE PROPOSED DRIVING SURFACE ELEVATION. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1 - PRUNING), ISA BMP: TREE PRUNING AND THE "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY."

PERFORM OTHER PRUNING TASK AS INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE. WHERE TREE SPECIFIC DISEASE VECTORS REQUIRE, STERILIZE ALL PRUNING TOOLS BETWEEN THE WORK IN INDIVIDUAL

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS AND TREES TO BE PRESERVED DURING THE ENTIRE CONSTRUCTION PERIOD. ADEQUATE WATER IS DEFINED TO BE MAINTAINING SOIL MOISTURE ABOVE THE PERMANENT WILT POINT TO A DEPTH OF 8 INCHES OR GREATER THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL WATER,

USING HOSES OR WATER TANKS AS REQUIRED PERIODICALLY TEST THE MOISTURE CONTENT IN THE SOIL WITHIN THE ROOT ZONE TO DETERMINE THE WATER CONTENT.

DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT

1. ALL PLANTS THAT ARE NOT SHOWN ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS. AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA.

3.14 INSECT AND DISEASE CONTROLLER MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. PROVIDE ALL DISEASE AND INSECT CONTROL REQUIRED TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.

3.15 CLEAN-UP DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.

1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL. OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAYS AND NEIGHBORING

ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE

PROTECTION AREA AT LEAST THREE TIMES A YEAR.

AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION

### 3.17 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN

ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER, SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND FOLIAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE REPLACEMENT PLANT.

PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES AND SHRUBS TO BE REPLACED SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE.

1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS

1. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION.

2. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED BY CONTRACTOR'S FORCES. ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT NO

ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING

OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE OR PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL. ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR).

REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY

REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE

PRELIMINAR FOR REVIEW ONLY P.L.A. \_\_\_\_ NIKOLAUS B. ADAMS L.A. No. 3404 Date 5/2/2025

PROJECT NUMBER: SP2025-XXX

# **ROCKWALL MEDICAL BUILDING**

TREE PRESERVATION PLAN

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST. SUITE 100 TERRELL, TX 75160 (972) 588-4263 CONTACT: MATT LUCAS, P.E.

APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL **EXPRESSWAY SUITE 100** DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B

PHONE: (865) 228-7440

CONTACT WARREN I INCE

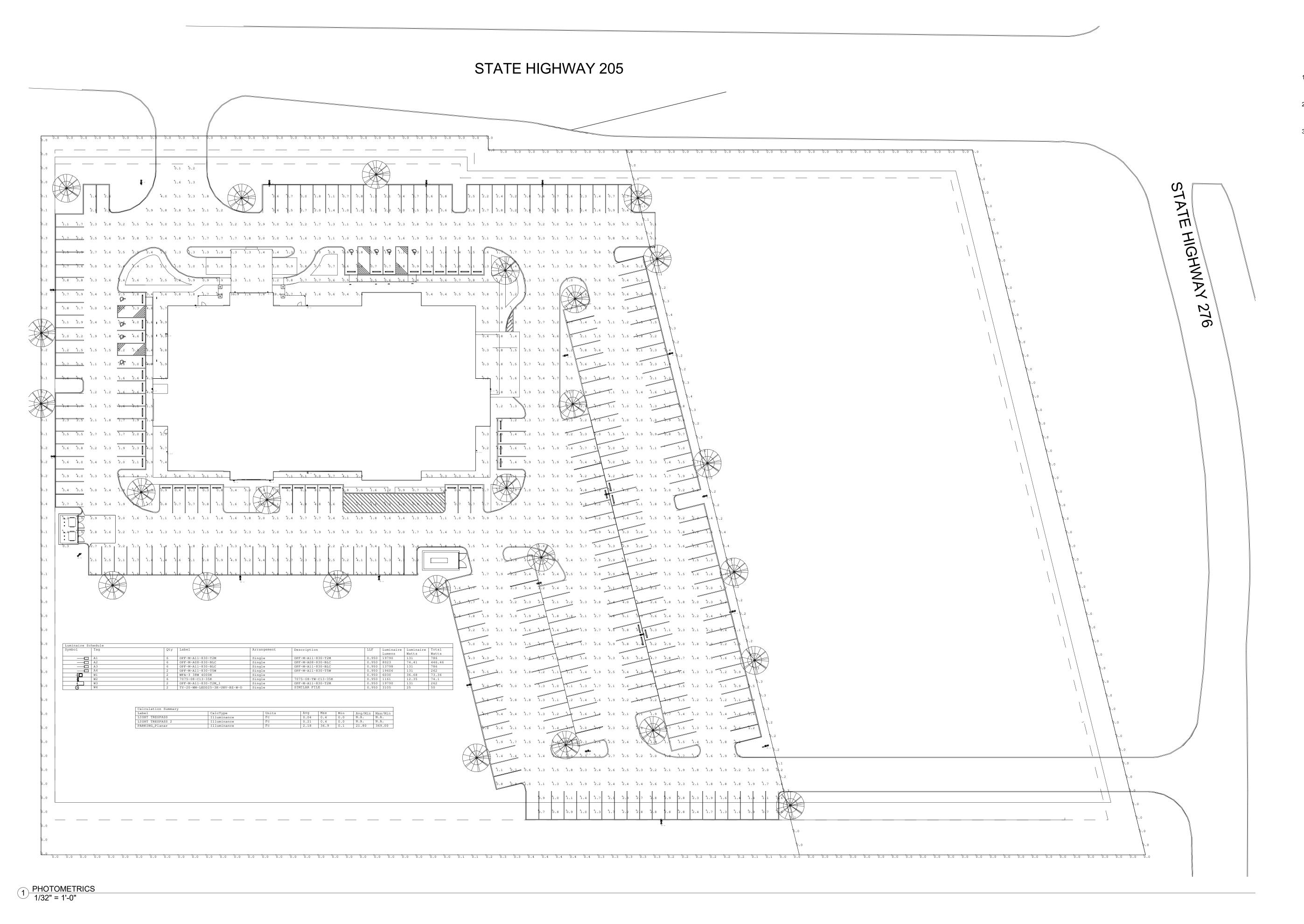
AUSTIN, TX 78728

SHEET NUMBER LT 3.01

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_, \_\_\_\_ PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



### **NOTES**

- POLE LIGHTS ARE 20 FEET OR LESS IN HEIGHT WHEN 100 FEET OR LESS FROM RESIDENTIAL
- FULL CUTOFF LIGHTS ARE REQUIRED TO BE SHIELDED FROM A POINT 5 FEET ABOVE
- MAXIMUM LIGHT LEVEL AT RESIDENTIAL PROPERTY LINE IS 0.25 FOOT CANDLE.

PROPERTY LINES.



Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT.
Contractor shall check and verify all dimensions and conditions of job site.

STUDIO INDIGO DESIGN, LLC

**REVISIONS** 

DESCRIPTION

ELECTRICAL SITE PLAN -PHOTOMETRICS

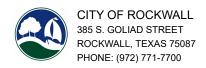
DRAWING NUMBER:

DRAWN BY:

AS INDICATED SCALE:

BLUEPRINT TEXAS FIRM REGISTRATION #F-26973 BLUEPRINT-ENGINEERING.COM

# PROJECT COMMENTS



DATE: 5/23/2025

PROJECT NUMBER: Z2025-023

PROJECT NAME: SUP for an Accesory Structure SITE ADDRESS/LOCATIONS: 3326 ROYAL RIDGE DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kyle Peterson on behalf of Dean and Cathy Barrett for the approval of a

Specific Use Permit (SUP) for two (2) Detached Covered Porches on a 0.1653-acre parcel of land identified as Lot 9, Block A, Breezy Hill, Phase IX Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family

10 (SF-10) District land uses, addressed as 3326 Royal Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	05/23/2025	Approved w/ Comments

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for two (2) Detached Covered Porches on a 0.1653-acre parcel of land identified as Lot 9, Block A, Breezy Hill, Phase IX Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, addressed as 3326 Royal Ridge Drive.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2025-023) in the lower right-hand corner of all pages on future submittals.
- 1.4 Staff will be obligated to detail the active Code Enforcement (Case No. CE2024-5743) case related to the improvements that have since been removed.
- M.5 The following standards shall apply to a Covered Porch:
- (1) Only one (1) Covered Porch is permitted per residential lot.
- (2) The maximum permissible size for a Covered Porch is 500 SF.
- (3) The rear setback is three (3) feet and the side setback is six (6) feet.
- (4) The maximum permissible height for a Covered Porch if 15-feet.
- (5) The minimum roof pitch is 4:12.
- (6) Roofs shall be composed of dimensional shingles.
- (7) Accessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure.

In this case, the applicant is proposing two metal (2) Covered Porches, that utilize a 3:12 roof pitch and R-Panel roofing. Given this, the proposed Covered Porches do not meet items 1, 5, 6, and 7 listed above.

M.6 Please review the attached Draft Ordinance prior to the May 27, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 3, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 27, 2025.
- I.8 The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved w/ Comments	
05/22/2025: * WILL REQUIRE	A SEPARATE BUILDING PERMIT IF APPROV	ED		
* ELECTRICAL WILL REQUIR	E A MINIMUM CLEARANCE OF 12 FEET OVE	R THE WATER LEVEL OF THE POOL		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved w/ Comments	

No Comments



### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

S	TΑ	FF	USE	ONL	γ

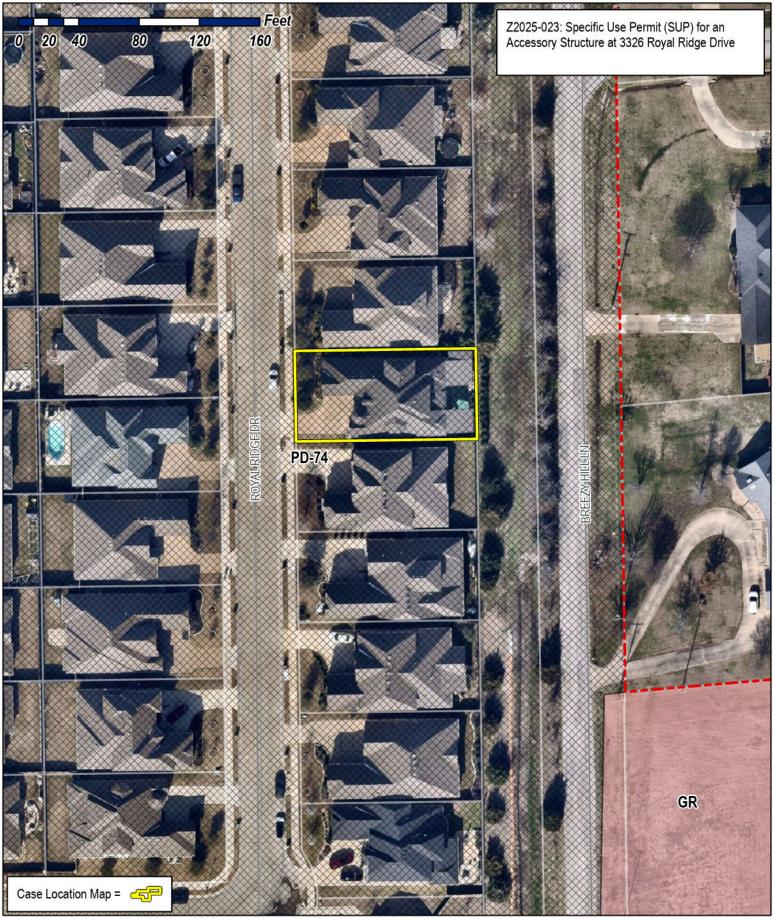
PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE AP	PPROPRIATE BOX BELOW TO IND	ICATE THE TYPE OF D	EVELOPMENT REC	DUEST [SELECT ONLY ONE BOX]:
☐ PRELIMINARY PL. ☐ FINAL PLAT (\$300 ☐ REPLAT (\$300.00 ☐ AMENDING OR MI ☐ PLAT REINSTATE  SITE PLAN APPLICA ☐ SITE PLAN (\$250.00	100.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 1.00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> INOR PLAT (\$150.00) MENT REQUEST (\$100.00) ITION FEES:	; PLAN (\$100.00)	PD DEVELOP  OTHER APPLICA  TREE REMON  VARIANCE R  NOTES:  1: IN DETERMINING THE PER ACRE AMOUNT.  2: A \$1,000.00 FEE W	NGE (\$200.00 + \$15.00 ACRE) 1 E PERMIT (\$200.00 + \$15.00 ACRE) 1 8 2 PMENT PLANS (\$200.00 + \$15.00 ACRE) 1 ATION FEES:
PROPERTY INFOR	RMATION [PLEASE PRINT]			
ADDRESS	3326 Rosalfide	e PockwallT	X 75087	
SUBDIVISION	Breezy HIL			LOT 9 BLOCK A
GENERAL LOCATION	33726 Royal Rid	ge Rocking 1/7	TX 75087	
ZONING, SITE PLA	AN AND PLATTING INFOR	,	•	
CURRENT ZONING	Residential		CURRENT USE	Residential
PROPOSED ZONING	Residentia 1		PROPOSED USE	Residentia)
ACREAGE	1.207	LOTS [CURRENT]		LOTS [PROPOSED]
REGARD TO ITS AF	P <mark>LATS</mark> : BY CHECKING THIS BOX YC PROVAL PROCESS, AND FAILURE T NIAL OF YOUR CASE.	U ACKNOWLEDGE THAT O ADDRESS ANY OF STA	DUE TO THE PASSA FF'S COMMENTS BY	AGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICA	NT/AGENT INFORMATION	V [PLEASE PRINT/CHECK	K THE PRIMARY CON	TACT/ORIGINAL SIGNATURES ARE REQUIRED]
☐ OWNER	Dean Frathy Birrett		<b>□</b> APPLICANT	Kylcletersm
CONTACT PERSON	Dean Bentt	CC	ONTACT PERSON	
ADDRESS	Dean teathy Brontt Dean Bernett 34326 Royal Ribe		ADDRESS	3445 Baycooss Prive
CITY, STATE & ZIP	ROCKWALL 1 TX 75087	C	ITY, STATE & ZIP	POUKUAIL TX 75087
			PHONE	
E-MAIL	(325) 721 -1945 Deundent control Commission	~	E-MAIL	(214) 202-2047 46 Kyle Reter son Bosmand. con
NOTARY VERIFICATION BEFORE ME, THE UNDERS		RSONALLY APPEARED _	Kyle Peter	[OWNER] THE UNDERSIGNED, WHO
\$ 215 INFORMATION JONTAINED	TO COVER THE COST OF 20 <b>25</b> . BY SIGNING THIS	THIS APPLICATION, HAS B S APPLICATION, I AGREE T PUBLIC. THE CITY IS AL	EEN PAID TO THE CITY THAT THE CITY OF RO SO AUTHORIZED AND	TED HEREIN IS TRUE AND CORRECT: AND THE APPLICATION FEE OF Y OF ROCKWALL ON THIS THE DAY OF ICKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE O PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION TO A REQUEST FOR TUBLIC INFORMATION
GIVEN UNDER MY HAND A	ND SEAL OF OFFICE ON THIS THE _	9 DAY OF M	2y . 20 <b>2</b>	KAREN PORTER Notary ID #133883341
	OWNER'S SIGNATURE	it on.	ı	My Commission Expires July 28, 2026
NOTARY PUBLIC IN AND F	OR THE STATE OF TEXAS	un Yort	ū	MY COMMISSION EXPIRES 07/28/2026





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

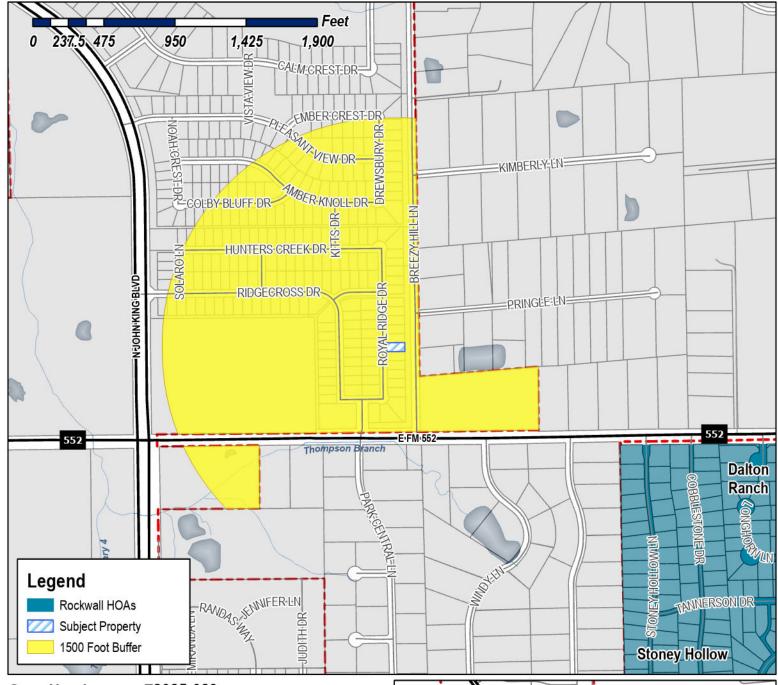
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2025-023

Case Name: SUP for an Accessory Structure

Case Type: Zoning

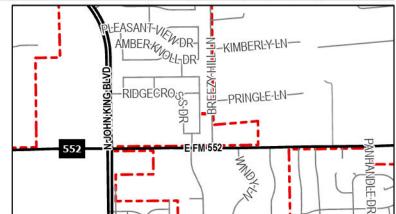
**Zoning:** Planned Development District 74

(PD-74)

Case Address: 3326 Royal Ridge Drive

Date Saved: 5/16/2025

For Questions on this Case Call (972) 771-7745





The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**Case Number**: Z2025-023

Case Name: SUP for an Accessory Structure

Case Type: Zoning

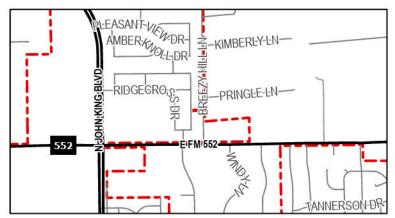
**Zoning:** Planned Development District 74

(PD-74)

Case Address: 3326 Royal Ridge Drive

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



RIDGEVIEW CHURCH 1362 E FM 522 ROCKWALL, TX 75087 NEC JOHN KING & 552 LP 7500 SAN JACINTO PLACE PLANO, TX 75024 TAYLOR CARMELA 3413 RIDGECROSS DR ROCKWALL, TX 75087

KNOX MARC P AND AVRIL WILLIAMS KNOX 3418 RIDGCROSS DR ROCKWALL, TX 75087 BREEZY HILL ESTATES HOMEOWNERS ASSOCIATION INC 1024 S Greenville Ave Ste 230 Allen, TX 75002

BUTLER MICHAEL GLENN AND THERESA LYNN 1037 FAWN TRAIL ROCKWALL, TX 75087

BREEZY HILL ESTATES HOMEOWNERS ASSOCIATION INC 1024 S Greenville Ave Ste 230 Allen, TX 75002

BRANDON DAVID GRANT AND ADRIANNE FULTZ 3423 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 HEUSS JEREMY D AND SHANNON N 3310 RIDGECROSS DRIVE ROCKWALL, TX 75032

GARVIN CARSON C AND JENNIFER S 3406 RIDGECROSS DRIVE ROCKWALL, TX 75087 ZIELINSKI THOMAS R & PATRICIA D 3314 RIDGECROSS DR ROCKWALL, TX 75087 NGUYEN DIANE & HIEU TRUNG 3402 RIDGECROSS DRIVE ROCKWALL, TX 75087

NEILL JEREMY AND ERIN 3410 RIDGECROSS DRIVE ROCKWALL, TX 75087 STANLEY SHANNON D AND CHARIDY LYNN 3322 RIDGECROSS DRIVE ROCKWALL, TX 75087 NGUYEN TIFFANY THAO AND HENRY HIEP VO 3318 RIDGECROSS DRIVE ROCKWALL, TX 75087

IZU UYOTA & JANE 3414 RIDGECROSS ROCKWALL, TX 75087

KIPE MICHAEL AND DIANA 3306 RIDGECROSS DR ROCKWALL, TX 75087 SMITH JAY & CHRISTINE 3311 ROYAL RIDGE DR ROCKWALL, TX 75087

ARGUEDAS JUAN CARLOS AND DAYANNA VILLALOBOS 3323 ROYAL RIDGE DR ROCKWALL, TX 75087

LEWIS STANLEY DALE AND ANITA LYNN 3413 ROYAL RIDGE DR ROCKWALL, TX 75087 LUETKE SENECA L 3315 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

THOMAS JARROD M 3319 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 COLEMAN EDWARD EARL SR AND NIKITA NASHA COLEMAN 3401 ROYAL RIDGE DR ROCKWALL, TX 75087

JOHNSON CHRISTOPHER MAX AND ANGELA KAY 3405 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

TESKE CHARLES A JR AND KIMBERLY K 3409 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 RESENDEZ ALYSSA RENEE AND REY JR 3307 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 SMITH JULIUS K AND JANEL W 3409 RIDGECROSS DRIVE ROCKWALL, TX 75087

AGARDY JIM 3405 RIDGECROSS DR ROCKWALL, TX 75087 MASSE KENNETH ROGER AND CHERYL LYN 3315 RIDGECROSS DR ROCKWALL, TX 75087 HEFNER ELLEN AND BRENNAN SMITH 3323 RIDGECROSS DRIVE ROCKWALL, TX 75087 SAMUEL JUSTIN AND ELIZABETH ANN 3311 RIDGECROSS DRIVE ROCKWALL, TX 75087 DANIELS RHONDA AND BRIAN 3319 RIDGECROSS DR ROCKWALL, TX 75087 DULICK JESSICA 3401 RIDGECROSS DR ROCKWALL, TX 75087

FUQUA JUSTIN & ERIN MARIE 3307 RIDGECROSS DR ROCKWALL, TX 75087 KOPPANATI PRAVEEN KUMAR AND NIKITHA NUKALA 3303 Ridgecross Dr Rockwall, TX 75087

MARTIN ANGELA AND JESSIE 3418 ROYAL RIDGE DR ROCKWALL, TX 75087

FRIERSON KEVIN & REBECCA 3414 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 SMITH ELOISE 3410 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

SMITH CHRISTINE PIGG AND JAY RICHARD 3314 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

WADE KENNETH KYLE 3322 ROYAL RIDGE DR ROCKWALL, TX 75087 SOUTHERLAND AUSTIN & SHAYLEE 3402 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 BARRETT OLAN DEAN 3326 ROYAL RIDGE DR ROCKWALL, TX 75087

LIEBRUM CORY R & RACHEL J 3406 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 PORTER KAREN CLAIBORNE AND RUSSELL
WAYNE
3318 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

SHELTON DANA BLAIR AND ANNETTE COLAROCHIO 3310 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

DUNPHY JAMES AND KATHERINE 3306 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 COMPTON BRADFORD D AND REBECCA J COMPTON 1033 FAWN TRL ROCKWALL, TX 75087

CHERUBINI VICTOR & ASHLEY DOLLAR 3302 ROYAL RIDGE DR ROCKWALL, TX 75087

LOYA MARK A AND SHIVON P 3506 ROYAL RIDGE DR ROCKWALL, TX 75087 BYINGTON JOEL AND COURTNEY 3510 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 JACKSON JANET FRANCES 3502 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

WALLWORK CRAIG A AND SARAH K 3425 RIDGECROSS DRIVE ROCKWALL, TX 75087 BREEZY HILL ESTATES HOMEOWNERS ASSOCIATION INC 1024 S Greenville Ave Ste 230 Allen, TX 75002

SCHLEICHER CHARLES 1036 WINDY HILL LANE ROCKWALL, TX 75087

VAZ ROCKY AND JULIET ANITA 1032 WINDY HILL LANE ROCKWALL, TX 75087 SHULMAN ARIEL MADISON 1028 WINDY HILL LANE ROCKWALL, TX 75087 SCHUBERT ERIC C AND JANE HARDIN 1024 WINDY HILL LANE ROCKWALL, TX 75087

HAMDAN TRAVIS AND SUMMER 1020 WINDY HILL LN ROCKWALL, TX 75087 SALES TRAVIS ERIC & REGENIA JEWELL 3422 RIDGECROSS DRIVE ROCKWALL, TX 75087 BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S Greenville Ave Ste 230
Allen, TX 75002

AGOSU JOSEPH & OMOLOLA 1063 HUNTERS CREEK DR ROCKWALL, TX 75087 RESIDENT 1313 FM552 ROCKWALL, TX 75087 RESIDENT JOHN KING BLVD ROCKWALL, TX 75087

RESIDENT WINDY HILL LN ROCKWALL, TX 75087 RESIDENT 1037 FAWN TRAIL DR ROCKWALL, TX 75087 RESIDENT CLEAR BLUFF DR ROCKWALL, TX 75087

RESIDENT RIDGECROSS DR ROCKWALL, TX 75087 RESIDENT ROYAL RIDGE DR ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2025-023: Specific Use Permit (SUP) for Two (2) Detached Covered Patios

Hold a public hearing to discuss and consider a request by Kyle Peterson on behalf of Dean and Cathy Barrett for the approval of a Specific Use Permit (SUP) for two (2) Detached Covered Porches on a 0.1653-acre parcel of land identified as Lot 9, Block A, Breezy Hill, Phase IX Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, addressed as 3326 Royal Ridge Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on Monday, June 16, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

### **Henry Lee**

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

rector of Planning & Zoning





Director of Flatilling & Zoning	TO THE WEBSITE	
MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/developm	ent/development-ca	ases
- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -	- · - · - · -	
Case No. Z2025-023: Specific Use Permit (SUP) for a Two (2) Detached Covered Patios		
Please place a check mark on the appropriate line below:		
☐ I am in favor of the request for the reasons listed below.		
☐ I am opposed to the request for the reasons listed below.		
Name:		
Address:		

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Olan (Dean) and Cathy Barrett

3326 Royal Ridge Drive Rockwall, TX 75087

March 12, 2025

RE: Request for Patio Additions Due to Medical Necessity

To Whom It May Concern,

We are writing to formally request approval for the addition of two patios to our property at 3326 Royal Ridge Drive, Rockwall, TX 75087. These additions are medically necessary to create essential shaded areas for our family members who must avoid direct sunlight due to serious health conditions.

Olan (Dean) Barrett has undergone a kidney transplant and requires immunosuppressive and anti-rejection medications, which significantly increase his sensitivity to sunlight. Due to his transplant, he is unable to swim in public pools, which is why we had a pool built in our backyard. However, prolonged sun exposure poses serious health risks, making shaded outdoor spaces a necessity for his well-being.

Additionally, our granddaughter has been diagnosed with leukemia, and her condition also necessitates strict sun avoidance. Her ongoing treatments and weakened immune system make exposure to direct sunlight particularly hazardous. Without adequate shaded areas, both she and Dean are unable to safely spend time outdoors.

The addition of these patios will provide the necessary protection and allow them to enjoy outdoor time safely. We greatly appreciate your consideration of this request and are happy to provide any additional documentation if needed.

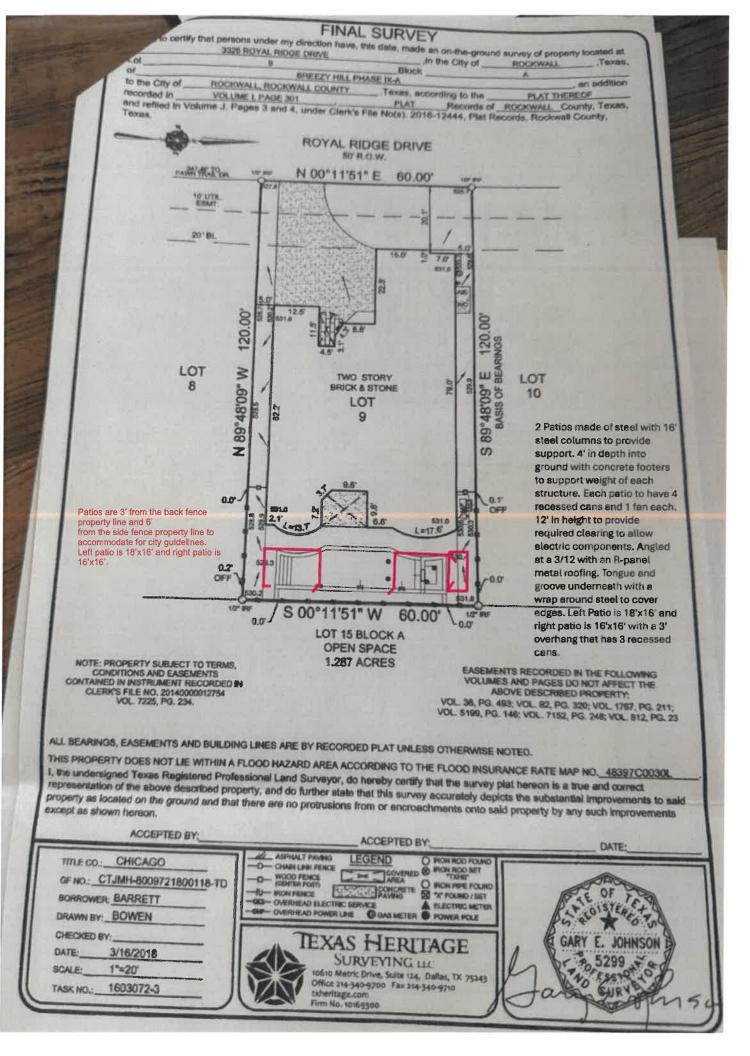
Thank you for your time and understanding. Please feel free to contact us at your convenience for any further discussion.

Sincerely,

**Dean and Cathy Barrett** 

Cell: (325) 721-1945

Email: cbarrett1268@gmail.com





Two detached steel patios with electrical to be 12' high for pool clearance, finished with tongue and groove underneath, concrete footers to support the weight of the 5 posts. R-Panel Metal Roofing.

### **CITY OF ROCKWALL**

### ORDINANCE NO. 25-XX

### SPECIFIC USE PERMIT NO. <u>S-3XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 74 (PD-74) [ORDINANCE NO. 17-60] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR TWO (2) DETACHED COVERED PORCHES ON A 0.1653-ACRE PARCEL OF LAND IDENTIFIED AS LOT 9, BLOCK A, BREEZY HILL PHASE IX ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS: AND MORE SPECIFICALLY DEPICTED DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kyle Peterson on behalf of Dean and Cathy Barrett for the approval of a <u>Specific Use Permit (SUP)</u> for two (2) <u>Detached Covered Porches</u> on a 0.1653-acre parcel of land identified as Lot 9, Block A, Breezy Hill Phase IX Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) [Ordinance No. 17-60], addressed as 3326 Royal Ridge Drive, and being more specifically depicted and described in <u>Exhibit</u> 'A' of this ordinance, which herein after shall be referred to as the <u>Subject Property</u> and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 74 (PD-74) [Ordinance No. 17-60] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 74 (PD-74) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for two (2) Detached Covered Porches as stipulated by Subsection 01.02, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 74 (PD-74) [Ordinance No. 17-60]; Subsection 03.01, General Residential Standards, and Subsection 07.04, Accessory Structure Development Standards, of

Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and with the following conditions:

### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of two (2) *Detached Covered Porches* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Detached Covered Porches* shall generally conform to the <u>Site</u> <u>Plan</u> as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
- (2) The *Detached Covered Porches* shall generally conform to the <u>Rendering</u> as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
- (3) The *Detached Covered Porches* shall together not exceed a maximum size of 545 SF; and,
- (4) No additional Accessory Structures shall be constructed on the Subject Property.

### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Z2025-023: SUP for 3326 Royal Ridge Drive Ordinance No. 25-XX; SUP # S-3XX

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7<sup>th</sup> DAY OF JULY, 2025.

	Tim McCallum, Mayor
ATTEST:	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	

1<sup>st</sup> Reading: *June 16, 2025* 

2<sup>nd</sup> Reading: <u>July 7, 2025</u>

Exhibit 'A' Legal Description

<u>Address:</u> 3326 Royal Ridge Drive <u>Legal Description:</u> Lot 9, Block A, Breezy Hill Phase IX Addition

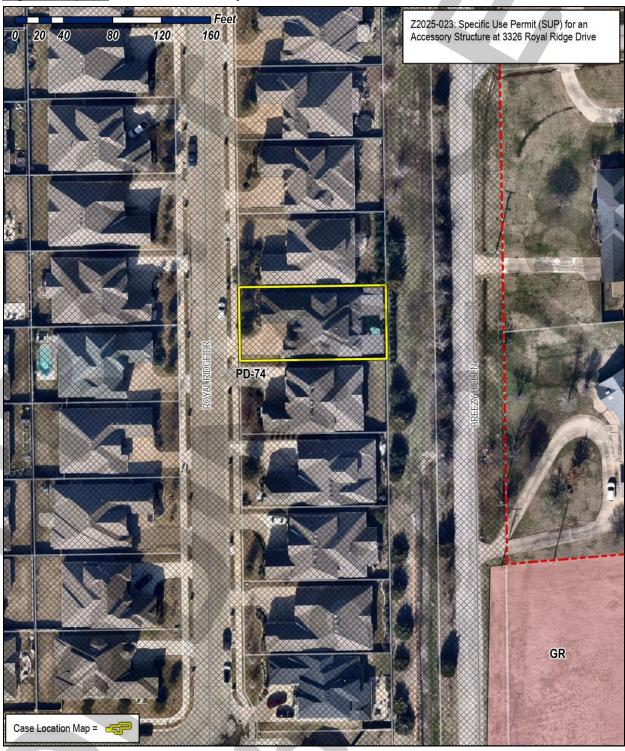


Exhibit 'B'
Site Plan

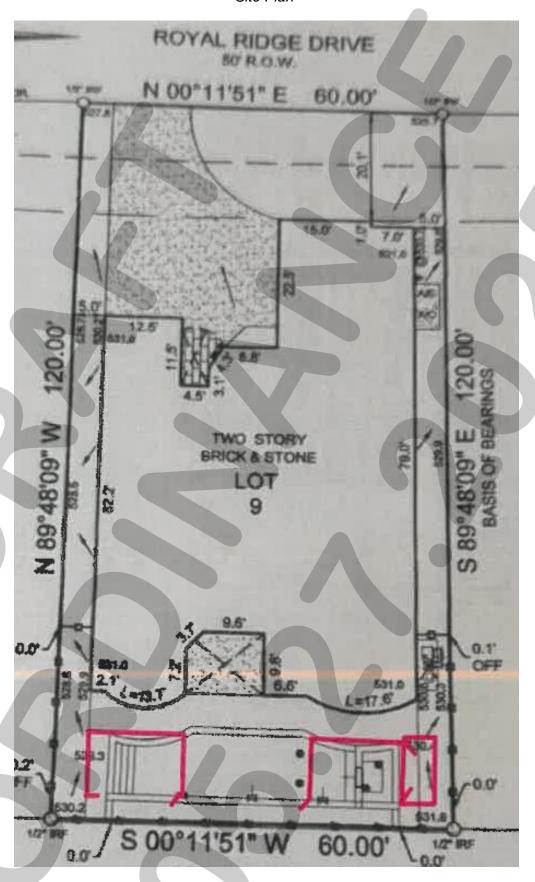
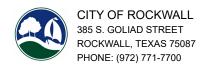


Exhibit 'C':
Building Rendering



# PROJECT COMMENTS



DATE: 5/23/2025

PROJECT NUMBER: Z2025-024

PROJECT NAME: SUP for Texas Wedge SITE ADDRESS/LOCATIONS: FIT SPORT LIFE BLVD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Anthony Winkler of Texas Wedge on behalf of Conor Keilty, AIA of

Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for Outdoor Commercial

Amusement/Recreation and a Structure Exceeding 60-Feet in Height in a Commercial (C) District for a Golf Driving Range on an 7.847-acre parcel of land identified as Lot 11, Block B, Fit Sport Life Addition, Rockwall County, Texas, zoned Commercial (C) District,

generally located at the terminus of Fit Sport Life Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	05/23/2025	Needs Review	_

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for a for Outdoor Commercial Amusement/Recreation and a Structure Exceeding 60-Feet in Height in a Commercial (C) District for a Golf Driving Range on a 7.847-acre parcel of land identified as Lot 11, Block B, Fit Sport Life Addition, Rockwall County, Texas, zoned Commercial (C) District, generally located at the terminus of Fit Sport Life Boulevard.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2025-024) in the lower right-hand corner of all pages on future submittals.
- 1.4 The approval of this Specific Use Permit (SUP) shall supersede all requirements stipulated by Ordinance No. 23-47 (S-312).
- I.5 According to Article 13, Definitions, of the Unified Development Code (UDC), a Golf Driving Range is defined as "(a)n area improved with trees, greens, fairways, hazards, and which may include a clubhouse dining room, and accessory recreational uses." In addition, Article 04, Permissible Uses, of the Unified Development Code (UDC) requires a Specific Use Permit (SUP) for a Golf Driving Range in a Commercial (C) District.
- I.6 According to Article 13, Definitions, of the Unified Development Code (UDC), Outdoor Commercial Amusement/Recreation is defined as "(a)n amusement enterprise that offers entertainment or games of skill to the general public for a fee or charge wherein any portion of the activity takes place in the open." In addition, Article 04, Permissible Uses, of the Unified Development Code (UDC) requires a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation in a Commercial (C) District.
- I.7 According to the Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum height in a Commercial (C) District is 60-feet; however, the City Council -- upon recommendation from the Planning and Zoning Commission -- can increase the height permitted to 240-feet through a Specific Use Permit (SUP). In this case, the applicant is requesting a maximum height of 175-feet for the driving range netting.
- M.8 In order to establish the boundaries of the Specific Use Permit (SUP) staff needs a legal description for the subject property. Please provide this legal description to staff.

M.9 Please provide updated floor plans that show the use and square footage for each room (include any storage, backrooms/hallways, kitchens, restrooms, etc.). At this time, staff has calculated the following parking:

- Mini Golf 36 holes x (1 space per hole) = 36 parking spaces
- Shop 2,000 SF / (1 space per 250 SF) = 8 parking spaces
- Arcade –
- Driving Range (1 space per 250 SF)
- Restaurants (1 space per 100 SF)
- Orange Room –
- Red Room -
- Total Parking Required:
- I.10 Please be cognizant of the Roof Top Units (RTUs). All RTUs must be screened by the parapet and not visible from any adjacent property or public Right of Way (ROW). Given this, either height or form changes might need to be made depending on the size and location of the RTUs.
- M.11 Please remove the project ghosted in to the east of the subject property. There are not any approved plans for this property.
- M.12 Please review the attached draft ordinance prior to the May 27, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by June 3, 2025.
- I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 27, 2025.
- I.14 The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).
- M.15 A representative is required to be present at all meetings associated with this case.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments	

05/22/2025: 1. Sidewalk will need to extend to existing sidewalk.

- 2. ADA Ramps required.
- 3. Curb return may not extend past property line.
- 4. Modifications to detention pond may be required. Drainage study update required.
- 5. Detention cannot be within its own lot, must be on a developed lot.

### **General Comments:**

### General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.

- All utilities must be underground.
- Additional comments may be provided at the time of Site Plan and Engineering review.

### Drainage Items:

- Modifications will be required to existing detention ponds which will require a drainage study.
- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No vertical walls allowed in detention easements.
- No public water or sanitary sewer allowed in detention easements.
- FFE for all buildings must be called out when adjacent to a detention system. FEE must be a minimum 2' above the 100-year WSEL for the detention system.
- Grate inlets are not allowed.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 12" water main stub located at the end of Fit Sport Life Blvd available for use.
- There is an existing 8" sewer main manhole located at the end of Fit Sport Life Blvd available for use.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed unless utility is under paving.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Pro-ratas may apply. Contact Engineering for information.
- Off-Site utility improvements may be required. Contact Engineering for information.

### Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

<u>DEPARTMENT</u>	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved w/ Comments	

05/20/2025: No fire lane was indicated on the proposed site layout. Site layout not reviewed for fire lane coverage.

DEPARTMENT	REVIEWER			
GIS	Lance Singleton			
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved	



### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

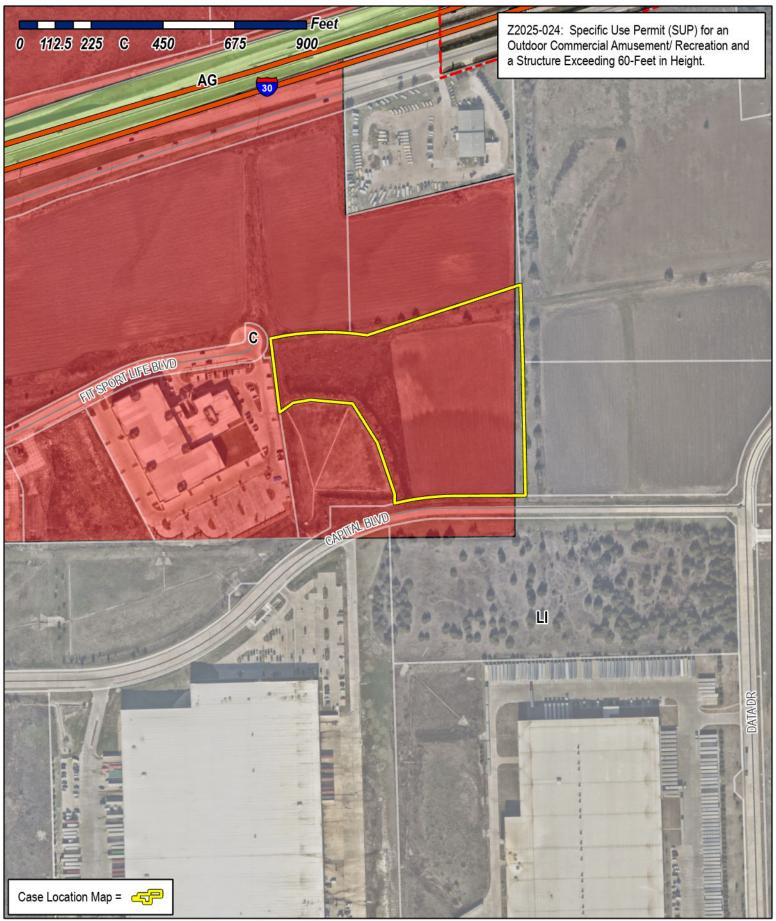
PLANNING & ZONING CASE NO.
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:

MY COMMISSION EXPIRES March 16, 2026

Rockwall, Texas 75087			CITY ENGINEER:					
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF	F DEVELOPMEN	IT RFC	DUEST ISELECT	ONLY ONE BOX	7.		
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEPLATTING APPLICATION FEES:  MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00)  SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) 1 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			ZONING APPLICATION FEES:  ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)  ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)  ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)  ☐ OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)  ☐ NOTES: ☐ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  ☐ 31,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.					
PROPERTY INFO	DRMATION [PLEASE PRINT]							
ADDRES	Fit Sport Life Blvd							
SUBDIVISION Fit Sport Life Addition				LOT	11	BLOCK	В	
GENERAL LOCATION	N Capital Blvd to the South, Approx	x. 1000' Ea	ast o	f Corporate	e Crossing			
ZONING. SITE P	LAN AND PLATTING INFORMATION [PLEASI	F PRINTI						
CURRENT ZONING Commercial - C		CURRENT	T USE	Undev	eloped			
PROPOSED ZONING		PROPOSED	USE					
ACREAG		1 1		LOTS [PROPOSED]		1		
REGARD TO ITS	D PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF S DENIAL OF YOUR CASE.	HAT DUE TO THE STAFF'S COMME!	PASSA NTS BY	AGE OF <u>HB3167</u> T THE DATE PROV	THE CITY NO LONDED ON THE DEV	NGER HAS FLI VELOPMENT C	EXIBILITY WITH CALENDAR WILL	
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CHI	ECK THE PRIMAR	Y CON	TACT/ORIGINAL S	IGNATURES ARE	REQUIRED]		
	Structured REA-Rockwall Land LLC	☐ APPLIC		Texas Wedge				
CONTACT PERSON	Conor Keilty, AIA	CONTACT PER	SON	Anthony Winkler				
ADDRESS	3104 E. Camelback Road, Ste. 2387	ADDR	ESS	637 Co	lvin Drive			
CITY, STATE & ZIP	Phoenix, Arizona 85016	CITY, STATE 8	& ZIP	Heath, T	X 75032			
PHONE	(480) 856-8808	PH	ONE	214-564-	6623			
E-MAIL	conork@structuredrea.com	E-1	MAIL	twinkler	@calwink.d	com		
BEFORE ME, THE UNDE STATED THE INFORMAT	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE TI AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; AL, TO COVER THE COST OF THIS APPLICATION, HA, 20_25. BY SIGNING THIS APPLICATION, I AGRE	FOLLOWING:  LL INFORMATION S S BEEN PAID TO T	SUBMITT HE CITY	TED HEREIN IS TRU OF ROCKWALL OF	E AND CORRECT;	AND THE APPL	DAY OF	
SUBMITTED IN CONJUNC	ED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSO					694 New Jers on Expires		

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

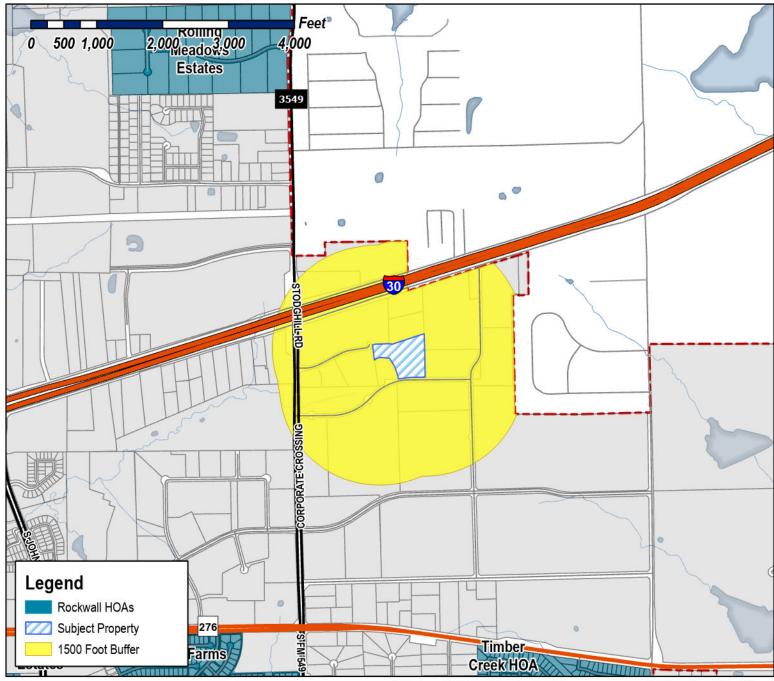
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2025-024

Case Name: Specific Use Permit (SUP)

for a Golf Driving Range

Case Type: Zoning

Zoning: Commercial (C) District

Case Address: Fit Sport Life Blvd

Date Saved: 5/16/2025

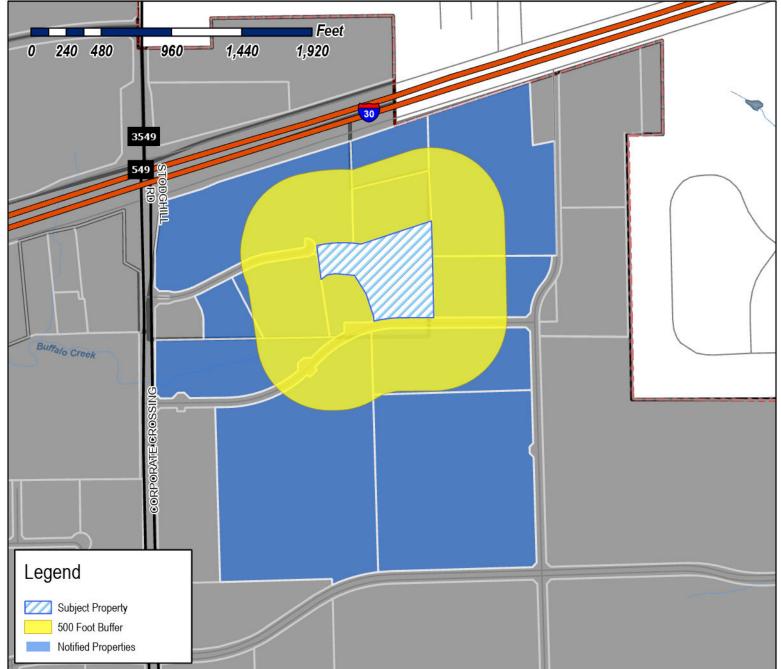
For Questions on this Case Call (972) 771-7745





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For Questions on this Case Call: (972) 771-7745



STAG ROCKWALL, L.P. A DELAWARE LIMITED
PARTNERSHIP
STAG INDUSTRIAL HOLDINGS, LLC
1 Federal St Fl 23
Boston, MA 2110

WALLIS RUSTY FAMILY LTD PARTNERSHIP #2 12277 SHILOH RD DALLAS, TX 75228 RESIDENT 2260 E 130 ROCKWALL, TX 75087

RESIDENT 3101 FIT SPORT LIFE BLVD ROCKWALL, TX 75087 STRUCTURED REA- ROCKWALL LAND LLC 3104 E Camelback Rd Phoenix, AZ 85016 RESIDENT 3201 CAPITAL BLVD ROCKWALL, TX 75087

RESIDENT 3400 DISCOVERY DR ROCKWALL, TX 75087 MACA DEVELOPMENT LLC 6904 RAINWOOD DR PLANO, TX 75024 ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

JOWERS INC PO BOX 1870 ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Z2025-024: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Anthony Winkler of Texas Wedge on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a <u>Specific Use Permit (SUP)</u> for Outdoor Commercial Amusement/Recreation and a Structure Exceeding 60-Feet in Height in a Commercial (C) District for a Golf Driving Range on an 7.847-acre parcel of land identified as Lot 11, Block B, Fit Sport Life Addition, Rockwall County, Texas, zoned Commercial (C) District, generally located at the terminus of Fit Sport Life Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, June 16, 2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

#### **Henry Lee**

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

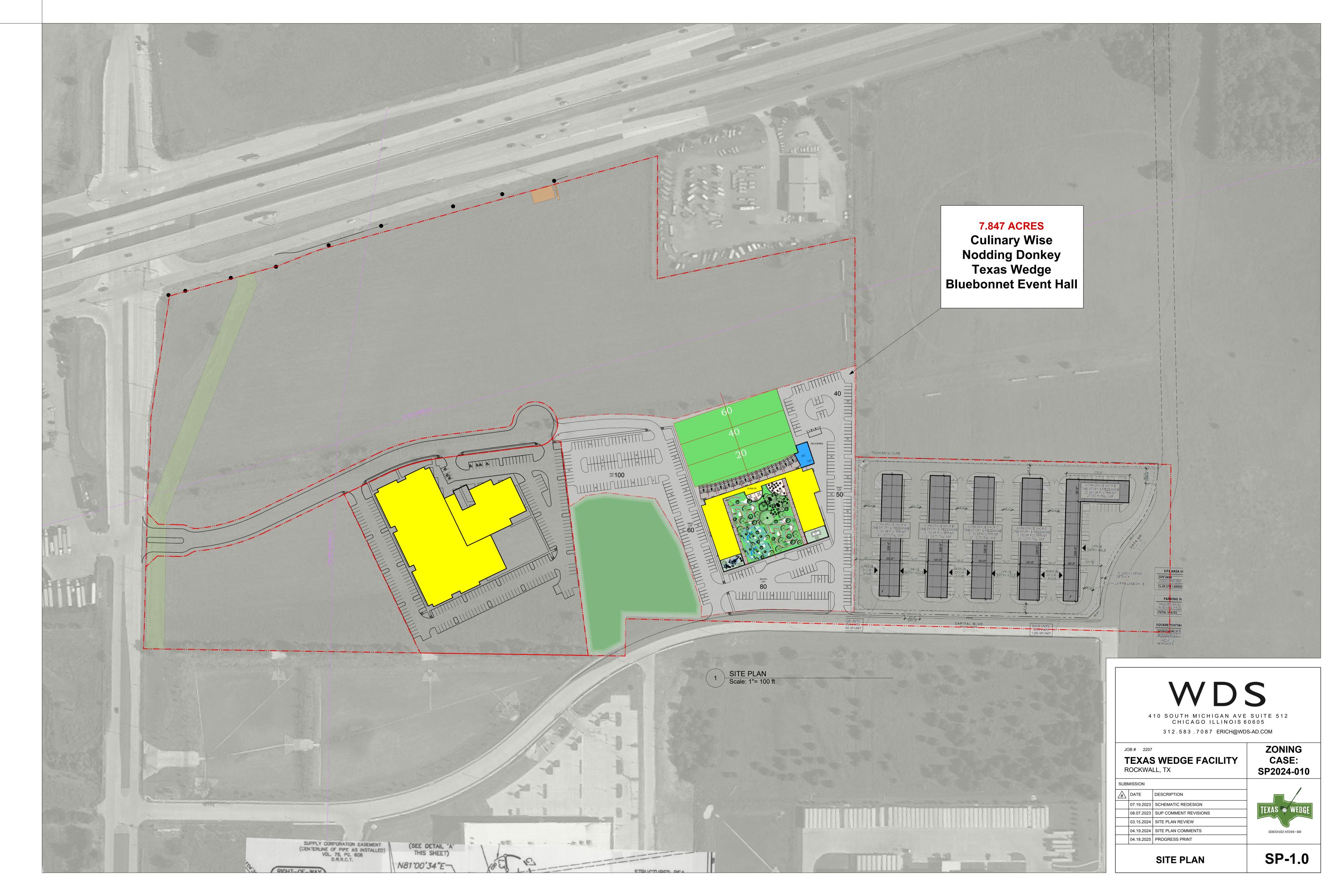




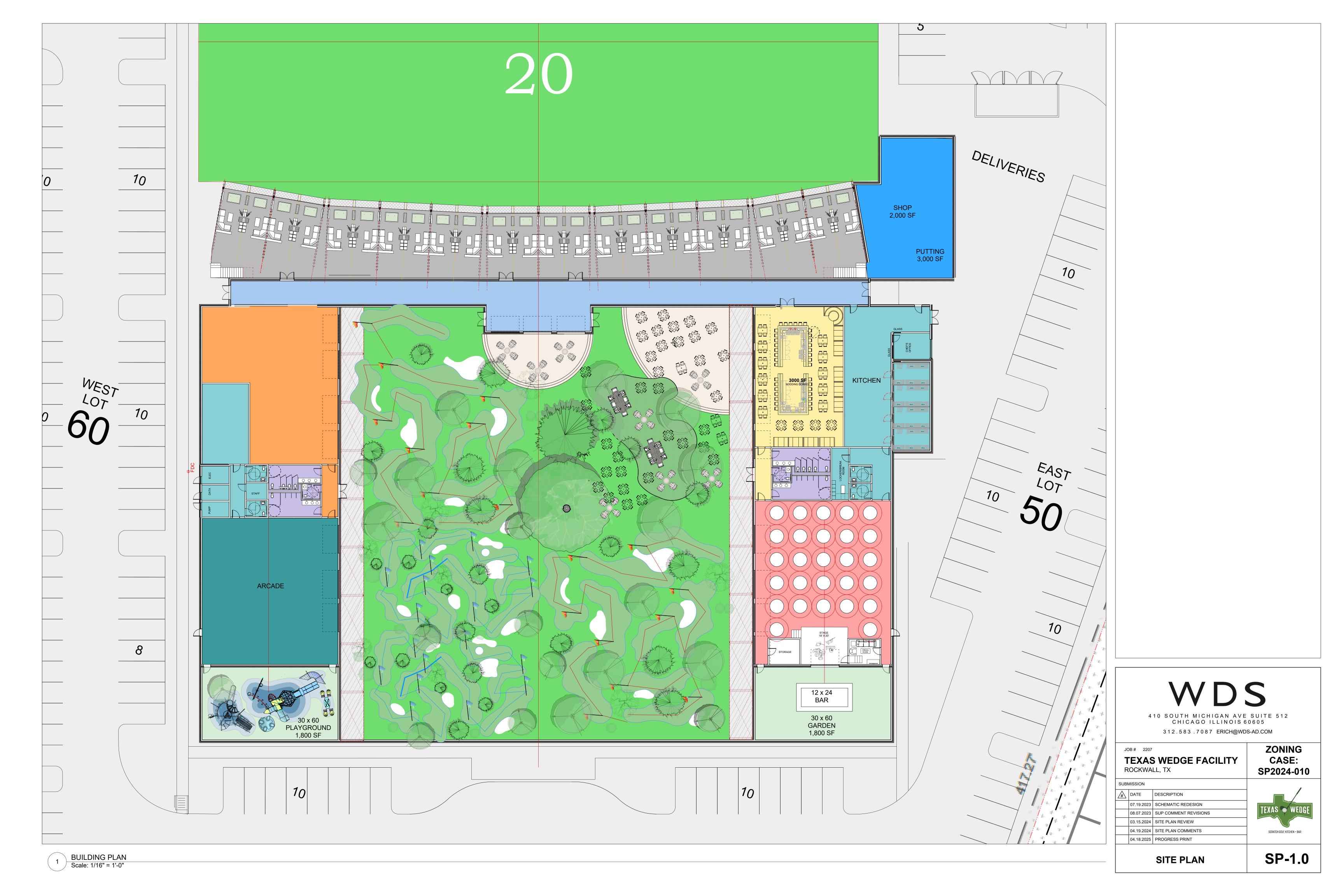
		TO THE WEBSITE	
	MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/developments		
- · -	PLEASE RETURN THE BELOW FORM		
Case No	. Z2025-024: Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation		
Please p	lace a check mark on the appropriate line below:		
□Iam	in favor of the request for the reasons listed below.		
□Iam	opposed to the request for the reasons listed below.		
Name			
Address			

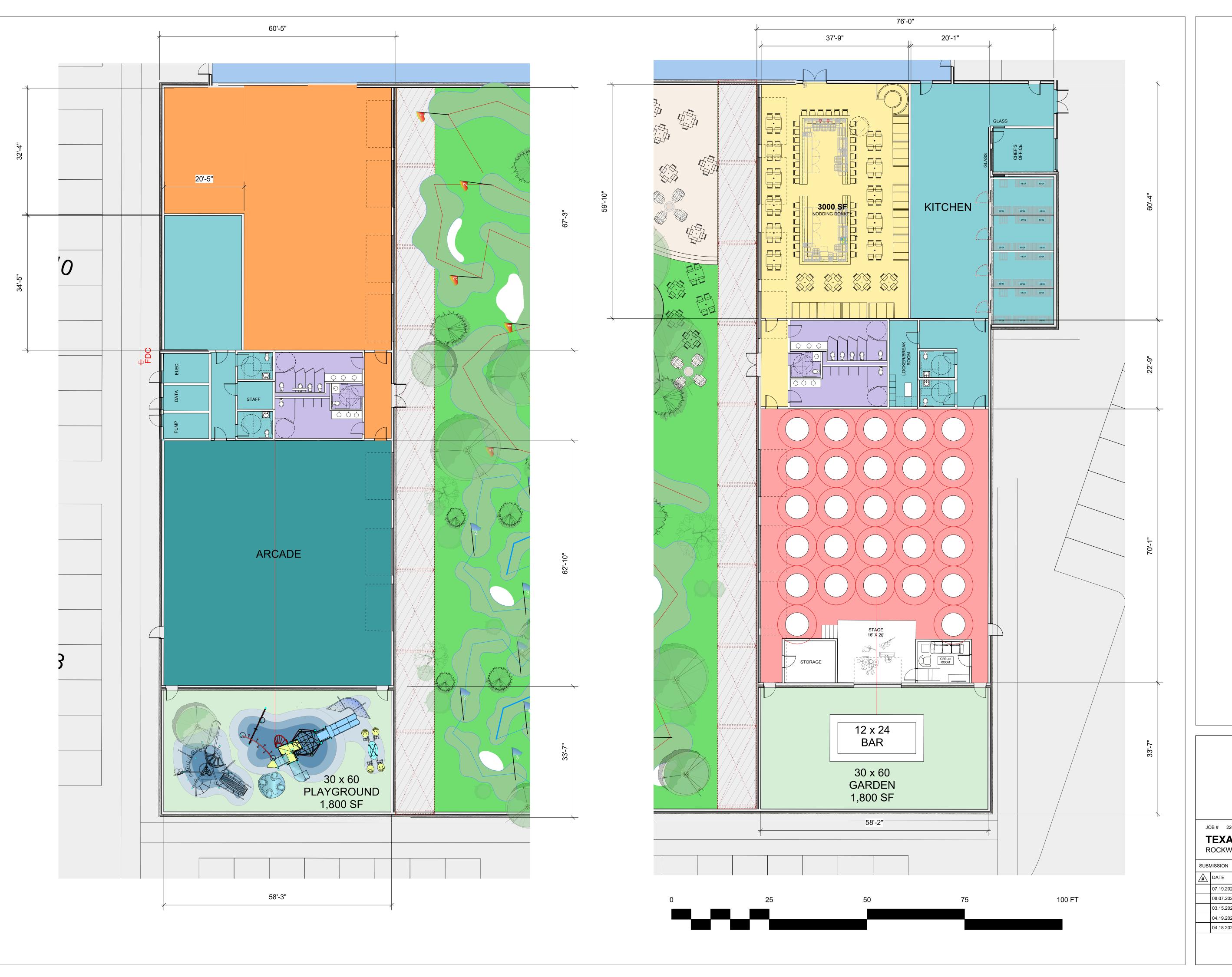
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

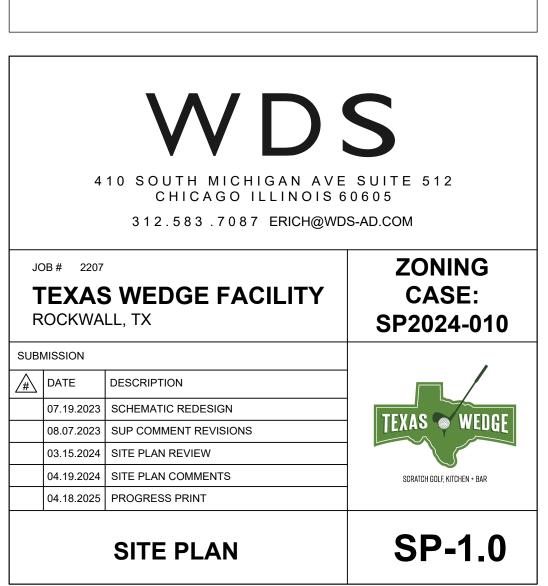
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

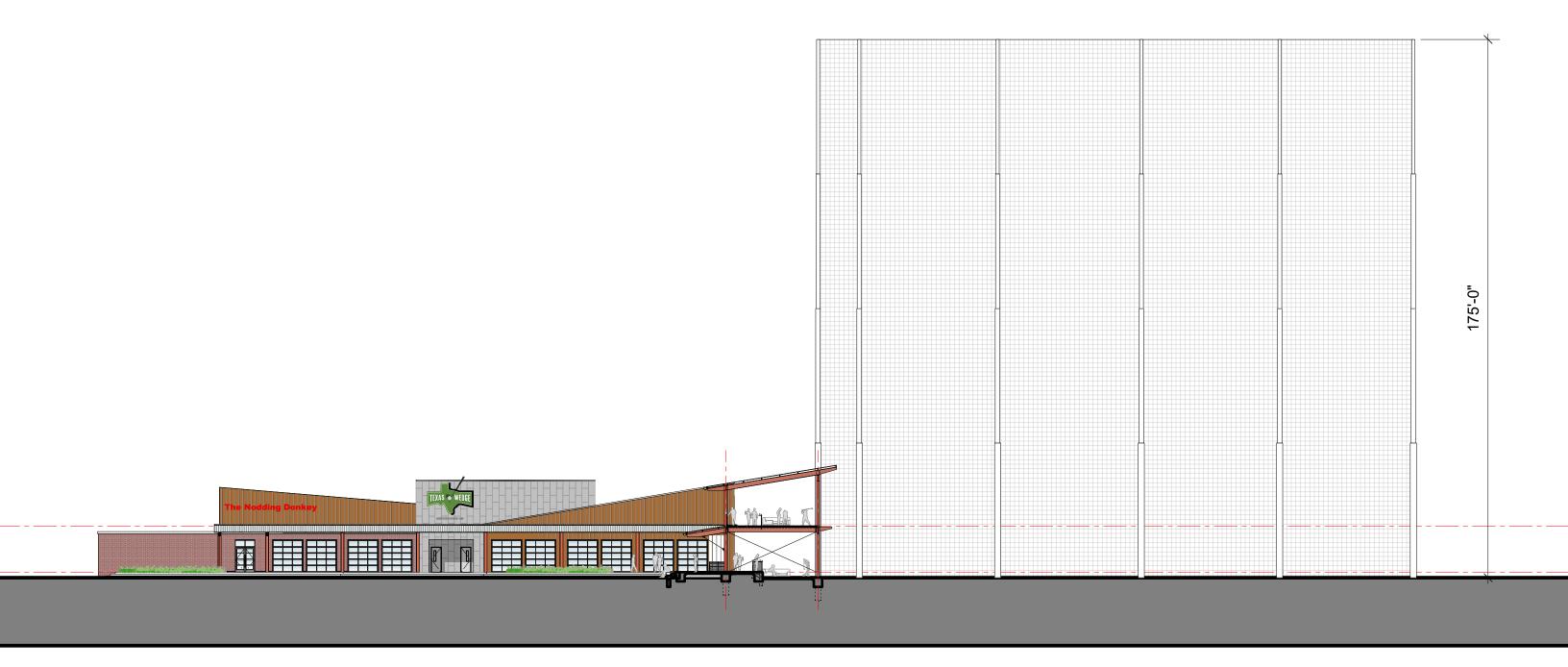






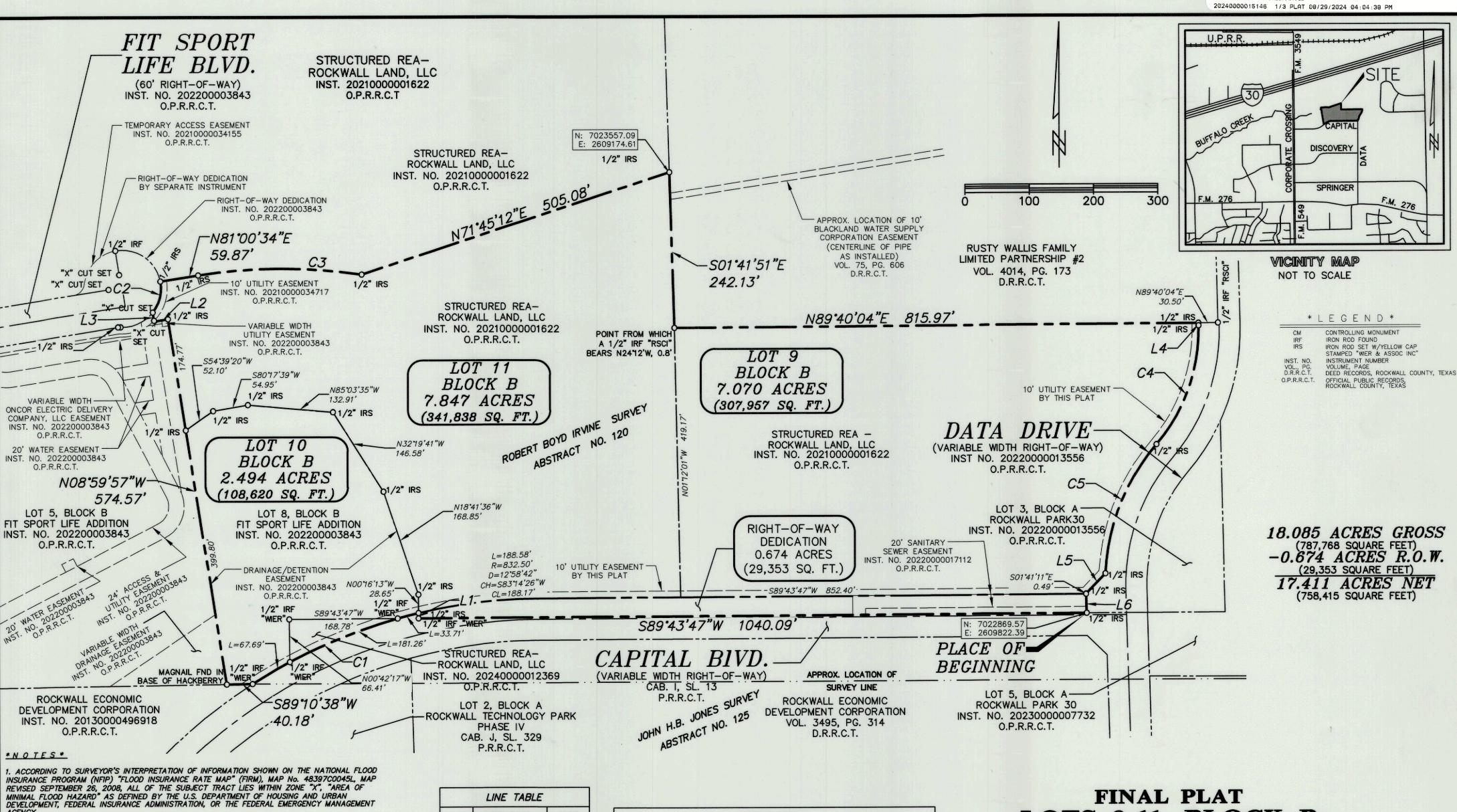






1 NETTING HEIGHT SCALE: 1" = 30'-0"





2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP"; IT DOES NOT NECESSARILY SHOW ALL AREAS POTENTIALLY SUBJECT TO FLOODING, PARTICULARLY AREAS WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON REAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".

3. ALL BEARINGS SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTRATED BY ALLTERRA CENTRAL, INC.

4. THIS FINAL PLAT IS FOR CONVEYANCE PURPOSES ONLY AND NOT FOR THE DEVELOPMENT OF THE

5. A CONVEYANCE PLAT IS A RECORD OF PROPERTY APPROVED BY THE CITY OF ROCKWALL FOR THE PURPOSE OF SALE OR CONVEYANCE IN ITS ENTIRETY OR INTERESTS THEREON DEFINED. NO BUILDING PERMIT SHALL BE ISSUED NOR PERMANENT PUBLIC UTILITY SERVICE PROVIDED UNTIL A FINAL PLAT IS APPROVED, FILED OF RECORD, AND PUBLIC IMPROVEMENTS ACCEPTED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL. SELLING A PORTION OF THIS PROPERTY BY METES AND BOUNDS, EXCEPT AS SHOWN ON AN APPROVED, FILED, AND ACCEPTED CONVEYANCE PLAT, FINAL PLAT, OR REPLAT IS A VIOLATION OF THE CITY ORDINANCE AND

6. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER

7. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DETENTION AND DRAINAGE SYSTEMS AND EASEMENTS.

8. ALL 1/2" IRON RODS SET WITH A CAP STAMPED "WIER & ASSOC INC", UNLESS NOTED OTHERWISE.

LINE	BEARING	DIST
L1	N0076'13"W	8.23'
L2	S81°00'34"W	21.83
L3	N08°54'00"W	14.16'
L4	S0175'53"E	3.99'
L5	S44°01'09"W	43.47
L6	S01°41'11"E	30.00

CURVE TABLE												
CURVE	ARC	RADIUS	DELTA	BEARING	DIST.							
C1	282.66'	832.50'	19°27′13″	S67'01'28"W	281.30'							
C2	51.30'	60.00'	48'59'20"	N13°52'59"E	49.75							
C3	255.29'	830.00'	17'37'23"	N89°49'15"E	254.29							
C4	200.36	274.50'	41'49'15"	S19*38'46"W	195.94							
C5	219.89'	335.50'	37'33'08"	S21'46'50"W	215.98							

# LOTS 9-11, BLOCK B FIT SPORT LIFE ADDITION BEING A REPLAT OF

LOT 8, BLOCK B, FIT SPORT LIFE ADDITION, TRACT 24, & A PORTION OF TRACT 22 OF THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 BEING THREE (3) LOTS 18.085 ACRES OR 787,768 SF SITUATED WITHIN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NO.: P2024-016

#### OWNER / DEVELOPER

STRUCTURED REA-ROCKWALL LAND, LLC 3104 E CAMELBACK ROAD #2387 PHOENIX, ARIZONA 85016 CONTACT: CONOR KEILTY PH: (480) 856-8808

#### ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC. 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 CONTACT: RANDY EARDLEY, P.E. PH: (817) 467-7700

FAX: (817) 467-7713

### WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700 Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 1 OF 3

W.A. No. 19114.02

DATE: 7/22/2024

BY:

SA

LAST

WER-SURVEY.STB

STB

7/22/2024

PRINTED:

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS STRUCTURED REA-ROCKWALL LAND, LLC, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA—ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND ALL OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA—ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20240000012369, O.P.R.R.C.T., AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTH LINE OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T., SAID IRON ROD BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAPITAL BOULEVARD (A 65' RIGHT-OF-WAY) WITH THE WEST RIGHT-OF-WAY LINE OF DATA DRIVE (A VARIABLE WIDTH RIGHT OF WAY);

THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID CAPITAL BOULEVARD AS FOLLOWS:

- 1) S 89°43'47" W, ALONG THE SOUTH LINE OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T., A DISTANCE OF 1040.09 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC";
- 2) N 00°16'13" W, CONTINUING ALONG ALONG THE SOUTH LINE OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T., A DISTANCE OF 8.23 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE SOUTHEAST CORNER OF LOT 8, BLOCK B, FIT SPORT LIFE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT NUMBER 202200003843, O.P.R.R.C.T., AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;
- 3) SOUTHWESTERLY, AN ARC LENGTH OF 282.66 FEET ALONG THE SOUTH LINE OF SAID LOT 8 AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 832.50 FEET, A DELTA ANGLE OF 19°27'13", AND A CHORD BEARING OF S 67°01'28" W, 281.30 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE MOST SOUTHERLY SOUTHEAST CORNER OF SAID LOT 8:

THENCE S 89"10'38" W, DEPARTING THE NORTH RIGHT-OF-WAY LINE OF SAID CAPITAL BOULEVARD AND CONTINUING ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 40.18 FEET TO A MAGNAIL FOUND IN THE BASE OF A HACKBERRY TREE, BEING THE SOUTHWEST CORNER OF SAID LOT 8 AND THE SOUTHEAST CORNER OF LOT 5, BLOCK B OF SAID FIT SPORT LIFE ADDITION;

THENCE N 08\*59'57" W, ALONG THE WEST LINE OF SAID LOT 8 AND THE EAST LINE OF SAID LOT 5, A DISTANCE OF 574.57 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE MOST EASTERLY NORTHEAST CORNER OF SAID LOT 5;

THENCE S 81°00'34" W, ALONG A NORTH LINE OF SAID LOT 5, A DISTANCE OF 21.83 FEET TO AN "X" CUT SET;

THENCE N 08°54'00" W, CONTINUING ALONG A NORTH LINE OF SAID LOT 5, A DISTANCE OF 14.16
FEET TO AN "X" CUT SET IN THE SOUTH RIGHT-OF-WAY LINE OF FIT SPORT LIFE BOULEVARD (A 60'
RIGHT-OF-WAY), BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE NORTHEASTERLY, AN ARC LENGTH OF 51.30 FEET ALONG THE SOUTH RIGHT—OF—WAY LINE OF SAID FIT SPORT LIFE BOULEVARD AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 60.00 FEET, A DELTA ANGLE OF 48°59'20", AND A CHORD BEARING OF N 13°52'59" E, 49.75 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 81°00'34" E, DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID FIT SPORT LIFE BOULEVARD, A DISTANCE OF 59.87 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE EASTERLY, AN ARC LENGTH OF 255.29 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 830.00 FEET, A DELTA ANGLE OF 17°37'23", AND A CHORD BEARING OF N 89°49'15" E, 254.29 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 71°45'12" E, A DISTANCE OF 505.08 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2, RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T., AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T.;

THENCE S 01°41'51" E, ALONG THE WEST LINE OF SAID RUSTY WALLIS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T., A DISTANCE OF 242.13 FEET TO A POINT, FROM WHICH A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI" BEARS N 24°12' W, O.8 FEET, BEING THE SOUTHWEST CORNER OF SAID RUSTY WALLIS TRACT AND AN ELL CORNER OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T.;

THENCE N 89°40'04" E, ALONG THE SOUTH LINE OF SAID RUSTY WALLIS TRACT AND THE MOST EASTERLY NORTH LINE OF SAID STRUCTURED REA—ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T., A DISTANCE OF 815.97 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE WEST RIGHT—OF—WAY LINE OF SAID DATA DRIVE;

THENCE DEPARTING THE SOUTH LINE OF SAID RUSTY WALLIS TRACT AND THE MOST EASTERLY NORTH LINE OF SAID STRUCTURED REA-ROCKWALL TRACT RECORDED IN INSTRUMENT NO. 20210000001622, O.P.R.R.C.T., AND ALONG THE WEST RIGHT-OF-WAY LINE OF SAID DATA DRIVE AS FOLLOWS:

- 1) S 01"15'53" E, A DISTANCE OF 3.99 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC". BEING THE BEGINNING OF A CURVE TO THE RIGHT:
- 2) SOUTHWESTERLY, AN ARC LENGTH OF 200.36 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 274.50 FEET, A DELTA ANGLE OF 41\*49'15", AND A CHORD BEARING OF S 19\*38'46" W, 195.94 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE BEGINNING OF A REVERSE CURVE TO THE LEFT;
- 3) SOUTHWESTERLY, AN ARC LENGTH OF 219.89 FEET ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 335.50 FEET, A DELTA ANGLE OF 37\*33'08", AND A CHORD BEARING OF S 21\*46'50" W, 215.98 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WER & ASSOC INC";
- 4) S 44°01'09" W, A DISTANCE OF 43.47 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC":
- 5) S 01°41'11" E, A DISTANCE OF 30.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 18.085 ACRES (787,768 SQUARE FEET) OF LAND, MORE OR LESS.

# FINAL PLAT LOTS 9-11, BLOCK B FIT SPORT LIFE ADDITION

BEING A REPLAT OF
LOT 8, BLOCK B, FIT SPORT LIFE ADDITION,
TRACT 24, & A PORTION OF TRACT 22
OF THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
BEING THREE (3) LOTS
18.085 ACRES OR 787,768 SF
SITUATED WITHIN THE
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO.: P2024-016

#### OWNER / DEVELOPER

STRUCTURED REA-ROCKWALL LAND, LLC 3104 E CAMELBACK ROAD #2387 PHOENIX, ARIZONA 85016 CONTACT: CONOR KEILTY PH: (480) 856-8808

#### ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC.

2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006

CONTACT: RANDY EARDLEY, P.E.
PH: (817) 467-7700

FAX: (817) 467-7713

# WIA WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

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Texas Firm Registration No. F-2776 www.WierAssociates.com

Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 2 OF 3

DATE: 7/22/2024 W.A. No. 19114.02

STATE OF TEXAS COUNTY OF ROCKWALL

WE THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOTS 9. 10. & 11. BLOCK B. FIT SPORT LIFE ADDITION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOTS 9. 10. & 11. BLOCK B. FIT SPORT LIFE ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT. WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING:

- 1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS
- 2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO. FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
- 3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
- 4. THE DEVELOPER/PROPERTY OWNER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
- 5. THE DEVELOPER/PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
- 6. NO HOUSE DWELLING UNIT. OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL: OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER. AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES. OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

WITNESS OUR HANDS THIS THE \_\_\_\_\_ DAY OF \_\_\_\_ | MI

FOR: STRUCTURED REA-ROCKWALL LAND, LLC

OWNER

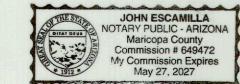
STATE OF \_Arizona COUNTY OF MARI COPG

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED OF STRUCTURED REA-ROCKWALL LAND, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_, 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF ACIDON

John Escamilla PRINTED NAME



#### \*SURVEYOR'S STATEMENT\*

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

SURVEYED ON THE GROUND APRIL 9, 2024

AARON L. STRINGFELLOW, R.P.L.S. STATE OF TEXAS NO. 6373 E-MAIL: AgronLS@WERASSOCIATES.COM AARON L STRINGFELLOW 6373

STATE OF TEXAS COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED AARON L. STRINGFELLOW, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 22 DAY OF July

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



#### \*GENERAL NOTES\*

- 1. SUBDIVIDER'S STATEMENT. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212. MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
- 2. PUBLIC IMPROVEMENT STATEMENT. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDINGS PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED. AUTHORIZED. OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF ROCKWALL OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
- 3. DRAINAGE AND DETENTION EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
- 4. FIRE LANES. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
- 5. STREET APPURTENANCES. ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).

#### RECOMMENDED FOR FINAL APPROVAL

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SUBDIVISION PLAT WAS REVIEWED BY THE PLANNING AND ZONING COMMISSION AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS FOR THE PREPARATION OF A FINAL PLAT ON THE \_Gth\_ DAY \_, 2024.

OF ROCKWALL

CITY SECRETARY O

PLANNING AND ZONING CHAIRMAN

my wallain, P.E. CITY ENGWEER

### FINAL PLAT LOTS 9-11, BLOCK B FIT SPORT LIFE ADDITION

BEING A REPLAT OF LOT 8, BLOCK B, FIT SPORT LIFE ADDITION, TRACT 24, & A PORTION OF TRACT 22 OF THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 BEING THREE (3) LOTS 18.085 ACRES OR 787,768 SF SITUATED WITHIN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO.: P2024-016

ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC. 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 CONTACT: RANDY EARDLEY, P.E. PH: (817) 467-7700 FAX: (817) 467-7713

**IIII**A WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700 Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 3 OF 3

DATE: 7/22/2024 W.A. No. 19114.02 SAVE

7/22/2024

Filed and Recorded Official Public Records Jennifer Fogg, County Clerk Rockwall County, Texas 08/29/2024 04:04:38 PM \$147.00 202400000015146

OWNER / DEVELOPER

STRUCTURED REA-ROCKWALL LAND, LLC 3104 E CAMELBACK ROAD #2387 PHOENIX. ARIZONA 85016 CONTACT: CONOR KEILTY PH: (480) 856-8808

#### **CITY OF ROCKWALL**

#### ORDINANCE NO. <u>25-XX</u>

#### SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 23-47 AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR OUTDOOR COMMERCIAL AMUSEMENT/RECREATION AND A STRUCTURE EXCEEDING 60-FEET IN HEIGHT IN A COMMERCIAL (C) DISTRICT FOR A GOLF DRIVING RANGE ON A 7.847-ACRE PARCEL OF LAND IDENTIFIED AS LOT 11, BLOCK B, FIT SPORT LIFE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO DOLLARS (\$2.000.00) FOR EACH THOUSAND PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Anthony Winkler of Texas Wedge on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for Outdoor Commercial Amusement/Recreation and a Structure Exceeding 60-Feet in Height in a Commercial (C) District for a Golf Driving Range on a 7.847-acre parcel of land, zoned Commercial (C) District, being identified as Lot 11, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, generally located near the terminus of Fit Sport Life Boulevard, and being more specifically described in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 23-47* (*S-312*) and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 23-47* (*S-312*).

**SECTION 2.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Golf Driving Range* with *Outdoor Commercial Amusement/Recreation* and a *Structure Exceeding 60-Feet in Height in a Commercial (C) District* as stipulated by Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

**SECTION 3.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*, and Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

#### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Golf Driving Range* and *Outdoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *Golf Driving Range* and *Outdoor Commercial Amusement/Recreation* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The maximum height of the netting and support structures shall not exceed 175-feet and shall generally conform to *Exhibit 'C'* of this ordinance.

#### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

# PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7<sup>th</sup> DAY OF JULY, 2025.

ATTEST:	Tim McCallum, Mayor
ATTEST.	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1st Reading: June 16, 2025	

2<sup>nd</sup> Reading: *July 7, 2025* 

#### **Exhibit 'A':**

#### Legal Description

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2, RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T.:

THENCE S 01°41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 345.16 FEET TO A POINT;

THENCE S 71°45'12" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 505.08 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHERLY, AN ARC LENGTH OF 255.29 FEET ALONG SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 830.00 FEET, A DELTA ANGLE OF 17°37′23″, AND A CHORD BEARING S 89°49′15″ W, A DISTANCE OF 254.29 FEET TO A POINT:

THENCE S 81°00'34" W, A DISTANCE OF 305.78 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF FIT SPORT LIFE BOULEVARD (A 60' RIGHT-OF-WAY), BEING THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE NORTHWESTERLY DEPARTING SAID FIT SPORT LIFE BOULEVARD, AN ARC LENGTH OF 31.42 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 90°00'00", AND A CHORD BEARING OF N 53°59'26" W, A DISTANCE OF 28.28 FEET TO A POINT;

THENCE N 08°59'26" W, A DISTANCE OF 356.88 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 87°49'28" W, 726.69 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY);

THENCE N 72°46'09" E, A DISTANCE OF 602.14 FEET TO A POINT IN THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT;

THENCE S 01°36'16" E, ALONG THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 121.40 FEET TO A POINT, BEING THE SOUTHWEST CORNER OF SAID JOWERS TRACT:

THENCE N 76°34'05" E, ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND THE MOST EASTERLY NORTH LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 540.70 FEET TO THE PLACE OF BEGINNING AND CONTAINING 9.942 ACRES (433,054 SQUARE FEET) OF LAND, MORE OR LESS.

Exhibit 'B': Concept Plan



Exhibit 'B': Concept Plan

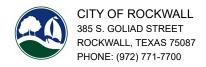


Exhibit 'B': Concept Plan





# PROJECT COMMENTS



DATE: 5/23/2025

PROJECT NUMBER: Z2025-025

PROJECT NAME: SUP for a Showrrom/Warehouse

SITE ADDRESS/LOCATIONS: 263 Ranch Trail

CASE CAPTION: Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the

approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any

action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	05/23/2025	Needs Review	

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2025-025) in the lower right-hand corner of all pages on future submittals.
- I.4 A Wholesale Showroom Facility is defined as a "...establishment that primarily consists of sales offices and sample display areas for products and/or services delivered or performed off-premises. Catalog and telephone sales facilities are appropriate. Incidental retail sales of products associated with the primary products and/or services are permitted. Warehousing facilities shall be incidental to the primary use and shall not exceed 50% of the total floor area." In this case, the applicant is requesting a tile and stone showroom facility that will incorporate Office and Warehousing in conformance with the Wholesale Showroom Facility definition.
- I.5 The subject property is zoned Commercial (C) District. In a Commercial (C) District, a Wholesale Showroom Facility requires the approval of a Specific Use Permit (SUP). The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Wholesale Showroom Facility is compatible with the surrounding businesses.
- M.6 In accordance with the Wholesale Showroom Facility definition detailed in comment I.4, the total floor area shall not incorporate more than 50% of Warehousing. In this case, there is 66.67% of the total floor area being proposed as Warehousing. Given this, a new floor plan must be provided that reduces the Warehousing to 50% or 2,475 SF.
- M.7 Please review the attached Draft Ordinance prior to the May 27, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 3, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional

information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 27, 2025.

1.9 The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved	·

No Comments

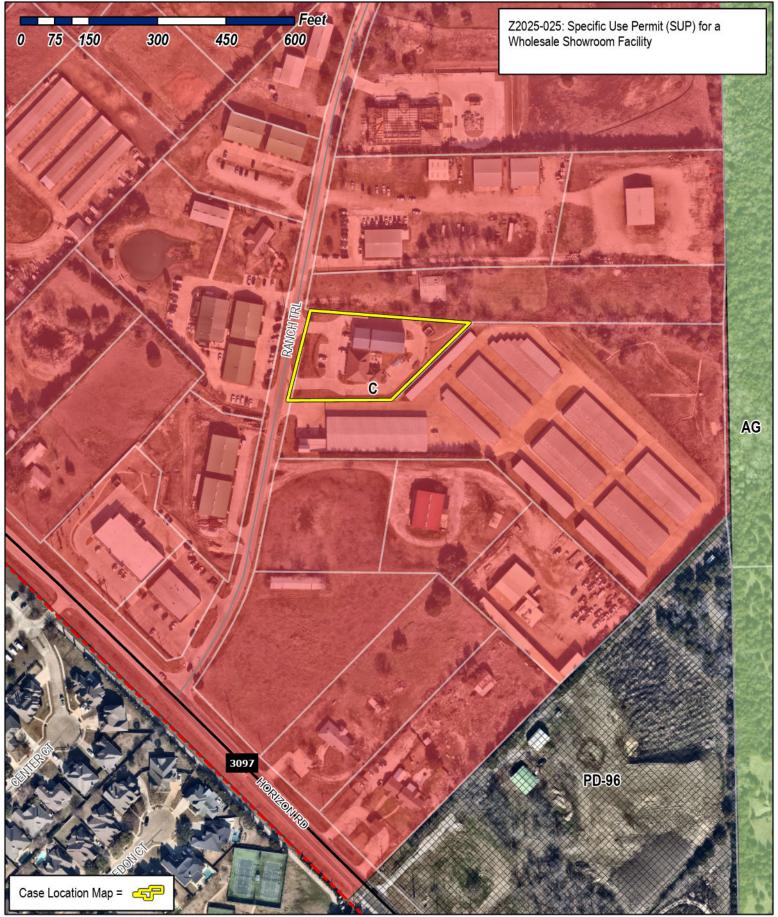


# **DEVELOPMENT APPLICATION**

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall. Texas 75087

	PLANNING & ZONING CASE NO.
	NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
I	DIRECTOR OF PLANNING:
ı	CITY ENGINEED.

	Rockwall, Texas 75087		DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK T	HE APPROPRIATE BOX BELOW TO INDICATE THE TO	(DE OF DE 15)	
☐ MASTER PL ☐ PRELIMINAI ☐ FINAL PLAT ☐ REPLAT (\$3 ☐ AMENDING ☐ PLAT REINS  SITE PLAN APP ☐ SITE PLAN (\$	PLICATION FEES: AT (\$100.00 + \$15.00 ACRE) 1 RY PLAT (\$200.00 + \$15.00 ACRE) 1 (\$300.00 + \$20.00 ACRE) 1 (\$300.00 + \$20.00 ACRE) 1 OR MINOR PLAT (\$150.00) TATEMENT REQUEST (\$100.00) PLICATION FEES: \$250.00 + \$20.00 ACRE) 1 ITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING A  ZONING A  ZONIN  SPECI  PD DE  OTHER AI  VARIAN  NOTES: 1 IN DETERM PER ACRE AM  2 A \$1000 07	APPLICATION FEES: G CHANGE (\$200.00 + \$15.00 ACRE) 1 FIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 VELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 PPLICATION FEES: REMOVAL (\$75.00) NCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE OUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT NSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING
	FORMATION [PLEASE PRINT]		
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CITY, STATE & ZIP	Rockwall, TX 15032	CITY, STATE & ZIF	Online T. 75:41
PHONE	972-977-2110	PHONE	DHLCH2 1X +2%84
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NOTARY PUBLIC IN AND F	OR THE STATE OF TEXAS Penni B	Castelli	Expires March 2, 2027  MY COMMISSION EXPIRES





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

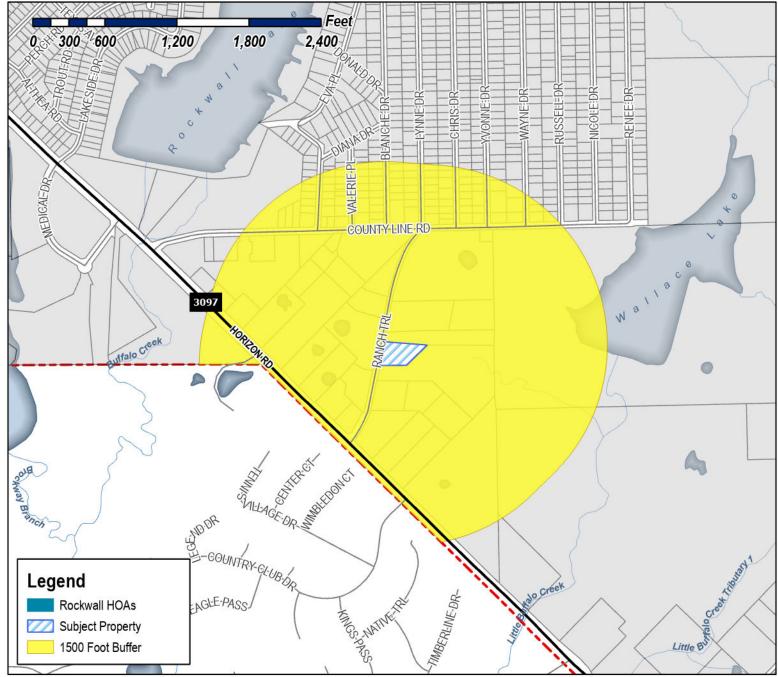
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2025-025

Case Name: Specific Use Permit (SUP) for

Wholesale Showroom Facility

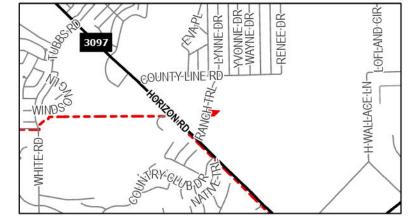
Case Type: Zoning

**Zoning:** Commercial (C) District

Case Address: 263 Ranch Trail

Date Saved: 5/16/2025

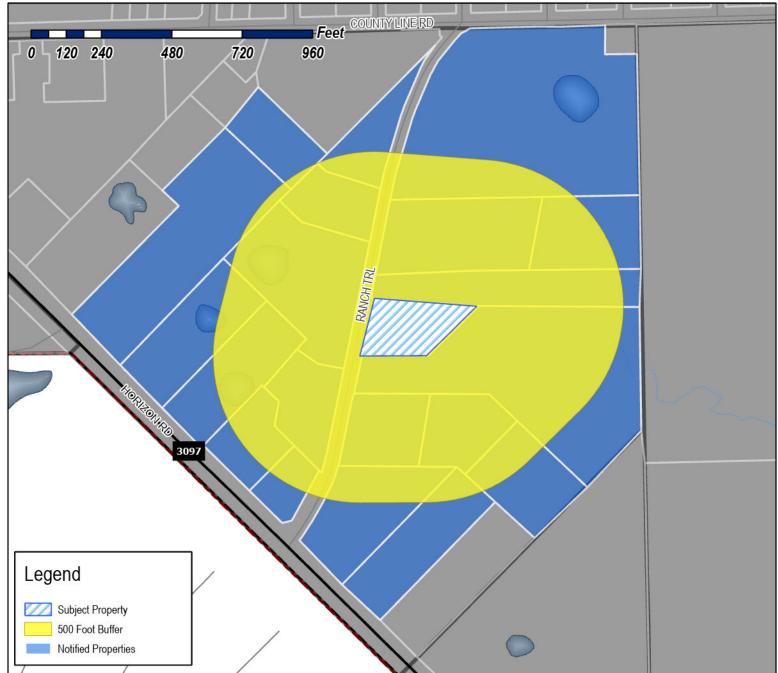
For Questions on this Case Call (972) 771-7745





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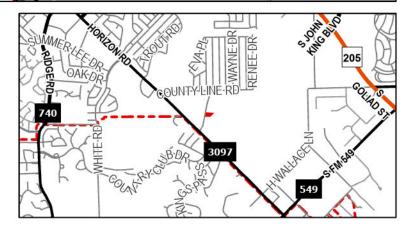
Case Type: Zoning

**Zoning:** Commercial (C) District

Case Address: 263 Ranch Trail

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



GLOBAL HOLDINGS INTERNATIONAL BUSINESS

ZALOMANTE LLC

ROCKWALL, TX 75087

**DALLAS, TX 75205** 

ROCKWALL, TX 75087

494 Lynne Dr

Rockwall, TX 75032

RIDGE POINTE HORIZON LP

ROCKWALL, TX 75087

ROCKWALL, TX 75032

ROCKWALL, TX 75032

405 RANCH TRL

ROCKWALL, TX 75087

**KELLI CHRISTINE HAYNIE - TRUSTEE** 10500 LAKELINE MALL DR APT 5605

102 S GOLIAD #200 **1690 LYNN LN** ROCKWALL, TX 75087 LUCAS, TX 75002 AUSTIN, TX 78717

DOMINGUEZ SALVADOR AND 5543 FM3097 LLC RESIDENT DIANA DOMINGUEZ **1809 BRISTOL LANE** 196-224 RANCH TRL 1948 FREDIANO LN ROCKWALL, TX 75032 ROCKWALL, TX 75087 MCLENDON CHISHOLM, TX 75032

RESIDENT RESIDENT RESIDENT 207 RANCH TRL 209 RANCH TRL 231 RANCH TRL ROCKWALL, TX 75087 ROCKWALL, TX 75087 ROCKWALL, TX 75087

PATRIOT PAWS SERVICE DOGS RESIDENT **HEATH #23 INVESTMENT, LLC** LORI STEVENS 259 RANCH TRAIL 2712 IH 30 254 RANCH TRL ROCKWALL, TX 75087 MESQUITE, TX 75150 ROCKWALL, TX 75032

RESIDENT RESIDENT RESIDENT 285 RANCH TRL 295 RANCH TRAIL 315 RANCH TRAIL ROCKWALL, TX 75087

RANCH TRAIL VENTURES LLC RAAA REAL ESTATE LLC **KUMAR ATUL** 315 RANCH TRAIL 3508 McFarlin Blvd 3508 MCFARLIN BLVD

Dallas, TX 75205

CPIV-354 RANCH TRAIL LLC RESIDENT RESIDENT 354/356 RANCH TRL 354-356 RANCH TRL 382 RANCH TRL

RESIDENT TRUMAN HEIGHTS LLC **DIVAGOZ PROPERTIES LLC** 

4741 PARKWOOD DR

ROCKWALL, TX 75032

ROCKWALL, TX 75087

**BIG LEAGUE SPORTS ACADEMY INC** RESIDENT RESIDENT 5508 FOREST LANE 5627 HORIZON RD 5573 FM3097 **DALLAS, TX 75230** ROCKWALL, TX 75087 ROCKWALL, TX 75087

RESIDENT RESIDENT RESIDENT 5653 FM3097 5739 FM3097 5739 HORIZON RD ROCKWALL, TX 75087 ROCKWALL, TX 75087 ROCKWALL, TX 75087 HORIZON ROAD SELF STORAGE LLC 5763 S State Highway 205 Ste 100 Rockwall, TX 75032 RESIDENT 5811 FM3097 ROCKWALL, TX 75087 HOMEBANK TEXAS P O BOX 909 SEAGOVILLE, TX 75159

KUMAR ATUL 3508 MCFARLIN BLVD DALLAS, TX 75205 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 10, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 16, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

#### **Henry Lee**

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases
PLEASE RETURN THE BELOW FORM
Case No. Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

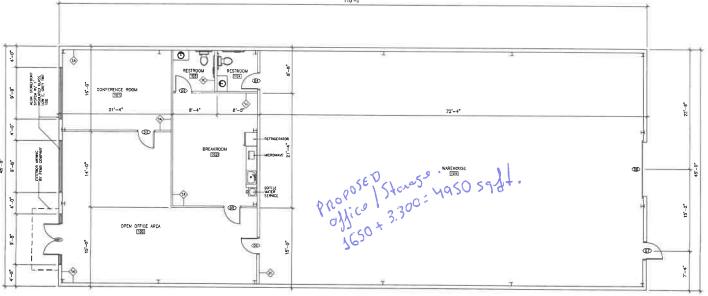
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FLOOR PLAN

SCALE: 3/16" = 1'-0"



#### GENERAL NOTES:

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  17 CONDUCT DEPENDING WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.

  18 PROMOTE, ERECT 4 MAINTAIN TEMPORARY BARRIERS & ENCLOSURE AT EXISTING OPENINGS.
- POPULATION AND PROTECT ECRESS AND ACCESS AT ALL TRIES, DO NOT CLOSE OR DESTRUCT ROADWAYS AND SIDEWALES WITHOUT PERMIT.
- 20 COORDINATE WITH BUILDING OWNER AND NOTIFY THE ADJACENT PROPERTY CANERS OF WORK WHICH MAY AFFECT THEIR PROPERTY WITH POTENTIAL MOISE, UTILITY OUTAGE, OR DISRUPTION 21.DEHOLISH AND RELIDVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.

#### GENERAL & FLOOR PLAN NOTES:

- FIELD VERIFY FLOOR CONDITIONS PREP, LEVEL + SAND FLOORS AS NECESSARY TO PROMISE COMPLETE INSTALLATION OF FINISH FLOOR, STRUCTURAL ENGINEER'S FRAHING SIZES ARE TO BE USED. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE STRUCTURAL CHONEER & ARCHITCE.
- ALL SUBCONTRACTORS INCLUDING SPRINKLER SUBCONTRACTOR MUST COORDINATE WORK W/ JOB SUPERINTENDENT.
- 4. LEVEL EXISTING CONCRETE W/ SIKA LEVEL325 LEVELING COMPOUND IF REQUIRED.
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  5. PROVIDE R-19 MIN. BATT INSULATION FULL HEIDMI DA ALL EXTERIOR WALLS.

- WALLS.

  P. PROPER SLOCKING FOR ALL WALL MOUNTED & HAND, FLUYS.

  CONTROLATE BECKNOOL, PETSTROOM & MILTON, FLUYS.

  P. PROVE TAP SET & SACONI TEXTURY, OF ALL EXPRESS DEPMALL.

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  10. PROVING "HITTINIATIONAL SYMBOL OF ACCESSBURY" PER INC &

  MISTROOM.

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- 1. REFER TO ELECTRICAL PLANS FOR CEILING HEIGHTS & LIGHTING LAYOUT IN ALL AREAS.
- LYYOUT IN ALL AREAS, 2. FLORING WATERNAL SELECTED BY OWNER
  3. DEMANNE WALL EXTENDS FROM SLAB TO LINDERSIDE OF DECKING
  4. ALL INTERIOR WALLS SHALL BE 1.B.T. AND PANNED W/ BATT
  RESULATION. 5. ALL COUNTERTOPS & CABINETS SHALL BE PLASTIC LAMINATE FINISH, VERBLY WITH OWNER,
- F. INTERIOR COLUMNS & OFFICE AREA SHALL BE PAINTED IT EXPOSED, VERTY WITH OWNER IF THEY SHOULD BE WRAPPED W. WILL STUDS & CTY. BBD.





NEW OFFICE/WAREHOUSE FACILITY FOR R.D. MOORMAN, INC. 259 Ranch Trail Rockwall, Texas 75032

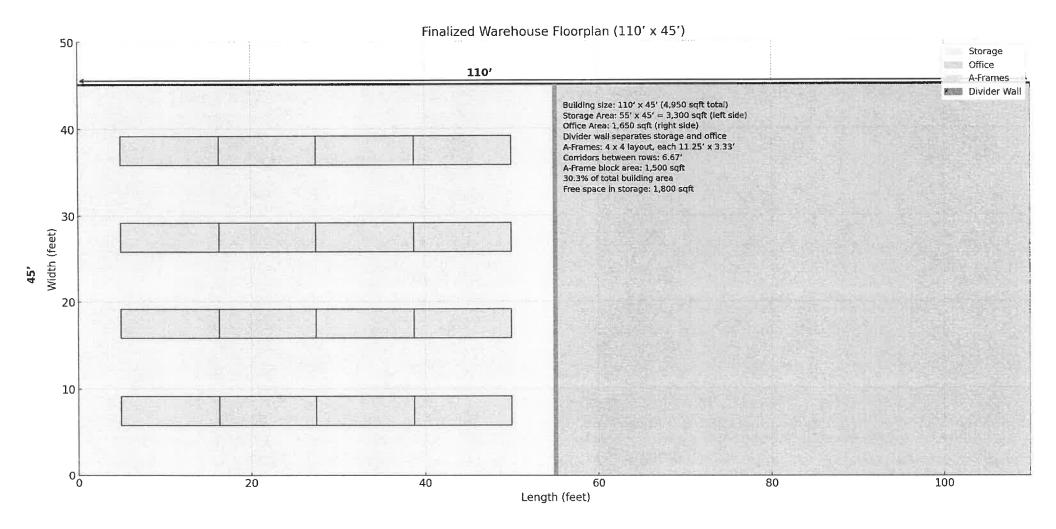
> R.D. MOORMAN, INC. RYAN MOORMAN 259 Ranch Trail Rockwall, TX. 75032



FLOOR PLAN

JUN 2022 PROJECT NO:

2022065 A201 KR CHECKED BY: JC



#### CITY OF ROCKWALL

#### ORDINANCE NO. 25-XX

#### SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A WHOLESALE SHOWROOM FACILITY ON A 1.2220-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 26 OF THE RAINBOW ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

### NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a Wholesale Showroom Facility in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District, and* Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

#### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Wholesale Showroom Facility* on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Floor Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Wholesale Showroom Facility shall not utilize more than 50% of the total floor area for Warehousing.
- 3) There shall be no *Outside Storage* on the *Subject Property*.

#### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7<sup>th</sup> DAY OF JULY, 2025.

Tim McCallum, Mayor

#### ATTEST:

Kristy Teague, City Secretary

#### **APPROVED AS TO FORM:**

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: <u>June 16, 2025</u>

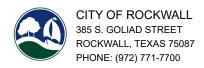
2<sup>nd</sup> Reading: *July 7, 2025* 

Exhibit 'A':
Location Map

<u>LEGAL DESCRIPTION</u>: Lot 26 of the Rainbow Acres Addition <u>ADDRESS</u>: 263 Ranch Trail



## PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: Z2025-026

PROJECT NAME: SUP for a Detached Garage SITE ADDRESS/LOCATIONS: 2743 STONEY HOLLOW LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Elijah Tekurio for the approval of a Specific Use Permit (SUP) for a

Detached Garage on a 0.7702-acre parcel of land identified as Lot 23, Block A, Stoney Hollow Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2743 Stoney Hollow Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	05/22/2025	Approved w/ Comments	

05/22/2025: Z2025-026; Specific Use Permit (SUP) for a Detached Garage at 2743 Stoney Hollow Lane Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.7702-acre parcel of land identified as Lot 23, Block A, Stoney Hollow Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2743 Stoney Hollow Lane.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (Z2025-026) in the lower right-hand corner of all pages on future submittals.
- 1.4 The subject property is zoned Planned Development District 75 (PD-75) and is subject to the requirements for a Single-Family 7 (SF-7) District. According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), detached garages in a Single-Family 7 (SF-7) District shall meet the following requirements:
- (1) Number of Accessory Structures Permitted per Lot: 1
- (2) Maximum SF of Accessory Building: 625 SF
- (3) Minimum Rear Yard Setback: 10-Feet
- (4) Minimum Side Yard Setback: 8-Feet
- (5) Distance Between Buildings: 10-Feet
- (6) Maximum Building Height: 15-Feet

In addition, if the accessory building does not have garage doors facing the alleyway then the setback is the same as the base zoning district.

I.5 The proposed Detached Garage is a total of 840 SF (i.e. 35-feet x 24-feet), will have a maximum height of 15-feet, and be set on a concrete slab. Based on this, the applicant is requesting a Specific Use Permit (SUP) for a Detached Garage that exceeds the maximum permissible size of 625 SF by 215 SF.

I.6 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), detached garages shall include a minimum of one (1) garage bay door large enough to pull and park a standard size motor vehicle (i.e. a vehicle that is a minimum of nine [9] feet by 18-feet) inside the structure.

In addition, a detached garage must be accessible from the front, rear, or side yard by a standard width, concrete driveway that has a minimum length of 20-feet of driveway pavement. In this case, there is an existing driveway that will need to be completed leading up to the structure. Detached garages accessible from the front shall be a minimum of 20-feet behind the front façade of the primary structure.

- 1.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:
- (1) The development of the Detached Garage shall generally conform to the Site Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
- (2) The Detached Garage shall not exceed a maximum size of 840 SF.
- (3) The Detached Garage shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (4) No additional Detached Garages or Accessory Buildings may be constructed on the Subject Property.
- M.8 Ordinances. Please review the attached draft ordinance prior to the June 10, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by June 3, 2025.
- I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025 Planning and Zoning Commission Public Hearing Meeting.
- I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 27, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on June 10, 2025.
- I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).
- I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved w/ Comments	
05/22/2025: IF APPROVED A BI	UILDING PERMIT APPLICATION WILL BE RE	EQUIRED		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved	

No Comments



#### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

5	TA	FF	USE	ONLY	

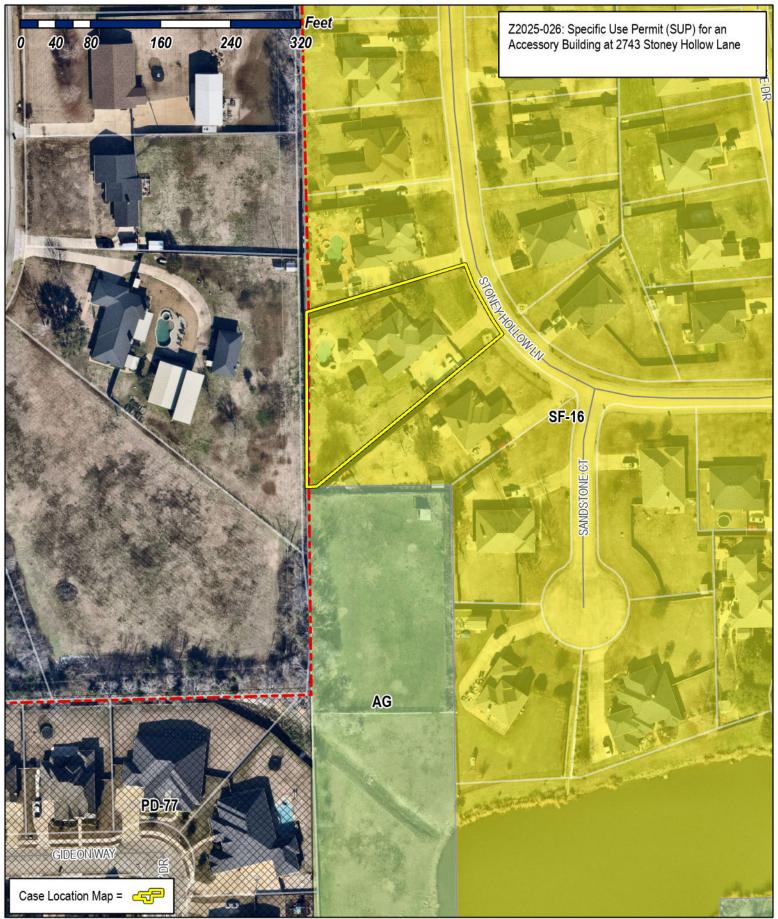
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

DI EACE CHECK THE	ADDRODDIATE DOV BELOW TO WIDIOATE THE TYPE	OF DEVELOPMENT DECUTEST	ICCL CCT (	NI V ONE	BOY!
PLATTING APPLION  MASTER PLAT  PRELIMINARY  FINAL PLAT (\$300.)  AMENDING OF  PLAT REINSTA  SITE PLAN APPLION  SITE PLAN (\$200.)	CATION FEES: (\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 300.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 1 MINOR PLAT (\$150.00) TEMENT REQUEST (\$100.00)	AN (\$100.00)  ZONING APPLICATION FEES:    ZONING APPLICATION FEES:   ZONING CHANGE (\$200.00 + \$15.00 ACRE)       SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)       OTHER APPLICATION FEES:   TREE REMOVAL (\$75.00)   VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)       NOTES:   In DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1)     2: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUESTION OF THE APPLICATION FEE FOR SINVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED B			E) 1  ACRE) 1 & 2  5.00 ACRE) 1  ONS (\$100.00) 2  REAGE WHEN MULTIPLYING BY THE ACRE, ROUND UP TO ONE (1) ACRE. ON FEE FOR ANY REQUEST THAT
PROPERTY INFO	ORMATION [PLEASE PRINT]				
ADDRES	S 2743 Stoney Hollow Lane, Rockwall, TX 7508	37			
SUBDIVISIO	N Stoney Hollow Addition		LOT	23	BLOCK
GENERAL LOCATIO	N				
ZONING, SITE P	LAN AND PLATTING INFORMATION (PLEA	ASE PRINT]			
CURRENT ZONIN	G	CURRENT USE			
PROPOSED ZONIN	G	PROPOSED USE			
ACREAG	E LOTS [CURREN	тј	LOTS	[PROPOSI	ED]
REGARD TO ITS	<u>D PLATS</u> : BY CHECKING THIS BOX YOU ACKNOWLEDGE APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY O DENIAL OF YOUR CASE.	THAT DUE TO THE PASSAGE OF F STAFF'S COMMENTS BY THE DA	<u>HB3167</u> TH ATE PROVID	HE CITY NO HED ON THE	LONGER HAS FLEXIBILITY WITH DEVELOPMENT CALENDAR WILL
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/O	HECK THE PRIMARY CONTACT/O	RIGINAL SIC	SNATURES	ARE REQUIRED]
OWNER	Elijah Tekurio	☐ APPLICANT			
CONTACT PERSON		CONTACT PERSON			
ADDRESS	2743 Stoney Hollow Lane	ADDRESS			
01TV 0TATE	Danis III TV 75007	OITY CTATE & ZID			
	Rockwall, TX 75087	CITY, STATE & ZIP			
	469-887-2536	PHONE			
	elitek86@gmail.com	E-MAIL			
BEFORE ME, THE UNDE	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEAR ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED TH			(OW	IER THE UNDERSIGNED, WHO
INFORMATION CONTAINS	I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; TO COVER THE COST OF THIS APPLICATION, I 20 25 BY SIGNING THIS APPLICATION, I AGE OF WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS	IAS BEEN PAID TO THE CITY OF RO REE THAT THE CITY OF ROCKWALI IS ALSO AUTHORIZED AND PERMI	CKWALL ON T L (I.E. "CITY") ITTED TO R	THIS THE IS AUTHOR PRODUCE	DAY OF DIZED AND PERMITTED TO PROVIDE ANY COPYRIGHTED INFORMATION ORMATION
GIVEN UNDER MY HANG	) AND SEAL OF OFFICE ON THIS THE LLE DAY OF	ray 2025			otary ID #130926177 y Commission Expires
	OWNER'S SIGNATURE		1	T50	December 8, 2028
NOTARY PUBLIC IN ANI	FOR THE STATE OF TEXAS THE USQ	Won	MY COMM	ISSIONEX	IRES 12.08-2028





## City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

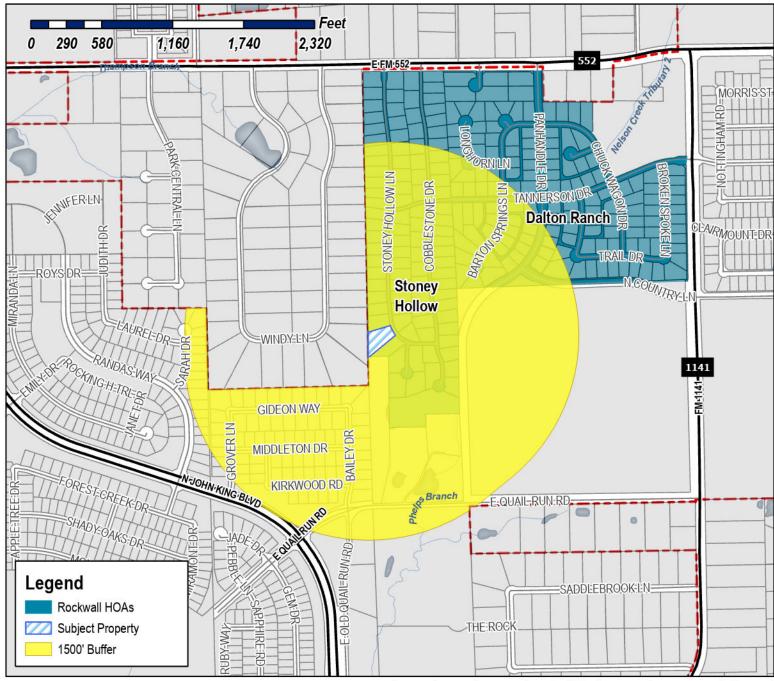
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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**Case Number**: Z2025-026

Case Name: SUP for an Accessory Building

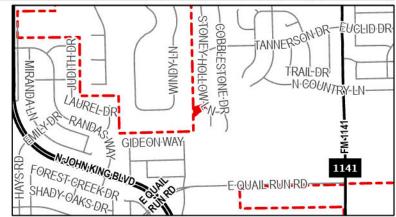
Case Type: Zoning

**Zoning:** Single-Family 16 (SF-16) District

Case Address: 2743 Stoney Hollow Lane

Date Saved: 5/16/2025

For Questions on this Case Call (972) 771-7745



From: Zavala, Melanie

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

**Subject:** Neighborhood Notification program [Z2025-026]

 Date:
 Tuesday, May 20, 2025 3:49:55 PM

 Attachments:
 HOA Map (05.16.2025).pdf

 Public Notice (05.19.2025).pdf

#### HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, May 23, 2025</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday</u>, <u>June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday</u>, <u>June 16, 2025 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to <a href="Planning@rockwall.com">Planning@rockwall.com</a> at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <a href="https://sites.google.com/site/rockwallplanning/development/development-cases.">https://sites.google.com/site/rockwallplanning/development/development-cases.</a>

Z2025-026: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Elijah Tekurio for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.7702-acre parcel of land identified as Lot 23, Block A, Stoney Hollow Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2743 Stoney Hollow Lane, and take any action necessary.

Thank you,

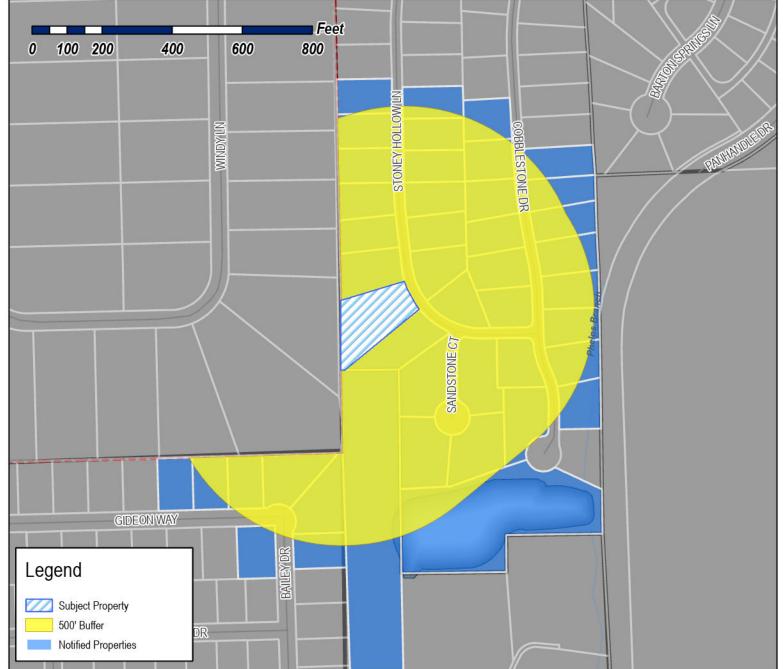
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall 972-771-7745 Ext. 6568



The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2025-026

Case Name: SUP for an Accessory Building

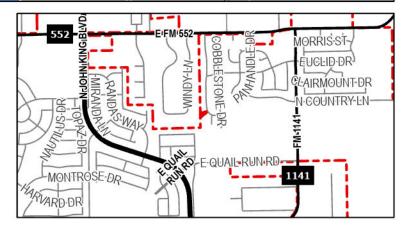
Case Type: Zoning

**Zoning:** Single-Family 16 (SF-16) District

Case Address: 2743 Stoney Hollow Lane

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



IBRAHIM SUHA AND BRANDON PHILLIP ALBUS 1316 GIDEON WAY ROCKWALL, TX 75087

GROVE JOSEPH ROBERT & SUSAN 1320 GIDEON WAY ROCKWALL, TX 75087 ARMSTRONG JAMES BRYAN & LAUREN MYKEL 1324 GIDEION WAY ROCKWALL, TX 75087

CLINGER KEVIN AND CRYSTAL 1325 GIDEON WAY ROCKWALL, TX 75087 COMER DAVID W AND GWENDOLYN L 1328 GIDEON WAY ROCKWALL, TX 75087 GERLACH CHRISS AND RON FAMILY TRUST RONALD ROBERT GERLACH SOLE TRUSTEE 13435 ROANE CIR NORTH TUSTIN, CA 92705

KOUVELIS HILDA & PETER 1415 E QUAIL RUN RD ROCKWALL, TX 75087

MURPHY MICHAEL AND JENNISE 2112 BAILEY DRIVE ROCKWALL, TX 75087 HANSEN MILES & REBECCA 2116 BAILEY DRIVE ROCKWALL, TX 75087

FINCH PATRICIA A 2374 SANDSTONE ROCKWALL, TX 75087 MARKARIAN MASIS A & CLAUDIA 2377 SANDSTONE ROCKWALL, TX 75087 LANGLEY RICHARD E 2401 SANDSTONE ROCKWALL, TX 75087

STONEY HOLLOW OWNERS ASSOC C/O LONE STAR ASSOC MGMT 2500 Legacy Dr Ste 220 Frisco, TX 75034

VAN BRUNT RICHARD JOSEPH SR 2585 COBBLESTONE DR ROCKWALL, TX 75087 ECHEVERRIA ORLANDO & TIFFANY M 2594 Cobblestone Dr Rockwall, TX 75087

NEWBAUER AARON M AND MONICA VALORIE 2605 COBBLESTONE ROCKWALL, TX 75087 EDWARDS JUSTIN W & STEPHANIE A 2608 COBBLESTONE DRIVE ROCKWALL, TX 75087 SIVINSKI JOSEPH & LUANNE 2685 STONEY HOLLOW LANE ROCKWALL, TX 75087

AVERY SCOT AND DENA 2730 STONEY HOLLOW LANE ROCKWALL, TX 75087

GREEN LINDA LAMINACK & TOMMY FAGAN 2731 STONEY HOLLOW LANE ROCKWALL, TX 75087 MARTINEZ ALFONSO & RITA 2732 COBBLESTONE DRIVE ROCKWALL, TX 75087

KAYE MICHAEL & TRACY 2737 COBBLESTONE DR ROCKWALL, TX 75087 TEKURIO CARLEE EMIKO AND ELIJAH ROO 2743 STONEY HOLLOW LANE ROCKWALL, TX 75087 TRIMPE KEITH A & DARLENE J 2744 COBBLESTONE DR ROCKWALL, TX 75087

JENNINGS CODY D 2744 STONEY HOLLOW LANE ROCKWALL, TX 75087 RESIDENT 2749 COBBLESTONE DR ROCKWALL, TX 75087 HATCHER TYRUS NEAPOLIS & ANTONIETA P 2753 STONEY HOLLOW LN ROCKWALL, TX 75087

JABLONSKY JOSEPH GLOVER 2754 COBBLESTONE DR ROCKWALL, TX 75087 ESTRADA CASSANDRA 2759 COBBLESTONE DRIVE ROCKWALL, TX 75087 HAI LE & KHANH T TO 2760 STONEY HOLLOW LN ROCKWALL, TX 75087 PENDLETON CLAIRE MARIE AND JOE CHARLES III 2761 STONEY HOLLOW LN ROCKWALL, TX 75087 CARTER TERRY L & LAURA C 2764 COBBLESTONE DR ROCKWALL, TX 75087 CRAIGWELL KIMBERLY A 2769 COBBLESTONE DRIVE ROCKWALL, TX 75087

MARTIN THOMAS AND MICHELLE 2770 STONEY HOLLOW LN ROCKWALL, TX 75087 SMITH SHERYL MARIE & DAVID CLAY TRUSTEES CLAY & SHERYL SMITH LIVING TRUST 2771 STONEY HOLLOW LN ROCKWALL, TX 75087

HAMILL MICHAEL B AND JERRIE L 2774 COBBLESTONE DR ROCKWALL, TX 75087

SIMPSON RICHARD G 2780 STONEY HOLLOW LN ROCKWALL, TX 75087 MYERS JASON NICOLAS AND SHELLY COLLINS-SHOFFNER 2781 COBBLESTONE DRIVE ROCKWALL, TX 75087 POUNDS LEONARD HARVEY AND CLARA LOUISE SUSIE POUNDS 2781 STONEY HOLLOW LN ROCKWALL, TX 75087

SU DAN 2784 COBBLESTONE DR ROCKWALL, TX 75087 JOHNSON MARTHA 2790 STONEY HOLLOW LN ROCKWALL, TX 75087

TRAM PHO TU 2791 STONEY HOLLOW LN ROCKWALL, TX 75087

GALBRAITH ANGELA J & CHRISTOPHER 2795 COBBLESTONE DR ROCKWALL, TX 75087 KNIGHT KLINTON AND LAUREN BUSHNELL 2800 STONEY HOLLOW LN ROCKWALL, TX 75087 COLBURN COLIN D & JENNIFER G 2801 STONEY HOLLOW LANE ROCKWALL, TX 75087

GARZA PATRICK JOSH & LORENA 2928 OXFORDSHIRE LN FARMERS BRANCH, TX 75234 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Z2025-026: Specific Use Permit (SUP) for a Detached Garage

Hold a public hearing to discuss and consider a request by Elijah Tekurio for the approval of a <u>Specific Use Permit (SUP)</u> for a Detached Garage on a 0.7702-acre parcel of land identified as Lot 23, Block A, Stoney Hollow Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2743 Stoney Hollow Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, June 16, 2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

#### Angelica Guevara

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

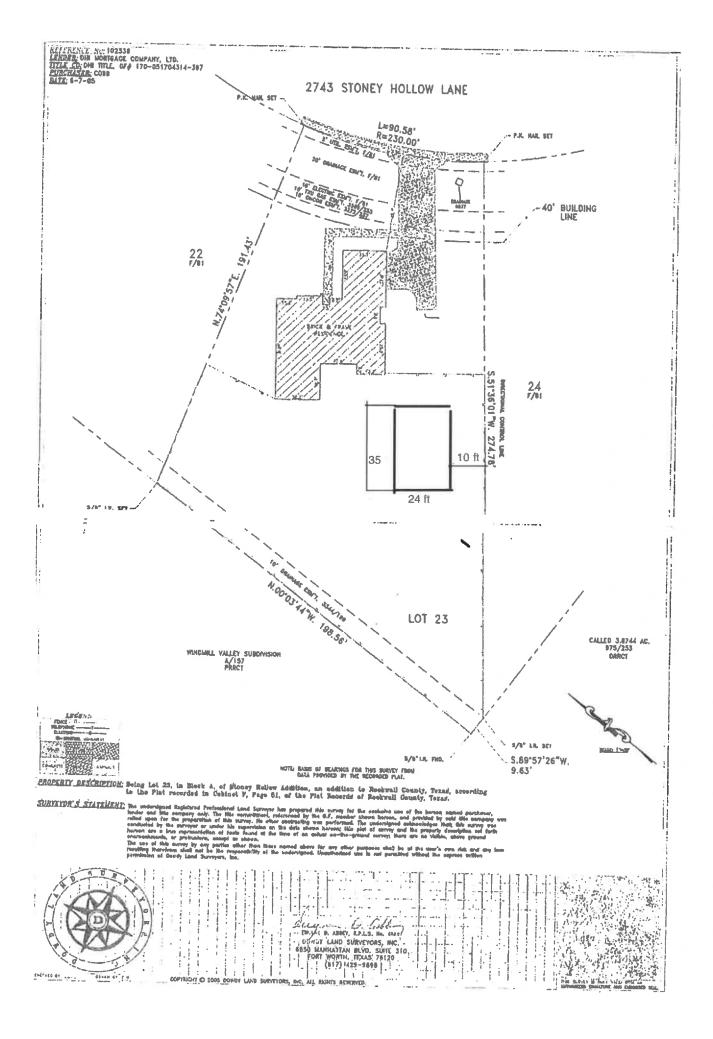


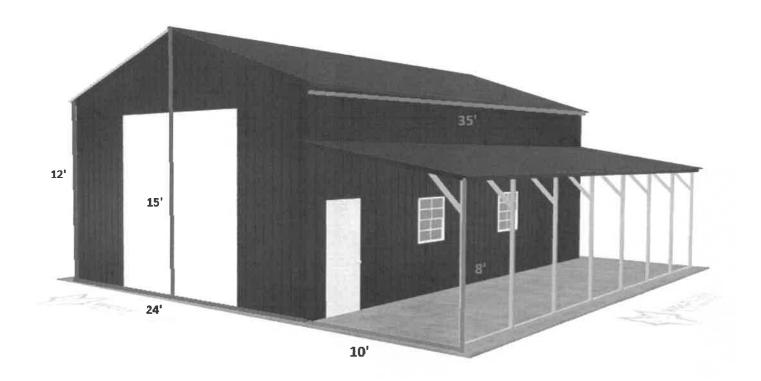
MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

MONE IN CHARACTER OF THE CONTROL OF
- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2025-026: Specific Use Permit (SUP) for a Detached Garage
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





#### **CITY OF ROCKWALL**

#### ORDINANCE NO. 25-XX

#### SPECIFIC USE PERMIT NO. <u>S-3XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A DETACHED GARAGE ON A 0.7702-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 23, BLOCK A, STONEY HOLLOW ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Elijah Tekurio for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Detached Garage</u> on a 0.7702-acre parcel of land identified as Lot 23, Block A, Stoney Hollow Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2743 Stoney Hollow Lane, and being more specifically described and depicted in <u>Exhibit</u> 'A' of this ordinance, which herein after shall be referred to as the <u>Subject Property</u> and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Detached Garage* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential Standards*, and Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

#### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Detached Garage* shall generally conform to the <u>Site Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Detached Garage* shall generally conform to the <u>Building Elevations</u> as depicted in *Exhibit* 'C' of the Specific Use Permit (SUP) ordinance.
- 3) The Detached Garage shall not exceed a maximum size of 840 SF.
- 4) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- 5) No additional *Detached Garages* or *Accessory Buildings* may be constructed on the *Subject Property*.

#### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.
- **SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

Z2025-026: SUP for 2743 Stoney Hollow Lane Ordinance No. 25-XX; SUP # S-3XX

### PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE $7^{\text{TH}}$ DAY OF JULY, 2025.

	Tim McCallum, Mayor
ATTEST:	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	

1<sup>st</sup> Reading: <u>June 16, 2025</u>

2<sup>nd</sup> Reading: July 7, 2025

Exhibit 'A':
Location Map

Address: 2743 Stoney Hollow Lane

<u>Legal Description:</u> Lot 23, Block A, Stoney Hollow Addition

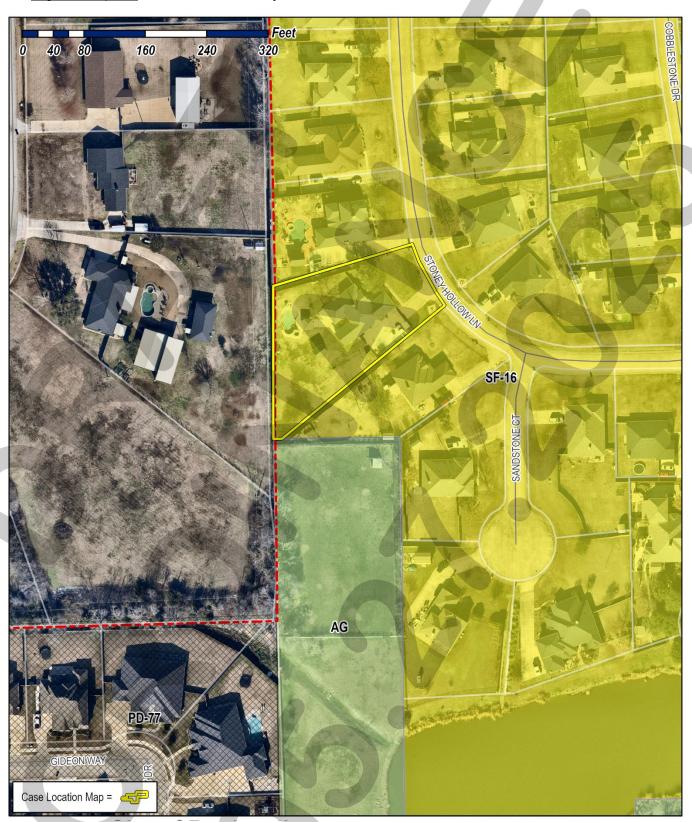


Exhibit 'B':
Site Plan

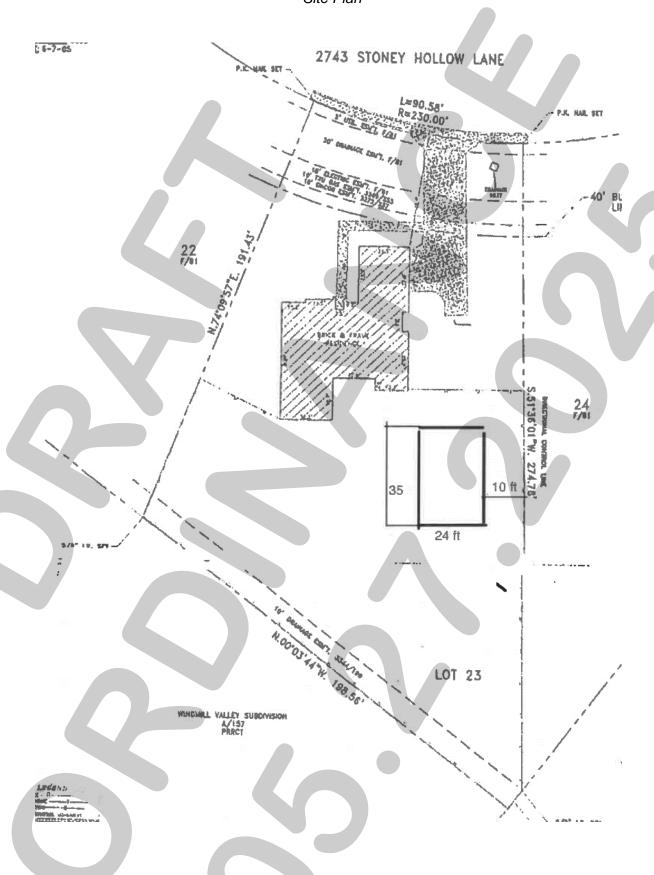
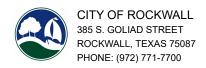


Exhibit 'C':
Building Elevations



## PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: Z2025-027

PROJECT NAME: SUP for a Church/House of Worship

SITE ADDRESS/LOCATIONS: 1362 E FM 552

CASE CAPTION: Hold a public hearing to discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix

Tan of Ridgeview Church for a Specific Use Permit (SUP) for a Church/House of Worship (i.e. Ridgeview Church) for the expansion of an existing Church on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	05/22/2025	Approved w/ Comments	_

05/22/2025: Z2025-027; Specific Use Permit (SUP) for a Church/House of Worship at 1362 FM-552 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Church/House of Worship (i.e. Ridgeview Church) for the expansion of an existing Church on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (Z2025-027) in the lower right-hand corner of all pages on future submittals.
- 1.4 The subject property will need to be replatted prior to the issuance of a Building Permit.
- 1.5 According to Subsection 02.02(C)(4), Institutional and Community Service Land Uses, of Article 13, Definitions, of the Unified Development Code (UDC), states that a Church/House of Worship is an "...facility or area primarily used for religious gatherings, ceremonies, and worship services. It typically includes a sanctuary or worship hall, administrative offices, classrooms for religious education, and often ancillary facilities such as a fellowship hall, kitchen, and parking lot. These facilities serve as places for spiritual practice, community gatherings, and religious observance for adherents of a particular faith or denomination."
- 1.6 The subject property is zoned General Retail (GR) District. In a General Retail (GR) District the Church/House of Worship land use is permitted by Specific Use Permit (SUP). The SUP process allows "...discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, there is currently a 21,658 SF Church/House of Worship, 69,656 SF of relocatable classrooms, and a 2,054 SF single-family home already located at 1362 FM-552; however, the applicant is proposing a 35,000 SF expansion to the church of internal space and parking areas that must be reviewed by the Planning and Zoning Commission and City Council.
- 1.7 The proposed expansion will be required to meet all applicable non-residential building and fire code requirements.

- M.8 Please provide a floor plan for the total building (existing and expansion) to calculate required parking.
- I.9 In a General Retail (GR) District, parking is prohibited between the building and street frontage. Therefore, parking spaces are not permitted to be in front of the front building façade and FM-552, and cannot be between the building's façade and FM-552 or Breezy Hill Lane. The current concept plan shows parking spaces to be in these areas. This will require discretionary approval by the Planning and Zoning Commission and City Council.
- M.10 Please provide a cueing/pick-up/drop-off plan for the proposed daycare. Please also note that the drop-off area cannot be located within a Fire Lane.
- M.11 Please indicate the use of three (3) tiered landscaping (i.e. small to mid-sized shrubs, large shrubs or accent trees, canopy trees, and berms) on your concept plan adjacent to Breezy Hill Lane and the northern property line. Specifically, along the required 20-foot landscape buffer on the northern border of the property and the required 10-foot landscape buffer along Breezy Hill Lane.
- M.12 Please indicate that the proposed expansion shall be architecturally compatible in materials and architecture to the existing church.
- M.13 The proposed concept plan calls out a playground area. Please indicate what kind of screening (i.e. landscape or fencing), if any, will be used.
- M.14 Ordinances. Please review the attached draft ordinance prior to the June 10, 2025 Planning & Zoning Commission Work Session meeting, and provide staff with your markups by June 3, 2025.
- I.15 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025 Planning and Zoning Commission Public Hearing Meeting.
- I.16 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 27, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on June 10, 2025.
- I.17 City Council Meeting Dates. The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).
- I.18 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments

05/22/2025: 1. There is a large existing drainage swale that runs through the site - you will need to capture that and route it around this new parking area.

- 2. 20' utility easement needed in this area.
- 3. TxDOT has purchased ROW. Property line is approximately here now. Verify and call out new ROW line.

#### General Comments:

#### General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements.
- No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone faced. Smooth faced concrete walls are not allowed.
- No signage is allowed within easements or ROW.
- No structures or fences within easements

- All utilities must be underground.
- Tree mitigation will be required for the removal of any existing trees on site.
- Dumpsters may not directly face a roadway.
- TXDOT permits required for any utility, drainage, and driveway improvements within the FM 552 ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering.

#### Drainage Items:

- Existing flow patterns must be maintained.
- Stormwater cannot increase off the property in any direction.
- Detention must be provided.
- Detention is based on property zoning, not use of specific area.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the freeboard elevation.
- No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Detention ponds must be irrigated.
- No water or sewer lines can be in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

#### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Any public sewer lines must be a minimum of 8", and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Maximum hydrant lead length is 50'.
- Water will have to be looped around the building.
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 8" water main within the site available for use.
- There is an existing 6" sewer house connection within the site available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Sewer pro-rata of \$86.44/acre on 3.35 acres (original lots 19 & 20 of Skyview Country Estates)

#### Roadway Paving Items:

- All driveways must meet City and TXDOT spacing requirements.
- All parking, storage, and drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- Parallel parking spaces are minimum 22'x9'
- No dead-end parking allowed without an approved City turnaround, 15'x64' striped no parking area.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.

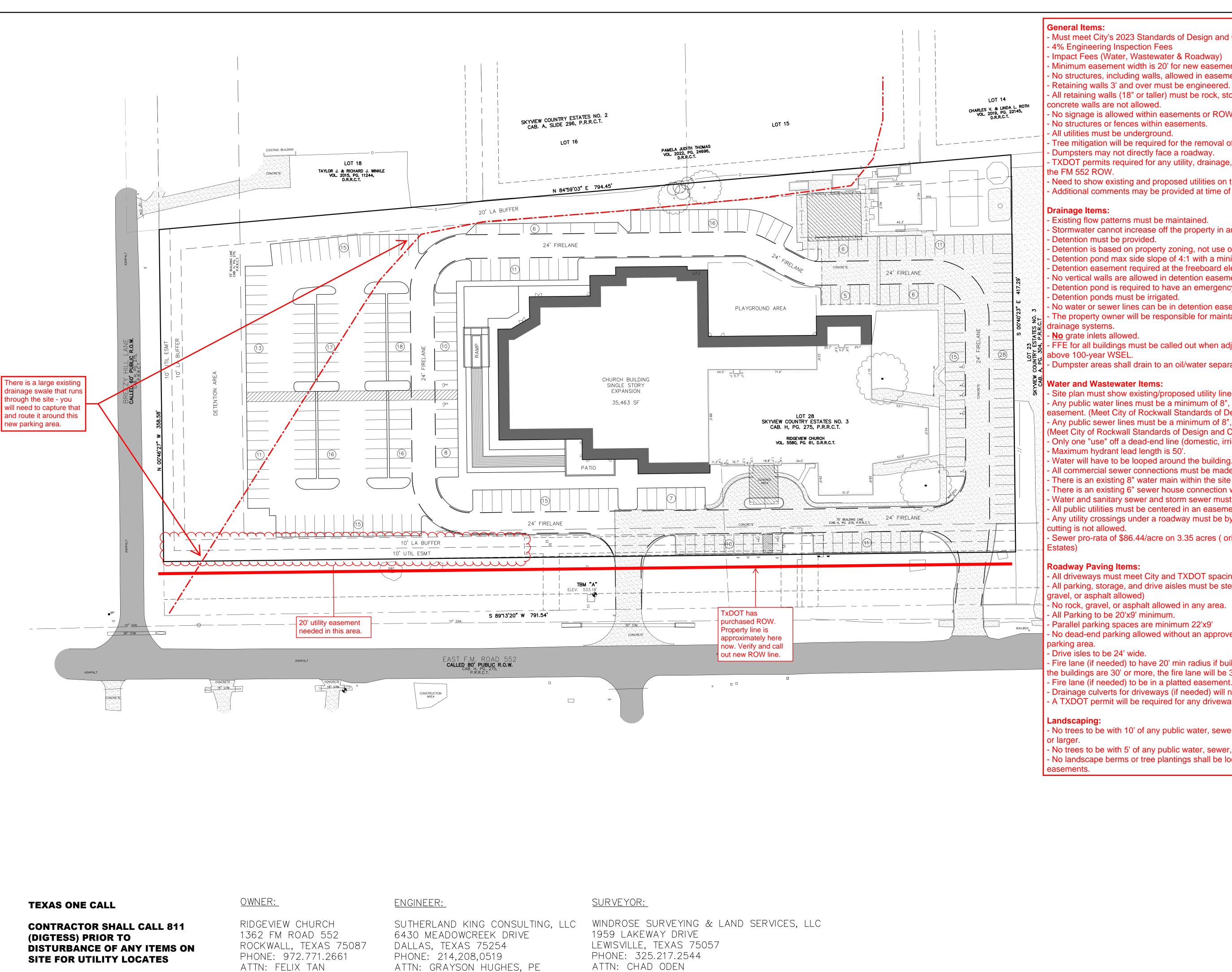
- Drainage culverts for driveways (if needed) will need to be engineered.
- A TXDOT permit will be required for any driveway modifications along FM 552.

#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved	_
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
				_
No Comments				
No Comments	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	REVIEWER Chris Cleveland	DATE OF REVIEW 05/19/2025	STATUS OF PROJECT Approved	
DEPARTMENT		-		
DEPARTMENT POLICE		-		

No Comments



Must meet City's 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees

- Impact Fees (Water, Wastewater & Roadway)

- Minimum easement width is 20' for new easements.

- No structures, including walls, allowed in easements.

- All retaining walls (18" or taller) must be rock, stone, or stone faced. Smooth faced

No signage is allowed within easements or ROW.

No structures or fences within easements.

- Tree mitigation will be required for the removal of any existing trees on site.

Dumpsters may not directly face a roadway.

- TXDOT permits required for any utility, drainage, and driveway improvements within

- Need to show existing and proposed utilities on the Site Plan.

- Additional comments may be provided at time of Site Plan and Engineering.

- Existing flow patterns must be maintained.

- Stormwater cannot increase off the property in any direction.

Detention must be provided.

- Detention is based on property zoning, not use of specific area.

- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.

Detention easement required at the freeboard elevation. - No vertical walls are allowed in detention easement.

Detention pond is required to have an emergency spillway.

No water or sewer lines can be in detention easement.

The property owner will be responsible for maintaining, repair, and replacement of the

- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.

ି ଚୁଁତ୍ରି - Dumpster areas shall drain to an oil/water separator and then into the storm system.

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- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)

- Water will have to be looped around the building.

- All commercial sewer connections must be made by a proposed or existing manhole.

- There is an existing 8" water main within the site available for use. - There is an existing 6" sewer house connection within the site available for use.

· Water and sanitary sewer and storm sewer must be 10' apart.

- All public utilities must be centered in an easement. Min 20' utility easements.

- Any utility crossings under a roadway must be by dry bore and be steel encased. Open

- Sewer pro-rata of \$86.44/acre on 3.35 acres (original lots 19 & 20 of Skyview Country

- All driveways must meet City and TXDOT spacing requirements.

- All parking, storage, and drive aisles must be steel reinforced concrete. (No rock,

- No rock, gravel, or asphalt allowed in any area.

- All Parking to be 20'x9' minimum.

- Parallel parking spaces are minimum 22'x9' - No dead-end parking allowed without an approved City turnaround, 15'x64' striped no

- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

- Fire lane (if needed) to be in a platted easement.

- Drainage culverts for driveways (if needed) will need to be engineered. - A TXDOT permit will be required for any driveway modifications along FM 552.

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter

- No trees to be with 5' of any public water, sewer, or storm line that is less than 10". - No landscape berms or tree plantings shall be located on top of City utilities or within

NOTE:

LINEWORK BASED ON TOPOGRAPHIC

SURVEY INFORMATION ACQUIRED ON

AND LAND SERVICES, LLC

4/04/2025 BY WINDROSE SURVEYING

PROJECT NUMBER

DRAWING DATE

**PRELIMINARY** 

FOR PRELIMINARY REVIEW,

PERMIT, OR PRICING

GRAYSON K. HUGHES, PE

ANSION 552

H EXPA ROAD TEXAS

EW CHURCH EAST FM OCKWALL,

2024.011

2025.05.15

1"=40'

GKH

PURPOSES ONLY.

PREPARED BY:

SCALE

DESIGNED BY

SHEET NUMBER

C1.0

ATTN: CHAD ODEN



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY

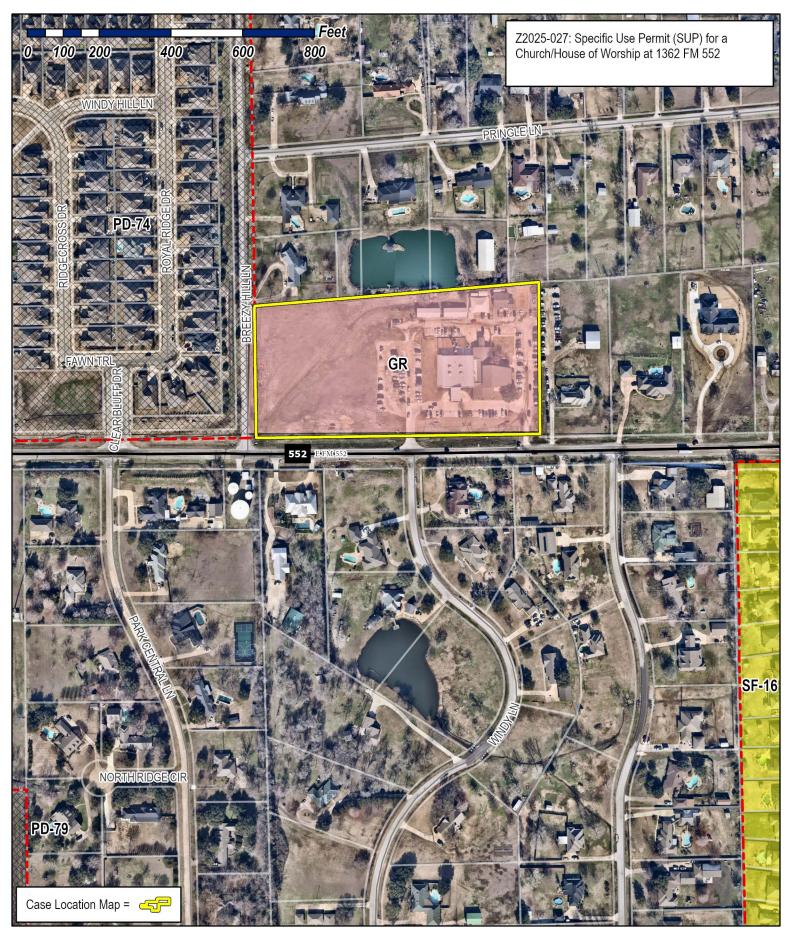
PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

	10. Verification of the land of the state of	0111	ENOMEEN.	HOURS OF STREET STREET, STREET
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPMENT REG	QUEST [SELECT ONLY ON	E BOX]:
☐ PRELIMINARY ☐ FINAL PLAT (\$3 ☐ REPLAT (\$300.) ☐ AMENDING OR ☐ PLAT REINSTA  SITE PLAN APPLI ☐ SITE PLAN (\$25	(\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 800.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 MINOR PLAT (\$150.00) TEMENT REQUEST (\$100.00)	SPECIFIC US  □ PD DEVELOP  OTHER APPLIC  □ TREE REMO □ VARIANCE R  MOTES:  ¹: IN DETERMINING T  PER ACRE AMOUNT.  ²: A \$1,000.00 FEE N	ANGE (\$200.00 + \$15.00 AC SE PERMIT (\$200.00 + \$15. PMENT PLANS (\$200.00 + \$ ATION FEES: VAL (\$75.00) EQUEST/SPECIAL EXCEP HE FEE, PLEASE USE THE EXACT FOR REQUESTS ON LESS THAN ON WILL BE ADDED TO THE APPLIC	00 ACRE) 182 \$15.00 ACRE) 1
PROPERTY INFO	ORMATION [PLEASE PRINT]			
ADDRES	S 1362 FM Road 552			
SUBDIVISIO	N Skyview Country Estates No. 3		LOT 28	BLOCK
GENERAL LOCATIO	Northeast corner of FM Road 552 and	Breezy Hill Lane		
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEA	SE PRINT]		
CURRENT ZONING	General Retail	CURRENT USE	Worship Center	
PROPOSED ZONING	G General Retail	PROPOSED USE	Worship Center	
ACREAG	E 7.05 LOTS [CURREN	П 1	LOTS [PROPO	SED] 1
REGARD TO ITS	D PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE.			
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/C	HECK THE PRIMARY CON	TACT/ORIGINAL SIGNATURE	S ARE REQUIRED]
☐ OWNER	Ridgeview Church	☑ APPLICANT	9	nsulting, LLC
CONTACT PERSON	Felix Tan	CONTACT PERSON	Grayson Hughes	
ADDRESS	1362 FM Road 552	ADDRESS	6430 Meadowcreek	( Drive
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75254	
PHONE	972.771.2661	PHONE	214.208.0519	
E-MAIL	felix.tan@ridgeview.net	E-MAIL	grayson.hughes@s	sutherlandking.com
BEFORE ME, THE UNDE STATED THE INFORMAT  I HEREBY CERTIFY THAT  NFORMATION CONTAINE	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEAR ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED TH  I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; TO COVER THE COST OF THIS APPLICATION, I  20 BY SIGNING THIS APPLICATION, I AGE ED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY I	IE FOLLOWING: ALL INFORMATION SUBMIT: IAS BEEN PAID TO THE CITY REE THAT THE CITY OF RO IS ALSO AUTHORIZED AND	TED HEREIN IS TRUE AND COR OF ROCKWALL ON THIS THE ICKWALL (I.E. "CITY") IS AUTHO O PERMITTED TO REPRODUC	DAY OF DRIZED AND PERMITTED TO PROVIDE E ANY COPYRIGHTED INFORMATION
	TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS AND SEAL OF OFFICE ON THIS THE 12 DAY OF M		TO A REQUEST FOR PUBLIC I	BARBARA OSBORNE Notary ID #135503671





## City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

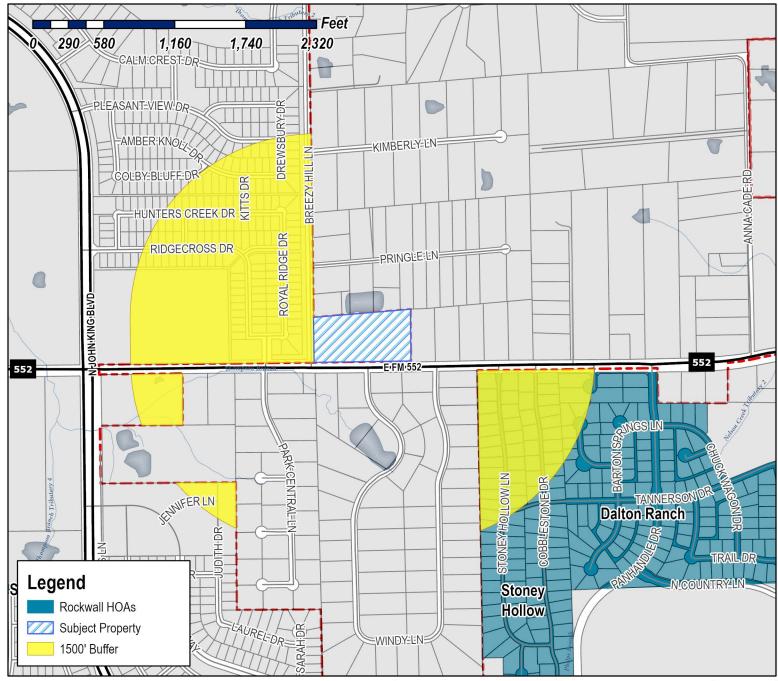
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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**Case Number:** Z2025-027

**Case Name:** SUP for a Church/House of Worship

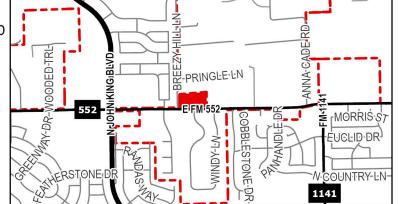
Case Type: Zoning

**Zoning:** General Retail (GR) District

Case Address: 1362 FM 552

Date Saved: 5/16/2025

For Questions on this Case Call (972) 771-7745



From: Zavala, Melanie

Cc: <u>Miller, Ryan</u>; <u>Lee, Henry</u>; <u>Ross, Bethany</u>; <u>Guevara, Angelica</u>

**Subject:** Neighborhood Notification Program [Z2025-027]

 Date:
 Tuesday, May 20, 2025 3:51:55 PM

 Attachments:
 Public Notice (05.19.2025).pdf

 HOA Map (05.16.2025).pdf

#### HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, May 23, 2025</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday</u>, <u>June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday</u>, <u>June 16, 2025 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to <a href="Planning@rockwall.com">Planning@rockwall.com</a> at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <a href="https://sites.google.com/site/rockwallplanning/development/development-cases.">https://sites.google.com/site/rockwallplanning/development/development-cases.</a>

Z2025-027: SUP for a Church/House of Worship

Hold a public hearing to discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for a <u>Specific Use Permit (SUP)</u> for a Church/House of Worship (i.e. Ridgeview Church) for the expansion of an existing Church on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall

972-771-7745 Ext. 6568



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**Case Number:** Z2025-027

**Case Name:** SUP for a Church/House of Worship

Case Type: Zoning

**Zoning:** General Retail (GR) District

Case Address: 1362 FM 552

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



BREEZY HILL ESTATES HOMEOWNERS ASSOCIATION INC 1024 S Greenville Ave Ste 230 Allen, TX 75002 COMPTON BRADFORD D AND REBECCA J COMPTON 1033 FAWN TRL ROCKWALL, TX 75087

BUTLER MICHAEL GLENN AND THERESA LYNN 1037 FAWN TRAIL ROCKWALL, TX 75087

RESIDENT 1313 FM552 ROCKWALL, TX 75087 RIDGEVIEW CHURCH 1362 E FM 522 ROCKWALL, TX 75087 CHERUBINI VICTOR & ASHLEY DOLLAR 3302 ROYAL RIDGE DR ROCKWALL, TX 75087

KIPE MICHAEL AND DIANA 3306 RIDGECROSS DR ROCKWALL, TX 75087 DUNPHY JAMES AND KATHERINE 3306 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 RESENDEZ ALYSSA RENEE AND REY JR 3307 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

HEUSS JEREMY D AND SHANNON N 3310 RIDGECROSS DRIVE ROCKWALL, TX 75032 SHELTON DANA BLAIR AND ANNETTE COLAROCHIO 3310 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

SMITH JAY & CHRISTINE 3311 ROYAL RIDGE DR ROCKWALL, TX 75087

ZIELINSKI THOMAS R & PATRICIA D 3314 RIDGECROSS DR ROCKWALL, TX 75087 SMITH CHRISTINE PIGG AND JAY RICHARD 3314 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 LUETKE SENECA L 3315 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

NGUYEN TIFFANY THAO AND HENRY HIEP VO 3318 RIDGECROSS DRIVE ROCKWALL, TX 75087 PORTER KAREN CLAIBORNE AND RUSSELL WAYNE 3318 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

THOMAS JARROD M 3319 ROYAL RIDGE DRIVE ROCKWALL, TX 75087

STANLEY SHANNON D AND CHARIDY LYNN 3322 RIDGECROSS DRIVE ROCKWALL, TX 75087 WADE KENNETH KYLE 3322 ROYAL RIDGE DR ROCKWALL, TX 75087 ARGUEDAS JUAN CARLOS AND DAYANNA VILLALOBOS 3323 ROYAL RIDGE DR ROCKWALL, TX 75087

BARRETT OLAN DEAN 3326 ROYAL RIDGE DR ROCKWALL, TX 75087 COLEMAN EDWARD EARL SR AND NIKITA NASHA COLEMAN 3401 ROYAL RIDGE DR ROCKWALL, TX 75087

NGUYEN DIANE & HIEU TRUNG 3402 RIDGECROSS DRIVE ROCKWALL, TX 75087

SOUTHERLAND AUSTIN & SHAYLEE 3402 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 JOHNSON CHRISTOPHER MAX AND ANGELA KAY 3405 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 GARVIN CARSON C AND JENNIFER S 3406 RIDGECROSS DRIVE ROCKWALL, TX 75087

LIEBRUM CORY R & RACHEL J 3406 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 TESKE CHARLES A JR AND KIMBERLY K 3409 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 SMITH ELOISE 3410 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 LEWIS STANLEY DALE AND ANITA LYNN 3413 ROYAL RIDGE DR ROCKWALL, TX 75087 FRIERSON KEVIN & REBECCA 3414 ROYAL RIDGE DRIVE ROCKWALL, TX 75087 MARTIN ANGELA AND JESSIE 3418 ROYAL RIDGE DR ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Z2025-027: Specific Use Permit (SUP) for a Church/House of Worship

Hold a public hearing to discuss and consider a request by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for a <u>Specific Use Permit (SUP)</u> for a Church/House of Worship (i.e. Ridgeview Church) for the expansion of an existing Church on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, June 16, 2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

#### Angelica Guevara

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning





Director of Friedming & Lorining	TO THE WEBSITE	
MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/deve	lopment/development-ca	ases
- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -		
Case No. Z2025-027: Specific Use Permit (SUP) for a Church/House of Worship		
Please place a check mark on the appropriate line below:		
☐ I am in favor of the request for the reasons listed below.		
☐ I am opposed to the request for the reasons listed below.		
Name:		
Address:		

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



May 15, 2025 2024.011

Planning & Zoning Department 385 S. Goliad Street Rockwall. Texas 75087

RE: Specific Use Permit Explanation Letter

**Ridgeview Church Expansion** 

Dear Team,

SUTHERLAND KING CONSULTING, LLC (SKC) is providing this letter on behalf of Ridgeview Church in support of their application for expanding their facilities.

The church endeavors to expand the existing worship facilities by approximately 35,000 square feet of internal space and subsequent parking areas on the exterior of the building as reflected on the site plan associated with this submission.

It is our understanding this property was previously annexed into the City and assigned a zoning designation of General Retail, therefore this use is a legally non-conforming use and requires a Specific Use Permit upon substantial redevelopment.

We respectfully request the approval of a Specific Use Permit to permit this expansion.

In addition, we understand that General Retail prohibits parking between the building and the street frontage.

Since this property is on a corner lot (2 frontages) and the church is attempting to maximize available parking for its patrons' use and safety, we require all available areas for parking we can possibly use.

We respectfully request a variance to this requirement so that we may provide parking as shown on the associated site plan, including parking between the church and Breezy Hill, as well as the parking between the church and FM 552. As required by the landscape ordinance, we will provide landscape screening to accommodate any headlights as well as respecting the required buffers along the rights-of-way.



6430 MEADOWCREEK DRIVE, DALLAS, TX 75254 PHONE: 214.208.0519

#### In summary:

- We request approval of the Specific Use Permit to extend the church worship facilities.
- We request approval of the variance to allow parking between the primary building and the right-of-way.

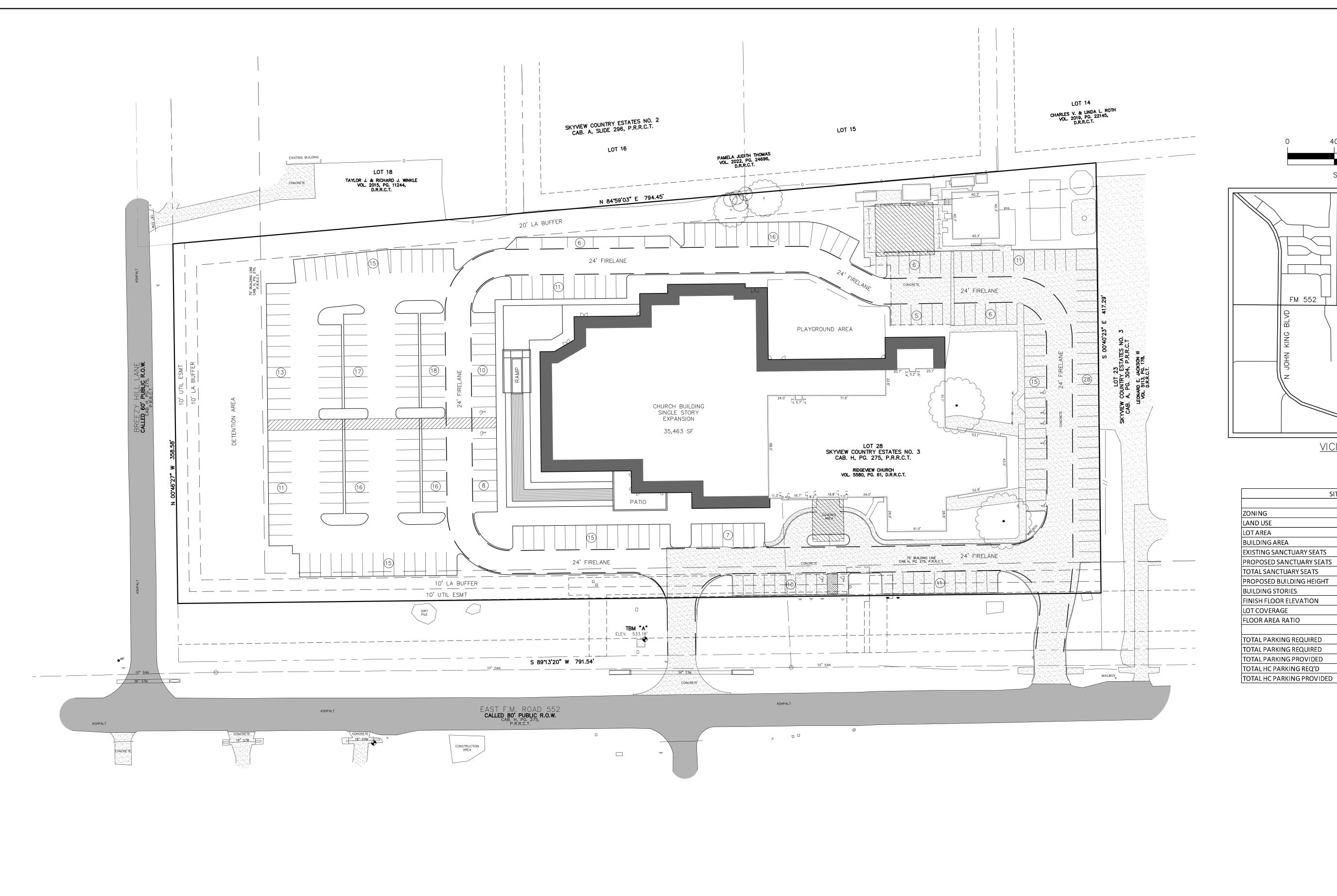
If you should have any questions about the information contained herein, please do not hesitate to contact our office.

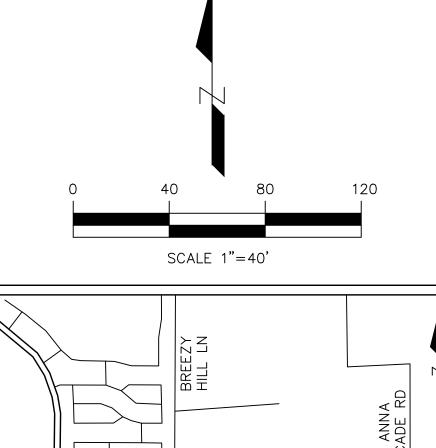
Regards,

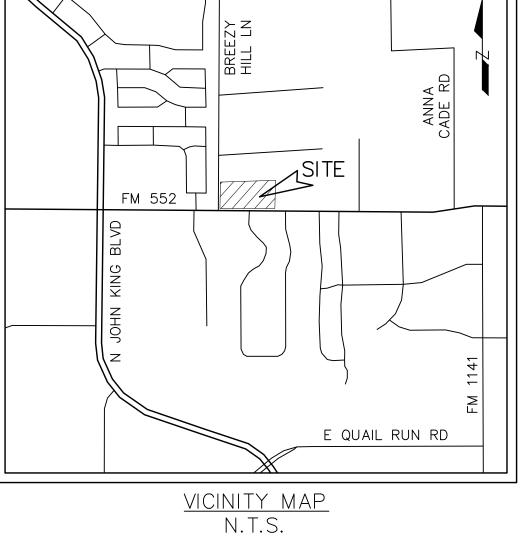
**Sutherland King Consulting, LLC** Texas Engineering Firm No. F-22938

Grayson K. Hughes, P.E. CEO / Founding Principal









SITE DATA TABLE	
ZONING	GENERAL RETAIL
LAND USE	CHURCH / HOUSE OF WORSHIP
LOT AREA	7.03 AC (307,196 SF)
BUILDING AREA	53,904 SF
EXISTING SANCTUARY SEATS	194
PROPOSED SANCTUARY SEATS	819
TOTAL SANCTUARY SEATS	1,013
PROPOSED BUILDING HEIGHT	25 FEET
BUILDING STORIES	SINGLE STORY
FINISH FLOOR ELEVATION	540.3
LOT COVERAGE	17.50%
FLOOR AREA RATIO	0.1750
TOTAL PARKING REQUIRED	1 SPACE PER 4 WORSHIP SEATS
TOTAL PARKING REQUIRED	254
TOTAL PARKING PROVIDED	286
TOTAL HC PARKING REO'D	7

NOTE:

LINEWORK BASED ON TOPOGRAPHIC SURVEY INFORMATION ACQUIRED ON 4/04/2025 BY WINDROSE SURVEYING AND LAND SERVICES, LLC

# PRELIMINARY FOR PRELIMINARY REVIEW, PERMIT, OR PRICING PURPOSES ONLY.

PERMIT, OR PRICING PURPOSES ONLY.

PREPARED BY:
GRAYSON K. HUGHES, PE

W CHURCH EXPANSION EAST FM ROAD 552

PROJECT NUMBER

2024.011

1"=40'

DRAWING DATE 2025.05.15

SCALE

DESIGNED BY

SHEET NUMBER

C1.0

**TEXAS ONE CALL** 

CONTRACTOR SHALL CALL 811 (DIGTESS) PRIOR TO DISTURBANCE OF ANY ITEMS ON SITE FOR UTILITY LOCATES <u>OWNER:</u>

RIDGEVIEW CHURCH 1362 FM ROAD 552 ROCKWALL, TEXAS 75087 PHONE: 972.771.2661 ATTN: FELIX TAN **ENGINEER:** 

SUTHERLAND KING CONSULTING, LLC 6430 MEADOWCREEK DRIVE DALLAS, TEXAS 75254 PHONE: 214,208,0519 ATTN: GRAYSON HUGHES, PE

SURVEYOR:

WINDROSE SURVEYING & LAND SERVICES, LLC 1959 LAKEWAY DRIVE LEWISVILLE, TEXAS 75057 PHONE: 325.217.2544 ATTN: CHAD ODEN

## **CITY OF ROCKWALL**

# ORDINANCE NO. <u>25-XX</u>

# SPECIFIC USE PERMIT NO. <u>S-XXX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A CHURCH/HOUSE OF WORSHIP ON A 7.052-ACRE PARCEL OF LAND IDENTIFIED LOT 28 OF THE SKYVIEW COUNTRY ESTATES NO.3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Grayson Hughes of Sutherland King Consulting, LLC on behalf of Felix Tan of Ridgeview Church for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Church/House of Worship</u> on a 7.052-acre parcel of land identified as Lot 28 of the Skyview Country Estates No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 1362 FM-552, and being more specifically described and depicted in <u>Exhibit</u> 'A' of this ordinance, which herein after shall be referred to as the <u>Subject Property</u> and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

# NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a Church/House of Worship as stipulated by Article 04, Permissible Uses, of the Unified Development Code [Ordinance No. 20-02] on the Subject Property; and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.04, *General Retail District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Church/House of Worship* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Church/House of Worship* shall generally conform to the *Site Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The proposed expansion of the *Church/House of Worship* shall be architecturally compatible in design and materials to the existing *Church/House of Worship*.
- 3) A 20-foot landscape buffer, with a wrought iron fence, berm, and three (3) tiered screening (i.e. three [3] individual tiers of small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) shall be provided adjacent to the northern property line for the purpose of providing screening from the residential properties north of the subject property. In areas where there are existing buildings, the Planning and Zoning Commission may approve deviations to the size and composition of the buffer as part of the Site Plan review process.
- 4) Increased landscaping shall be provided adjacent to the proposed parking lot along FM-552 and Breezy Hill Road. The increased landscaping shall be reviewed by the Planning and Zoning Commission as part of the Site Plan review process.
- 5) The Church/House of Worship shall dedicate a 20-foot utility easement along the entire frontage of FM-552.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or Z2025-027: SUP for 1362 FM-552

  Page | 2

  City of Rockwall, Texas

Ordinance No. 25-XX; SUP # S-XXX

circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE  $7^{\text{TH}}$  DAY OF JULY, 2025.

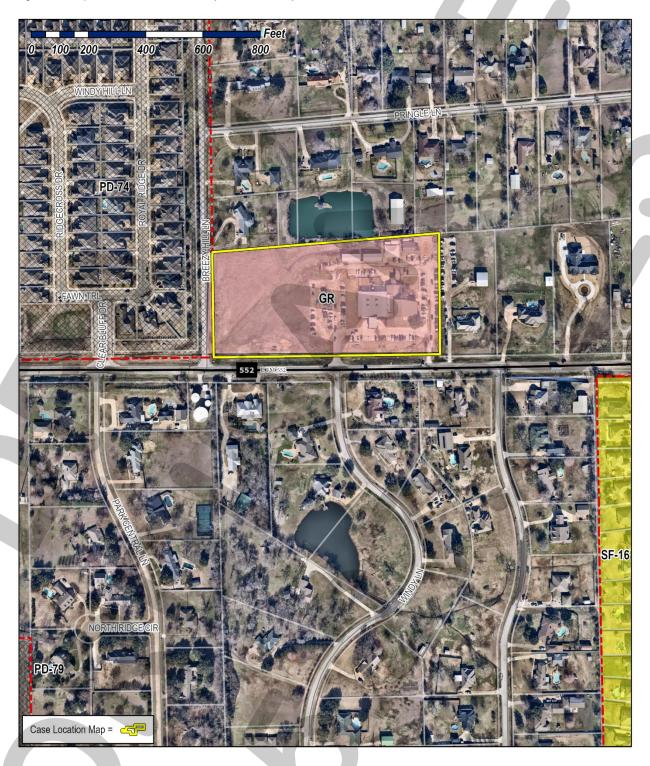
	Tim McCallum, Mayor
ATTEST:	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 <sup>st</sup> Reading: <u>June 16, 2025</u>	

2<sup>nd</sup> Reading: July 7, 2025

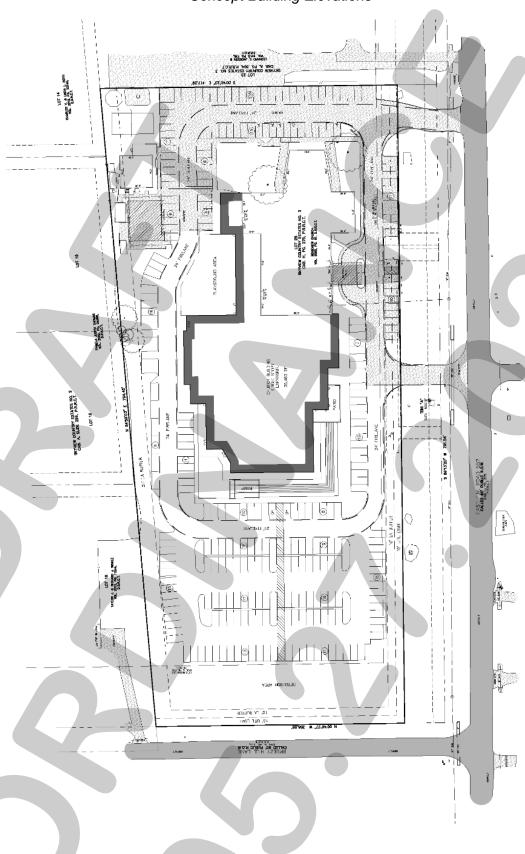
# Exhibit 'A': Location Map

Address: 1362 FM-552

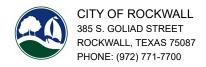
Legal Description: Lot 28 of the Skyview Country Estates No. 3 Addition



**Exhibit 'C':** Concept Building Elevations



# PROJECT COMMENTS



DATE: 5/23/2025

PROJECT NUMBER: Z2025-028

PROJECT NAME: Amendment to PD 37 SITE ADDRESS/LOCATIONS: 3077 N GOLIAD ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Hailee Handy on behalf of John Liu for the approval of a Zoning Change

to amend Planned Development District 37 (PD-37) being a ~7.10-acre tract of land identified as Lots 1 & 2 of the Dirkwood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 37 (PD-37) [Ordinance No.'s 92-44 & 99-44] for Single-Family 16 (SF-16) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3077

N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	05/23/2025	Needs Review	

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Zoning Change to amend Planned Development District 37 (PD-37) being a ~7.10-acre tract of land identified as Lots 1 & 2 of the Dirkwood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 37 (PD-37) [Ordinance No.'s 92-44 & 99-44] for Single-Family 16 (SF-16) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3077 N. Goliad Street [SH-205].
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2025-028) in the lower right-hand corner of all pages on future submittals.
- I.4 The subject property is currently zoned Planned Development District 37 (PD-37) for Single-Family 16 (SF-16) District land uses. In addition, the PD has the following carve out for a home office:
- (1) The home office uses shall be limited to the following professional services: attorney, insurance, financial planning and accounting services.
- (2) Such uses shall be an accessory to the primary residential use, and any such office use shall only be operated by the resident of the home.
- (3) No more than three (3) employees, in addition to the homeowner, shall be located on either lot.
- (4) The home office use shall be limited to the area of the proposed home site as shown and in the dimensions identified on the approved development plan and shall not exceed the square footage identified for each building lot.
- I.5 In this case, the applicant is requesting to allow the Medical Office land use for General Person Service (i.e. aesthetician) and Massage Therapist services. In addition, the applicant is requesting to allow the home office to not be operated by the home owner.
- M.6 Please provide a survey of the subject property. In addition, staff needs a floor plan of the proposed home office within the existing single-family home.
- M.7 Please clarify the number of employees -- including the owner if they will be on site -- that will be working in the Medical Office. If there will be more than three (3), staff will need to include this as part of the zoning request.

- M.8 Please review the attached draft ordinance prior to the May 27, 2025 Planning & Zoning Commission Work Session Meeting, and provide staff with your markups by June 3, 2025. Please carefully read through this document as staff has incorporated changes from what was originally submitted.
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025 Planning and Zoning Commission Public Hearing Meeting.
- I.10 The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).
- I.11 Please note that the applicant, owner, or a representative of these parties will be required to be at all scheduled meetings. Failure to come to a meeting could lead to the case being tabled or denied.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved w/ Comments	
05/22/2025: IF APPROVED TH	HE APPLICANT WILL NEED TO OBTAIN ANY F	REMODEL PERMITS ASSOCIATED WITH THIS BU	SINESS USE.	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved	

No Comments



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

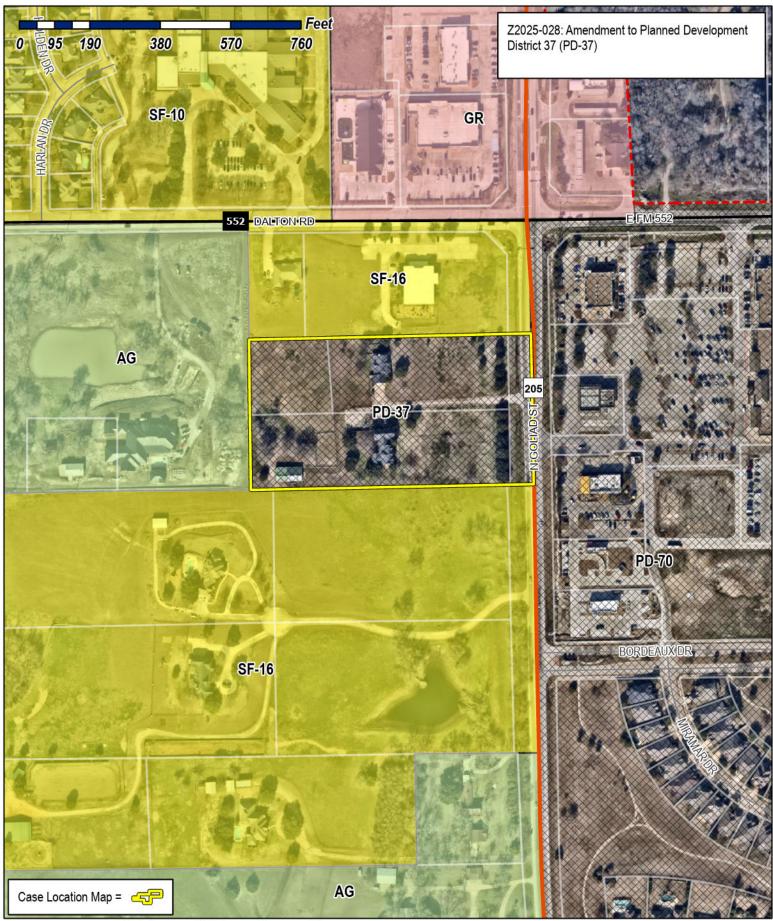
# **DEVELOPMENT APPLICATION**

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

ı	STAFF USE ONLY PLANNING & ZONING CASE NO.
	<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
	DIRECTOR OF PLANNING:
Ш	

My Commission Expires

	Rockwall, Texas 75087	CIT	Y ENGINEER:			
PLEASE CHECK THE AR	PPROPRIATE BOX BELOW TO INDICATE THE TYPE OF	DEVELOPMENT RE	QUEST (SELECT ONL	Y ONE BOX]:		
PLATTING APPLICA  MASTER PLAT (\$ PRELIMINARY PL FINAL PLAT (\$300.00 REPLAT (\$300.00 AMENDING OR M PLAT REINSTATE SITE PLAN APPLICA SITE PLAN (\$250.	TION FEES: 100.00 + \$15.00 ACRE) 1 AT (\$200.00 + \$15.00 ACRE) 1 0.00 + \$20.00 ACRE) 1 + \$20.00 ACRE) 1 INOR PLAT (\$150.00) MENT REQUEST (\$100.00)	ZONING APPL ZONING CH SPECIFIC L PD DEVELO OTHER APPLI TREE REMO VARIANCE NOTES: SIN DETERMINING PER ACRE AMOUNT A \$ 1,000.00 FEE	T: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1.000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING			
PROPERTY INFOR	RMATION [PLEASE PRINT]					
	3077 N. Goliad St	# T				
SUBDIVISION			LOT	BLOCK		
GENERAL LOCATION						
ZONING, SITE PLA	AN AND PLATTING INFORMATION [PLEASE	PRINT]				
CURRENT ZONING		CURRENT US	In-hom	e financial offic		
PROPOSED ZONING		PROPOSED US	In-hom			
ACREAGE	LOTS [CURRENT]		LOTS [PI	ROPOSEDJ		
REGARD TO ITS AF	SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.					
OWNER/APPLICA	NT/AGENT INFORMATION (PLEASE PRINT/CHE	ECK THE PRIMARY CO	NTACT/QRIGINAL SIGNA	TURES ARE REQUIRED]		
□ OWNER	John Liu	APPLICANT	Haile	Handej		
CONTACT PERSON		CONTACT PERSON	3077 K	1. Goliad St		
ADDRESS 2	3069 N. Goliad St.	ADDRESS	· ·	11 -1 7000		
			VIAALA			
0.000	noole all Types	OITY CTATE 8 7ID	Rochwa	ll, TX 75087		
CITY, STATE & ZIP	Pockwall, X75087	CITY, STATE & ZIP	Kochwa Uza Isi	21, 1X 15081		
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PHONE E-MAIL  NOTARY VERIFIC DEFORE ME, THE UNDERS STATED THE INFORMATION OF THE PROPERTY THAT INFORMATION CONTAINED	TLI UQW Chotmail Come ATION (REQUIRED) SIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED	PHONE E-MAIL FOLLOWING: LINFORMATION SUBMINGS BEEN PAID TO THE CITY OF FALSO AUTHORIZED AL	TY OF ROCKWALL ON THI ROCKWALL (I.E. "CITY") IS ND PERMITTED TO REPF	26 2920  LOWNER THE UNDERSIGNED, WHO  DISCORRECT; AND THE APPLICATION FEE OF DAY OF AUTHORIZED AND PERMITTED TO PROVIDE ODUCE ANY COPYRIGHTED INFORMATION		





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

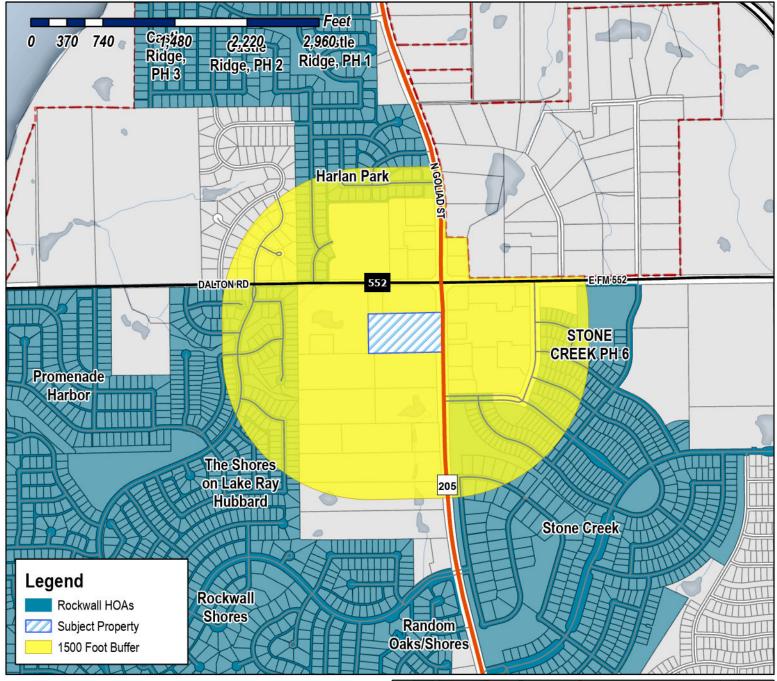
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2025-028

Case Name: Amendment to Planned Development

District 37 (PD-37)

Case Type: Zoning

**Zoning:** Planned Development District 37

(PD-37)

Case Address: 3077 N Goliad Street

Date Saved: 5/19/2025

For Questions on this Case Call (972) 771-7745



From: Zavala, Melanie

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

**Subject:** Neighborhood Notification program [Z2025-028]

 Date:
 Tuesday, May 20, 2025 3:57:45 PM

 Attachments:
 Public Notice (05.19.2025).pdf

 HOA Map (05.19.2025).pdf

## HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, May 23, 2025</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday</u>, <u>June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday</u>, <u>June 16, 2025 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to <a href="Planning@rockwall.com">Planning@rockwall.com</a> at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <a href="https://sites.google.com/site/rockwallplanning/development/development-cases.">https://sites.google.com/site/rockwallplanning/development/development-cases.</a>

Z2025-028: Zoning Change to Amend PD-37

Hold a public hearing to discuss and consider a request by Hailee Handy on behalf of John Liu for the approval of a Zoning Change to amend Planned Development District 37 (PD-37) being a ~7.10-acre tract of land identified as Lots 1 & 2 of the Dirkwood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 37 (PD-37) [Ordinance No.'s 92-44 & 99-44] for Single-Family 16 (SF-16) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3077 N. Goliad Street [SH-205], and take any action necessary.

Thank you,

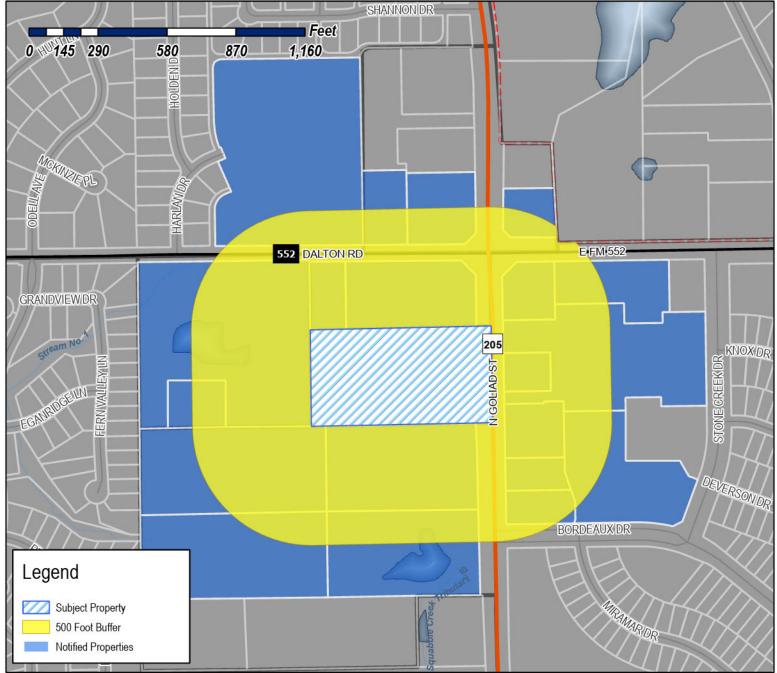
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall 972-771-7745 Ext. 6568



The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2025-028

Case Name: Amendment to Planned Development

District 37 (PD-37)

Case Type: Zoning

**Zoning:** Planned Development District 37

(PD-37)

Case Address: 3077 N Goliad Street

Date Saved: 5/19/2025

For Questions on this Case Call: (972) 771-7745



GOLIAD 711 ROCKWALL LLC SILVER OAK ADVISORS LLC, ATTN GARSON C SOE 1630 Riviera Ave Walnut Creek, CA 94596

METROPLEX ACQUISITION FUND, LP 1717 Woodstead Ct STE 207 THE WOODLANDS, TX 77380 RECTOR JAMES H JR & BETSY 196 E FM 552 ROCKWALL, TX 75087

ALDI TEXAS LLC 2500 WESTCOURT ROAD DENTON, TX 76207 FREE METHODIST CHURCH OF NORTH AMERICA 302 N GOLIAD ST ROCKWALL, TX 75087

RESIDENT 3060 N GOLIAD ST ROCKWALL, TX 75087

RESIDENT 3061 N GOLIAD ST ROCKWALL, TX 75087 PRESLEY KELTON HOOPER AND KIMBERLY
CAROL
3065 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE 3065 N GOLIAD STREET ROCKWALL, TX 75087

RESIDENT 3066 N GOLIAD ROCKWALL, TX 75087 RESIDENT 3068 N GOLIAD ST ROCKWALL, TX 75087 LIU JOHN & CONNIE 3069 N GOLIAD ROCKWALL, TX 75087

RESIDENT 3070 N GOLIAD ST ROCKWALL, TX 75087 RESIDENT 3073 N GOLIAD ST ROCKWALL, TX 75087 RESIDENT 3074 N GOLIAD ROCKWALL, TX 75087

RESIDENT 3077 N GOLIAD ST ROCKWALL, TX 75087 FRENCH DONALD 3079 N GOLIAD ST ROCKWALL, TX 75087 RESIDENT 3084 N GOLIAD ROCKWALL, TX 75087

RESIDENT 3090 N GOLIAD ROCKWALL, TX 75087

RESIDENT 315 DALTON RD ROCKWALL, TX 75087 RESIDENT 3250 N GOLIAD ROCKWALL, TX 75087

RESIDENT 3251 N GOLIAD ROCKWALL, TX 75087 RESIDENT 335 DALTON RD ROCKWALL, TX 75087 RESIDENT 350 DALTON ROAD ROCKWALL, TX 75087

METROPLEX ACQUISITION FUND LP C/O RONALD DRIBBEN 357 MARIAH BAY DRIVE HEATH, TX 75032

NNN REIT LP 420 S Orange Ave Ste 250 Orlando, FL 32801 CAIN DENNIS & MELISSA 803 DALTON RD ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

# Z2025-028: Zoning Change to Amend Planned Development District 37 (PD-37)

Hold a public hearing to discuss and consider a request by Hailee Handy on behalf of John Liu for the approval of a <u>Zoning Change</u> to amend Planned Development District 37 (PD-37) being a ~7.10-acre tract of land identified as Lots 1 & 2 of the Dirkwood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 37 (PD-37) [Ordinance No.'s 92-44 & 99-44] for Single-Family 16 (SF-16) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3077 N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, June 10, 2025 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, June 16, 2025 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

#### Angelica Guevara

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning





Director of Franking & Zohing	TO THE WEBSITE	
MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/	/development/development-ca	ases
PLEASE RETURN THE BELOW FORM		
Case No. Z2025-028: Zoning Change to Amend Planned Development District 37 (PD-37)		
Please place a check mark on the appropriate line below:		
☐ I am in favor of the request for the reasons listed below.		
☐ I am opposed to the request for the reasons listed below.		
Name:		
Address:		

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: Enchanting Aesthetics enchantingaes@gmail.com

Subject: Rezoning consideration

Date: May 16, 2025 at 4:30:36 PM

To: rmiller@rockwall.com

Hailee Handy-Alberti 3077 N. Goliad St Rockwall, TX 75087 469.626.2920 Enchantingaes@gmail.com February 21, 2024

City of Rockwall Planning and Zoning Department 385 S. Goliad St. Rockwall, TX 75087

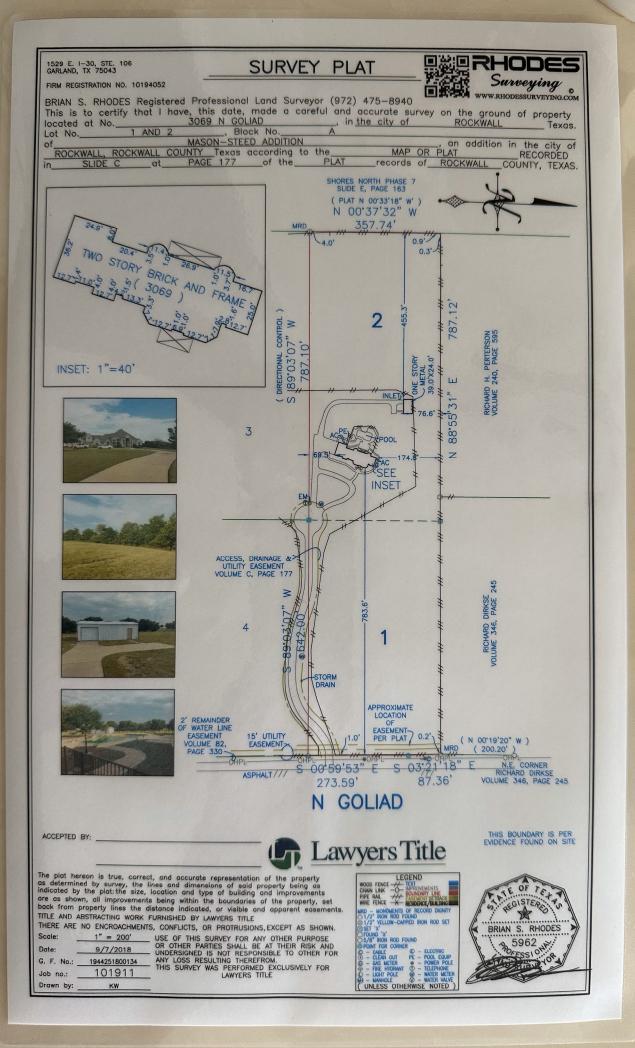
# **Subject: Request for Rezoning Approval – In-Home Salon**

Dear Planning and Zoning Committee,

I am writing to formally request rezoning approval for my residential property located at 3077 N. Goliad St in Rockwall, TX, to operate a small in-home salon. The purpose of this request is to allow a low-impact, appointment-based beauty service that aligns with the growing demand for specialized personal care in a comfortable and private setting.

My in-home salon will comply with all city regulations and maintain the integrity of the neighborhood. I am committed to operating a professional, well-managed business that will have minimal impact on traffic, parking, and noise levels. My salon will:

- Operate by appointment only, ensuring controlled and limited foot traffic.
- Provide adequate parking on my property to prevent street congestion.
- Follow all health and safety guidelines set forth by the state and local authorities.
- Maintain the residential character of my home, with no modifications that would disrupt the neighborhood's aesthetic.



ORDINANCE	NO.	92-44
ORDITATIOE	110.	

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO GRANT A ZONING CHANGE ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN TO "PD-37" PLANNED DEVELOPMENT NUMBER 37; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in zoning to "PD-37" Planned Development 37 on the property described on Exhibit "A" has been requested by Nick Woodall and Rick Dirkse; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas as heretofore amended, be and the same is hereby amended by amending the Zoning Map of the City of Rockwall so as to grant a zoning change from Agricultural to "PD" Planned Development District No. 37 on the property specifically described in Exhibit "A".

SECTION 2. That Planned Development District Number 37 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby provided that the granting of Planned Development District No. 37 to the above described tract of land is subject to the following special conditions:

A. The use of the property covered by Planned Development District No 37 shall be in accordance with the provisions of this ordinance and the list of approved uses. Any redevelopment of or building expansion on the property covered by Planned Development No. 37 shall first be submitted for site plan approval and, and no substantial change in the development shall be permitted, except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the comprehensive Zoning Ordinance.

- B. Development of Planned Development District No. 37 shall be regulated by the following requirements:
  - 1. The uses approved are single family residential uses as listed in the SF-16 zoning classification and accessory home office uses, to be permitted as shown on the development plan, as approved and attached herein and made a part hereof, containing no more than 2 lots, as shown.
  - 2. The single family uses shall conform to the area requirements of the SF-16 zoning classification, as currently adopted or as may be amended in the future.
  - 3. The home office use shall comply with the following conditions:
    - a. The home office uses shall be limited to the following professional services: attorney, insurance, financial planning and accounting services.
    - b. Such uses shall be accessory to the primary residential use, and any such office use shall only be operated by the resident of the home.
    - c. No more than 3 employees, in addition to the home owner, shall be located on either lot.
    - d. The home office use shall be limited to the area of the proposed home site as shown and in the dimensions identified on the approved development plan and shall not exceed the square footage identified for each building lot.
  - 4. Any expansion of the uses or changes in the conditions may be granted only after hearings by the Planning and Zoning Commission and City Council as specified in the Comprehensive Zoning ordinance.
- SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000) for each offense and each and every day such offense continues shall be deemed to constitute a separate offense.
- SECTION 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions

of this be and the same are hereby repealed to the extent of that conflict.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 7th day of December, 1992.

APPROVED

Hilda Crangle
ATTEST

2ND READING \_\_\_\_\_\_\_\_

# City of Rockwall City Council

Agenda Date:

9/20/1999

Applicant:

Rick Dirkse

Agenda Item:

PZ-1999-68-1

Zoning

A request from Rick Dirkse for a revision to PD-37 in order to allow horses on the property which contains a 7 acres located at 3077 North Goliad.

# **Action Needed:**

Hold public hearing and consider the request.

# Background Information:

The subject property is currently zoned PD-37 and contains approximately seven (7) acres. The future land use plan designates this area as single family residential. The applicant currently has a single-family residence on this property, along with a home occupation which is accommodated through the planned development-zoning. There are two residential units with the home occupations as part of the planned development. Included in the project information is a letter from the applicant describing their future plans for the property. The applicant would like to accommodate four horses on his property which contains approximately 4 acres. As discussed the code of ordinances allows one horse per 10,000 square feet. Staff would recommends approximately one horse per acre for this request.

# **Staff Recommendation:**

Recommends Approval of the request with the following condition(s).

1. No more than 4 horses allowed in PD-37

# P & Z Recommendation:

Approval with staff conditions by a vote of 6-0.

# Rick and Tamara Dirkse

3077 North Goliad Rockwall, Texas 75087

972-771-1040

August 25, 1999

To Whom It May Concern:

I live north of Rockwall on highway 205 on PD-37. This development is a little over seven acres. I moved to the north end of town because it is more rural and less congested. I appreciate the slower pace and country setting that this end of town offers my family and me.

Two years ago my daughter became very interested in horses. Since that time we have purchased two horses. We now board them 20 miles away.

I am requesting that you revise this planned development (PD-37) to allow me to have my horses on this property.

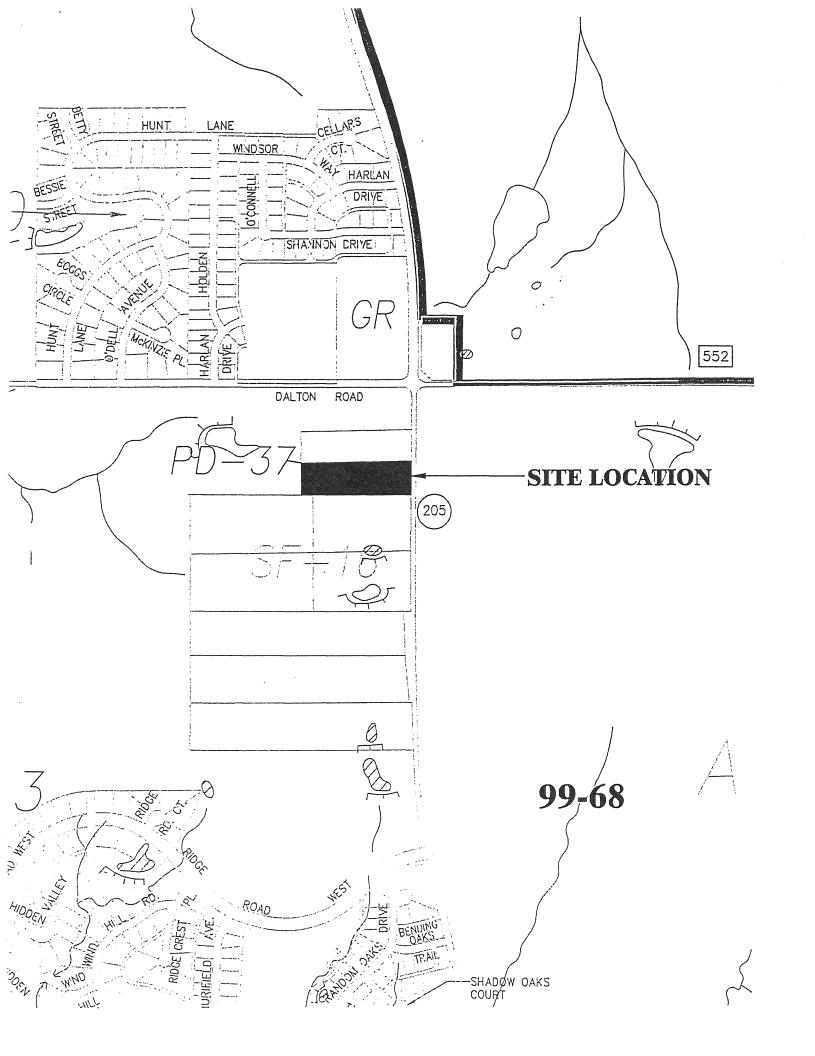
I have asked all of my neighbors about this and they are very excited about the possibility of horses on this property. Joel Steed and Kerry Mason are my immediate neighbors. They own 24 acres. They purchased their properties near the same time as I did for the same reasons.

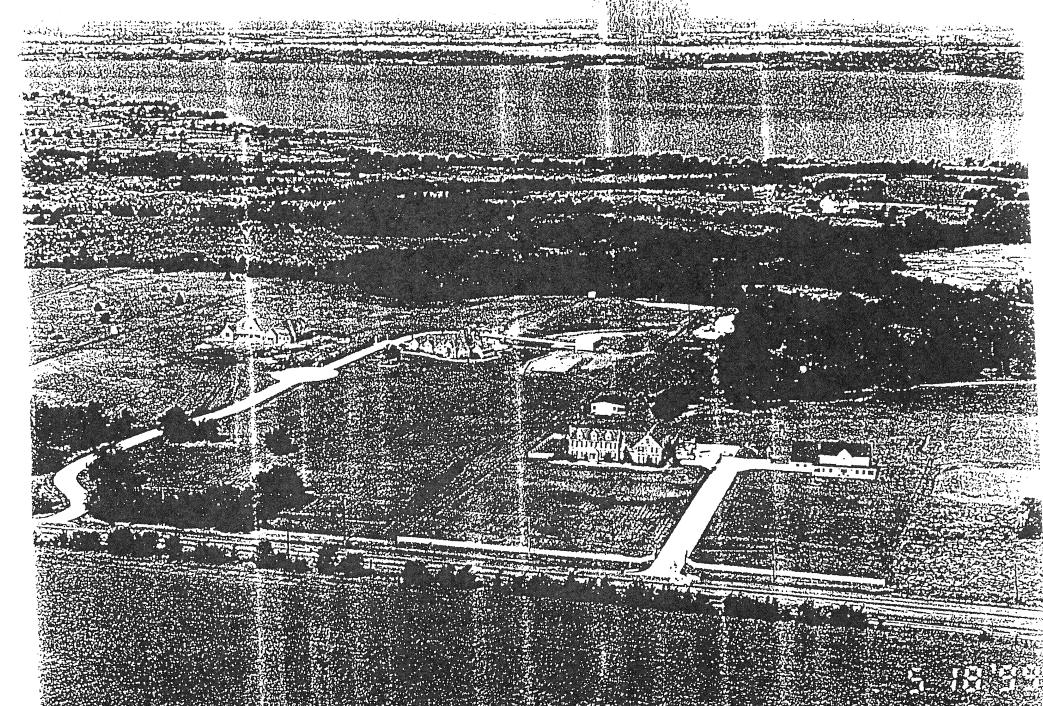
Dick Peterson is on the backside of my property. His land is zoned agriculture and he has many animals. Across the street is the property that is in the Caurth Trust. It is zoned agricultural and they graze cattle and horses on this property.

As my family and I have enjoyed our ownership of horses, we look forward to meeting and discussing this issue with each of you.

Sincerely,

Rick Dirkse





# ORDINANCE NO. 99-44

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN TO "PD-37" PLANNED DEVELOPMENT NUMBER 37; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a zoning change to "PD-37" Planned Development 37 on the property described in Exhibit "A" has been requested by Rick Dirkse; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

<u>Section 1.</u> That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a zoning change in "PD-37" Planned Development District No. 37, on the property described on Exhibit "A", attached hereto and made a part hereof.

<u>Section 2.</u> That Planned Development District No. 37 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 37 to the above described tract of land is subject to the following special conditions:

A. The use of the property covered by Planned Development District No. 37 shall be in accordance with the provisions of this ordinance and the list of approved uses. An redevelopment of or building expansion on the property covered by Planned Development No. 37 shall first be submitted for site plan

approval and, no substantial change in the development shall be permitted, except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the Comprehensive Zoning Ordinance

- B. Development of Planned Development District No. 37 shall be regulated by the following requirements:
  - 1. The uses approved are single family residential uses as listed in the SF-16 zoning classification and accessory home office uses, to be permitted as shown on the development plan, as approved and attached herein and made part hereof, containing no more than two (2) lots, as shown.
  - 2. The single family uses shall conform to the area requirements of the SF-16 zoning classification, as currently adopted or as may be amended in the future.
  - 3. The home office uses shall comply with the following conditions:
    - a. The home office uses shall be limited to the following professional services: attorney, insurance, financial planning and accounting services.
    - b. Such uses shall be an accessory to the primary residential use, and any such office use shall only be operated by the resident of the home.
    - c. No more than three (3) employees, in addition to the homeowner, shall be located on either lot.
    - d. The home office use shall be limited to the area of the proposed home site as shown and in the dimensions identified on the approved development plan and shall not exceed the square footage identified for each building lot.
  - 4. An expansion of the uses or changes in the conditions may be granted only after hearings by the Planning and Zoning Commission and City Council as specified in the Comprehensive Zoning Ordinance.
  - 5. The entirety of Planned Development No. 37 shall have no more than four (4) horses housed, boarded, raised, or trained on the property described on Exhibit "A".

<u>Section 3.</u> Any person, firm, or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

<u>Section 4.</u> If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

<u>Section 5.</u> That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed to the extent of that conflict.

<u>Section 6.</u> That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 18 day of october, 1999.

APPROVED:

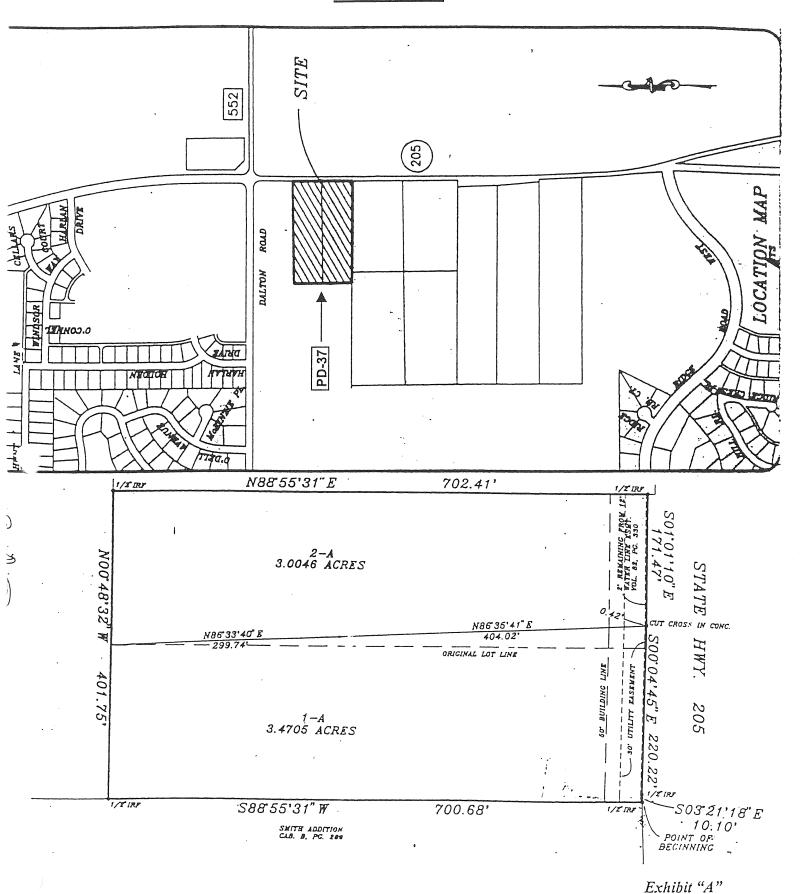
Scott L. Self. Mayor

ATTEST:

Belinda Page
City Secretary

1st reading: 10 - 04 - 99

2nd reading: 10 -18-99



## CITY OF ROCKWALL

## ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 37 (PD-37) [ORDINANCE NO. 92-44 & 99-44] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, **PURPOSE FOR** THE OF **AMENDING** DEVELOPMENT DISTRICT 37 (PD-37) BEING A ~7.10-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 & 2 OF THE DIRKWOOD ESTATES ADDITION, CITY OF ROCKWALL, **ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED** AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE: PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Hailee Handy on behalf of John Liu, requesting the approval of an amendment to Planned Development District 37 (PD-37) [Ordinance No. 92-44 & 99-44] being a ~7.10-acre tract of land identified as Lots 1 & 2 of the Dirkwood Estates Addition, City of Rockwall, Rockwall County, Texas, more fully described and depicted in Exhibit 'A' of this ordinance, which hereinafter shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 37 (PD-37) [Ordinance No. 92-44 & 99-44] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

# NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.'s 92-44 & 99-44*;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future:

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein

by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 20-02*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 20-02*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE  $7^{\text{TH}}$  DAY OF JULY, 2025.

	Tim McCallum, Mayor
ATTEST:	
Kristy Teague, City Secretary	

# **APPROVED AS TO FORM:**

Frank J. Garza, City Attorney

1st Reading: June 16, 2025

2<sup>nd</sup> Reading: July 7, 2025

#### EXHIBIT 'A':

# Legal Description and Survey

**BEING** 6.46 acres of land situated in Abstract 71, W.G. Dewees Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING** in the Northwest corner of the Dirkwood Estates Addition, RCAD#33904, 33905, and 82651 (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,591,914.692, N 7,039,989.875 Feet);

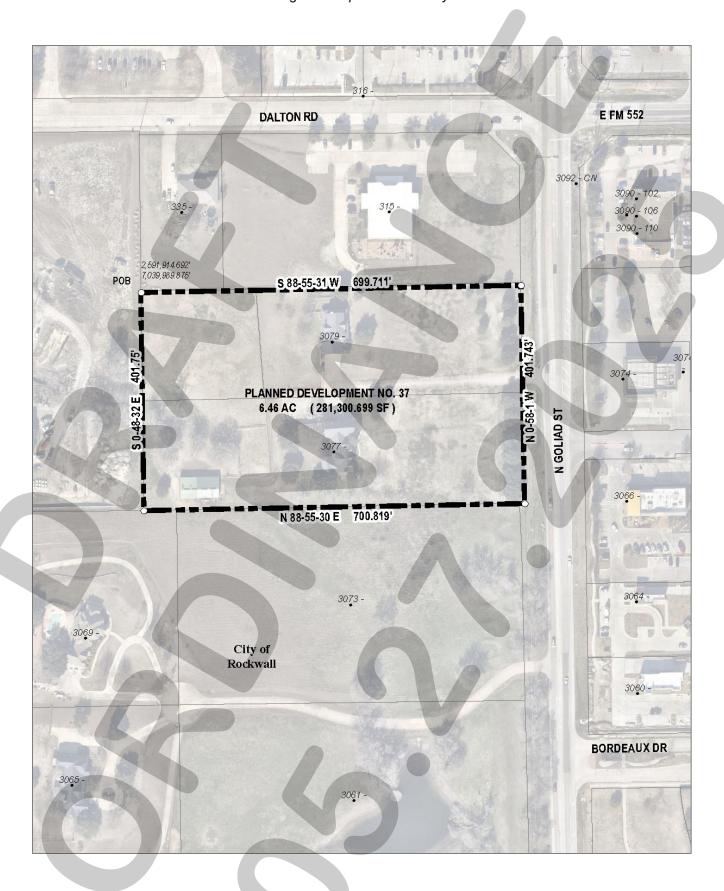
**THENCE** South 00°-48'-32" East, along the Western boundary of the Dirkwood Estates Addition, a distance of 401.75 feet for a corner;

**THENCE** North 88°-55'-30" East, a distance of 700.819 feet for a corner;

**THENCE** North 00°-58'-01" West, along the Western Right of Way of North Goliad Street, a distance of 401.743 feet for a corner;

**THENCE** South 88°-55'-31" West, a distance of 699.711 feet to the **POINT OF BEGINNING AND CONTAINING** 6.46 acres of land (281,300.699 square feet) more or less.

**EXHIBIT 'A':** Legal Description and Survey



# **EXHIBIT 'B':**Concept Plan



#### EXHIBIT 'C':

## District Development Standards

## Development Standards.

- (1) <u>Purpose</u>. The purpose of this amendment to Planned Development District 37 (PD-37) is to supersede *Ordinance No.'s* 92-44 & 99-44, and add <u>Medical Office</u> as a permitted land use within the district; however, this ordinance does not change the intent established by *Ordinance No.'s* 92-44 & 99-44.
- (2) <u>Permitted Uses</u>. Unless specifically provided by this Planned Development District, only those land uses permitted within the Single Family 16 (SF-16) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, are allowed on the *Subject Property*; however, the following land uses and conditional land use standards shall be permitted on the *Subject Property*:

The following land uses shall be permitted by-right on the Subject Property:

- ☑ Medical Office¹
- ☑ Home Occupation²

# NOTES:

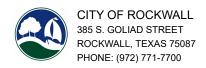
- 1: <u>Medical Office</u>. A <u>Medical Office</u> allowing <u>General Personal Services</u> (e.g. Aesthetician) and <u>Massage Therapist</u> as an accessory land use shall be permitted as a standalone land use or as an accessory land use to a single-family home subject to the <u>Home Occupation</u> requirements of this ordinance.
- <sup>2</sup>: <u>Home Occupation</u>. A <u>Home Occupation</u>, as an accessory land use to a single-family home, shall be permitted subject to the following conditions:
  - (1) The *Home Occupation* use shall be limited to the following professional services:
    - ☑ Attorney
    - ✓ Insurance
    - ☑ Financial Planning
    - ☑ Accounting
    - ☑ Medical Office
  - (2) A *Home Occupation* use shall be accessory to the single-family home, and shall be operated by the resident of the home.
  - (3) No more than three (3) employees, in addition to the home owner, shall occupy the building at any given period.
  - (4) The Accessory Use shall be limited to the area within a single-family home as delineated on the Concept Plan contained in Exhibit 'B' of this ordinance.
  - (5) Any business -- Home Occupation or otherwise -- shall require a Certificate of Occupancy (CO) from the City of Rockwall.

#### EXHIBIT 'C':

# District Development Standards

- (3) <u>Density and Dimensional Requirements</u>. All properties within the boundaries of this Planned Development District as described and depicted in *Exhibit 'A'* of this ordinance shall be subject to the density and dimensional requirements stipulated for properties in a Single-Family 16 (SF-16) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (4) <u>Grazing Animals</u>. There shall be no more than four (4) horses housed, boarded, raised, or trained within Planned Development District 37 (PD-37) as described and depicted in *Exhibit* 'A' of this ordinance.

# PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: P2025-016

PROJECT NAME: Preliminary Plat for Erwin Farms

SITE ADDRESS/LOCATIONS: 379 N COUNTRY LN

CASE CAPTION: Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the

for the approval of a Preliminary Plat for Erwin Farms Subdivision consisting of 122 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	05/22/2025	Approved w/ Comments	_

05/22/2025: P2025-016: Preliminary Plat for the Erwin Farms Subdivision

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Preliminary Plat for Erwin Farms Subdivision consisting of 122 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses, and generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141.
- 1.2 For guestions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (P2025-016) in the lower right-hand corner of all pages on future submittals.
- M.4 Please update the title block as follows based on the requirements provided in Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances:

**Preliminary Plat** 

Erwin Farms Subdivision

Being 122 Residential Lots and 6 Open Space Lots

98.198-acres or 4,277,504.88 SF

Situated within the John M. Gass Survey, Abstract No. 88

City of Rockwall, Rockwall County, Texas

- M.5 The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plane coordinates (NAD 83 State Plan Texas, North Central [7202], US Survey Feet). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.6 Please see the included mark-ups. These mark-ups show how the plat conforms to the density and dimensional requirements for the Planned Development District. (Ordinance 25-15) Update the lot depths and widths as shown on the markups.
- M.7 Indicate the proposed number of Dwelling Units and the proposed Population Density (i.e. total number of Dwelling Units/Total Acreage = Population Density). (Section 38-7,

Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Label all proposed and existing streets with the proposed names so that staff can verify the proposed names. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Indicate the boundaries of all Wooded Areas or dense tree clusters. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

- M.10 Indicate the zoning classification (i.e. PD-105 for Single Family 10 (SF-10) District).
- M.11 Identify the names, and description of all existing public parks. (i.e. Alma Williams on the west side of the development). Please label the tract as "Alma Williams Park, City of Rockwall VOL. 4695, PG. 35 D.R.R.C.T". (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.12 Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
- M.13 Place the following General Notes provided in the Standard Plat Wording section of the application packet which is attached:
- 1) Subdivider's Statement
- 2) Public Improvement Statement
- 3) Drainage and Detention Easements
- 4) Fire Lanes
- 5) Street Appurtenances
- M.14 Provide a general note stating that septic systems shall only be used on Lot Types B and C and must comply with applicable On-Site Sewage Facility (OSSF) standards. (Exhibit C, PD-105)
- M.15 Include a general note indicating that the Homeowners Association (HOA) will be responsible for the ongoing maintenance of all trails, open space, and associated amenities. (Exhibit C, PD-105)
- M.16 Add a land use data table that includes:
- Total Number of Lots by Type (A, B, C)

Lot Type Lots Type A Lots Type B Lots Type C

Total Lots XX XX XX

Lot Numbers XX XX XX

- · Total Acreage of Open Space
- Total Open Space Percentage (minimum 20%)
- M.17 Provide the Owner's Certificate of Dedication for all public right-of-way easements, parks and open space, and other public uses provided in the Standard Plat Wording section of the application packet (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.18 All signatures on the Owner's Certificate of Dedication shall be required to be acknowledged b a notary public. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.19 Provide the following signature block:

APPROVED: I hereby certify that the above and forgoing Preliminary Plat was reviewed by the planning and zoning commission and approved by the city council of the City of Rockwall, Texas for the preparation of a final plat on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CHAIRMAN

- I.20 The next step in the process is engineering submittal. Please address planning comments on landscape and site plans at engineering as these will be the same comments on the PD Site Plan.
- I.21 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: May 27, 2025

Park Board meeting: June 3, 2025

Planning and Zoning Public Hearing: June 10, 2025

City Council: June 16, 2025

I.22 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved

05/22/2025: 1. Remove all existing contours and show/label the 100yr floodplain limits. The 100yr floodplain must be within a dedicated drainage easement. Also list the source of the floodplain information. Show floodplain, and call out 100-yr WSEL a minimum of every 300'.

- 2. If to be a public easement, sanitary sewer and storm must be 10' separated and minimum 10' easement on both sides of pipe.
- 3. S.E. is not in legend.
- 4. What is this 10' for? Who will be maintaining this if it is not on a lot? HOA/Open Space area?
- 5. What is this 30' for? Who will be maintaining this if it is not on a lot? HOA/Open Space area?
- 6. Label gas easement. Label whatever this line is.
- 7. Is this part of Lot 19 open space?
- 8. We will need an approval letter from gas company that you can run sewer and detention through their easement, when you get to the engineering phase.
- 9. Remove all existing contours and show/label the 100yr floodplain limits. The 100yr floodplain must be within a dedicated drainage easement. Also list the source of the floodplain information.
- 10. Show/label the required 10' utility easement along all roadway frontages, even if it is open space area.
- 11. What is this 10' for? Who will be maintaining this if it is not on a lot? HOA/Open Space area?
- 12. Must install a 12" water main per City master plans from the northern property line to the southern property line. Dedicate easements or run through the subdivision.
- 13. Block G and F are to be served by septic tanks, not City sewer.
- 14. Storm and sewer must also be 10' separated.
- 15. 10' utility easement required along all ROW.

#### General Comments:

#### General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Additional comments may be provided at time of Engineering.

- Crossings of gas Easement will require approval of gas company.

#### Streets/Paving:

- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City driveway spacing requirements must be met.
- Any medians must be curbed, and streets draining away from medians.
- Must construct all roadways on the current Master Thoroughfare Plan
- A Major Collector, Undivided 4-Lane Roadway (M4U), with a 65' ROW dedication will be required for N. Country Lane (must build 24' min. on the section adjacent to development if accessing). A minimum 5' sidewalk will be required on both sides of the roadway if building the full width.
- A Minor Collector, Undivided 2-Lane Roadway (MC), with a 60' ROW will be required for Clem Road (must build 24' min. on the section adjacent to development if accessing). A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.

#### Water and Wastewater Items:

- An Infrastructure study has been completed. All infrastructure recommendations/requirements in study must be constructed.
- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have 8" sewer line minimum through the property.
- Must install 12" water main per City master plans. Dedicate easements or through the subdivision.
- Must install a 8" and 10" sewer main per City master plans. Dedicate easements.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Utilities may not cross through a residential property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Easement widths depend on depth of utility.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Water not served by the City. This property is located within the Mount Zion WSC CCN.
- Need to opt out of the Mount Zion WSC. If not, must have flow reports that verify fire flow and TCEQ min. standards are met.
- Possible pro-ratas to be paid. Contact Engineering for any pro-ratas.

#### Drainage/Floodplain/Lakes:

- Existing flow patterns must be maintained.
- Flood Study is required
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
- Detention must be permanently irrigated.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Detention cannot be located in the 100yr floodplain. Detention must be above the 100yr floodplain elevation where adjacent.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- Must show and meet erosion hazard setback for all creeks/streams.

- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
- Floodplain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot).
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.

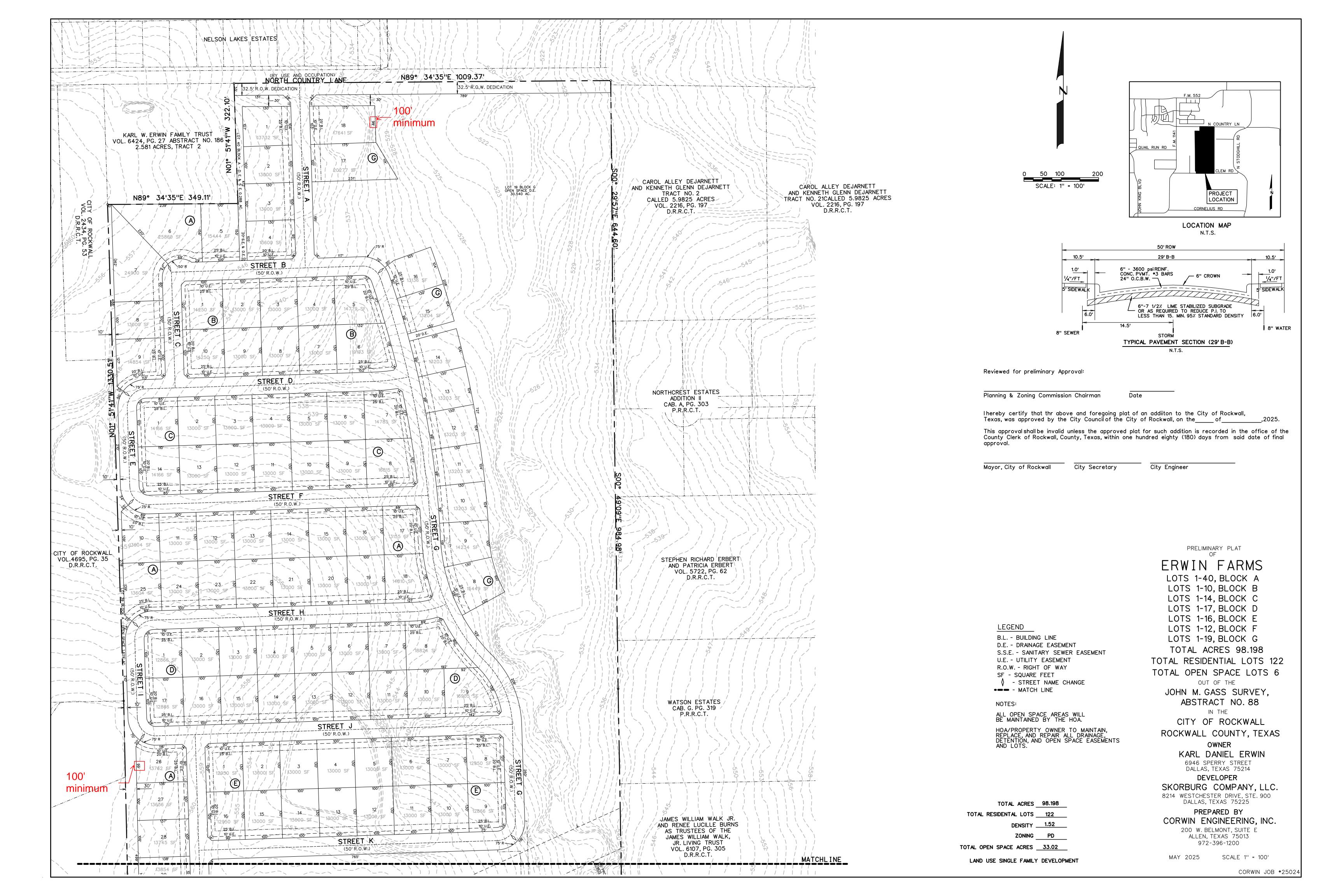
#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No berms allowed in water or sewer easements.

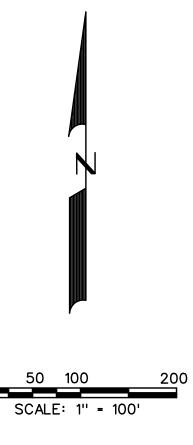
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Craig Foshee	05/22/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Ariana Kistner	05/20/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Lance Singleton	05/19/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Chris Cleveland	05/19/2025	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Travis Sales	05/19/2025	Approved w/ Comments	
	Craig Foshee  REVIEWER Ariana Kistner  REVIEWER Lance Singleton  REVIEWER Chris Cleveland  REVIEWER	Craig Foshee 05/22/2025  REVIEWER DATE OF REVIEW Ariana Kistner 05/20/2025  REVIEWER DATE OF REVIEW Lance Singleton 05/19/2025  REVIEWER DATE OF REVIEW Chris Cleveland 05/19/2025  REVIEWER DATE OF REVIEW Chris Cleveland 05/19/2025	Craig Foshee 05/22/2025 Approved  REVIEWER DATE OF REVIEW STATUS OF PROJECT Ariana Kistner 05/20/2025 Approved  REVIEWER DATE OF REVIEW STATUS OF PROJECT Lance Singleton 05/19/2025 Approved  REVIEWER DATE OF REVIEW STATUS OF PROJECT Chris Cleveland 05/19/2025 Approved  REVIEWER DATE OF REVIEW STATUS OF PROJECT Chris Cleveland 05/19/2025 Approved

05/19/2025: For this Master Plat the Parks and Recreation Board will be assessing Pro-Rata Equipment Fees and Cash-In-Lieu of Land Fees for Erwin Farms Subdivision, which will consist of 122 lots. The fees to be assessed are as follows: [1] Cash-In-Lieu of Land Fees of \$214,605.32 (i.e. \$1759.06 x 122 lots = \$214,605.32), and [2] Pro-Rata Equipment Fees of \$183,390.40 (i.e. \$1503.20 x 122 lots = \$183,390.40). The total fees assessed will be \$397,995.72.

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PRELIMINARY PLAT OF

## ERWIN FARMS

LOTS 1-40, BLOCK A LOTS 1-10, BLOCK B LOTS 1-14, BLOCK C

LOTS 1-17, BLOCK D LOTS 1-16, BLOCK E

LOTS 1-12, BLOCK F

LOTS 1-19, BLOCK G TOTAL ACRES 98.198

TOTAL RESIDENTIAL LOTS 122 TOTAL OPEN SPACE LOTS 7

OUT OF THE JOHN M. GASS SURVEY,

ABSTRACT NO. 88 IN THE

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

OWNER

KARL DANIEL ERWIN

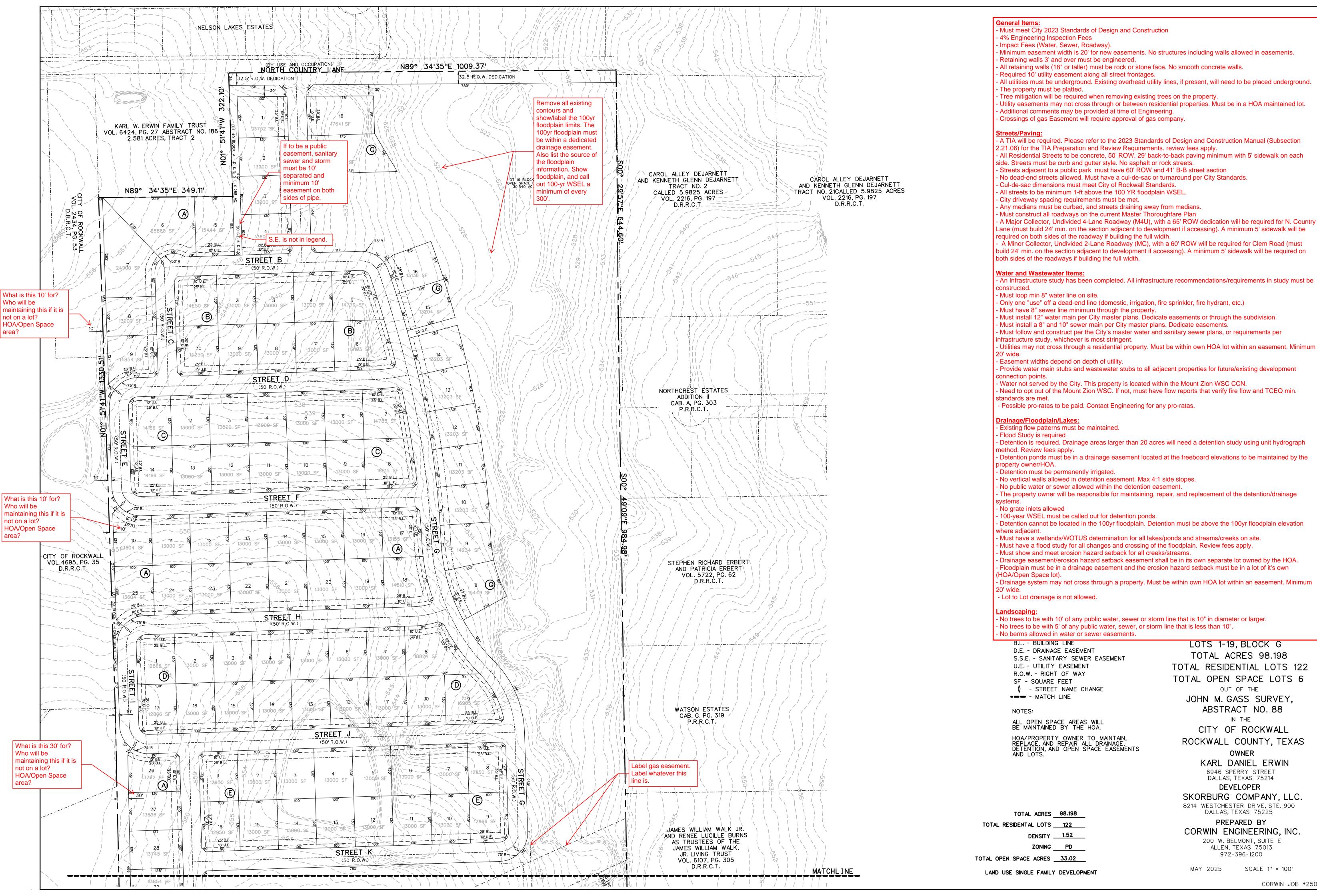
6946 SPERRY STREET DALLAS, TEXAS 75214 DEVELOPER

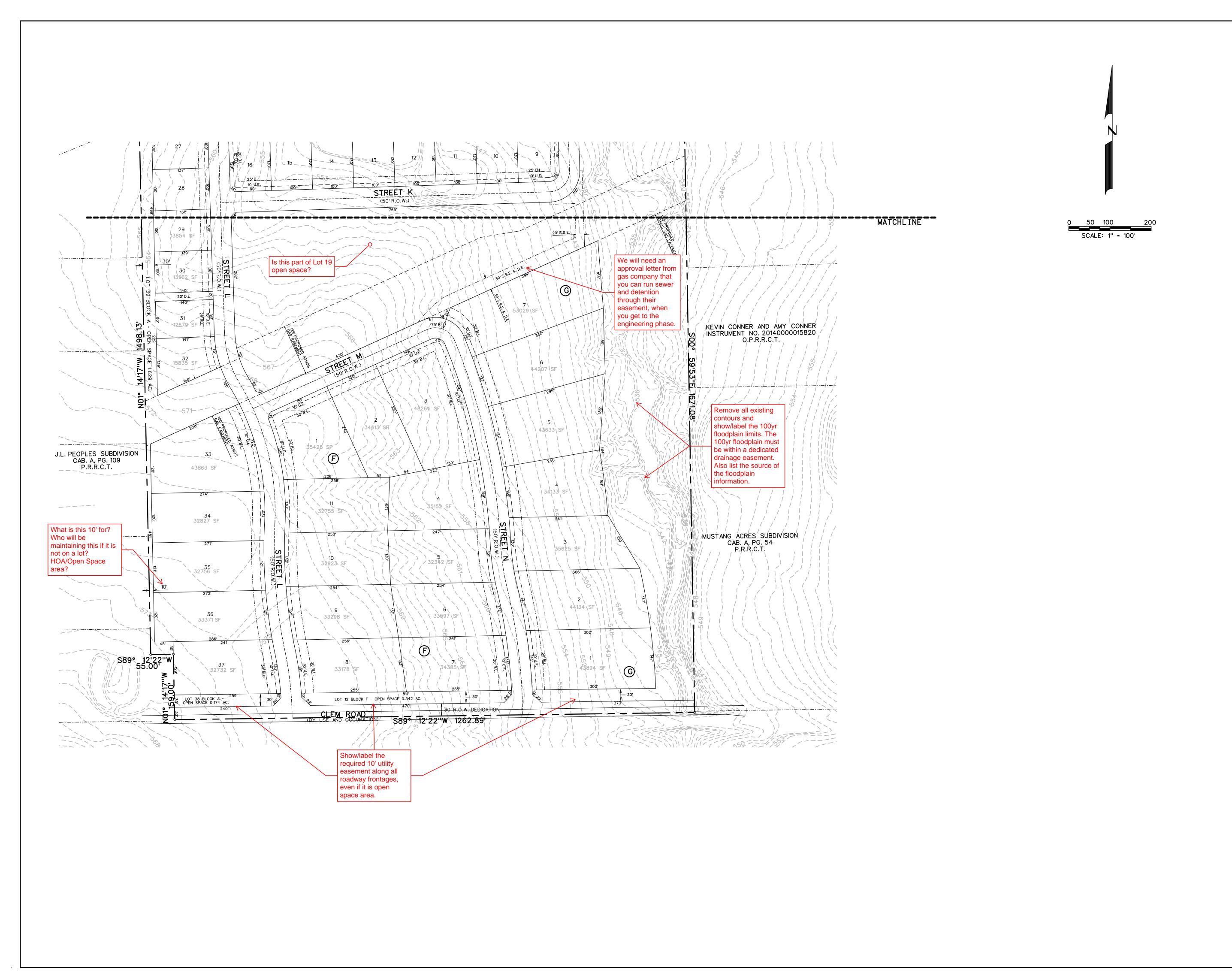
SKORBURG COMPANY, LLC. 8214 WESTCHESTER DRIVE, STE. 900 DALLAS, TEXAS 75225

PREPARED BY CORWIN ENGINEERING, INC. 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013

972-396-1200

MAY 2025 SCALE 1" = 100"





PRELIMINARY PLAT OF

ERWIN FARMS

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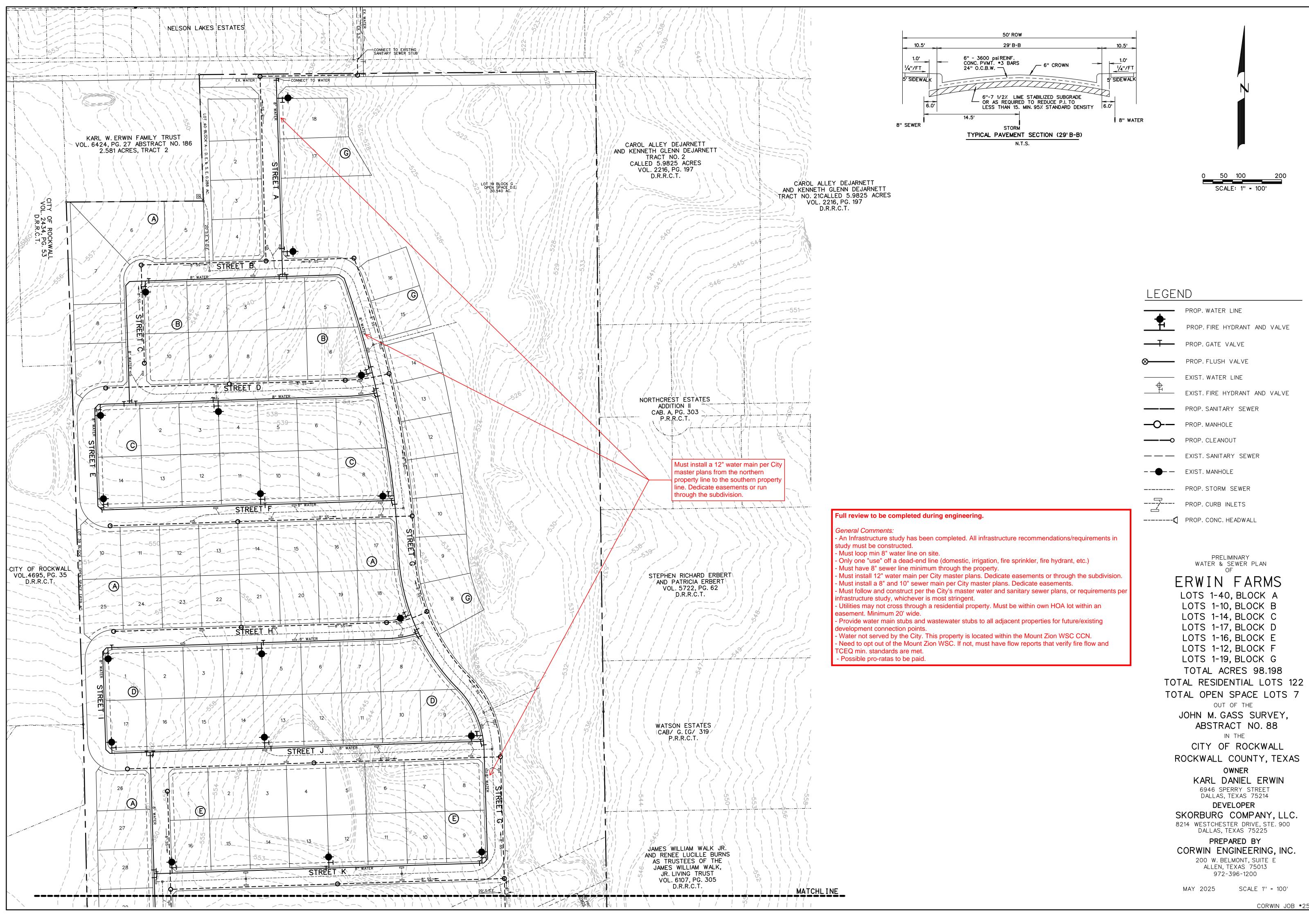
8214 WESTCHESTER DRIVE, STE. 900
DALLAS, TEXAS 75225

PREPARED BY

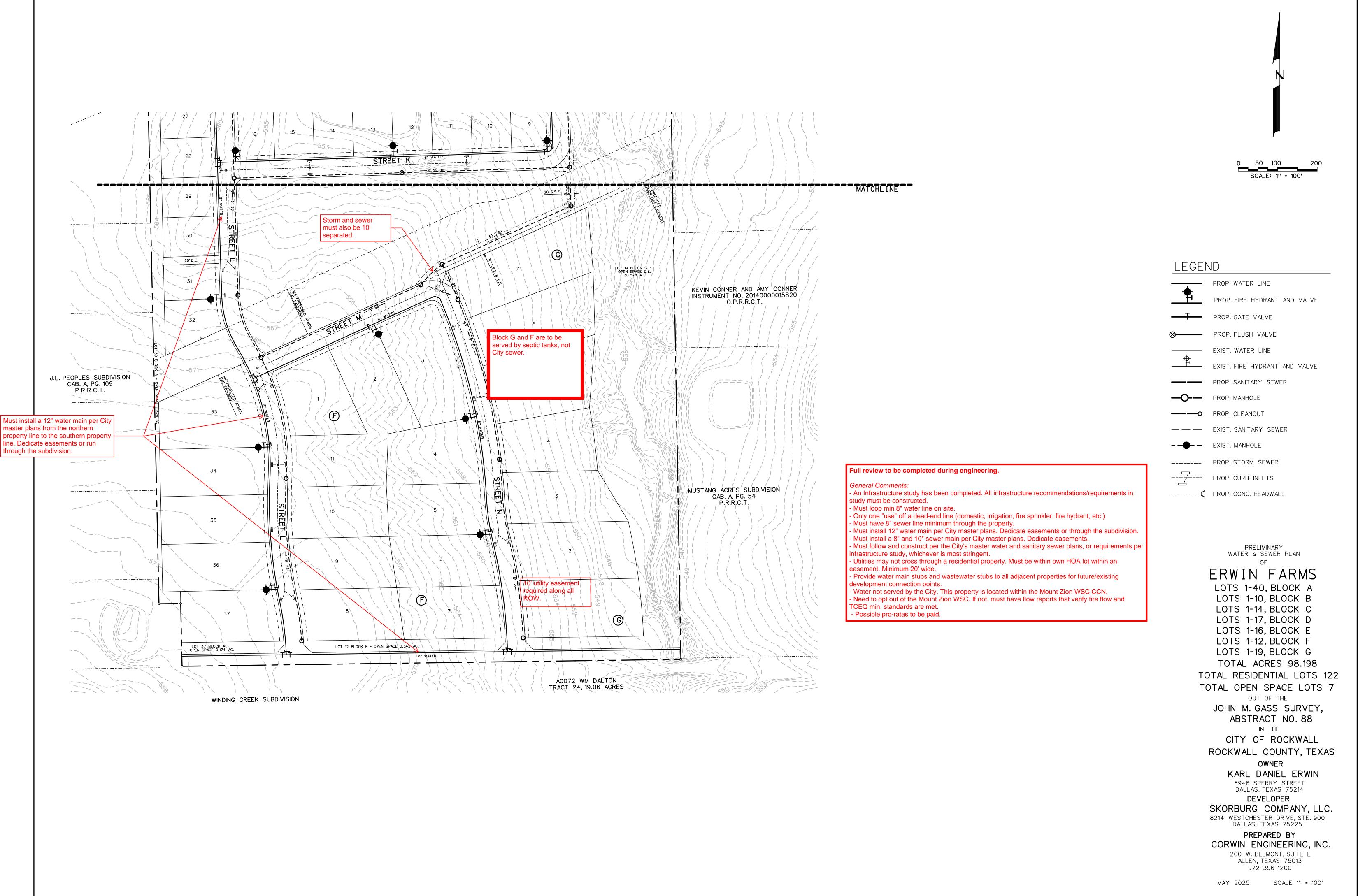
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013

972-396-1200

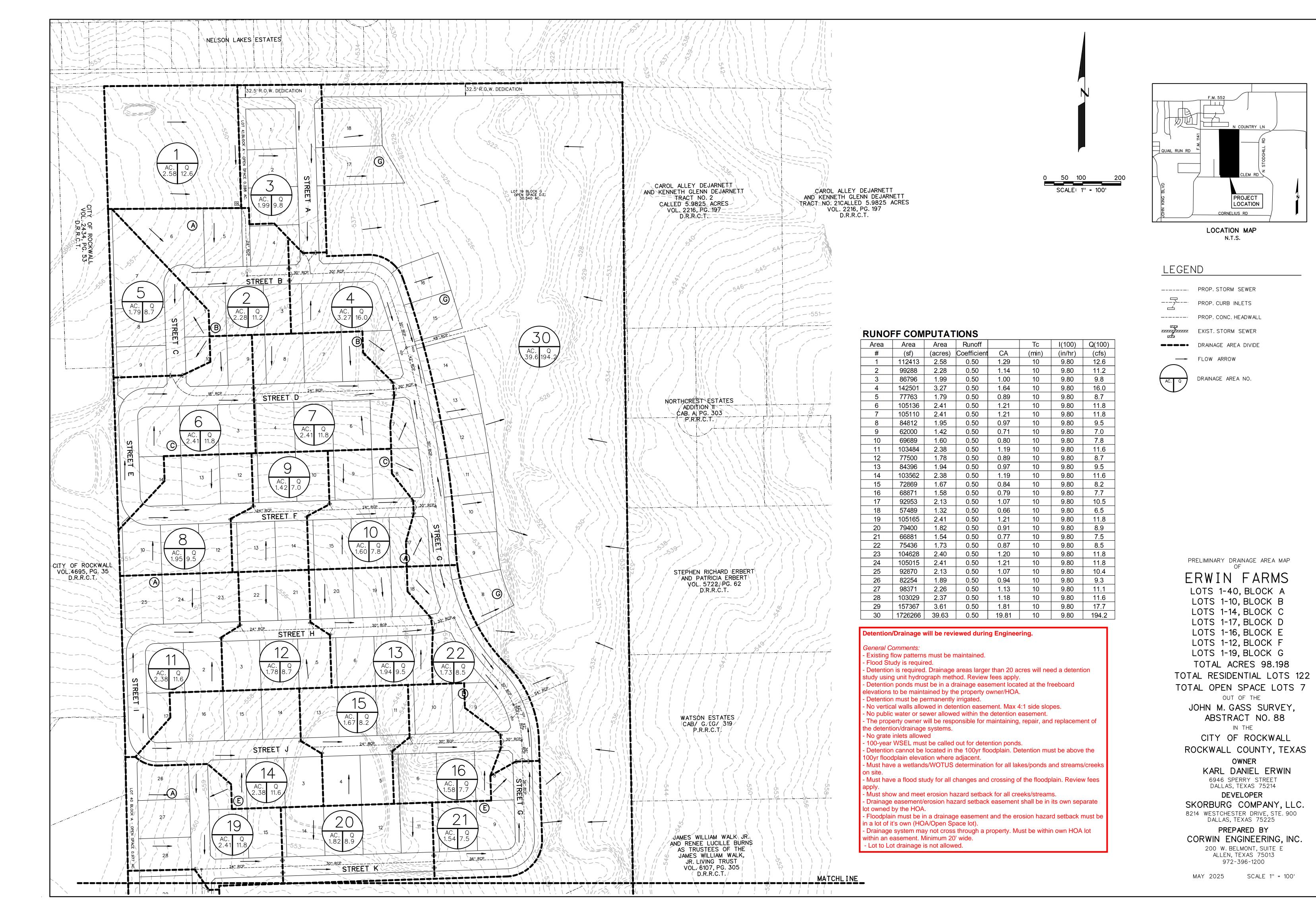
MAY 2025 SCALE 1" = 100"

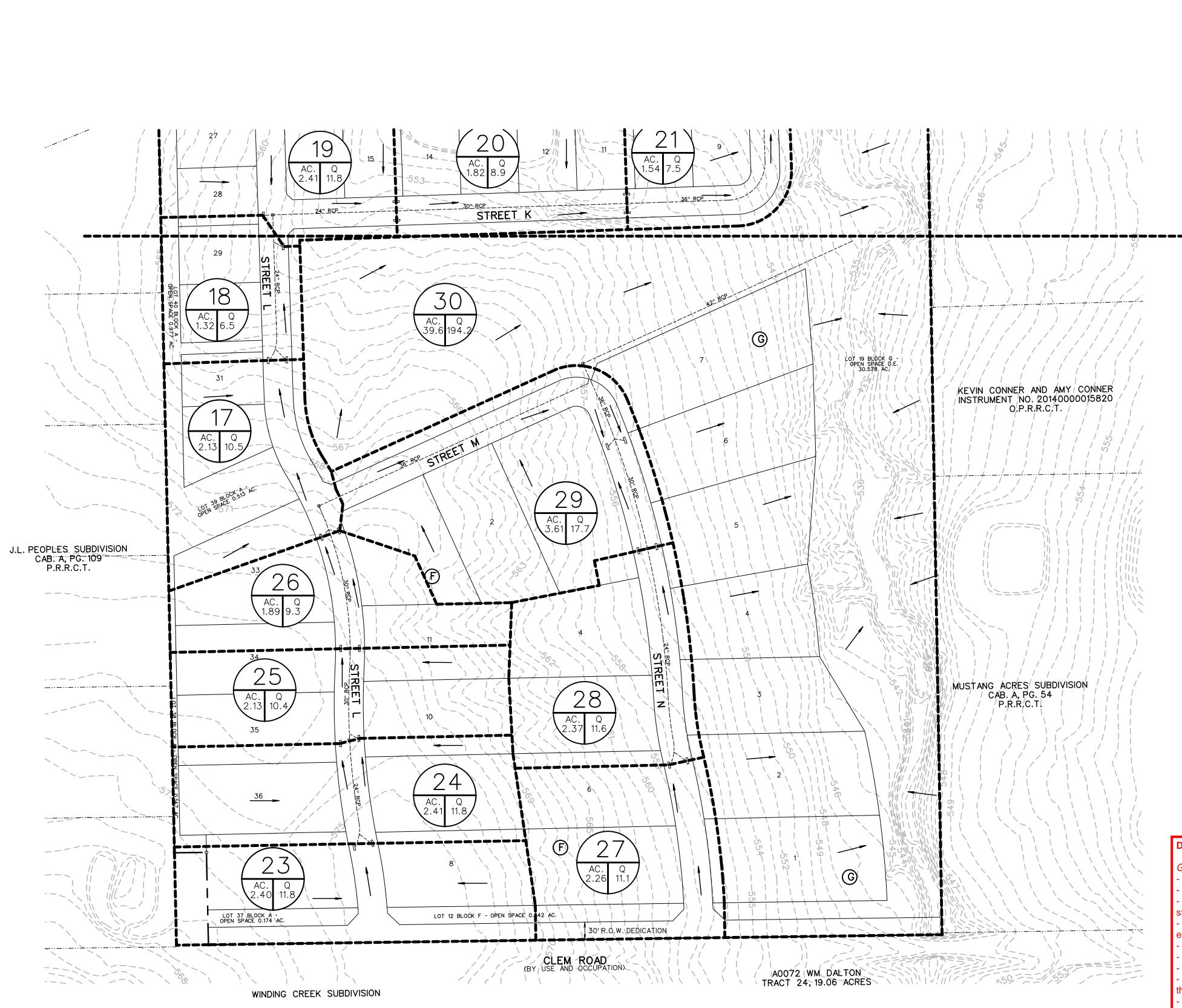


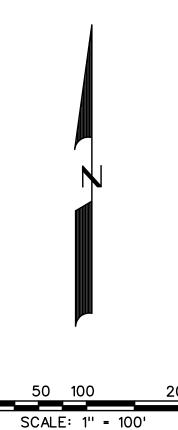
CORWIN JOB #25024



CORWIN JOB #25024







## **RUNOFF COMPUTATIONS**

Area	Area	Area	Runoff		Tc	I(100)	Q(100)
#	(sf)	(acres)	Coefficient	CA	(min)	(in/hr)	(cfs)
1	112413	2.58	0.50	1.29	10	9.80	12.6
2	99288	2.28	0.50	1.14	10	9.80	11.2
3	86796	1.99	0.50	1.00	10	9.80	9.8
4	142501	3.27	0.50	1.64	10	9.80	16.0
5	77763	1.79	0.50	0.89	10	9.80	8.7
6	105136	2.41	0.50	1.21	10	9.80	11.8
7	105110	2.41	0.50	1.21	10	9.80	11.8
8	84812	1.95	0.50	0.97	10	9.80	9.5
9	62000	1.42	0.50	0.71	10	9.80	7.0
10	69689	1.60	0.50	0.80	10	9.80	7.8
11	103484	2.38	0.50	1.19	10	9.80	11.6
12	77500	1.78	0.50	0.89	10	9.80	8.7
13	84396	1.94	0.50	0.97	10	9.80	9.5
14	103562	2.38	0.50	1.19	10	9.80	11.6
15	72869	1.67	0.50	0.84	10	9.80	8.2
16	68871	1.58	0.50	0.79	10	9.80	7.7
17	92953	2.13	0.50	1.07	10	9.80	10.5
18	57489	1.32	0.50	0.66	10	9.80	6.5
19	105165	2.41	0.50	1.21	10	9.80	11.8
20	79400	1.82	0.50	0.91	10	9.80	8.9
21	66881	1.54	0.50	0.77	10	9.80	7.5
22	75436	1.73	0.50	0.87	10	9.80	8.5
23	104628	2.40	0.50	1.20	10	9.80	11.8
24	105015	2.41	0.50	1.21	10	9.80	11.8
25	92870	2.13	0.50	1.07	10	9.80	10.4
26	82254	1.89	0.50	0.94	10	9.80	9.3
27	98371	2.26	0.50	1.13	10	9.80	11.1
28	103029	2.37	0.50	1.18	10	9.80	11.6
29	157367	3.61	0.50	1.81	10	9.80	17.7
30	1726266	39.63	0.50	19.81	10	9.80	194.2

### Detention/Drainage will be reviewed during Engineering.

### General Comments:

- Existing flow patterns must be maintained.

- Flood Study is required.

- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.

- Detention ponds must be in a drainage easement located at the freeboard

elevations to be maintained by the property owner/HOA.

- Detention must be permanently irrigated.

- No vertical walls allowed in detention easement. Max 4:1 side slopes.

- No public water or sewer allowed within the detention easement.

- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

- No grate inlets allowed

- 100-year WSEL must be called out for detention ponds.

- Detention cannot be located in the 100yr floodplain. Detention must be above the

100yr floodplain elevation where adjacent.

- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks

- Must have a flood study for all changes and crossing of the floodplain. Review fees

- Must show and meet erosion hazard setback for all creeks/streams. - Drainage easement/erosion hazard setback easement shall be in its own separate

lot owned by the HOA. - Floodplain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot).

- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.

- Lot to Lot drainage is not allowed.

### LEGEND

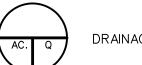
----- PROP. STORM SEWER

----- PROP. CURB INLETS

----- PROP. CONC. HEADWALL EXIST. STORM SEWER

---- DRAINAGE AREA DIVIDE

── FLOW ARROW



DRAINAGE AREA NO.

PRELIMINARY DRAINAGE AREA MAP OF

## ERWIN FARMS

LOTS 1-40, BLOCK A

LOTS 1-10, BLOCK B

LOTS 1-14, BLOCK C

LOTS 1-17, BLOCK D

LOTS 1-16, BLOCK E

LOTS 1-12, BLOCK F LOTS 1-19, BLOCK G

TOTAL ACRES 98.198

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SKORBURG COMPANY, LLC. 8214 WESTCHESTER DRIVE, STE. 900

DALLAS, TEXAS 75225 PREPARED BY

CORWIN ENGINEERING, INC. 200 W. BELMONT, SUITE E

ALLEN, TEXAS 75013 972-396-1200

MAY 2025 SCALE 1" = 100"



### **DEVELOPMENT APPLICATION**

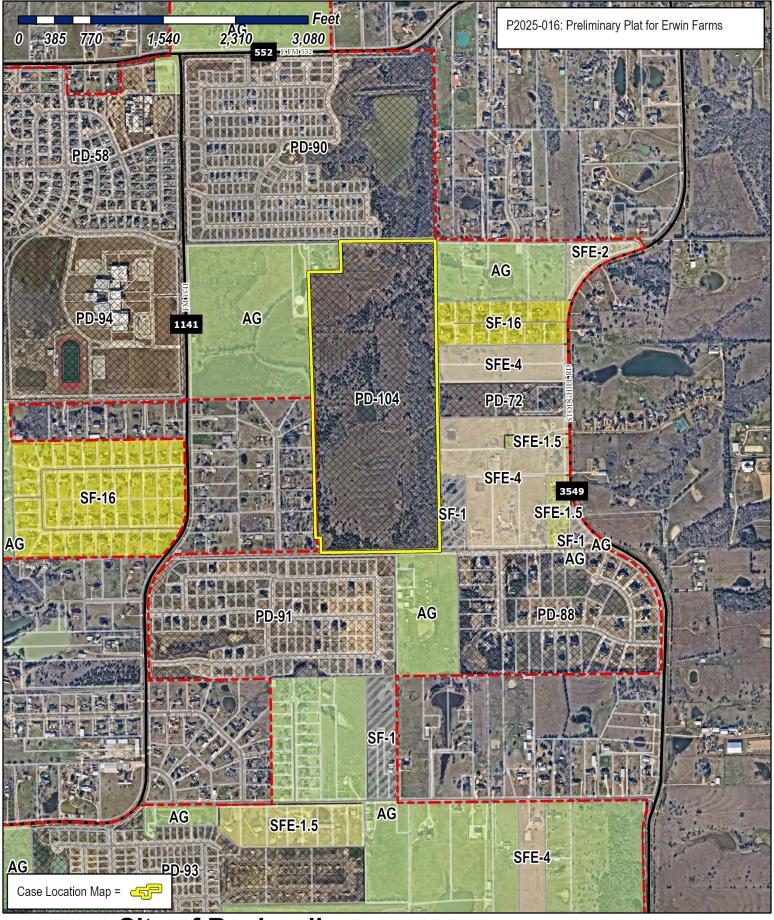
City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASE NO.
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Rockwall, Texas 75087				CITY ENG	R OF PLANNING:	
PLEASE CHECK THE AP	PROPRIATE ROY RELOW TO I	NDICATE THE TYPE	OF DEVELOPME	NT REQUE	ST (SELECT ONLY ONE	BOXI:
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF D  PLATTING APPLICATION FEES:  MASTER PLAT (\$100.00 + \$15.00 ACRE) 1  PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1  FINAL PLAT (\$300.00 + \$20.00 ACRE) 1  REPLAT (\$300.00 + \$20.00 ACRE) 1  AMENDING OR MINOR PLAT (\$150.00)  PLAT REINSTATEMENT REQUEST (\$100.00)  SITE PLAN APPLICATION FEES:  SITE PLAN (\$250.00 + \$20.00 ACRE) 1  AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			ZONING .  ZONING .  ZONING .  SPECION PD DE  OTHER A  TREE  VARIA  NOTES:  IN DETERM PER ACRE A  A \$1,000.1	APPLICAT  IG CHANG  IFIC USE F  VELOPME  APPLICATI  REMOVAL  NOE REQUIRE  MINING THE F  MOUNT. FOR  100 FEE WILL	ION FEES:  E (\$200.00 + \$15.00 ACR  ERMIT (\$200.00 + \$15.00  NT PLANS (\$200.00 + \$1  ON FEES:  (\$75.00)  JEST/SPECIAL EXCEPT  EE, PLEASE USE THE EXACT ACREQUESTS ON LESS THAN ONE BE ADDED TO THE APPLICAT	RE) <sup>1</sup> D ACRE) <sup>1 &amp; 2</sup> 5.00 ACRE) <sup>1</sup>
PROPERTY INFOR	MATION [PLEASE PRINT]					
ADDRESS						
SUBDIVISION	Erwin Farms				LOT	BLOCK
GENERAL LOCATION	South of Country (	Club				
ZONING, SITE PLA	N AND PLATTING INFO	ORMATION [PLEA	SE PRINT]			
CURRENT ZONING	PD-104		CURREN	T USE	SF	
PROPOSED ZONING			PROPOSE	D USE		
ACREAGE	98.198	LOTS [CURRENT	n Haria		LOTS [PROPOS	ED] 128
SITE PLANS AND PAREGARD TO ITS APPRESULT IN THE DEN	PROVAL PROCESS, AND FAILURE	YOU ACKNOWLEDGE T E TO ADDRESS ANY OF	THAT DUE TO THE STAFF'S COMME	E PASSAGE NTS BY THI	OF <u>HB3167</u> THE CITY NO EDATE PROVIDED ON THE	) LONGER HAS FLEXIBILITY WITE E DEVELOPMENT CALENDAR WIL
OWNER/APPLICAN	IT/AGENT INFORMATI	ON [PLEASE PRINT/CI	HECK THE PRIMAR	RY CONTAC	T/ORIGINAL SIGNATURES	ARE REQUIRED]
□ OWNER	Erwin Farms SF, LTI	D.	☐ APPLIC	ANT	Corwin Enginee	ering, Inc.
CONTACT PERSON	John Arnold		CONTACT PER	SON	Chase Finch	
ADDRESS	8214 Westchester D	r. Ste. 900	ADDR	RESS	200 W. Belmon	t, Ste. E
CITY, STATE & ZIP	Dallas, Tx 75202		CITY, STATE 8	& ZIP	Allen, Texas 7	5013
PHONE	214-522-4945		PH	ONE	972-396-1200	
E-MAIL	jarnold@skorburgco	mpany.com	E-I	MAIL	cfinch@corwine	engineering.com
STATED THE INFORMATION	GNED AUTHORITY, ON THIS DAY ON THIS APPLICATION TO BE TF WITHE OWNER FOR THE PURPOSE TO COVER THE COST	RUE AND CERTIFIED THI OF THIS APPLICATION; A OF THIS APPLICATION, H.	E FOLLOWING: ALL INFORMATION S AS BEEN PAID TO T	HE CITY OF	HEREIN IS TRUE AND CORR.	NER] THE UNDERSIGNED, WHO  ECT; AND THE APPLICATION FEE OF  DAY OF  RIZED AND PERMITTED TO PROVIDE
INFORMÁTION CONTAINED ( SUBMITTED IN CONJUNCTION		IE PUBLIC. THE CITY IS I REPRODUCTION IS ASS	S ALSO AUTHORIZ OCIATED OR IN RES	ED AND PE	RMITTED TO REPRODUCE	ANY COPYRIGHTED INFORMATION

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

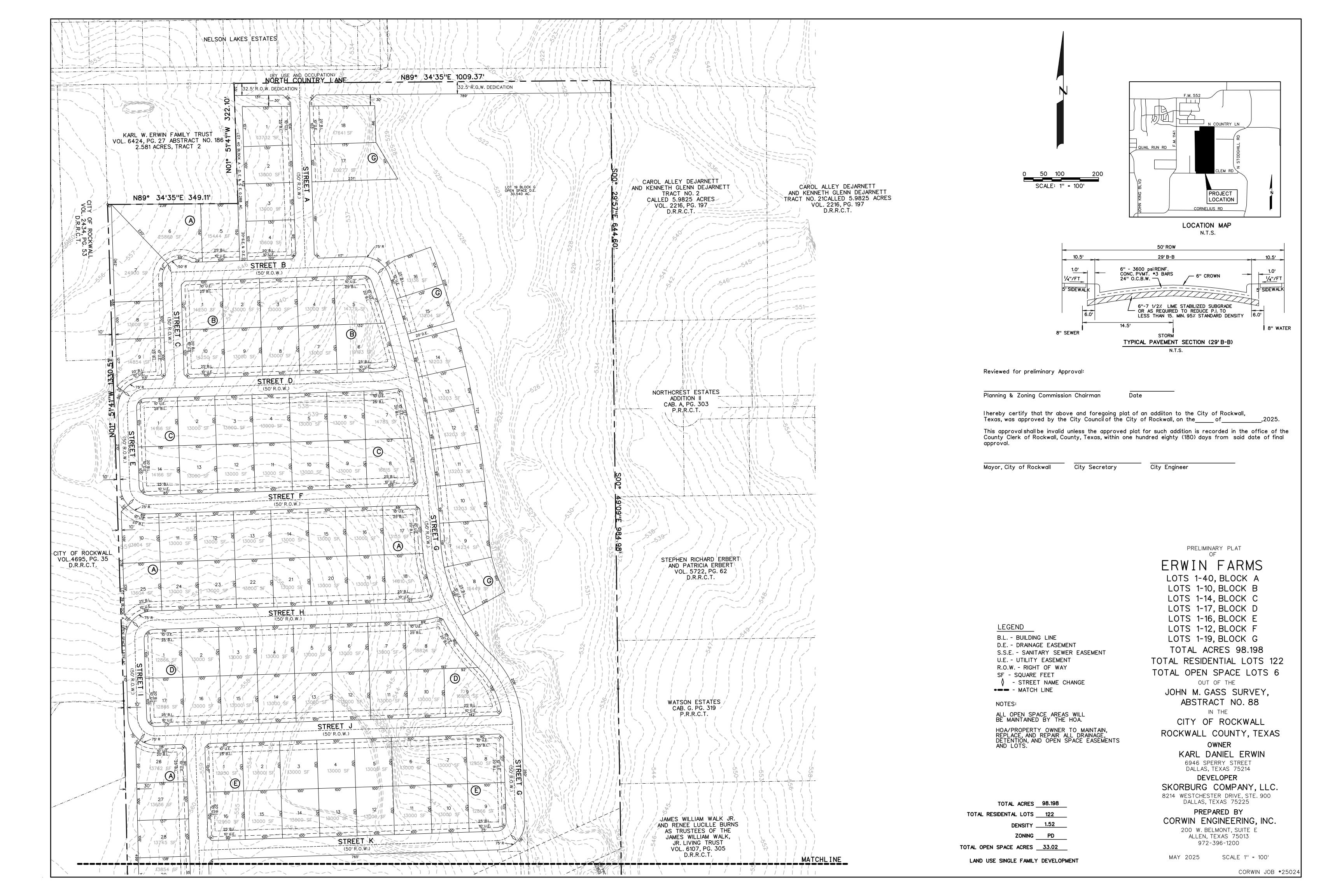


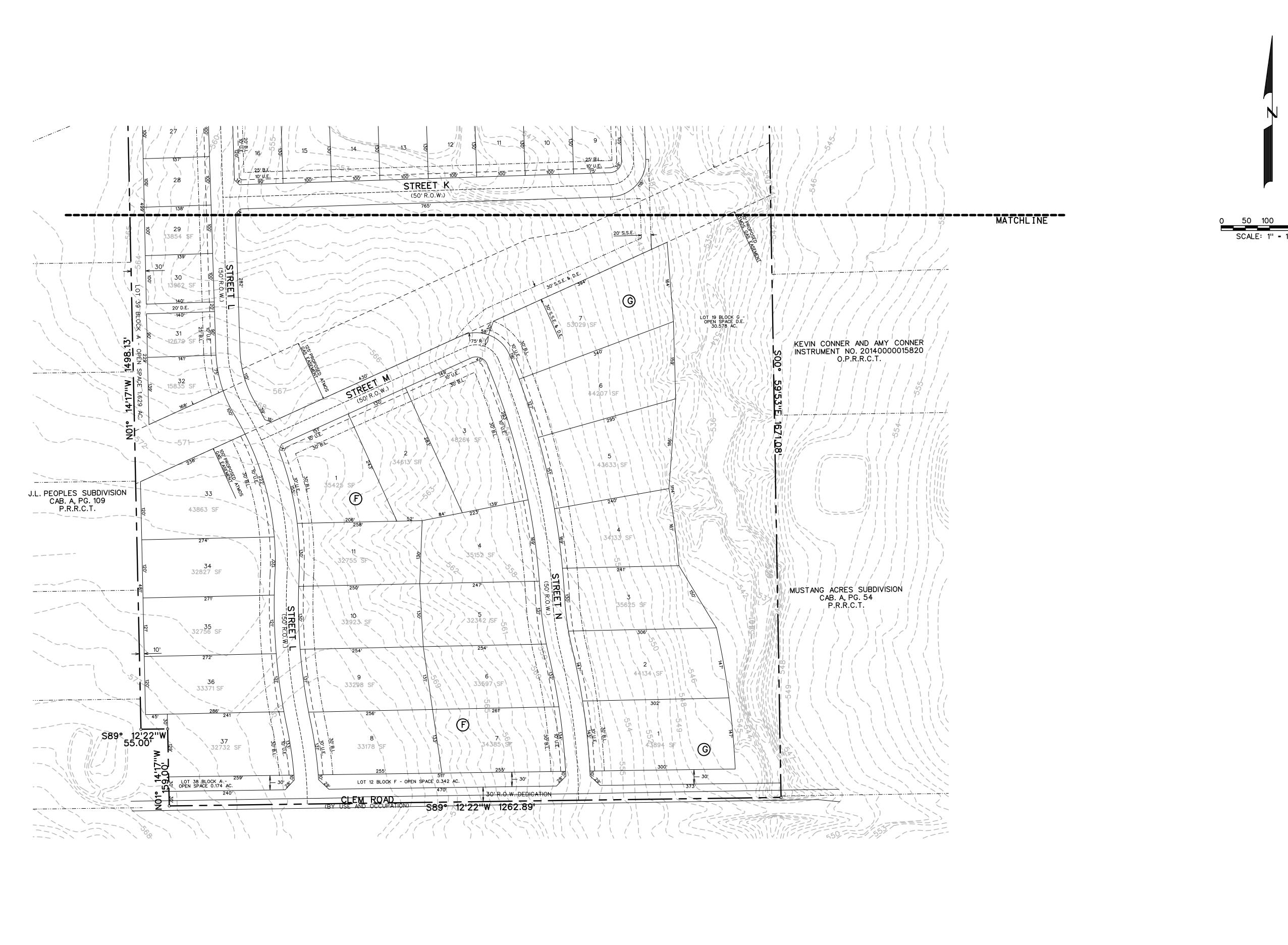


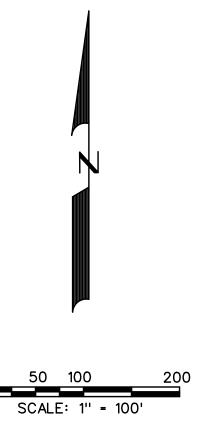
# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









PRELIMINARY PLAT OF

## ERWIN FARMS

LOTS 1-40, BLOCK A LOTS 1-10, BLOCK B

LOTS 1-14, BLOCK C LOTS 1-17, BLOCK D

LOTS 1-16, BLOCK E

LOTS 1-12, BLOCK F

LOTS 1-19, BLOCK G

TOTAL ACRES 98.198

TOTAL RESIDENTIAL LOTS 122 TOTAL OPEN SPACE LOTS 7

OUT OF THE

JOHN M. GASS SURVEY, ABSTRACT NO. 88

IN THE

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

OWNER

KARL DANIEL ERWIN

6946 SPERRY STREET DALLAS, TEXAS 75214

DEVELOPER

SKORBURG COMPANY, LLC.

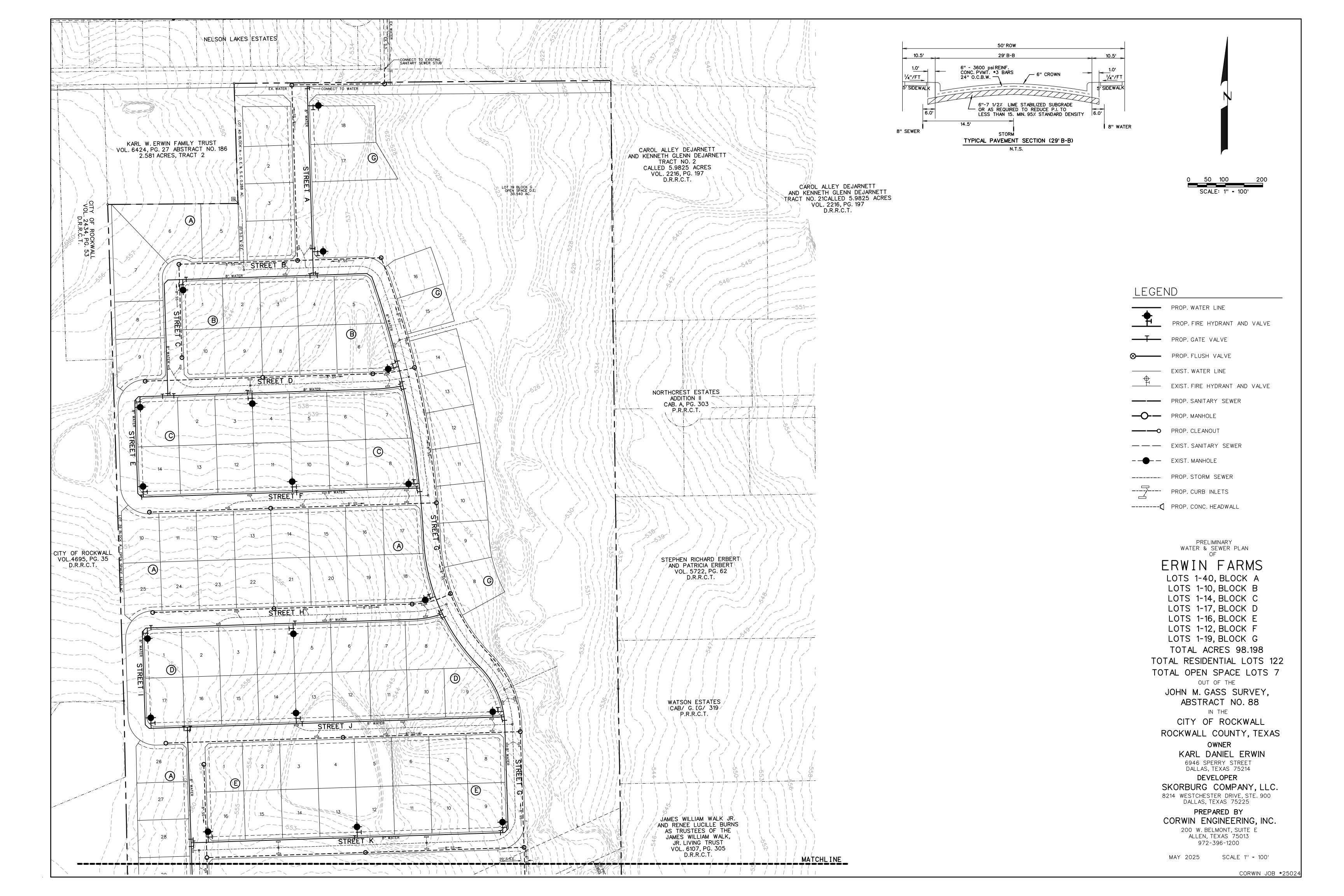
8214 WESTCHESTER DRIVE, STE. 900 DALLAS, TEXAS 75225

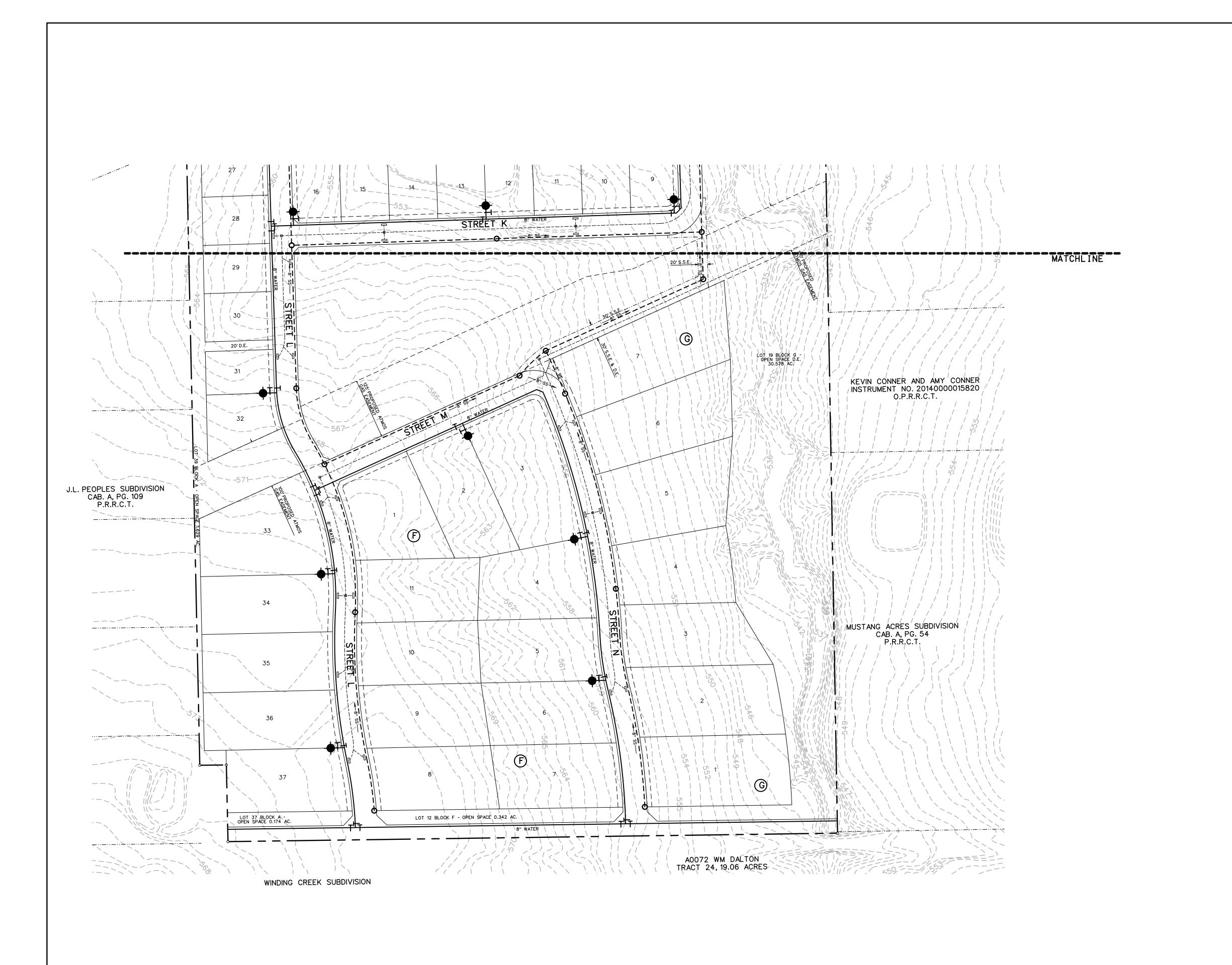
PREPARED BY

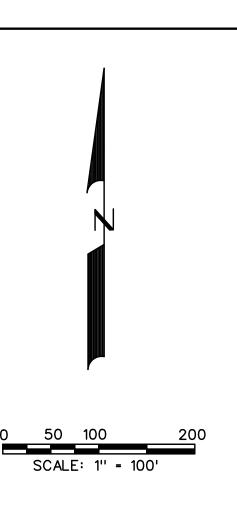
CORWIN ENGINEERING, INC. 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013

972-396-1200

MAY 2025 SCALE 1" = 100"







PROP. WATER LINE

PROP. FIRE HYDRANT AND VALVE

PROP. GATE VALVE

PROP. FLUSH VALVE

EXIST. WATER LINE

EXIST. FIRE HYDRANT AND VALVE

PROP. SANITARY SEWER

PROP. MANHOLE

PROP. CLEANOUT

EXIST. SANITARY SEWER

PROP. STORM SEWER

PROP. CURB INLETS

PROP. CONC. HEADWALL

LEGEND

PRELIMINARY WATER & SEWER PLAN OF

# ERWIN FARMS

LOTS 1-40, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-14, BLOCK C
LOTS 1-17, BLOCK D
LOTS 1-16, BLOCK E
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TOTAL ACRES 98.198
TOTAL RESIDENTIAL LOTS 122
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OUT OF THE
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ABSTRACT NO. 88
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
KARL DANIEL ERWIN

6946 SPERRY STREET DALLAS, TEXAS 75214 **DEVELOPER** 

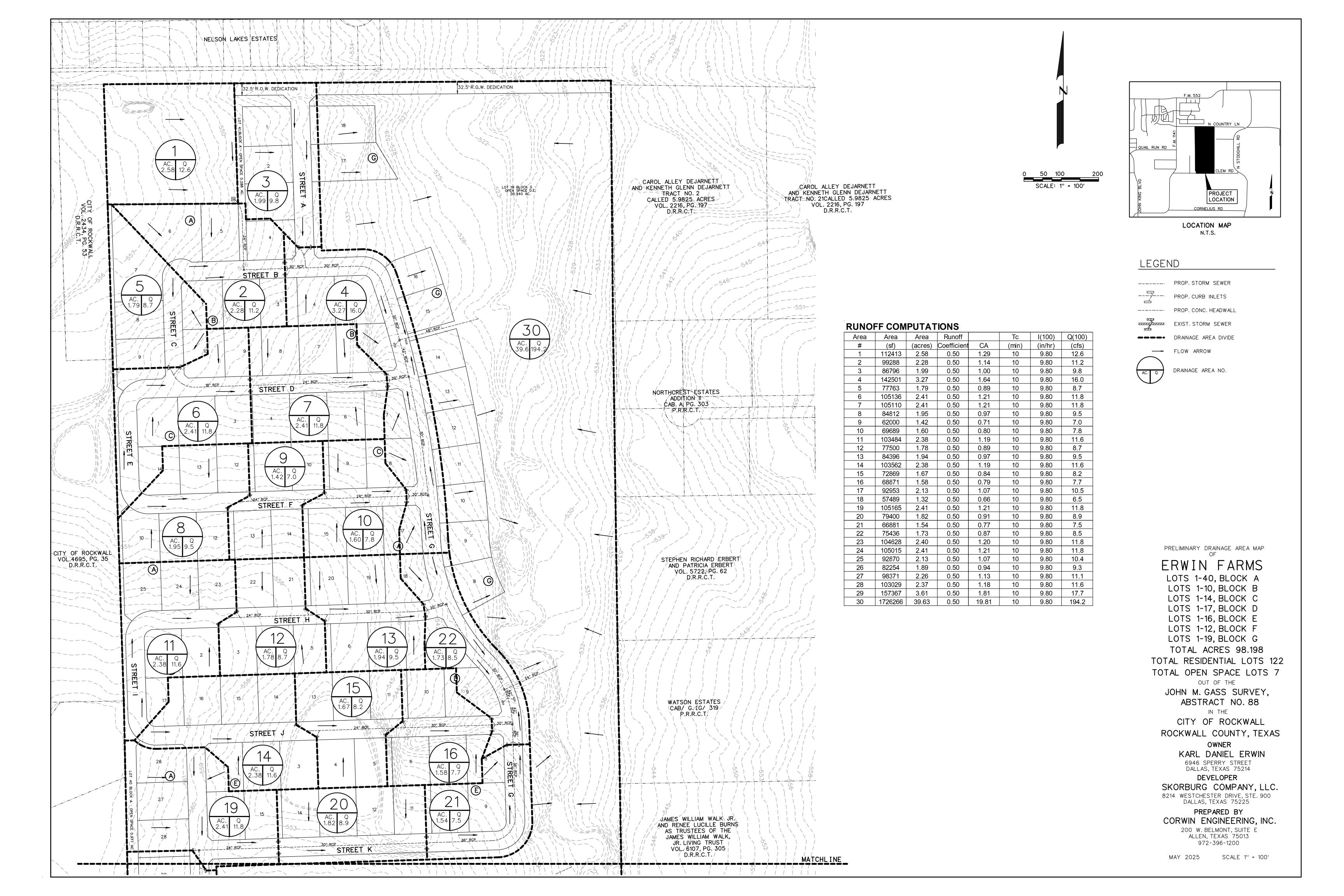
SKORBURG COMPANY, LLC.
8214 WESTCHESTER DRIVE, STE. 900
DALLAS, TEXAS 75225

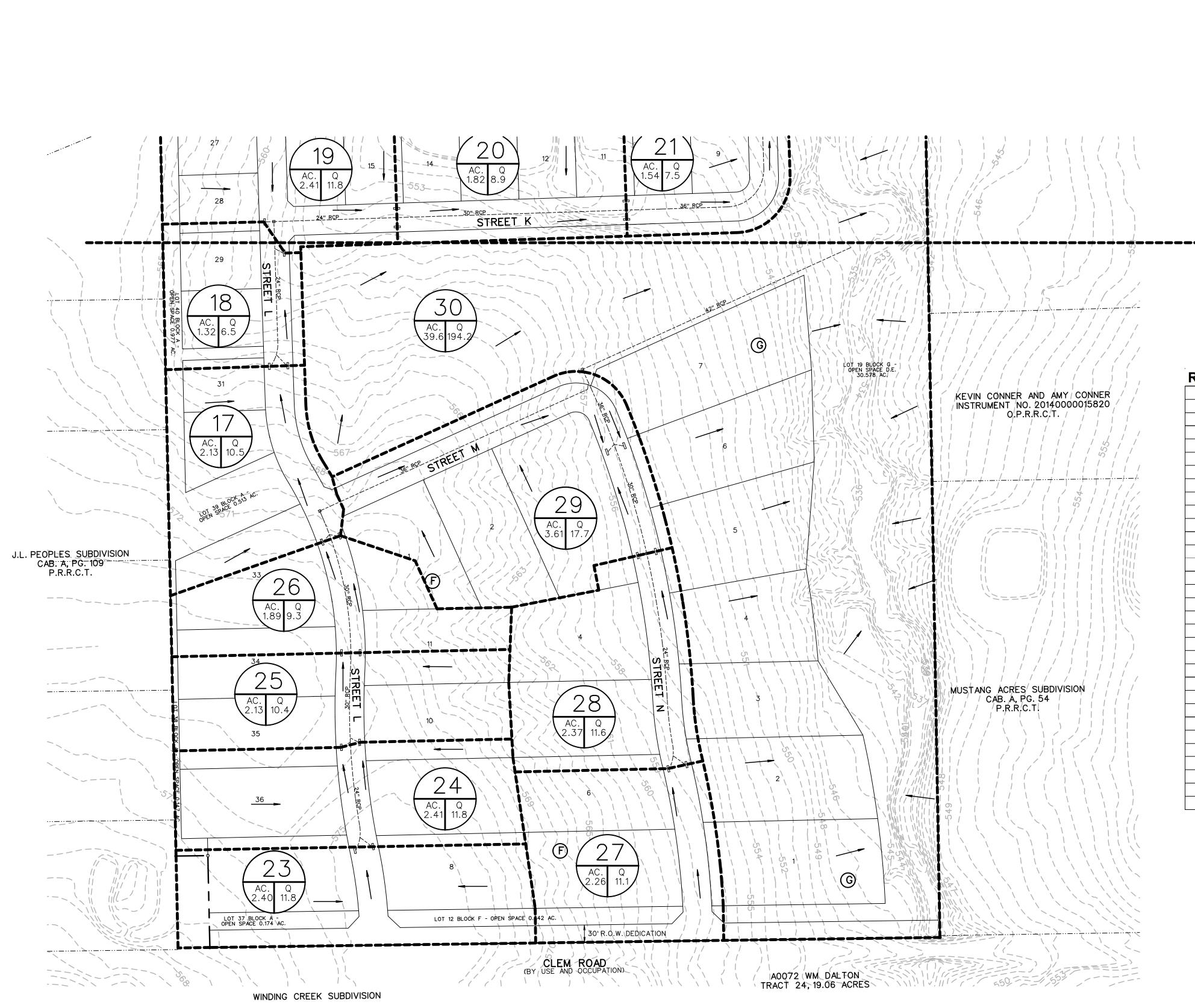
PREPARED BY
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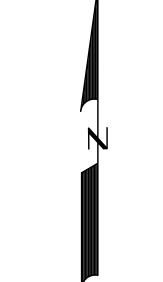
972-396-1200

MAY 2025 SCALE 1" = 100"

CORWIN JOB #25024







0 50 100 200 SCALE: 1" = 100'

### **RUNOFF COMPUTATIONS**

Area	Area	Area	Runoff		Tc	I(100)	Q(100)
#	(sf)	(acres)	Coefficient	CA	(min)	(in/hr)	(cfs)
1	112413	2.58	0.50	1.29	10	9.80	12.6
2	99288	2.28	0.50	1.14	10	9.80	11.2
3	86796	1.99	0.50	1.00	10	9.80	9.8
4	142501	3.27	0.50	1.64	10	9.80	16.0
5	77763	1.79	0.50	0.89	10	9.80	8.7
6	105136	2.41	0.50	1.21	10	9.80	11.8
7	105110	2.41	0.50	1.21	10	9.80	11.8
8	84812	1.95	0.50	0.97	10	9.80	9.5
9	62000	1.42	0.50	0.71	10	9.80	7.0
10	69689	1.60	0.50	0.80	10	9.80	7.8
11	103484	2.38	0.50	1.19	10	9.80	11.6
12	77500	1.78	0.50	0.89	10	9.80	8.7
13	84396	1.94	0.50	0.97	10	9.80	9.5
14	103562	2.38	0.50	1.19	10	9.80	11.6
15	72869	1.67	0.50	0.84	10	9.80	8.2
16	68871	1.58	0.50	0.79	10	9.80	7.7
17	92953	2.13	0.50	1.07	10	9.80	10.5
18	57489	1.32	0.50	0.66	10	9.80	6.5
19	105165	2.41	0.50	1.21	10	9.80	11.8
20	79400	1.82	0.50	0.91	10	9.80	8.9
21	66881	1.54	0.50	0.77	10	9.80	7.5
22	75436	1.73	0.50	0.87	10	9.80	8.5
23	104628	2.40	0.50	1.20	10	9.80	11.8
24	105015	2.41	0.50	1.21	10	9.80	11.8
25	92870	2.13	0.50	1.07	10	9.80	10.4
26	82254	1.89	0.50	0.94	10	9.80	9.3
27	98371	2.26	0.50	1.13	10	9.80	11.1
28	103029	2.37	0.50	1.18	10	9.80	11.6
29	157367	3.61	0.50	1.81	10	9.80	17.7
30	1726266	39.63	0.50	19.81	10	9.80	194.2

LEGEND

----- PROP. STORM SEWER

PROP. CURB INLETS

PROP. CONC. HEADWALL
EXIST. STORM SEWER

DRAINAGE AREA DIVIDE

FLOW ARROW

DRAINAGE AREA NO.

PRELIMINARY DRAINAGE AREA MAP OF

## ERWIN FARMS

LOTS 1-40, BLOCK A LOTS 1-10, BLOCK B

LOTS 1-14, BLOCK C

LOTS 1-17, BLOCK D

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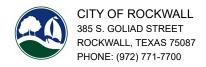
SKORBURG COMPANY, LLC. 8214 WESTCHESTER DRIVE, STE. 900 DALLAS, TEXAS 75225

PREPARED BY CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E ALLEN, TEXAS 75013 972-396-1200

MAY 2025 SCALE 1" = 100"

### PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: P2025-018

PROJECT NAME: Master Plat for Erwin Farms

SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the

for the approval of a Master Plat for Erwin Farms Subdivision consisting of 122 residential lots on a 98.198-acre tract of land

identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	05/22/2025	Approved w/ Comments	_

05/22/2025: P2025-018: Master Plat for the Erwin Farms Subdivision

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Master Plat for Erwin Farms Subdivision consisting of 122 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses, and generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141.
- 1.2 For guestions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (P2025-018) in the lower right-hand corner of all pages on future submittals.
- M.4 Add a note to the Parks and Open Space Plan stating that fencing along North Country Lane, Clem Road, and open space shall be wrought iron or tubular steel, and all rear-yard fencing facing trails shall be maintained by the HOA. (Ordinance No. 25-15, Exhibit C) The fencing around the sports courts shall be wrought-iron.
- M.5 Please update the title block as follows based on the requirements provided in Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances:

Master Plat

**Erwin Farms** 

Being 122 Residential Lots and 6 Open Space Lots

98.198-acres or 4,277,504.88 SF

Situated within the John M. Gass Survey, Abstract No. 88

City of Rockwall, Rockwall County, Texas

- M.6 The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plane coordinates (NAD 83 State Plan Texas, North Central [7202], US Survey Feet). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.7 Please update the master plat to match the preliminary plat after revisions. (Ordinance 25-15) Update the lot depths and widths as shown on the markups.

- M.8 Label all 10-foot public utility easements (PUEs) located behind the sidewalk in the front yard of each lot. Utilities must be located in these easements. (Ordinance No. 25-15, Exhibit C; Municipal Code of Ordinances, Sec. 38-7)
- M.9 Indicate the proposed number of Dwelling Units and the proposed Population Density (i.e. total number of Dwelling Units/Total Acreage = Population Density). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.10 Label all proposed and existing streets with the proposed names so that staff can verify the proposed names. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.11 Indicate the zoning classification [i.e. PD-104 for Single Family 10 (SF-10) District].
- M.12 Identify the dimensions, names, and description of all existing public parks. (i.e. Alma Williams on the west side of the development). Please label the tract as "Alma Williams Park, City of Rockwall VOL. 4695, PG. 35 D.R.R.C.T". (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.13 Place the Legal Description (i.e. Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
- M.14 Place the following General Notes provided in the Standard Plat Wording section of the application packet which is attached:
- Subdivider's Statement
- **Public Improvement Statement**
- **Drainage and Detention Easements**
- Fire Lanes
- Street Appurtenances
- M.15 Provide a general note stating that septic systems shall only be used on Lot Types B and C and must comply with applicable On-Site Sewage Facility (OSSF) standards. (Exhibit C, Ordinance No. 25-15,)
- Include a general note indicating that the Homeowners Association (HOA) will be responsible for the ongoing maintenance of all trails, open space, and associated M.16 amenities. (Exhibit C, Ordinance No. 25-15)
- M.17 Provide the Owner's Certificate of Dedication for all public right-of-way easements, parks and open space, and other public uses provided in the Standard Plat Wording section of the application packet (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.18 All signatures on the Owner's Certificate of Dedication shall be required to be acknowledged by a notary public. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.19 Provide the following signature block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

	APPROVED: I hereby certify that the above and forgoing Master Plat was reviewed by the planning and zoning commission and approved by the city council of the City	/ of
Rockwal	Texas on the [DAY] day of [MONTH], [YEAR]	

PLANNING AND ZONING COMMISSION CHAIRMAN

MAYOR OF THE CITY OF ROCKWALL

- 1.20 The next step in the process is engineering submittal. Please address planning comments on landscape and site plans at engineering as these will be the same comments on the PD Site Plan.
- I.21 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: May 27, 2025

Park Board meeting: June 3, 2025

Planning and Zoning Commission: June 10, 2025

City Council: June 16, 2025

I.22 Please note that once the Master Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments

05/22/2025: 1. signature page missing.

2. See additional comments on the Preliminary Plat P2025-016 Submittal.

#### **General Comments:**

#### General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Additional comments may be provided at time of Engineering.
- Crossings of gas Easement will require approval of gas company.

#### Streets/Paving:

- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City driveway spacing requirements must be met.
- Any medians must be curbed, and streets draining away from medians.
- Must construct all roadways on the current Master Thoroughfare Plan
- A Major Collector, Undivided 4-Lane Roadway (M4U), with a 65' ROW dedication will be required for N. Country Lane (must build 24' min. on the section adjacent to development if accessing). A minimum 5' sidewalk will be required on both sides of the roadway if building the full width.
- A Minor Collector, Undivided 2-Lane Roadway (MC), with a 60' ROW will be required for Clem Road (must build 24' min. on the section adjacent to development if accessing). A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.

#### Water and Wastewater Items:

- An Infrastructure study has been completed. All infrastructure recommendations/requirements in study must be constructed.

- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have 8" sewer line minimum through the property.
- Must install 12" water main per City master plans. Dedicate easements or through the subdivision.
- Must install a 8" and 10" sewer main per City master plans. Dedicate easements.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Utilities may not cross through a residential property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Easement widths depend on depth of utility.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Water not served by the City. This property is located within the Mount Zion WSC CCN.
- Need to opt out of the Mount Zion WSC. If not, must have flow reports that verify fire flow and TCEQ min. standards are met.
- Possible pro-ratas to be paid. Contact Engineering for any pro-ratas.

#### Drainage/Floodplain/Lakes:

- Existing flow patterns must be maintained.
- Flood Study is required
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.
- Detention must be permanently irrigated.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Detention cannot be located in the 100yr floodplain. Detention must be above the 100yr floodplain elevation where adjacent.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
- Floodplain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot).
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.

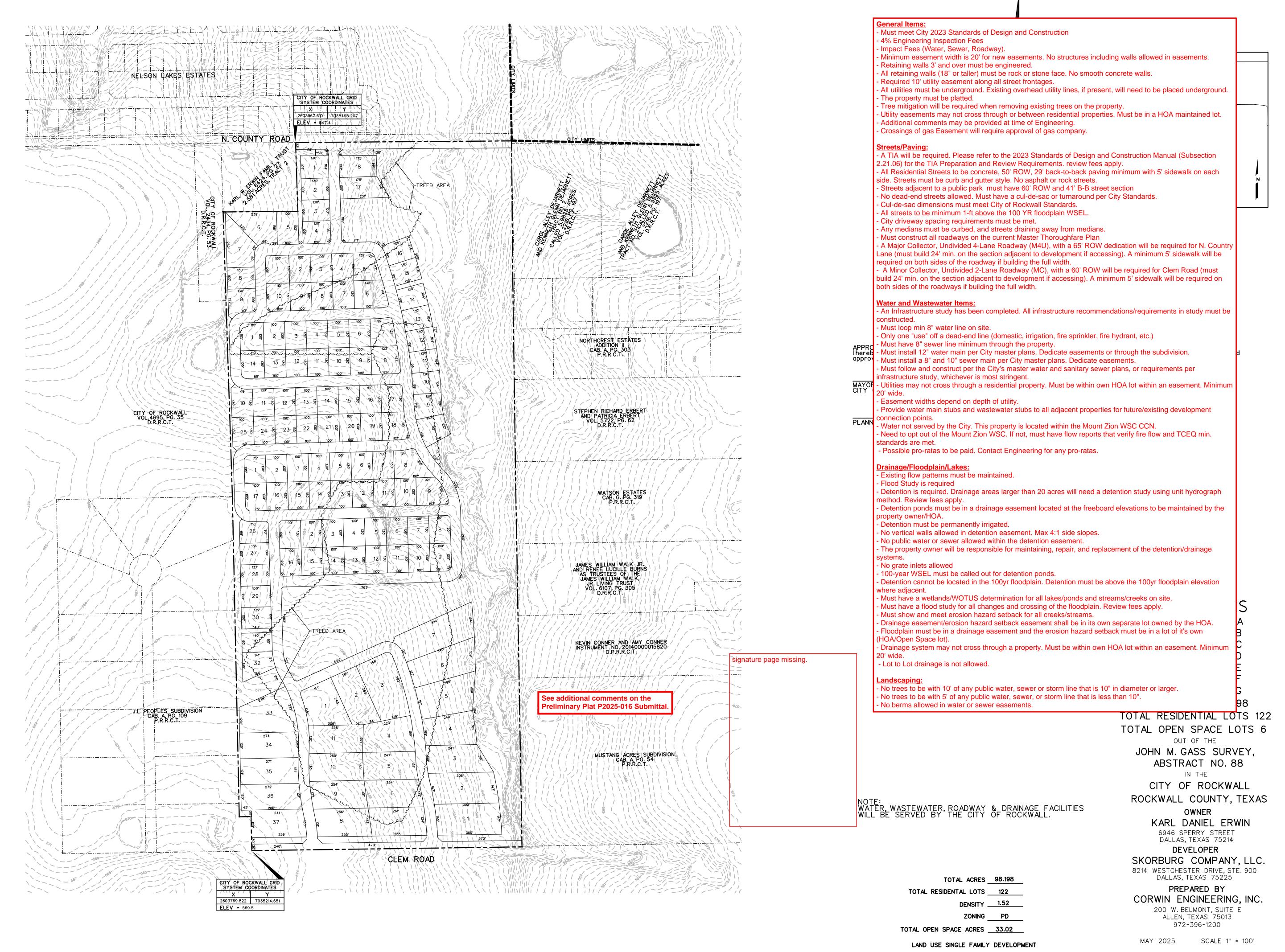
#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No berms allowed in water or sewer easements

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved	
No Comments				_
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	

<u>DEPARTMENT</u>	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved w/ Comments	

05/19/2025: For this Master Plat the Parks and Recreation Board will be assessing Pro-Rata Equipment Fees and Cash-In-Lieu of Land Fees for Erwin Farms Subdivision, which will consist of 122 lots. The fees to be assessed are as follows: [1] Cash-In-Lieu of Land Fees of \$214,605.32 (i.e. \$1759.06 x 122 lots = \$214,605.32), and [2] Pro-Rata Equipment Fees of \$183,390.40 (i.e. \$1503.20 x 122 lots = \$183,390.40). The total fees assessed will be \$397,995.72.





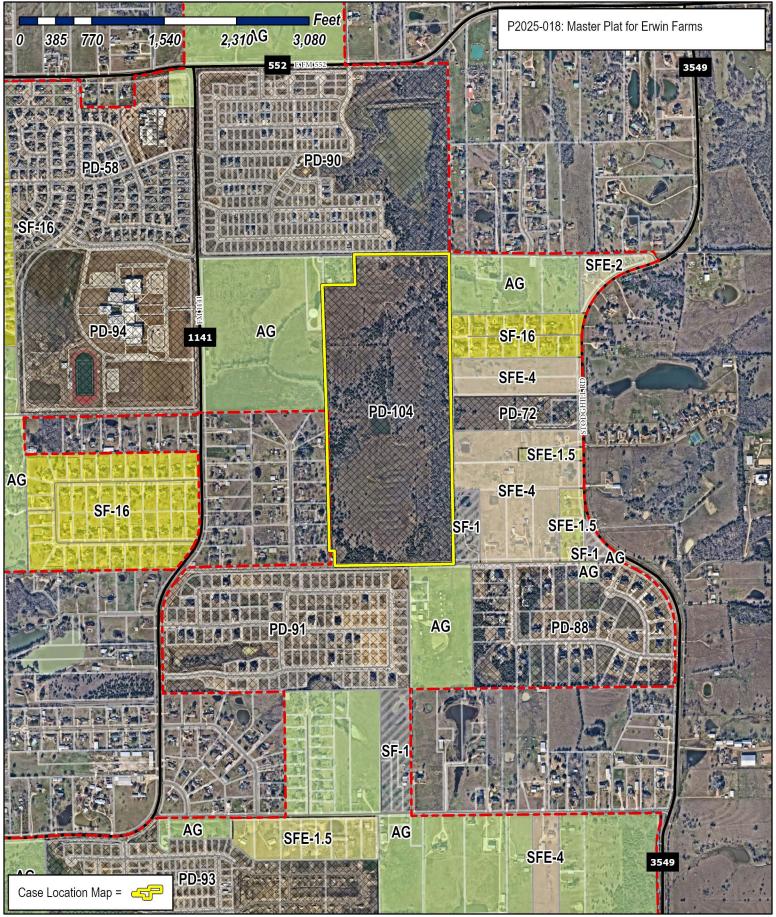
### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASE NO.
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:			ZONING APPLICATION FEES:  ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1  SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1  OTHER APPLICATION FEES:  TREE REMOVAL (\$75.00)  VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2  NOTES:  IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  A \$1.000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.		
PROPERTY INFOI	RMATION [PLEASE PRINT]				
ADDRESS					
SUBDIVISION	Erwin Farms			LOT	BLOCK
GENERAL LOCATION	South of Country Club				
ZONING, SITE PLA	AN AND PLATTING INFORMAT	TION [PLEASE PI	RINT]		
CURRENT ZONING			CURRENT USE		
PROPOSED ZONING			PROPOSED USE		
ACREAGE	<b>98.198</b> LOT	S [CURRENT]		LOTS [PROPOSED]	128
REGARD TO ITS AF RESULT IN THE DE	PLATS: BY CHECKING THIS BOX YOU ACK PPROVAL PROCESS, AND FAILURE TO ADDI NIAL OF YOUR CASE. NT/AGENT INFORMATION [PLE	RESS ANY OF STA	FF'S COMMENTS BY	THE DATE PROVIDED ON THE DEVI	ELOPMENT CALENDAR WILL
■ OWNER	Erwin Farms SF, LTD.		☐ APPLICANT	Corwin Engineering	, Inc.
CONTACT PERSON	- John Arnold ADAM But	:2812 CO	NTACT PERSON	Chase Finch	
ADDRESS	8214 Westchester Dr. Ste.	900	ADDRESS	200 W. Belmont, St	e. E
CITY, STATE & ZIP	Dallas, Tx 75202	CI	ITY, STATE & ZIP	Allen, Texas 75013	
PHONE	214-522-4945		PHONE	972-396-1200	
E-MAIL	-jarnold@skorburgcompany	.com	E-MAIL	cfinch@corwinengir	neering.com
STATED THE INFORMATIO	IGNED AUTHORITY, ON THIS DAY PERSONA N ON THIS APPLICATION TO BE TRUE AND C	CERTIFIED THE FO	<u>-John A</u> LLOWING:		THE UNDERSIGNED, WHO
1,572,97  May  NFORMATION CONTAINED	AM THE OWNER FOR THE PURPOSE OF THIS A TO COVER THE COST OF THIS AF 20 <u>25</u> . BY SIGNING THIS APPLI WITHIN THIS APPLICATION TO THE PUBLIC. IN WITH THIS APPLICATION, IF SUCH REPRODU	PPLICATION, HAS BE CATION, I AGREE T THE CITY IS ALS	EEN PAID TO THE CITY THAT THE CITY OF ROO SO AUTHORIZED AND	OF ROCKWALL ON THIS THE CKWALL (I.E. "CITY") IS AUTHORIZED I PERMITTED TO REPRODUCE ANY (	
GIVEN UNDER MY HAND A	ND SEAL OF OFFICE ON THIS THE \(\begin{align*} \text{C} \\ \text{D} \\ \text{OWNER'S SIGNATURE} \end{align*}	AY OF May	20 20 Deserve	Notary ID My Comm	M HEBERT #132449803 lission Expires 23, 2028

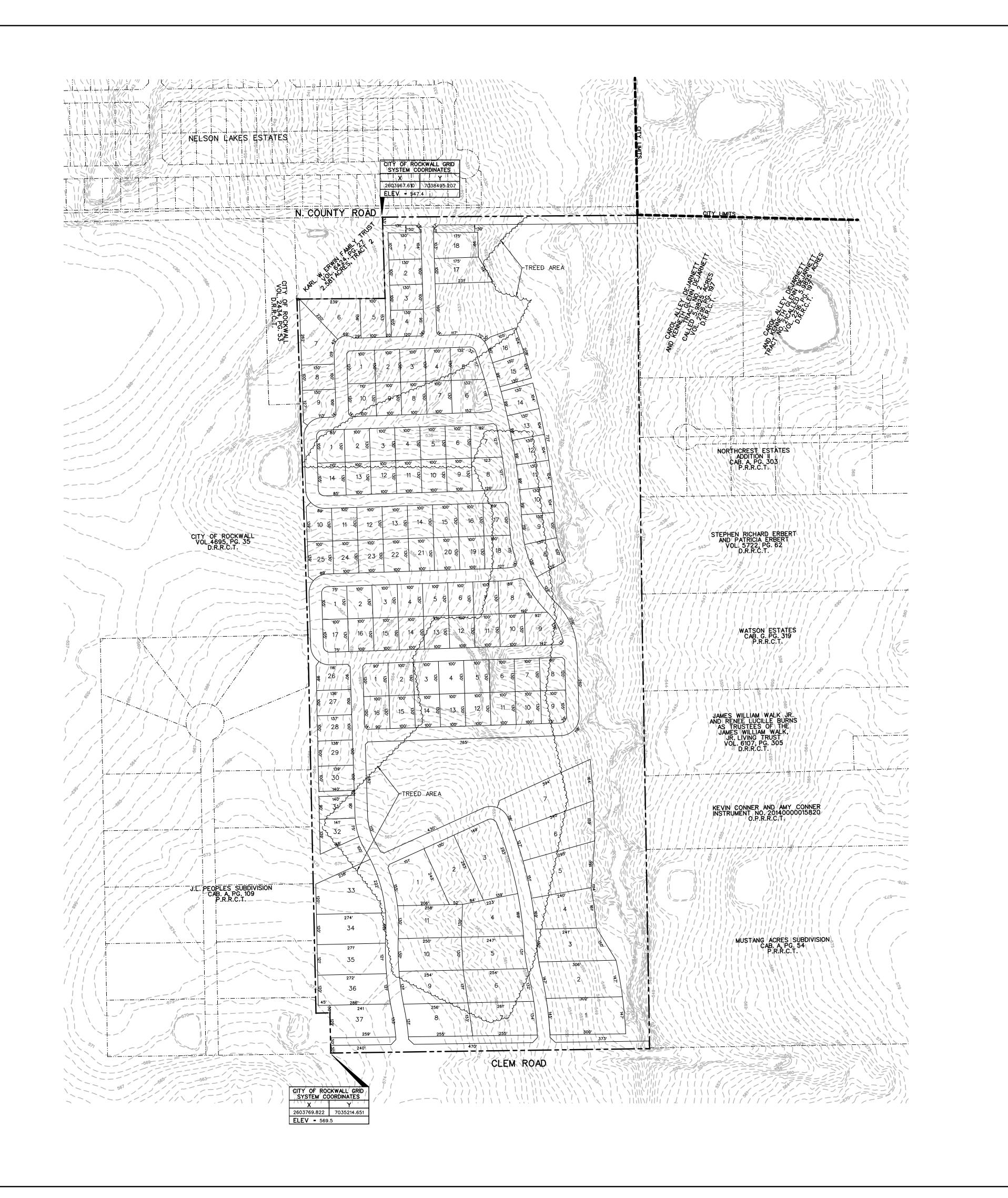


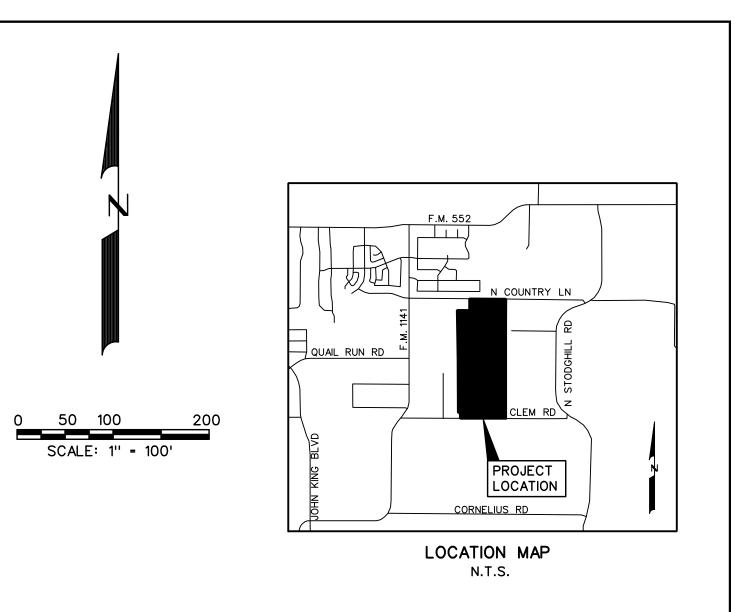


# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







APPROVED:
I hereby certify that the above and forgoing Master Plat was reviewed by the planning and zoning commission and approved by the city council of the City of Rockwall, Texas on the day of , 2025.

MAYOR CITY OF ROCKWALL

PLANNING & ZONING COMMISSION CHAIRMAN

LEGEND

TREED AREA --- - CITY LIMITS

TOTAL ACRES 98.198

DENSITY \_\_\_\_1.52

ZONING PD

TOTAL RESIDENTAL LOTS 122

TOTAL OPEN SPACE ACRES 33.02

LAND USE SINGLE FAMILY DEVELOPMENT

MASTER PLAT OF

ERWIN FARMS

LOTS 1-40, BLOCK A

LOTS 1-10, BLOCK B

LOTS 1-14, BLOCK C

LOTS 1-17, BLOCK D

LOTS 1-16, BLOCK E

LOTS 1-12, BLOCK F

LOTS 1-19, BLOCK G

TOTAL ACRES 98.198

TOTAL RESIDENTIAL LOTS 122 TOTAL OPEN SPACE LOTS 6

OUT OF THE

JOHN M. GASS SURVEY, ABSTRACT NO. 88

IN THE

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

> OWNER KARL DANIEL ERWIN

6946 SPERRY STREET DALLAS, TEXAS 75214

DEVELOPER SKORBURG COMPANY, LLC.

8214 WESTCHESTER DRIVE, STE. 900 DALLAS, TEXAS 75225

PREPARED BY

CORWIN ENGINEERING, INC. 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013

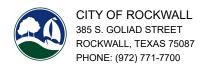
972-396-1200

MAY 2025 SCALE 1" = 100"

CORWIN JOB #25024



## PROJECT COMMENTS



DATE: 5/23/2025

PROJECT NUMBER: SP2025-018

PROJECT NAME: Site Plan for 3070 N Goliad Street

SITE ADDRESS/LOCATIONS: 3070 N GOLIAD ST, D

CASE CAPTION: Discuss and Consider a request by Mamta Bojjam on behalf of Grey Stogner of Metroplex Acquisition Fund, L.P. for the approval of a

Site Plan for Incidental Display for an ATM Machine on a portion of a 5.16-acre vacant parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 District (PD-70) for General Retail (GR) District land uses, addressed generally located in between 3066 & 3068 N. Goliad Street [SH-205], and take any

action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF DROJECT	
DEFARTIMENT	NEVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	05/23/2025	Needs Review	

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for Incidental Display for an ATM Machine on a portion of a 5.16-acre vacant parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 District (PD-70) for General Retail (GR) District land uses, addressed generally located in between 3066 & 3068 N. Goliad Street [SH-205].
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2025-018) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

#### APPROVED:

hereby certify that the above and foregoing site plan for a development	ent in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwa
on the day of,	
WITNESS OUR HANDS, this day of,	
Planning & Zoning Commission, Chairman	Director of Planning and Zoning

1.5 Incidental Display is defined as being "...adjacent to an existing permanent business operated in the city where the products displayed or sold outdoors are the same as those sold inside the existing permanent business and where such activity is incidental to the normal conduct of business operated by the same merchant or his employer in an on-site building for which a valid Certificate of Occupancy (CO) exists and when permitted by the City." For instance, an ATM would be considered accessory to a Financial Institution. In this case, the applicant is proposing Incidental Display (i.e. ATM) without an adjacent Financial Institution. Given this, the proposed ATM does not meet the majority of the Incidental Display requirements, which are detailed in comment M.6.4 below.

#### M.6 Site Plan.

- (1) According to the Planned Development District 70 (PD-70) Ordinance (Ordinance No. 19-41), land uses shall not be separated by screening walls of physical barriers. In this case, there is a proposed metal screening wall. This will be an exception to the PD-70 requirements. (PD-70; Ordinance No. 19-41)
- (2) According to the Planned Development District 70 (PD-70) Ordinance (Ordinance No. 19-41), non-residential development shall be compatible with the surrounding residential and integrated with the adjacent uses through the use of landscape buffers and building design. In this case, there is no proposed landscaping or any building materials that will tie in the proposed structure with the surrounding development. This will be an exception to the PD-70 requirements. (PD-70; Ordinance No. 19-41)
- (3) Please indicate any ground mounted equipment. On the landscape plan provide the necessary five (5) gallon evergreen shrubs for screening. (Subsection 01.05. C, of Article 05, UDC)
- (4) The proposed Incidental Display does not meet the following Incidental Display requirements. Each shall constitute an exception to the Unified Development Code (UDC). (Subsection 02.03, of Article 04, UDC)
- (a) Outdoor sales and display may not exceed five (5) percent of the adjacent building floor area. In this case, there is no adjacent building on the subject property.
- (b) Outdoor sales and display may occupy up to 30.00% of a covered sidewalk that is located within 20-feet of the building. In this case, there is not a covered sidewalk or within 20-feet of a building.
- (c) Any outside sales and display not located on a covered sidewalk must be screened from view of adjacent roadways, public areas and adjacent properties. In this case, the Incidental Display from adjacent roadways and adjacent properties.
- (d) Screening must be a minimum of eight feet high or one (1) foot taller than the materials being displayed, whichever is greater. In this case, the screening does not appear to be one (1) foot taller.
- (e) Screening must include a minimum of 20.00% solid screening matching the material of the primary building. The remainder may be solid evergreen planting, or wrought iron or decorative metal fence. In this case, the screening is a solid metal wall.
- (f) Any outside sales and display not located on a covered sidewalk must be located immediately adjacent to or connected to the primary structure. In this case, the Incidental Display is located immediately adjacent to or connected to a building.

#### M.7 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) The light levels may not exceed 0.2 FC at any property line. In this case, the light levels exceed 0.2 FC along several property lines. In order to meet the State of Texas lighting requirements for ATMs and the City of Rockwall requirements, the site orientation may need to change. (Subsection 03.03.G, of Article 07, UDC)

#### M.8 Building Elevations

- (1) The subject property is located within the North SH-205 Overlay District (N. SH-205 OV). Given this, the proposed Incidental Display and the canopy are subject to the material requirements. They must incorporate 20% natural or quarried stone, and 90% masonry materials. This will be variance to the Unified Development Code (UDC). (Subsection 06.02, of Article 05, UDC)
- M.9 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. The current submittal has nine (9) exceptions and one (1) variance, which will require a total of 20 compensatory. Staff recommends eliminating as many variances and exceptions as possible.
- I.10 Revised and corrected plans are due by 3:00 PM on June 3, 2025.
- I.11 Please note the scheduled meetings for this case:
- (1) Planning & Zoning meeting/work session meeting will be held on May 27, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on June 10, 2025.
- I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present

their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments

05/22/2025: 1. You will need to ask for a variance for not providing a bypass lane.

#### General Comments:

#### General Items:

- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No structures or fences with easements.
- No signage is allowed within easements or ROW.
- All parking, storage, drive aisles, storage areas must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

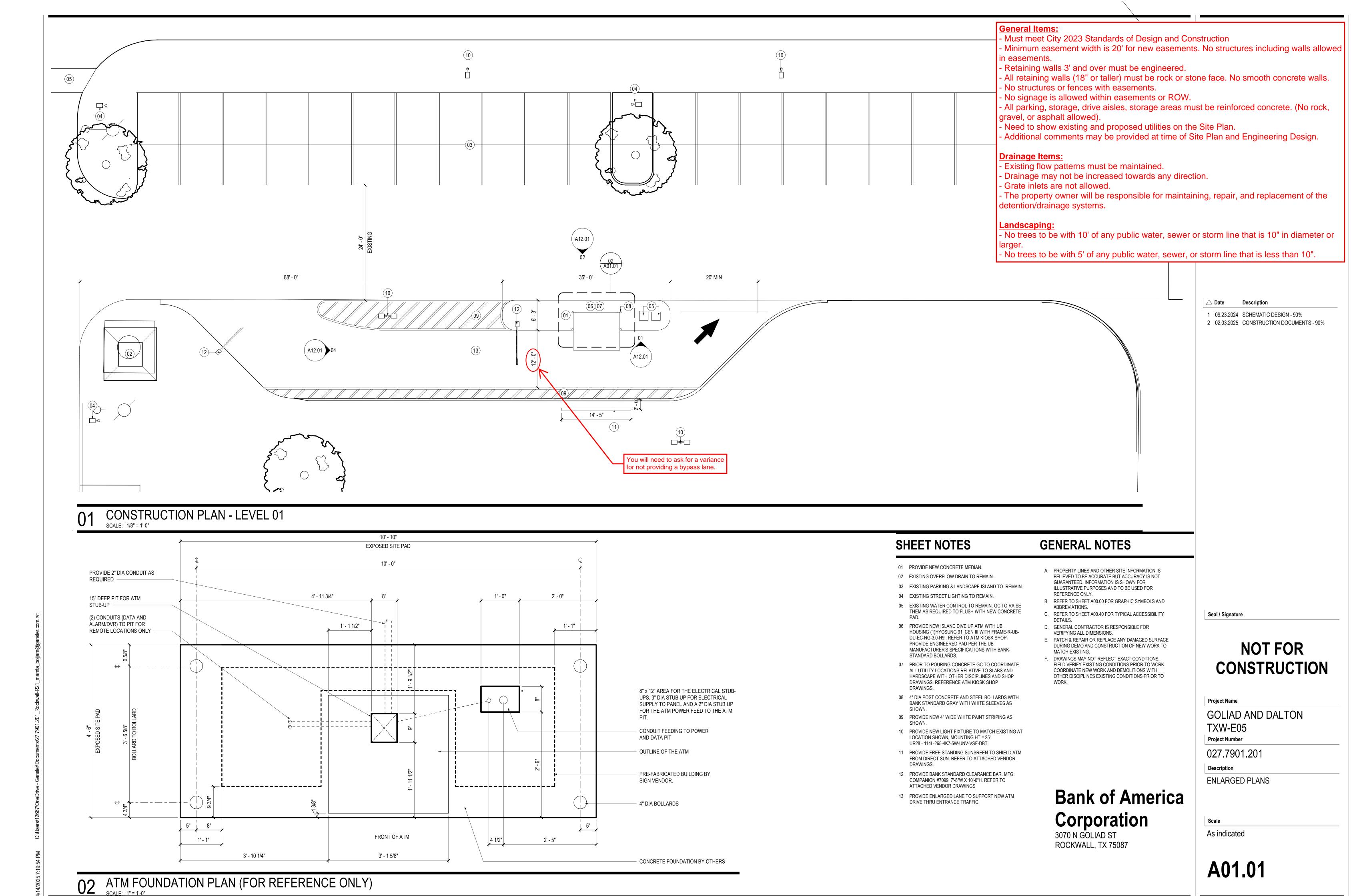
#### Drainage Items:

- Existing flow patterns must be maintained.
- Drainage may not be increased towards any direction.
- Grate inlets are not allowed.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Needs Review	
05/22/2025: Previously there v	was a screening wall mentioned to be built by so	omeone with this project after the Pre-Development i	meeting. I see it mentioned on the plans but see	
no details or material notes.				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved w/ Comments	
05/19/2025: Please use the ur	nit number of 3070 N GOLIAD ST, #D, ROCKW.	ALL, TX 75087 for this address.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved w/ Comments	
05/19/2025: Type and size of landscape plants?				



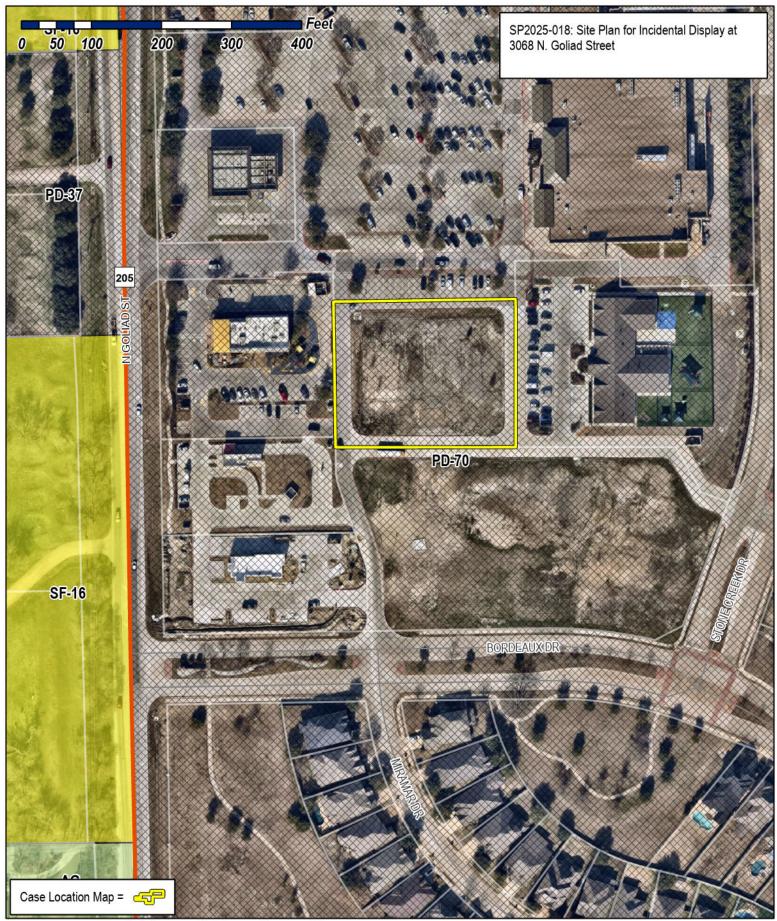
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DEVEL PMENT APPLICATION
City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Posturall Tours 37007

	PLA	G & ZONING CASE NO.
	CITY U	THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE NTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE D BELOW.
ı	DIRECT	TOR OF PLANNING:

	Rockwall, Texas 75087	_ (	CITY ENGINEER:	
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	DEVELOPMENT	REQUEST [SELECT ONLY ONE BOX]:	
PLATTING APPLICATION FEES:  ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)  SITE PLAN APPLICATION FEES:  ☑ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)		ZONING APPLICATION FEES:  ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☑ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NOTES: ☐ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ≥ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.		
PROPERTY INF	ORMATION [PLEASE PRINT]			
ADDRES	s 3070 N Goliad St			
SUBDIVISIO	N		LOT BLOCK	
GENERAL LOCATIO	Intersection of Goliad & Dalton Rd	- Tom Thu	ımb Shopping Centre	
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEASE PA	RINT]		
CURRENT ZONIN	G PD-37	CURRENT U	SE SE	
PROPOSED ZONIN	G	PROPOSED U	SE	
ACREAG	E LOTS [CURRENT]		LOTS [PROPOSED]	
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.				
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CHECK	THE PRIMARY O	CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]	
🖾 OWNER	Metroplex Acquisition Fund, L.P.	☑ APPLICAN	T	
CONTACT PERSON		NTACT PERSO	Mamta Bojjam	
ADDRESS	12720 Hillicest Rd.	ADDRES	S 5505 Greenville Ave	
CITY CTATE & ZID	Snite (\$50	TV CTATE 0 71	Dallas TV 75000	
CITY, STATE & ZIP	Daling IX Buse	TY, STATE & ZI		
PHONE	214-343-4477	PHON		
E-MAIL	gstogner@crestviewcompanies.c	COM E-MAI	mamta_bojjam@gensler.com	
NOTARY VERIFICATION [REQUIRED]  BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:				
"THEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF DAY OF TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF 20 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC MERCHANICAL AND SEAL OF OFFICE ON THIS THE DAY OF ANGELICA BOWDEN.				
OWNER'S SIGNATURE Comm. Expires 03-03-2029				





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall Towns 75097

Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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NOTE: PICTURE COUTESY OF GOOGLE EARTH

# **Bank of America** Corporation 3070 N GOLIAD ST ROCKWALL, TX 75087

SCOPE OF WORK

(NO CHANGE IN PARKING COUNT)

# **Bank of America** Corporation 3070 N GOLIAD ST ROCKWALL, TX 75087

## Gensler

While editing the title block select & change this Family Type via the Type selector to set the correct Office Information

Tel Do not enter Fax Text here

1 09.23.2024 SCHEMATIC DESIGN - 90%

2 02.03.2025 CONSTRUCTION DOCUMENTS - 90%

Seal / Signature

## **NOT FOR** CONSTRUCTION

GOLIAD AND DALTON TXW-E05

Project Number

027.7901.201

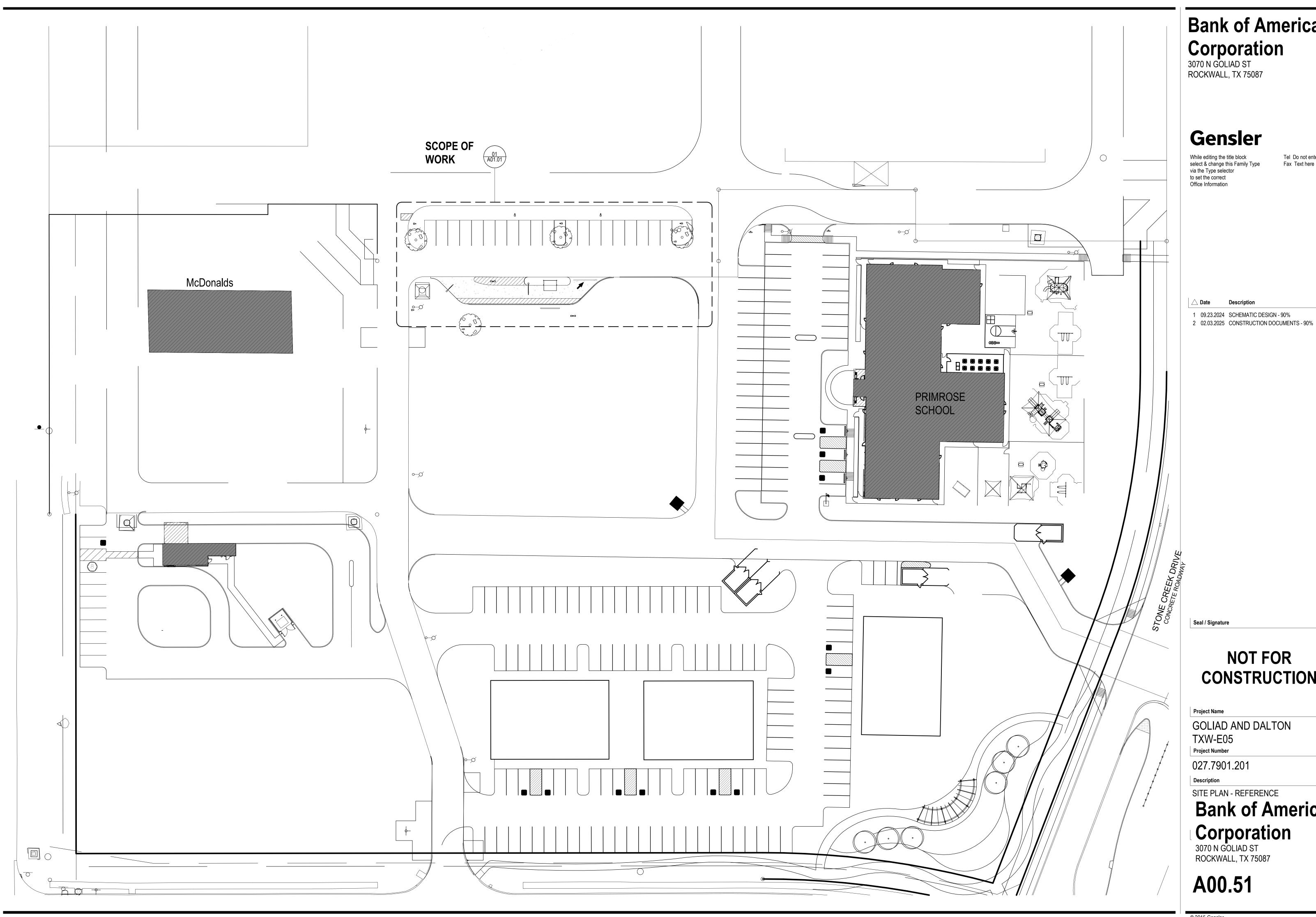
Description SITE PLAN

Scale

1" = 60'-0"

A00.50

© 2015 Gensler



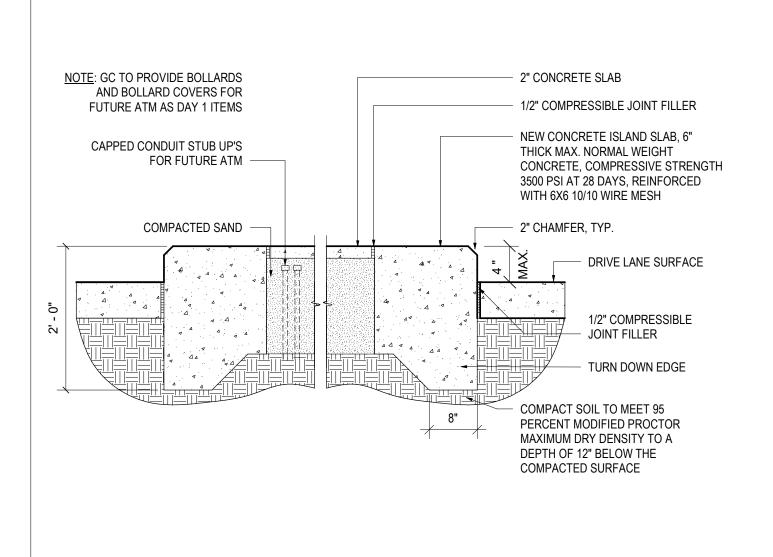
# **Bank of America**

Tel Do not enter Fax Text here

## **NOT FOR** CONSTRUCTION

# **Bank of America**

© 2015 Gensler



# TYP CURB SLAB @ DRIVE-UP ATM SCALE: 3/4" = 1'-0"

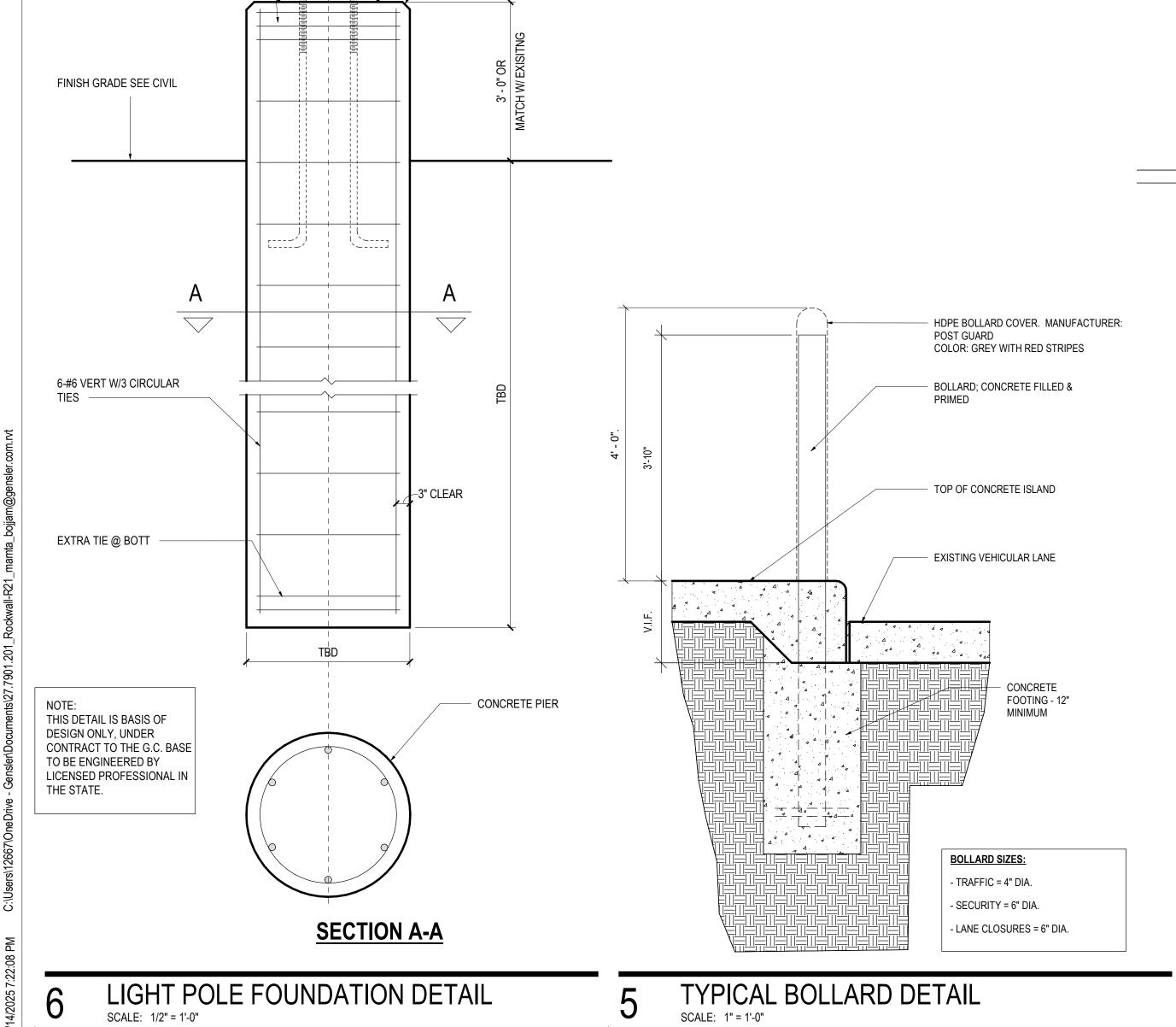
ANCHOR BOLTS PER LIGHTPOLE

NOTE: FROM THE TOP PF CONCRETE

PROVIDE TIES, FULL LENGTH OF ANCHOR

MANUFACTURER

BOLTS -



LIGHT POLE & BASE

PLATE BY SUPPLIER

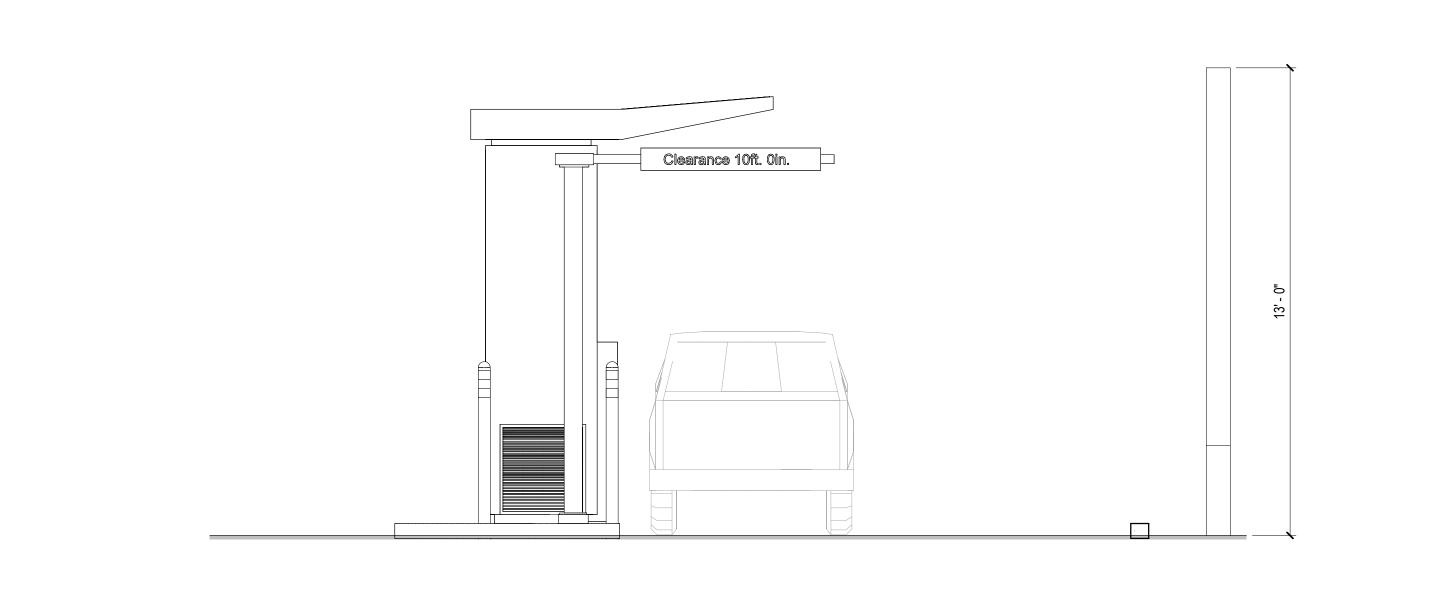
- 1" CHAMFER ALL AROUND

BANKOFAMERICA

## ATM FRONT ELEVATION



## ATM REAR ELEAVATION SCALE: 3/8" = 1'-0"



O4 SIDE ELEVATION SCALE: 3/8" = 1'-0"

# **Bank of America** Corporation 3070 N GOLIAD ST

ROCKWALL, TX 75087

## Gensler

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1 09.23.2024 SCHEMATIC DESIGN - 90% 2 02.03.2025 CONSTRUCTION DOCUMENTS - 90%

Seal / Signature

## **NOT FOR** CONSTRUCTION

Project Name

GOLIAD AND DALTON

TXW-E05

Project Number

027.7901.201

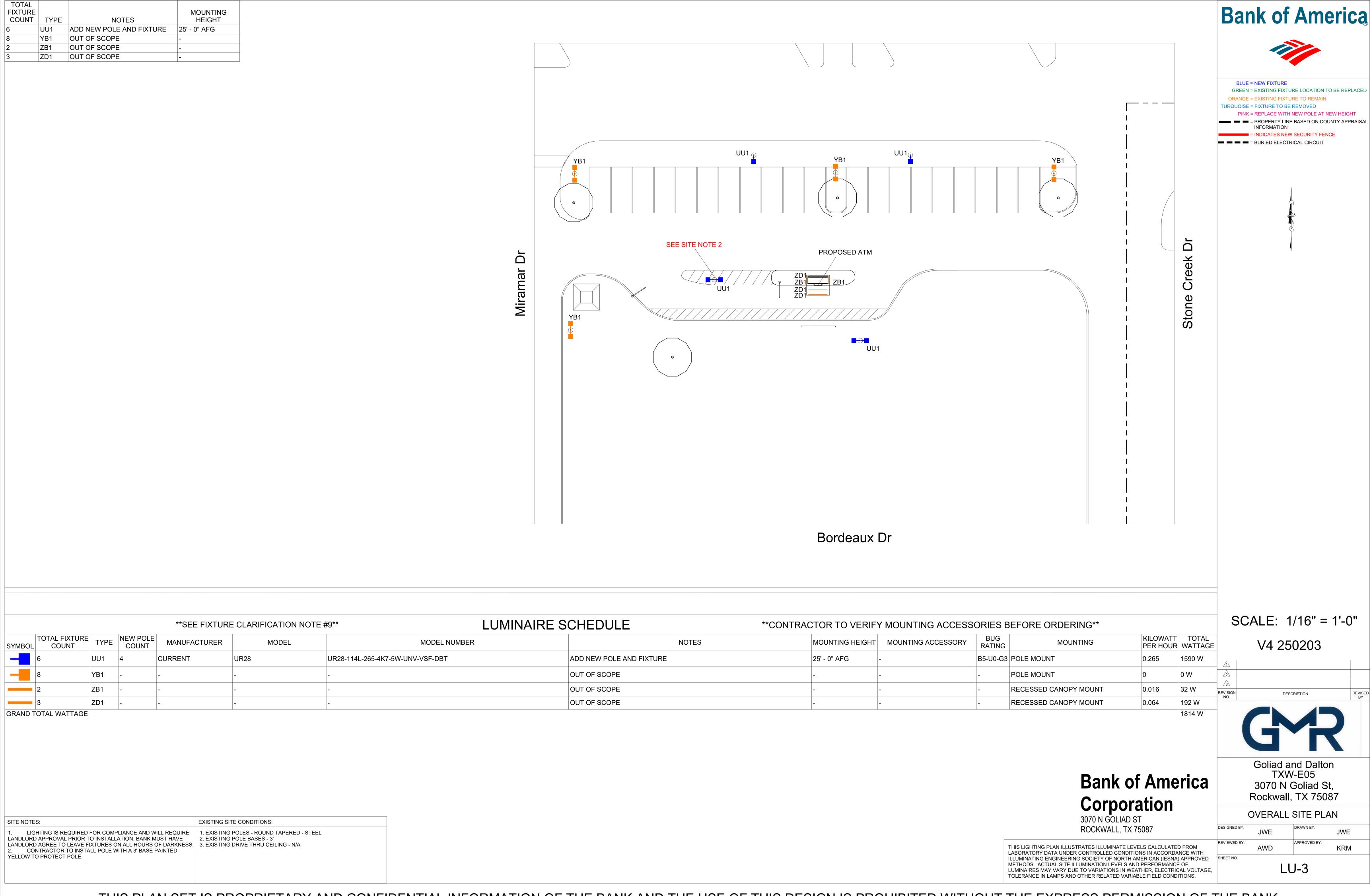
Description

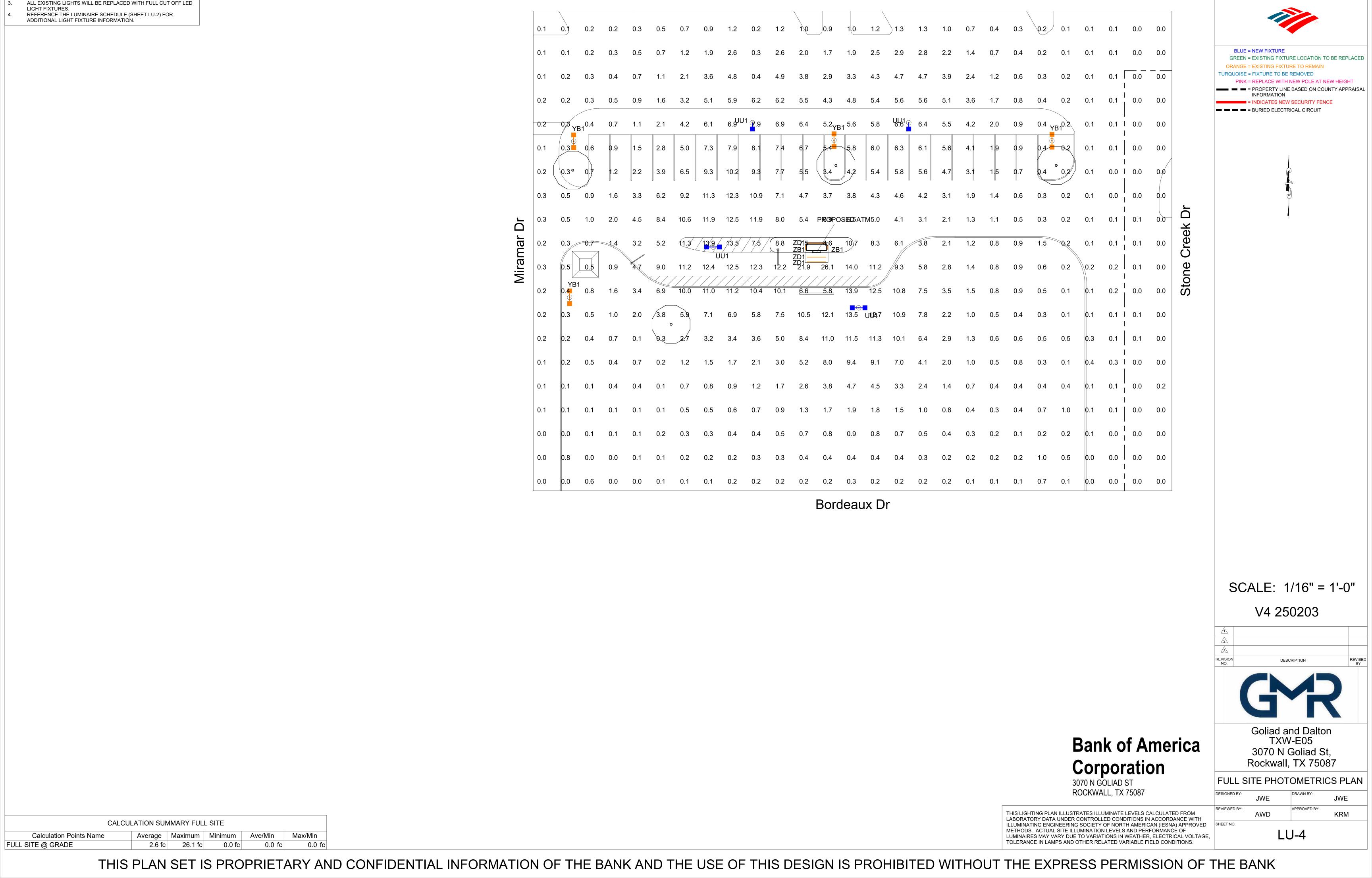
**ELEVATIONS** 

# **Bank of America** Corporation 3070 N GOLIAD ST ROCKWALL, TX 75087

A12.01

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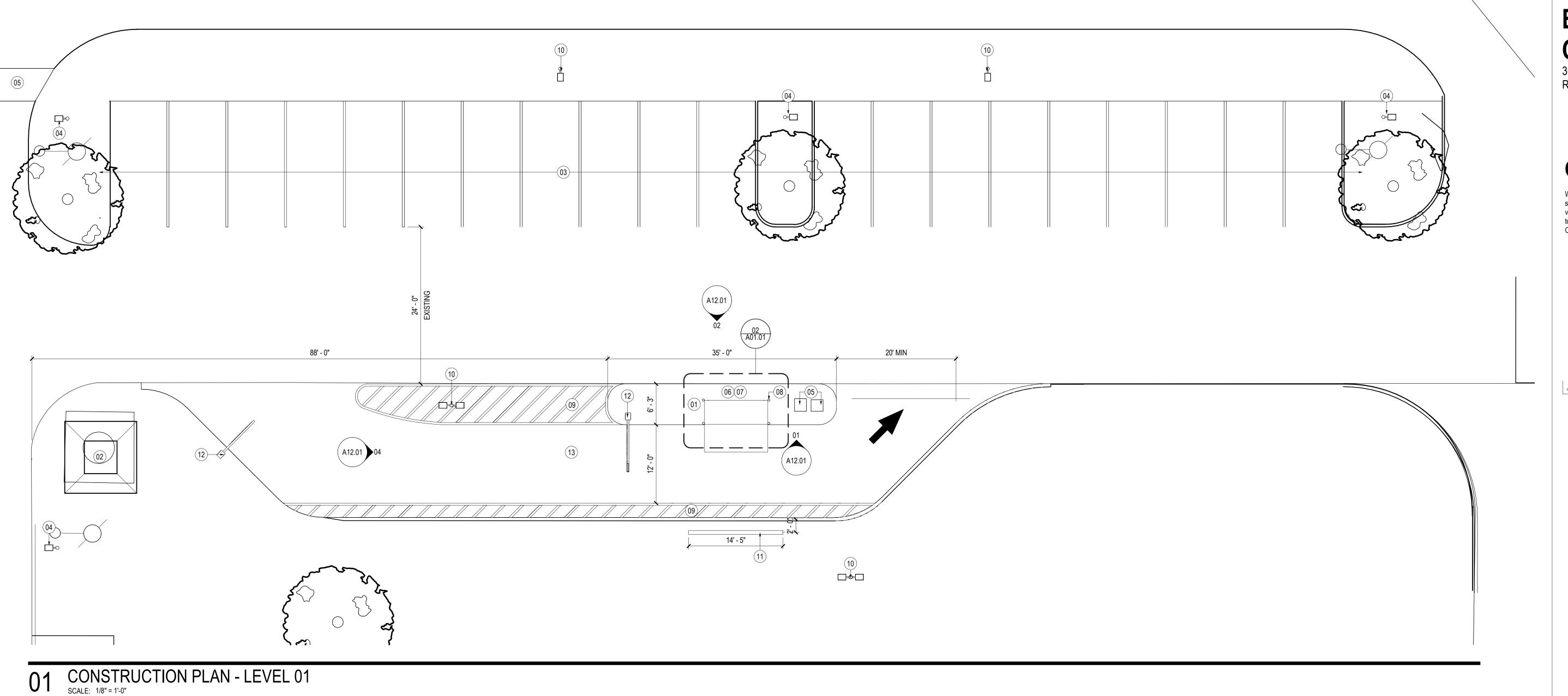


THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR

ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.

LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.

**Bank of America** 



2' - 0"

1' - 0"

-------

2' - 5"

## SHEET NOTES

- 01 PROVIDE NEW CONCRETE MEDIAN.
- 02 EXISTING OVERFLOW DRAIN TO REMAIN.
- 04 EXISTING STREET LIGHTING TO REMAIN.
- 05 EXISTING WATER CONTROL TO REMAIN. GC TO RAISE THEM AS REQUIRED TO FLUSH WITH NEW CONCRETE
- DU-EC-NG-3.0-H9I. REFER TO ATM KIOSK SHOP. PROVIDE ENGINEERED PAD PER THE UB MANUFACTURER'S SPECIFICATIONS WITH BANK-STANDARD BOLLARDS.
- 07 PRIOR TO POURING CONCRETE GC TO COORDINATE ALL UTILITY LOCATIONS RELATIVE TO SLABS AND HARDSCAPE WITH OTHER DISCIPLINES AND SHOP DRAWINGS. REFERENCE ATM KIOSK SHOP
- 08 4" DIA POST CONCRETE AND STEEL BOLLARDS WITH BANK STANDARD GRAY WITH WHITE SLEEVES AS
- 09 PROVIDE NEW 4" WIDE WHITE PAINT STRIPING AS
- 10 PROVIDE NEW LIGHT FIXTURE TO MATCH EXISTING AT LOCATION SHOWN, MOUNTING HT = 25'. UR28 - 114L-265-4K7-5W-UNV-VSF-DBT.
- 11 PROVIDE FREE STANDING SUNSREEN TO SHIELD ATM FROM DIRECT SUN. REFER TO ATTACHED VENDOR
- COMPANION #7099, 7'-8"W X 10'-0"H. REFER TO ATTACHED VENDOR DRAWINGS
- 13 PROVIDE ENLARGED LANE TO SUPPORT NEW ATM DRIVE THRU ENTRANCE TRAFFIC.

- 03 EXISTING PARKING & LANDSCAPE ISLAND TO REMAIN.
- 06 PROVIDE NEW ISLAND DIVE UP ATM WITH UB HOUSING (1)HYOSUNG 91\_CEN III WITH FRAME-R-UB-

- 12 PROVIDE BANK STANDARD CLEARANCE BAR. MFG:

### **GENERAL NOTES**

- A. PROPERTY LINES AND OTHER SITE INFORMATION IS BELIEVED TO BE ACCURATE BUT ACCURACY IS NOT GUARANTEED. INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES AND TO BE USED FOR
- REFERENCE ONLY. B. REFER TO SHEET A00.00 FOR GRAPHIC SYMBOLS AND
- ABBREVIATIONS. C. REFER TO SHEET A00.40 FOR TYPICAL ACCESSIBILITY
- DETAILS.

MATCH EXISTING.

- D. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS. E. PATCH & REPAIR OR REPLACE ANY DAMAGED SURFACE DURING DEMO AND CONSTRUCTION OF NEW WORK TO
- F. DRAWINGS MAY NOT REFLECT EXACT CONDITIONS. FIELD VERIFY EXISTING CONDITIONS PRIOR TO WORK. COORDINATE NEW WORK AND DEMOLITIONS WITH OTHER DISCIPLINES EXISTING CONDITIONS PRIOR TO

# **Bank of America** Corporation 3070 N GOLIAD ST

ROCKWALL, TX 75087

# **Bank of America** Corporation 3070 N GOLIAD ST ROCKWALL, TX 75087

## Gensler

While editing the title block select & change this Family Type via the Type selector to set the correct Office Information

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1 09.23.2024 SCHEMATIC DESIGN - 90% 2 02.03.2025 CONSTRUCTION DOCUMENTS - 90%

Seal / Signature

## **NOT FOR** CONSTRUCTION

Project Name

GOLIAD AND DALTON TXW-E05

**Project Number** 

027.7901.201

Description

**ENLARGED PLANS** 

Scale

As indicated

A01.01

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PROVIDE 2" DIA CONDUIT AS

15" DEEP PIT FOR ATM

(2) CONDUITS (DATA AND

ALARM/DVR) TO PIT FOR

REMOTE LOCATIONS ONLY

₩\_+----

REQUIRED

STUB-UP -

02 ATM FOUNDATION PLAN (FOR REFERENCE ONLY)

1' - 1"

3' - 10 1/4"

10' - 10"

EXPOSED SITE PAD

10' - 0"

r-----

FRONT OF ATM

3' - 1 5/8"

4' - 11 3/4"

1' - 1 1/2"

- 8" x 12" AREA FOR THE ELECTRICAL STUB-

SUPPLY TO PANEL AND A 2" DIA STUB UP FOR THE ATM POWER FEED TO THE ATM

UPS. 3" DIA STUB UP FOR ELECTRICAL

CONDUIT FEEDING TO POWER

PRE-FABRICATED BUILDING BY

CONCRETE FOUNDATION BY OTHERS

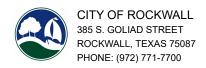
AND DATA PIT

SIGN VENDOR.

4" DIA BOLLARDS

OUTLINE OF THE ATM

## PROJECT COMMENTS



DATE: 5/22/2025

PROJECT NUMBER: SP2025-020

PROJECT NAME: Amended Site Plan for HG Supply

SITE ADDRESS/LOCATIONS: 2651 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of an

Amended Site Plan for a Restaurant Without a Drive-Through on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road

and Sunset Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	05/22/2025	Approved w/ Comments	

05/22/2025: SP2025-020; Site Plan for HG Supply

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of an Amended Site Plan for a Restaurant Without a Drive-Through on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, and generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive.
- 1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (SP2025-020) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 The current site plan shows a parking deficiency of 37 parking spaces. The applicant will need to work with the adjacent property owner to determine if a shared parking agreement can be facilitated. This will require a variance from the Planning and Zoning Commission.
- I.5 Please note that failure to address all comments provided by staff by 3:00 PM on May 20, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.6 Please note the scheduled meetings for this case:
- (1) Planning & Zoning meeting/public hearing meeting will be held on May 27, 2025.
- I.7 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT REVIEWER DATE OF REVIEW STATUS OF PROJECT

ENGINEERING	Madelyn Price	05/22/2025	Approved	
No Comments				
DED 1 DE 1 1 E 1 E	DEL 41514/ED	5.TE 05.55W5W	0717110 05 000 1507	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	05/22/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/20/2025	Needs Review	·
05/20/2025: For buildings 30 fe	eet or more in height, the fire lane shall have a	minimum interior turning radius of 30 feet.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	

05/19/2025: Landscape plans submittal?



### **DEVELOPMENT APPLICATION**

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street Rockwall, Texas 75087

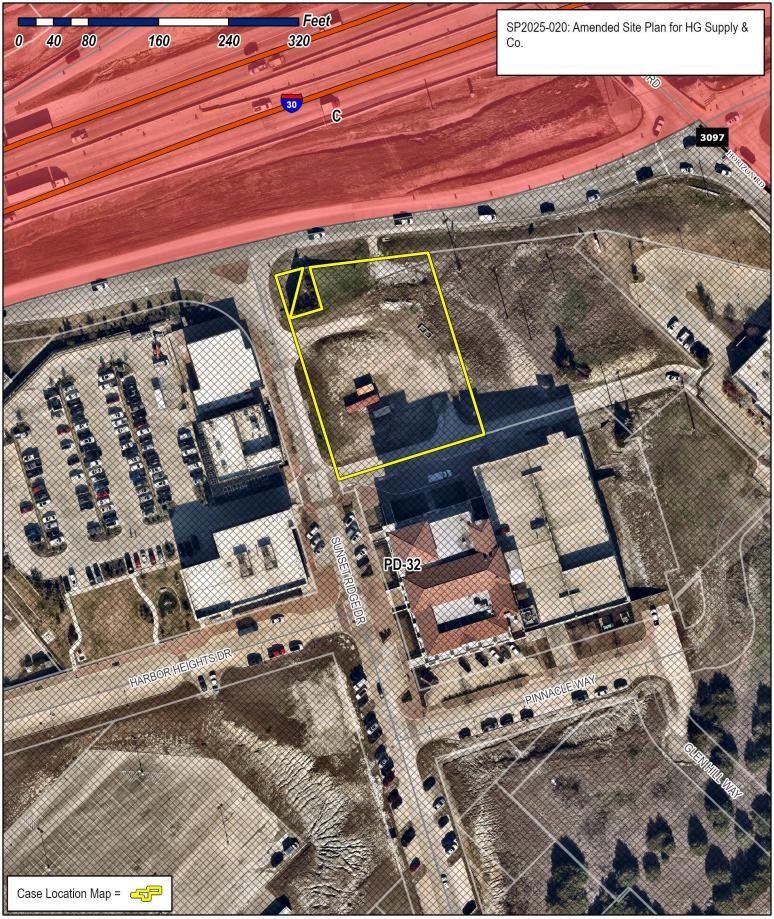
וכט ווהיי	OUT -		_
PLANNING	& ZONING	CASE	NC

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEPLATING APPLICATION FEES:    MASTER PLAT (\$100.00 + \$15.00 ACRE) 1   PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1   FINAL PLAT (\$300.00 + \$20.00 ACRE) 1   REPLAT (\$300.00 + \$20.00 ACRE) 1   AMENDING OR MINOR PLAT (\$150.00)   PLAT REINSTATEMENT REQUEST (\$100.00)  SITE PLAN APPLICATION FEES:   SITE PLAN (\$250.00 + \$20.00 ACRE) 1   AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			ZONING APPLICATION ZONING CHANGE SPECIFIC USE	ATION FEES: IGE (\$200.00 + \$1) PERMIT (\$200.00 MENT PLANS (\$20) TION FEES: AL (\$75.00) QUEST/SPECIAL I PEE PLEASE USE THE OF REQUESTS ON LESS L BE ADOED TO THE	5.00 ACRE) 1 1 + \$15.00 ACI 0.00 + \$15.00 EXCEPTIONS EXACT ACREAGE APPLICATION FI	RE; \$42 ACRE; 1 (\$100.00) 2 E WHEN MULTIPU E FOR ANY REG	E (1) ACRE
PROPERTY INF	ORMATION [PLEASE PRINT]						
ADDRES	s 2651 Sunset Ridg	e Drive, Rockwa	II, TX 75032				
SUBDIVISIO	N Harbor District			LOT	7	BLOCK	A
GENERAL LOCATIO	N Interstate 30 and	Sunset Ridge D	Prive				
ZONING, SITE P	LAN AND PLATTING INFO						
CURRENT ZONING			CURRENT USE	N/A			
PROPOSED ZONING	PD-32		PROPOSED USE	Restaura	nt		
ACREAG	0.9	LOTS [CURRENT]		LOTS (P	ROPOSEDI	1	
RESULT IN THE D	D PLATS: BY CHECKING THIS BOX APPROVAL PROCESS, AND FAILURE DENIAL OF YOUR CASE.  ANT/AGENT INFORMATION	TO ADDRESS ANY OF STA	AFF'S COMMENTS BY T	HE DATE PROVIDED  CT/ORIGINAL SIGN	ON THE DEV	elopment ca Required)	LENDAR WILL
CONTACT PERSON	Elias Pope	CC	ONTACT PERSON	Teague, N		erkins, i	nc.
ADDRESS			ADDRESS		tters Cre	ek Blvd	
	2010 Greenville Ave Suite D			Suite M			
CITY, STATE & ZIP	Dallas, TX 75206	C	ITY, STATE & ZIP	Allen, T	X 75013		
PHONE	732-887-9699		PHONE	817-88			
E-MAIL	elias@unco.com		E-MAIL	cslown	@tnpinc.e	com	
HEREBY CERTIFY THAT I	SIGNED AUTHORITY, ON THIS DAY P ON ON THIS APPLICATION TO BE TRU  AM THE OWNER FOR THE PURPOSE OF THE PORT OF THE COST OF	JE AND CERTIFIED THE FO OF THIS APPLICATION, ALL IN FTHIS APPLICATION, HAS BE IS APPLICATION, I AGREE TO PUBLIC THE CITY IS ALL	NFORMATION SUBMITTEE EEN PAID TO THE CITY OF THAT THE CITY OF ROCK SO AUTHORIZED AND R	HEREIN IS TRUE AN FROCKWALL ON THI WALL (I.E. "CITY") IS	ID CORRECT A	NA DEPUITTEN	ATION FEE OF DAY OF
	AND SEAL OF OFFICE ON THIS THE		20 <u>20</u>		Notary ID My Comm	VENTWORTH #134836953 ission Expires	
NOTARY PUBLIC IN AND I	OWNER'S SIGNATURE FOR THE STATE OF TEXAS	W Jacob le	Jantworth	MY COMMISS	April	04/05	7028

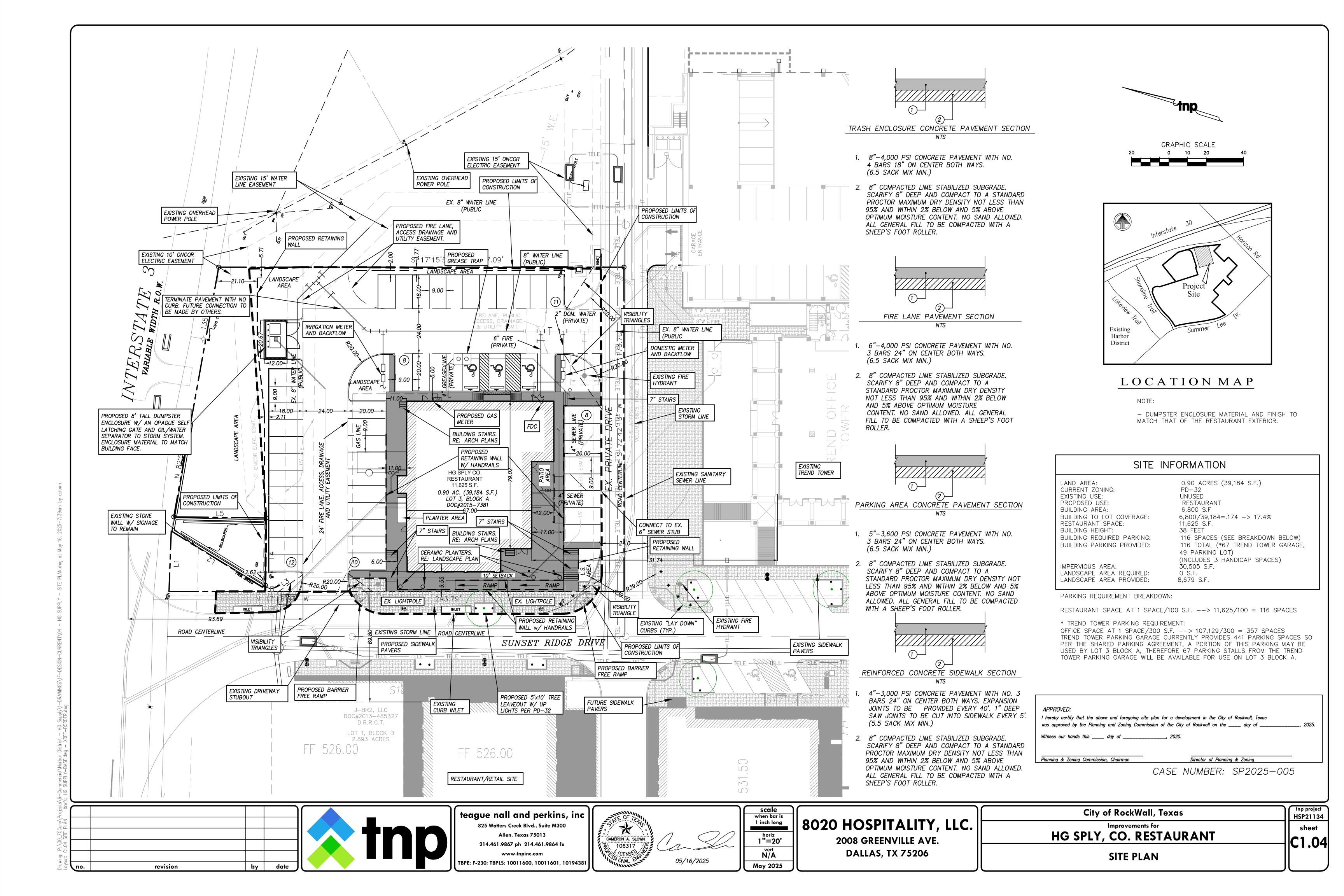




City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





OVERFLOW NOZZLE, TYP. REF PLUMBING DWGS-

## NORTH ELEVATION

### 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE = 2,371 SF

TOTAL BURNISHED BLOCK = 1395 SF=58.8%

TOTAL GLAZED TILE = 539 SF= 22.8%

TOTAL WOOD SCREEN = 335 SF = 14.1%

TOTAL METAL PANELS = NA

TOTAL PTD WALLS = 102 SF = 4.3%



### WEST ELEVATION

### 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE: 1557 SF

TOTAL BURNISHED BLOCK: 890 SF 57.2%

TOTAL GLAZED TILE: 231 SF 14.8%

TOTAL WOOD SCREEN: 388 SF 25% TOTAL METAL PANELS: 48 SF 3% TOTAL PTD WALLS: - SF







SW 6258 Tricorn Black







## **EAST ELEVATION**

### 1/8" = 1'-0"

METAL FLASHING

TOTAL ELEVATION WALL HARD SURFACE: 2,292 SF

TOTAL BURNISHED BLOCK: 1,172 SF 51.1%

TOTAL GLAZED TILE: 531.5 SF 23.2%

TOTAL WOOD SCREEN: 465.5 SF 20.3%

TOTAL PTD WALLS: 123 SF 5.4%



## SOUTH ELEVATION

1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE: 1,971 SF

TOTAL BURNISHED BLOCK: 955 SF 48.5%

TOTAL GLAZED TILE: 376 SF 19.1% TOTAL WOOD SCREEN: 459 SF 23.3%

TOTAL METAL PANELS: 129 SF 6.5%

TOTAL PTD WALLS: 52 SF 2.6%

Planning & Zoning Commission, Chairman Director of Planning & Zoning

CASE NUMBER: SP2025-005

P101

REVISIONS :

PROJECT NO.: 212

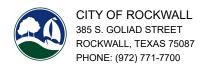
DRAWN BY : Author SCALE : AS NOTED

4/22/202

**ELEVATIONS** 

SPLY

## PROJECT COMMENTS



DATE: 5/23/2025

PROJECT NUMBER: SP2025-021

PROJECT NAME: Site Plan for Fuel City SITE ADDRESS/LOCATIONS: 490 S JOHN KING BLVD

CASE CAPTION: Discuss and consider a request by Jared Earney of Kimley-Horn on behalf of Joseph Bickham of Fuel City for a Site Plan for a Retail

Store with Gasoline Sales on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay

(SH-205 BY OV) District, generally located at the northwest corner of the intersection of Airport Road and John King Boulevard, and

take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	05/23/2025	Needs Review	

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for a Retail Store with Gasoline Sales on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the northwest corner of the intersection of Airport Road and John King Boulevard.
- 1.2 For guestions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2025-021) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- 1.4 The subject property will be required to be plat in order to establish easements and establish new lot lines.
- M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

hereby certify that the above and foregoing site plan for a developme on the day of,	ent in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwa
WITNESS OUR HANDS, this day of,	
Planning & Zoning Commission, Chairman	Director of Planning and Zoning

M.6 Please provide a noise study for the car wash tunnel and the vacuum equipment. The Planning and Zoning Commission will want to ensure conformance to the City noise requirements. These requirements can be found within the City of Rockwall Municipal Code of Ordinances.

#### M.7 Site Plan.

- (1) Please include the total lot area, in acreage and square feet, within the site data table. (Subsection 03.04. B, of Article 11, UDC)
- (2) Please indicate the location of the vacuum equipment. (Subsection 01.06, of Article 05, UDC)
- (3) Fuel vents must be incorporated into the fuel canopy. (Subsection 02.03, of Article 04, UDC)
- (4) Please indicate the building setback along both street frontages. The font building setbacks are 15-feet. (Subsection 03.04.B, of Article 11, UDC)
- (5) Please indicate the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (6) The ten (10) foot sidewalk along John King Boulevard should meander. (Subsection 06.02, of Article 05, UDC)
- (7) Please include all of the proposed land uses within the parking table and indicate their required parking. (Subsection 05.01, of Article 06, UDC)
- (8) Please remove all signage from the site plan and building elevations. Signage is done through separate permits with the Building Inspections Department. (Subsection 06.02. F, of Article 05, UDC)
- (9) Please indicate any existing or proposed fencing. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (10) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened. (Subsection 01.05.C, of Article 05, UDC)
- (11) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (12) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)
- (13) Please provide a detail of the dumpster enclosure. In addition, the dumpster enclosure must be a minimum of eight (8) feet in height and use the same materials as the building. (Subsection 01.05. B, of Article 05, UDC)
- (14) All of the structures (i.e. C-Store, Fuel Canopy, Car Wash, Vacuum Bays) must be 150-feet from a residentially zoned or used property. Staff should note, that based on the zoning change that incorporated the northern portion of the subject property, it appears a portion of this property was left out of this request. The entire property must be shown and a remainder tract will not be permitted. (Subsection 01.06, of Article 05, UDC)
- (15) The OURHometown Vision 2040 Comprehensive Plan describes and depicts a Corner Enhancement Concept, where the purpose is to provide additional hardscape and landscape elements at intersections along John King Boulevard. Staff would recommend incorporating this element into the proposed project; doing so could be considered a compensatory measure. Please see the attached supplementary image from the comprehensive plan depicting a Corner Enhancement. (Appendix B, OURHometown Vision 2040 Comprehensive Plan)

#### M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) A 20-foot residential adjacency buffer is required adjacent to the Agriculturally zoned property. Within this buffer either (1) a masonry wall with canopy trees on 20-foot centers, or (2) three (3) tiered landscaping must be provided. In addition, staff suggests a berm within this buffer. This will further attenuate any noise from the car wash and vacuum bays; this can also serve as a compensatory measure. (Subsection 05.01. B, of Article 08, UDC)
- (3) No parking, paving, or structures may be located within any landscape buffers; however, driveway approaches are permitted. (Subsection 05.01, of Article 08, UDC)
- (4) Any parking spaces that face onto a roadway must provide five (5) gallon evergreen shrubs in front of them to serve as headlight screening. (Subsection 05.02, of Article 08, UDC)
- (5) Please incorporate a legend on the Overall Landscape Plan that includes the icons utilized for the plantings. (Subsection 05.05. B, of Article 08, UDC)
- (6) Please delineate and label the sidewalks along John King Boulevard and Airport Road. (Subsection 05.01, of Article 08, UDC)
- (7) All shrubs shall be five (5) gallon. In addition, the landscape buffers along John King Boulevard and Airport Road must incorporate a shrub row. (Subsection 05.05. B, of Article 08, UDC)
- (8) Please delineate and label the landscape buffers along John King Boulevard and Airport Road. The landscape buffers are 25-feet. (Subsection 05.01, of Article 08, UDC)
- (9) Please delineate the required berms within the landscape buffers along John King Boulevard and Airport Road. (Subsection 06.02, of Article 05, UDC)
- (10) Vitex is not a permitted accent tree within the landscape buffers. Please propose a different accent tree species. (Appendix C, UDC)
- (11) Additional landscaping shall be provided in front of the car wash tunnel exist and along the entrance and exit driveways for the car wash. This is to reduce the headlight glare from impacting the adjacent properties, especially the adjacent future residential. The landscaping should take the form of evergreen shrubs and accent trees. (Subsection 05.02, of Article 08, UDC)
- (12) Please verify that all of the parking spaces are within 80-feet of a canopy tree. Specifically, it appears that not all of the parking in front of the C-Store meet this requirement. (Subsection 05.03. E. of Article 08. UDC)
- (13) The OURHometown Vision 2040 Comprehensive Plan indicates that this property should utilize a "Woodland Bottoms" landscape scheme. Woodland Bottoms can be described as "planting arrangements should be tight, informally grouped masses of native and adapted riparian canopy and understory trees designed to emulate the character of

the creek vegetation. These tree masses are to be set in native ornamental grasses to minimize the need for maintenance." Emulating this design would meet a Roadway Enhancement Concept described in our Comprehensive Plan; doing so could be considered a compensatory measure. (Appendix B, OURHometown Vision 2040 Comprehensive Plan)

(14) Please include a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

#### M.9 Treescape Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Per the landscape plan, 244 caliper inches of canopy trees will be planted on site. With a total mitigation balance of 883.5 inches, this is reduced to 639.5 based on the canopy trees planted. Accent trees do not count against the mitigation balance. Per the Unified Development Code (UDC), 80% of the mitigation balance must be planted on site. Given that only 27.62% are being planted on site, an Alternative Tree Mitigation Settlement Agreement must be requested; this requires approval from the City Council. With this you would be requesting to pay the remaining balance for a fee of \$63,950.00. (Section 05, of Article 09, UDC)

#### M.10 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels shall not be greater than 0.2 FC at all property lines. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)
- (3) Understand that if the under-canopy lighting is being done by others, it will be reviewed at the time of building permit. In addition, the building permit will not be released until the UDC standards are met. (Subsection 03.03, of Article 07, UDC)
- (4) Please provide the cut sheets for all of the proposed light fixtures. (Subsection 03.03, of Article 07, UDC)

#### M.11 Building Elevations

- (1) Please verify the directional for the building elevations. Specifically, the elevations for the C-Store appear to be mislabeled. (Subsection 03.04. A, of Article 11, UDC)
- (2) Please review the C-Store building elevations against the footprint on the site plan. Based on the shadow lines, they do not appear to match. (Subsection 03.04. A, of Article 11, UDC)
- (3) There appear to be two (2) different canopies in addition to the fuel canopy. Specifically, there is a canopy mislabeled as the Monument Sign. Please clarify what this is being used for. (Subsection 03.04. A, of Article 11, UDC)
- (4) Please delineate the fuel vents on the canopy elevations. (Subsection 02.03, of Article 04, UDC)
- (5) Nichiha is not a permitted building material within the Overlay Districts. (Subsection 06.02. C, of Article 05, UDC)
- (6) Cementitious materials may not exceed more than 50% on a façade. In this case, the multiple façades utilized greater than 50% cementitious materials. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)
- (7) Natural or quarried stone must be utilized on at least 20% on each façade. In this case, stone is not being proposed. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)
- (8) Please indicate the material percentages for all structures (i.e. the gas canopy, vacuum bay canopies, vacuum equipment building). (Subsection 04.01, of Article 05, UDC)
- (9) Please indicate that the backside of the parapet must be finished in the same material as the exterior facing façade. In addition, all parapet systems must be enclosed. (Subsection 06.02, of Article 05, UDC)
- (10) Provide a detail/elevation of the vacuum equipment and any associated structure. (Subsection 04.01, of Article 05, UDC)
- (11) Please indicate the building height and the parapet height. (Subsection 04.01 of Article 05, UDC)
- (12) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)
- (13) The proposed building does not meet the four (4) sided architecture requirements. This requires the same "materials, detailing, articulation and features" on each façade. In this case the primary articulation requirements must be met on each side of the buildings, and the same architectural detail and features must be provided on each side of the buildings. (Subsection 06.02, of Article 05, UDC)
- (14) Please indicate the architectural elements on each building. Each building is required to incorporate four (4) architectural elements. (Subsection 06.02, of Article 05, UDC)
- (15) The proposed C-Store and Car Wash building do not meet the majority of the Primary Articulation requirements. Please review the articulation diagram within the General Commercial District Standards within the Unified Development Code (UDC). Specifically, the C-Store does not meet items 2, 4, 5, & 6 in the diagram, and the Car Wash does not meet items 2-7 in the diagram. These will be Variances. (Subsection 06.02, of Article 05, UDC)

- M.12 At this time, based on the materials submitted, staff has identified several changes to the site, landscape, photometric, and building design that require changes. Any required changes that are not made will be an exception/variance. These exceptions/variances must be approved by the Planning and Zoning Commission.
- M.13 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.
- I.14 Please note that failure to address all comments provided by staff by 3:00 PM on June 3, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.15 Please note the scheduled meetings for this case:
- (1) Planning & Zoning meeting/work session meeting will be held on May 27, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on June 10, 2025.
- I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments

05/22/2025: 1. Show off site sewer on site plan. All existing and proposed utilities are to be shown on site plan

- 2. 20' minimum
- 3. What is this 80'x27' area? What about the 18'x15' area? Label what the intent is for these areas.
- 4. A detention easement will be required for all detention areas, even underground detention.
- 5. Keep in mind you will not be able to plant trees on top of this underground detention area.
- 6. This the public water main. Remove meter and backflow.
- 7. Dumpster areas, fuel canopy areas, and car wash areas shall drain to an oil/water separator and then into the storm drainage system.
- 8. Please keep in mind that no trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. Also, required landscape berms may not be on top of City utilities. Make sure you are giving yourself enough space to be able to install the required 16" main and meet all of your landscape requirements.
- 9. Detention easement required.
- 10. Sanitary sewer, storm sewer, and water main must all have minimum 10' separation between the. Water main to be a minimum 20' easement.
- 11. Due to these lines capturing offsite water and flowing through site, drainage easement required. 20' minimum.
- 12. a detention easement will be required for all detention areas, even underground detention.
- 13. Min 20' water easement for all hydrants.
- 14. Why not come off the public main for private water service here and have meter within one larger water easement? You are running your private line very far.
- 15. This the public water main. Remove meter and backflow preventer.
- 16. Please keep in mind that no trees to be with 5' of any public water, sewer, or storm line that is less than 10". Also, required landscape berms may not be on top of City utilities.

Make sure you are giving yourself enough space to be able to keep the required separation from the existing 8" main and meet all of your landscape requirements.

- 17. Driveway spacing from intersection is minimum 200'.
- 18. 16" water main needs to cross Airport to connect to existing 16".
- 19. Please keep in mind that no trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. Also, required landscape berms may not be on top of City utilities. Make sure you are giving yourself enough space to be able to install the required 16" main and meet all of your landscape requirements.
- 20. Keep all proposed trees outside of 20' water easement for all hydrants.

#### General Comments:

#### General Items:

- Must meet City's 2023 Standards of Design and Construction Manual

- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- All utilities must be underground.
- Must meet City driveway spacing requirements.
- Additional comments may be provided at time of Engineering.

#### Drainage Items:

- Detention is required. No vertical walls are allowed in detention easement. Max side slope of 4:1 with a minimum bottom slope of 1%.
- No public water or sanitary sewer can be in detention easement.
- Detention ponds must be irrigated.
- Existing flow patterns must be maintained. The site must drain to the east side of the property and back towards the Squabble Creek floodplain area.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- Dumpster areas, fuel canopy areas, and car wash areas shall drain to an oil/water spectator and then into the storm system.

#### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must install 16" water line across entire property along John King and tie to ex. 16" water on the south side of Airport Road.
- There is currently no existing sewer mains at the property available for use. 8" and 10" Sewer must drain to sewer system in Park Hills Subdivision which will require off-site easements.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

#### Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. Call out radius.
- Fire lane (if needed) to be in a platted easement.
- 5' Sidewalk required along Airport Road.
- 10' trail along John King to be installed

#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2025	Approved w/ Comments
05/22/2025: * Dumpster enclo	osure to have a drain and a oil/water separator b	efore discharging to the Storm water line	
* Monument sign doesn't mee	t the design standards of the Sign Ordinance. Se	ee attached documents and requirements. Also, the	monument sign will need to be a minimum of 10
feet from any property line, 60	feet from any other free standing sign, and can'	be located within any easements	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/20/2025	Approved w/ Comments
05/20/2025: The FDC shall be	e facing and visible from the fire lane.		
The FDC must be within 100 f	eet of a fire hydrant and 50 feet of the fire lane.		
The FDC shall be clear and un	nobstructed with a minimum of a 5-feet clear all-	veather path from fire lane access	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/19/2025	Approved w/ Comments
05/19/2025: Address will be:	490 S JOHN KING BLVD, ROCKWALL, TX 7508	37	

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	05/19/2025	Approved	
No Comments				

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/19/2025	Approved w/ Comments	

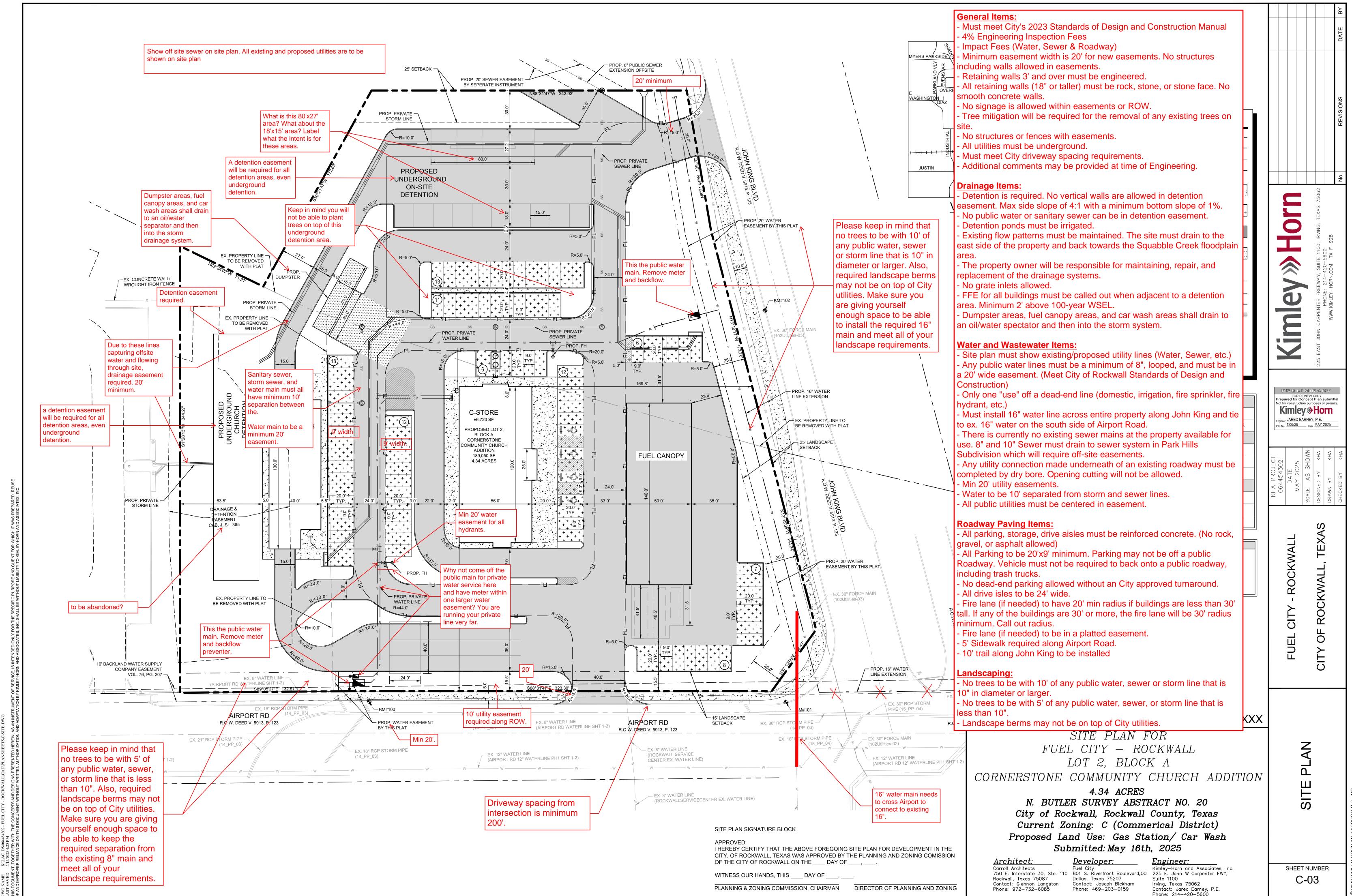
05/19/2025: 1. Tree Mitigation approved

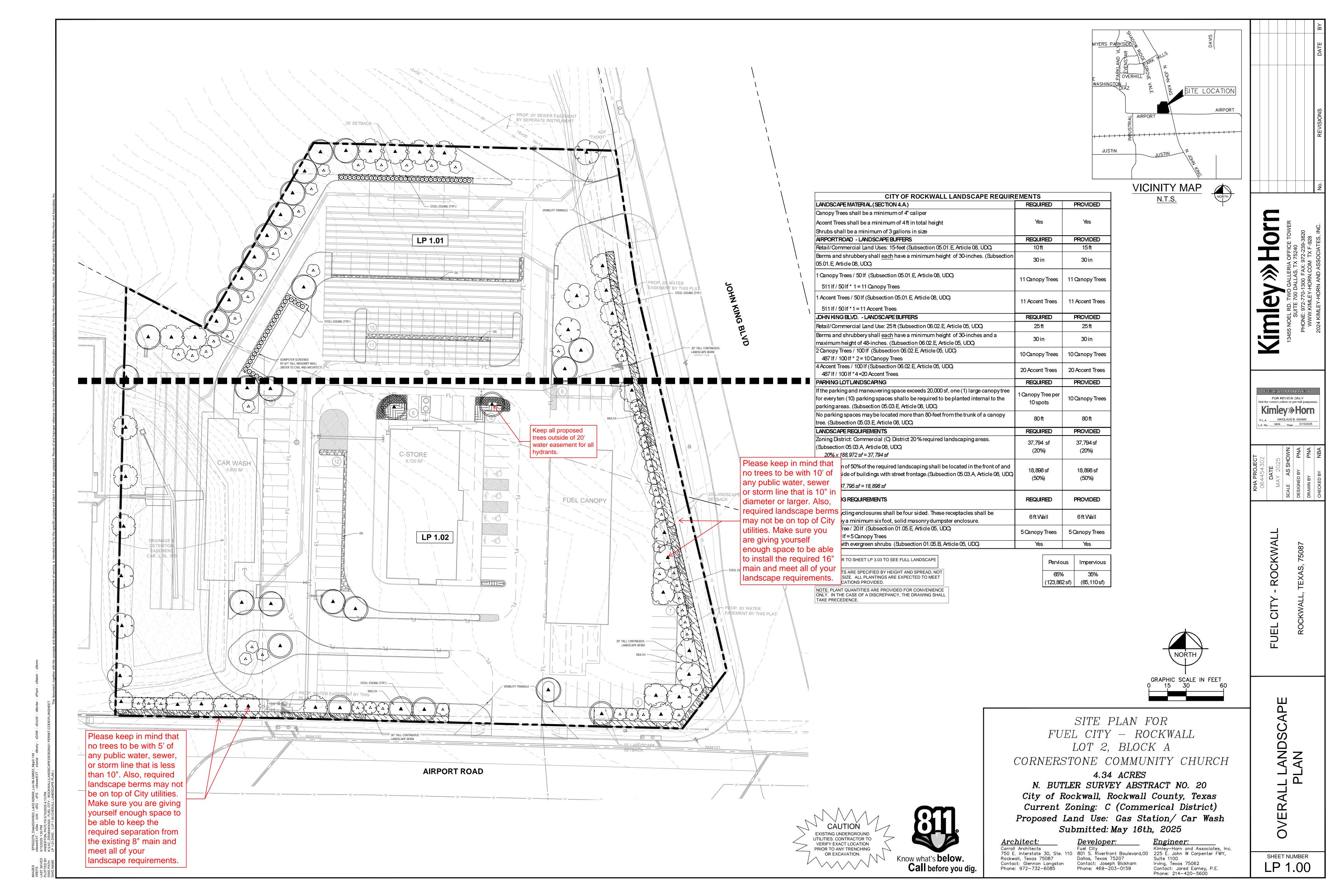
2. Landscape Plan

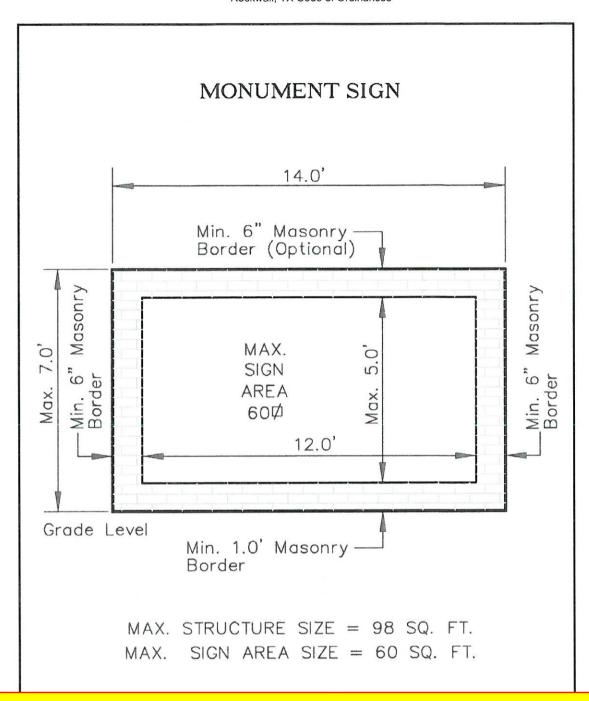
Turfgrass varieties?

All parking spaces must be within 80' of tree canopy

Detention pond landscape calculations needed







Sec. 32-304. - Monument signs.

Unless otherwise specifically provided, the regulations set forth in this division shall be applicable to all monument signs which are allowed under this chapter.

(1)All monument signs shall be limited to a maximum height of seven feet and a total structure size of 98 square feet. The maximum size for the sign area is 60 square feet with a maximum height of five feet. Every monument sign shall be required to have a minimum one-foot masonry base, measured from grade level to the bottom of the sign area. Every monument sign shall be required to have a minimum six-inch masonry border on each side of the sign area. A minimum six-inch masonry cap is allowed above the sign area, however, it is not required. If, the masonry cap option is not chosen, the maximum height of the sign structure shall be limited to six feet. All monument signs will require engineer-sealed drawings.

(2)Building materials and colors utilized for construction of monument bases, side borders, caps, and sign frames shall be constructed of the same materials found on the main building on the lot, unless otherwise approved by the city council.

(3)If the proposed sign is to be constructed on a lot with an existing building which does not contain a masonry facade, the materials used for the monument base, side borders and cap must be stone or brick.

### **Monument Sign**

#### **Standards**

1. Sign does not exceed 7' in height and total structure sf of 98sf.
Meets requirement Does not meet requirement
2. Maximum size of the sign area is 60sf and maximum height of 5'
Meets requirement Does not meet requirement
3. Sign must have a 1' masonry base measured from grade and a 6" masonry border on each side of the sign.
Meets requirement Does not meet requirement
4. Sign is allowed an additional 6" masonry cap but not required, however if not used the maximum height of the sign is 6"
Meets requirement Does not meet requirement
5. Sign must be setback from all property lines a minimum of 10' and 60' away from all other signs.
Meets requirement Does not meet requirement
Permit Requirements
I arrand

#### Layout

- 1. Provide design and pictures to scale showing the layout, height, size and distance from the ground of the sign.
- 2. Provide a site plan and/or plat to scale showing all right of way, easements, property lines and lot dimensions.
- 3. Identify on site plan the proposed location of the pole sign. Showing all distances from property lines.
  - A. All freestanding signs must be 30' from adjoining property lines with 200 feet of frontage.
  - B. 20 feet from adjoining property lines with 100' but less than 200'
  - C. 10 feet from adjoining property lines with 100' or less
  - D. And 60' from any other freestanding sign.
  - E. Lots less than 100' on a two-lane road must utilize a monument sign.
  - F. Only 1 sign allowed unless you have 7 acres or more along IH30 and 5 acres or more along all other roads.
- 4. All monument signs must have engineered sealed drawings.

#### **Electrical**

- 1. Provide type of lighting
- 2. Show disconnect location
- 3. Show the location of the power supply / transformer
- 4. Provide wire size
- 5. Provide circuit ampacity
- 6. Provide Voltage

An addition: All signs must be provide with the following, they shall have displayed in a conspicuous place. In letters not less than 1" inch in height, the date of erection, the permit number, the voltage of any electrical apparatus used, and the sign erectors name, address, and license number.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

TAFF	USE	ONLY	_

PLANNING & ZONING CASE NO.

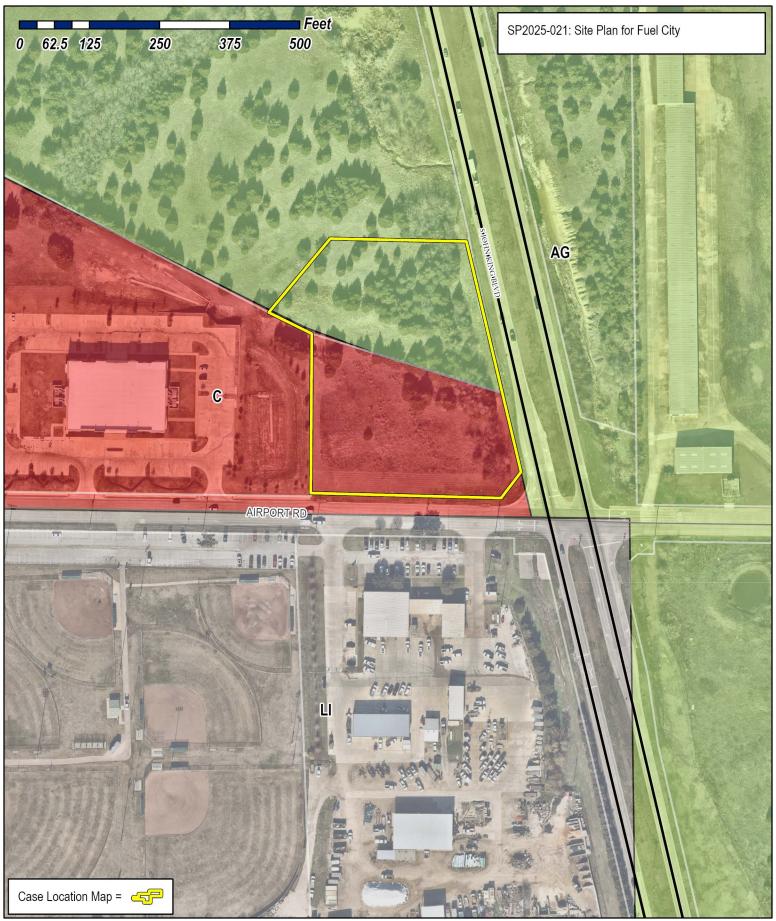
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

Notary 1D 134596025

**DIRECTOR OF PLANNING:** 

CITY ENGINEER:

	CIT ENGINEER.	
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	DEVELOPMENT REQUEST [SELECT ONLY ONE BOX];	
PLATTING APPLICATION FEES:  ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)  SITE PLAN APPLICATION FEES: ☑ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES:  ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)  ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)  ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)  ☐ OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)  2 NOTES: 1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BET PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1)  2: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUT PERMIT.	ACRE. THAT
PROPERTY INFORMATION [PLEASE PRINT]	<u> </u>	
ADDRESS		
SUBDIVISION A0020 N Butler, Tract 4-06	LOT BLOCK	
GENERAL LOCATION Northwest of John Kind Blvd and A	sirport Rd	
ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE F	•	
current zoning Commercial District (C)	CURRENT USE N/A	
PROPOSED ZONING Commercial District (C)	PROPOSED USE Gas Station/ Car Wash	
ACREAGE 4.34 acres LOTS [CURRENT]	LOTS [PROPOSED]	
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STRESULT IN THE DENIAL OF YOUR CASE.		
OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHEC	CK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]	
□ OWNER Fuel City	□ APPLICANT <b>Kimley-Horn</b>	
CONTACT PERSON Joseph Bickham C	CONTACT PERSON Jared Earney	
ADDRESS	ADDRESS 225 E. John W. Carpenter FWY, Ste	e 1100
CITY, STATE & ZIP	CITY, STATE & ZIP Irving, TX 75062	
PHONE <b>469-203-0159</b>	PHONE 817-900-8528	
E-MAIL jbickham@fuelcity.com	E-MAIL jared.earney@kimley-horn.com	
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FO	JOSEPH BICKHEIM [OWNER] THE UNDERSIGNI	ED, WHO
THEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL  TO COVER THE COST OF THIS APPLICATION, HAS I  TO COVER THE COST OF THIS APPLICATION, I AGREE  SUFFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS A  SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCI	BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFO	ON FEE O DAY O O PROVID ORMATION
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF 100 D	GLORIA AGUIRR  Solve State of Comm. Expires 10.09	f Texas



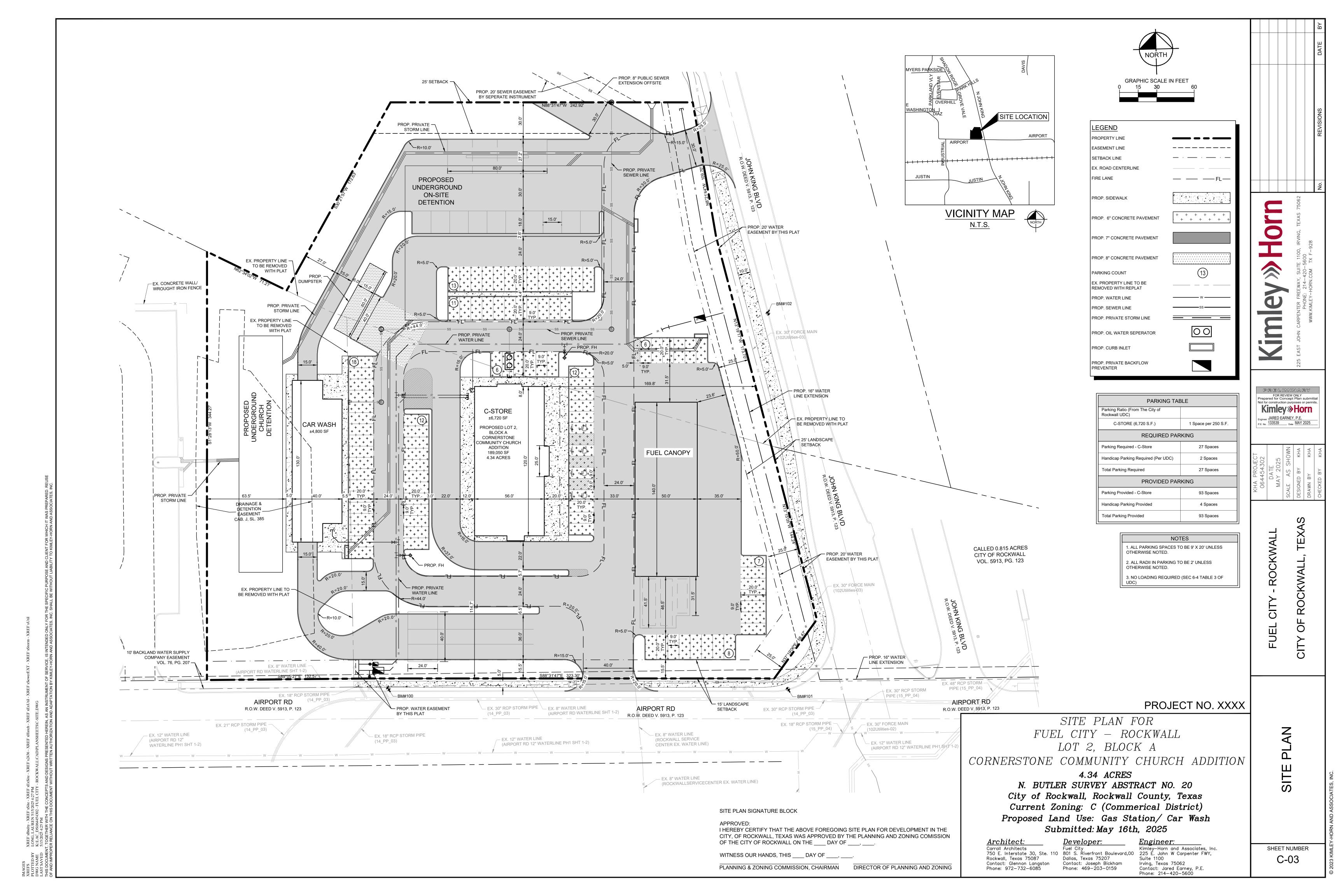


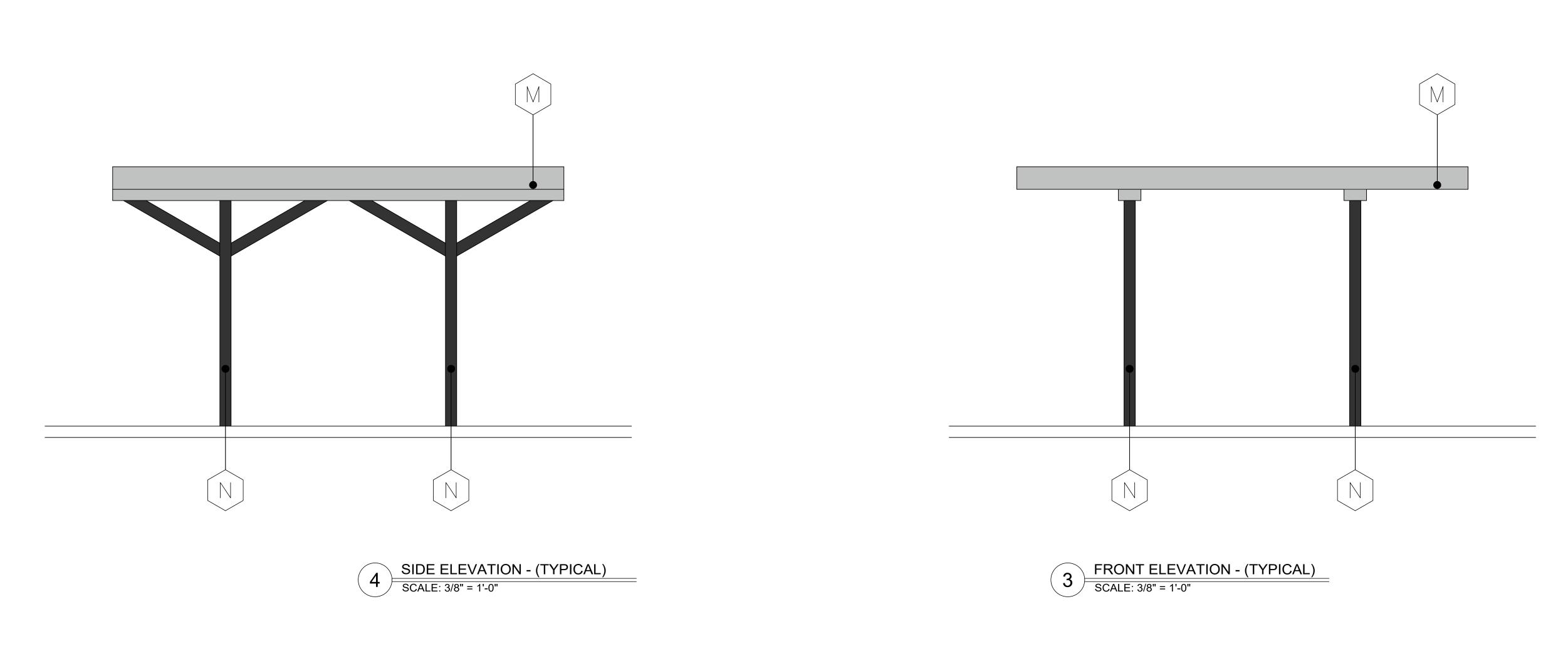
# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

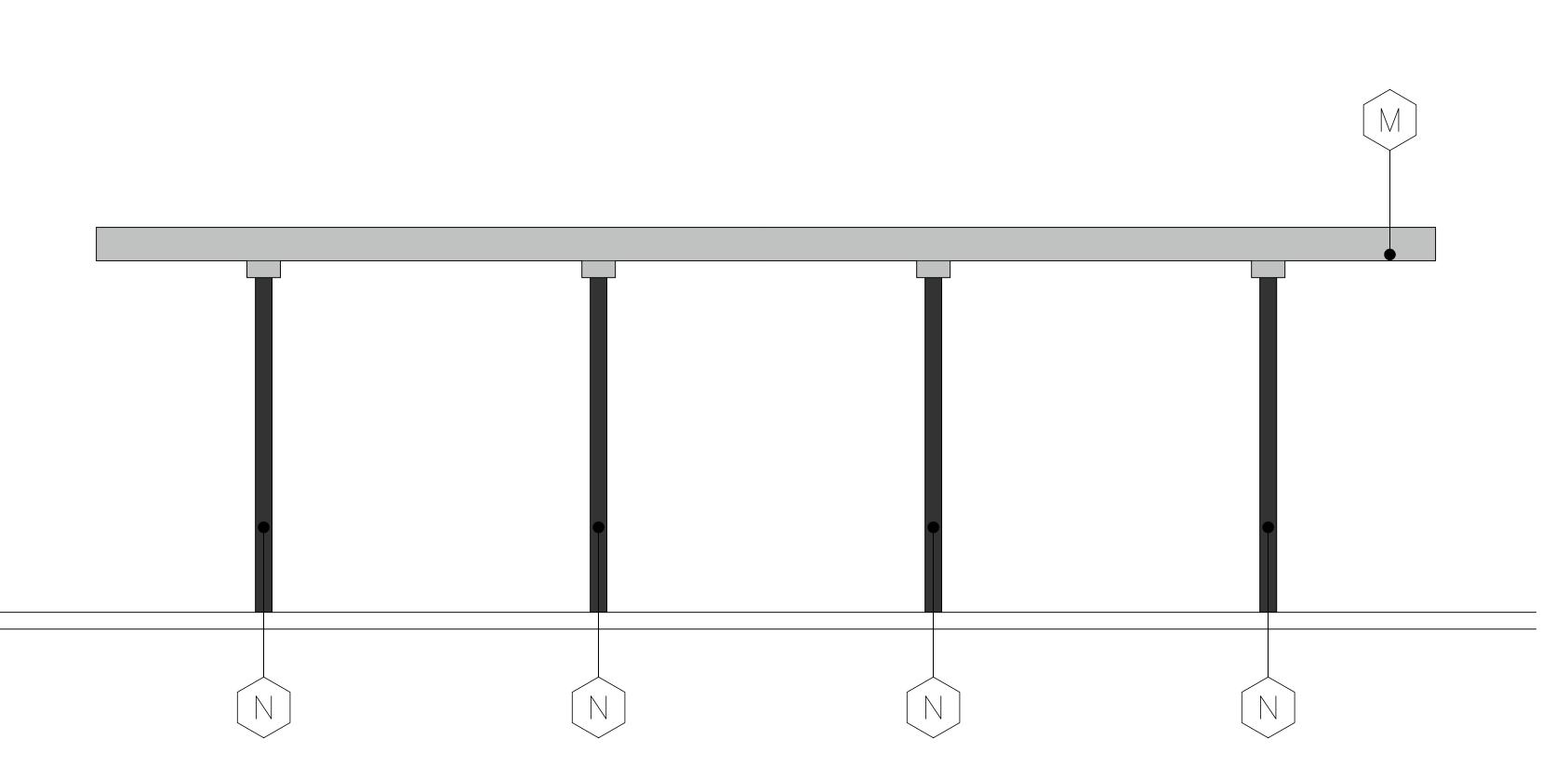
(P): (972) 771-7745 (W): www.rockwall.com

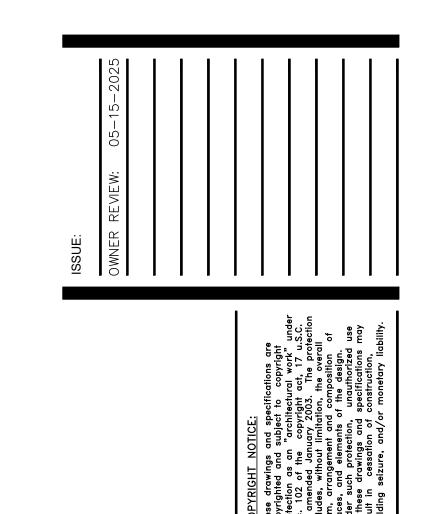
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.











FUEL CITY
Rockwall, Texas 75087



MONUMENT SIGN ELEVATION

DATE: SHEET NO:

MAY 2025

PROJECT NO:

2024074

DRAWN BY:

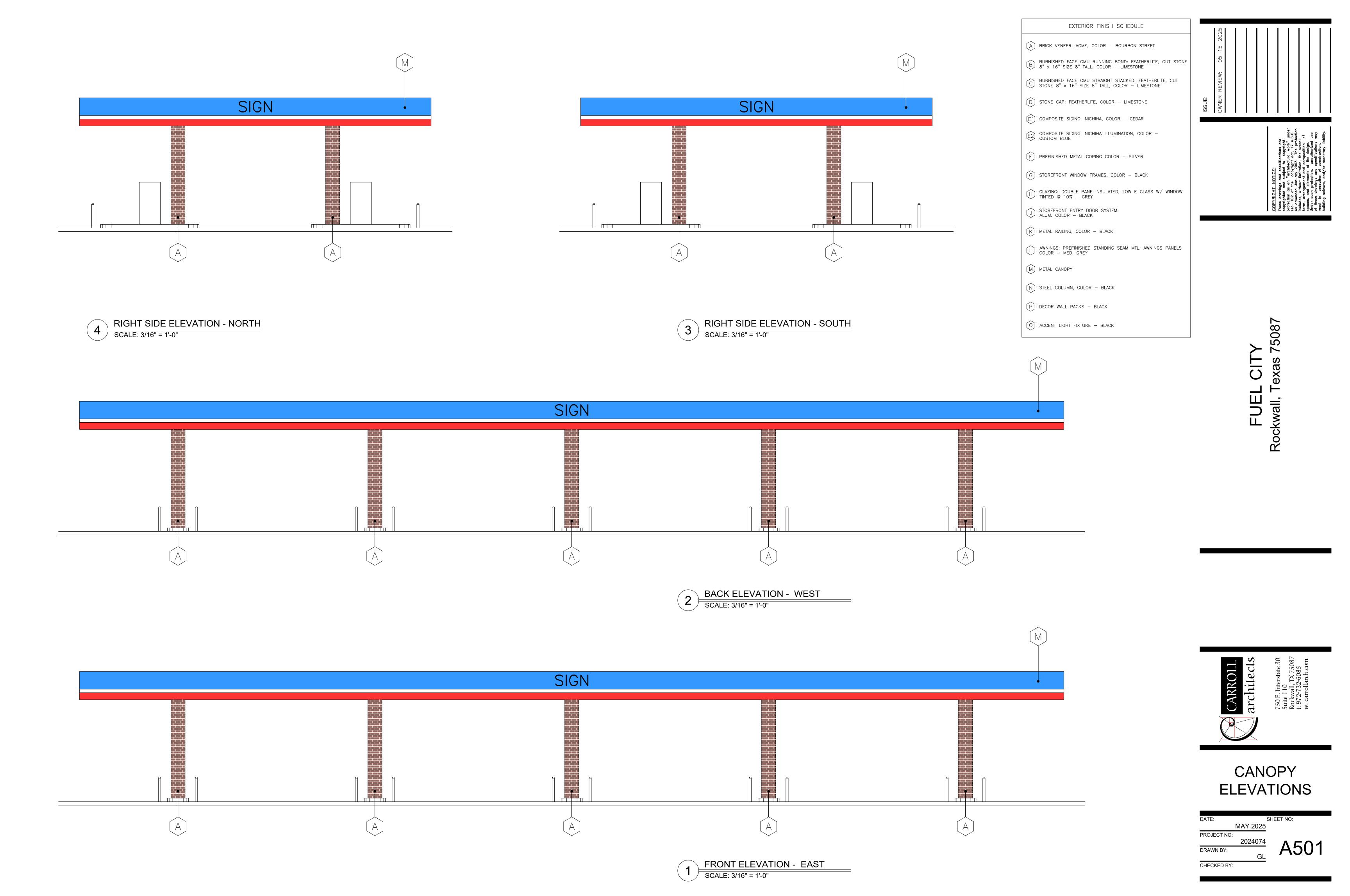
GL

SIDE ELEVATION - (TYPICAL)

SCALE: 3/8" = 1'-0"

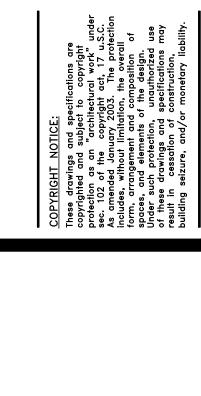
1 FRONT ELEVATION - (TYPICAL)

SCALE: 3/8" = 1'-0"

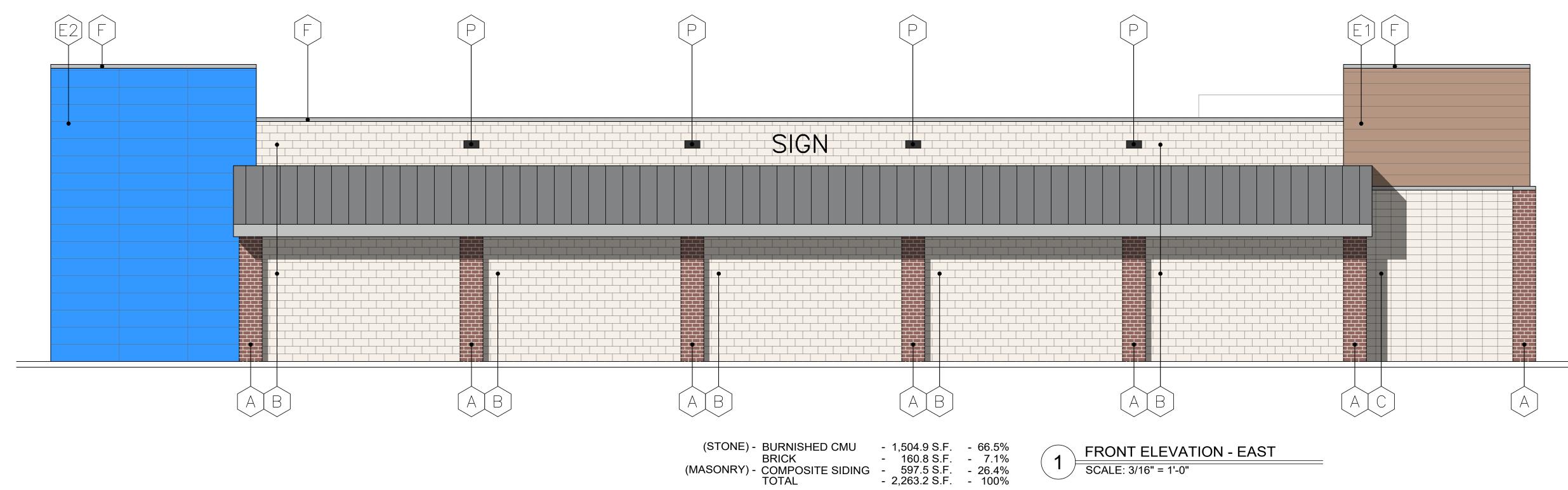


EXTERIOR FINISH SCHEDULE

- (A) BRICK VENEER: ACME, COLOR BOURBON STREET
- B BURNISHED FACE CMU RUNNING BOND: FEATHERLITE, CUT STONE 8" x 16" SIZE 8" TALL, COLOR LIMESTONE
- BURNISHED FACE CMU STRAIGHT STACKED: FEATHERLITE, CUT STONE 8" x 16" SIZE 8" TALL, COLOR LIMESTONE
- (D) STONE CAP: FEATHERLITE, COLOR LIMESTONE
- (E1) COMPOSITE SIDING: NICHIHA, COLOR CEDAR
- COMPOSITE SIDING: NICHIHA ILLUMINATION, COLOR CUSTOM BLUE
- F PREFINISHED METAL COPING COLOR SILVER
- G STOREFRONT WINDOW FRAMES, COLOR BLACK
- H GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10% GREY
- STOREFRONT ENTRY DOOR SYSTEM: ALUM. COLOR BLACK
- K METAL RAILING, COLOR BLACK
- AWNINGS: PREFINISHED STANDING SEAM MTL. AWNINGS PANELS COLOR MED. GREY
- M METAL CANOPY
- (N) STEEL COLUMN, COLOR BLACK
- (P) DECOR WALL PACKS BLACK
- Q ACCENT LIGHT FIXTURE BLACK



75087 5 FUEL Rockwall,



BRICK - 84.6 S.F. - 13.5% (MASONRY) - COMPOSITE SIDING - 237.7 S.F. - 37.8% TOTAL - 628.4 S.F. - 100%

FRONT ELEVATION - EAST

SCALE: 3/16" = 1'-0"

(STONE) - BURNISHED CMU - 306.1 S.F. - 48.7%
BRICK - 84.6 S.F. - 13.5%
MASONRY) - COMPOSITE SIDING - 237.7 S.F. - 37.8%
- 628 4 S.F. - 100%

RIGHT SIDE ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"

CARWASH **ELEVATIONS** 

PROJECT NO:

(STONE) - BURNISHED CMU - 958.1 S.F. - 55.7% BRICK - 326.9 S.F. - 19.0% - 433.8 S.F. - 25.6% TOTAL - 1,718.8 S.F. - 100%



(STONE) - BURNISHED CMU - 1,234.9 S.F. - 50.7%
BRICK - 626.4 S.F. - 25.7%
(MASONRY) - COMPOSITE SIDING - 576.7 S.F. - 23.6%
TOTAL - 2,438.0 S.F. - 100%

1 FRONT ELEVATION - EAST SCALE: 3/16" = 1'-0"

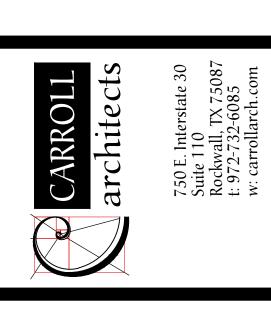
EXTERIOR FINISH SCHEDULE

- A BRICK VENEER: ACME, COLOR BOURBON STREET
- BURNISHED FACE CMU RUNNING BOND: FEATHERLITE, CUT STONE 8" x 16" SIZE 8" TALL, COLOR LIMESTONE
- BURNISHED FACE CMU STRAIGHT STACKED: FEATHERLITE, CUT STONE 8" x 16" SIZE 8" TALL, COLOR LIMESTONE
- D STONE CAP: FEATHERLITE, COLOR LIMESTONE
- (E1) COMPOSITE SIDING: NICHIHA, COLOR CEDAR
- © COMPOSITE SIDING: NICHIHA ILLUMINATION, COLOR CUSTOM BLUE
- F PREFINISHED METAL COPING COLOR SILVER
- G STOREFRONT WINDOW FRAMES, COLOR BLACK
- H GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10% GREY
- STOREFRONT ENTRY DOOR SYSTEM: ALUM. COLOR BLACK
- K METAL RAILING, COLOR BLACK
- AWNINGS: PREFINISHED STANDING SEAM MTL. AWNINGS PANELS COLOR MED. GREY
- M METAL CANOPY
- N STEEL COLUMN, COLOR BLACK
- P DECOR WALL PACKS BLACK
- Q ACCENT LIGHT FIXTURE BLACK

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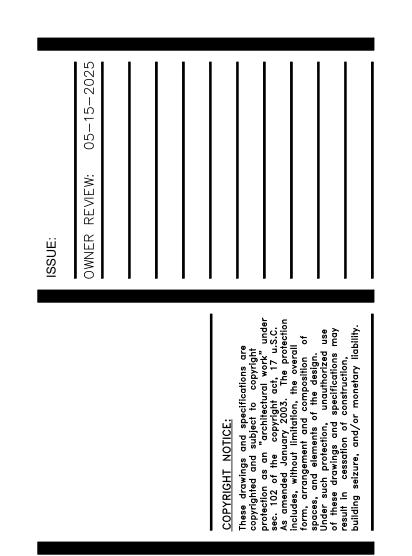
FUEL CITY Rockwall, Texas 75087

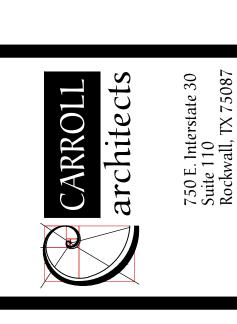


# EXTERIOR ELEVATIONS

DATE:	S	HEET NO:
	MAY 2025	
PROJECT NO:		
	2024074	Λ <i>Γ</i> (
DRAWN BY:		ADU
	GL	, , ,
CHECKED BY:		

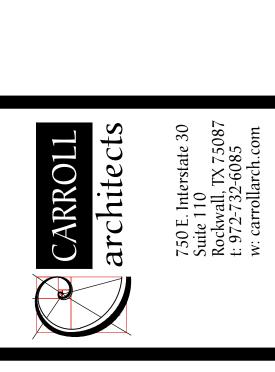






# MONUMENT SIGN ELEVATION

DATE:		SHEET NO:
l	MAY 2025	
PROJECT NO:		
	2024074	Λ <i>Γ</i>
DRAWN BY:		Ab
	GL	, ,
CHECKED BY:		



## VACUUM CANOPY ELEVATIONS

DATE: SHEET NO:

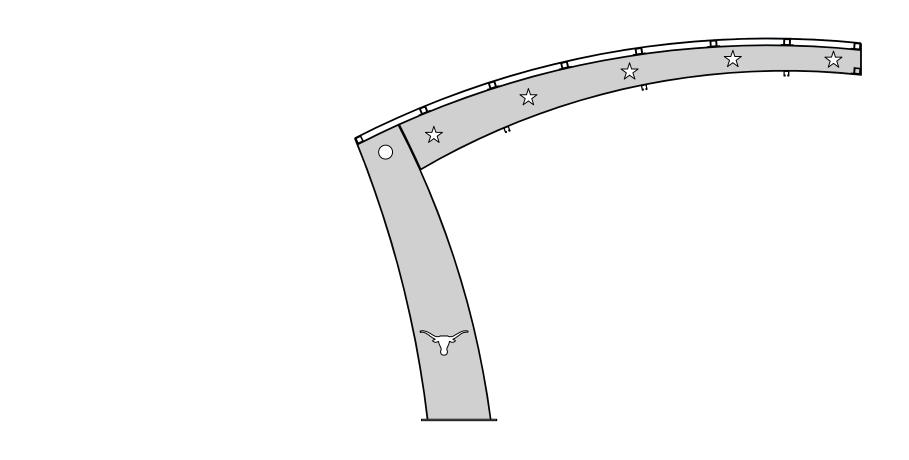
MAY 2025

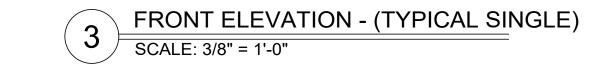
PROJECT NO:

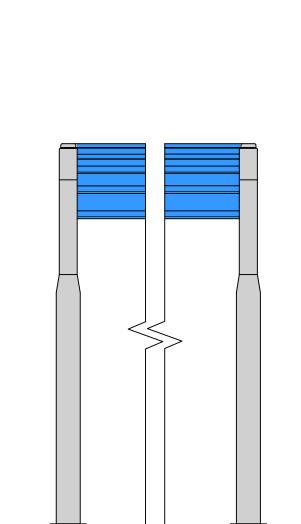
2024074

DRAWN BY:

GL

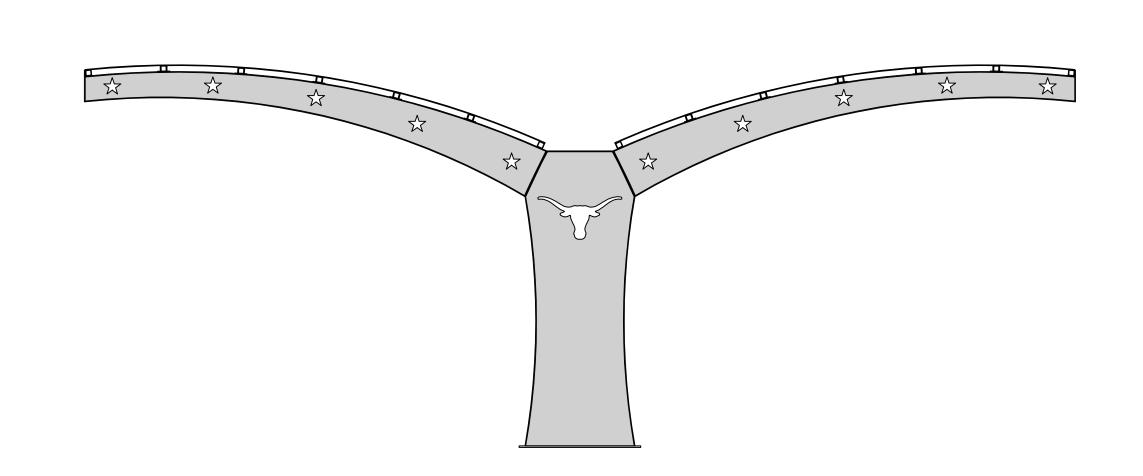






SIDE ELEVATION - (TYPICAL SINGLE)

SCALE: 3/8" = 1'-0"



SIDE ELEVATION - (TYPICAL DOUBLE)

SCALE: 3/8" = 1'-0"

1 FRONT ELEVATION - (TYPICAL DOUBLE)

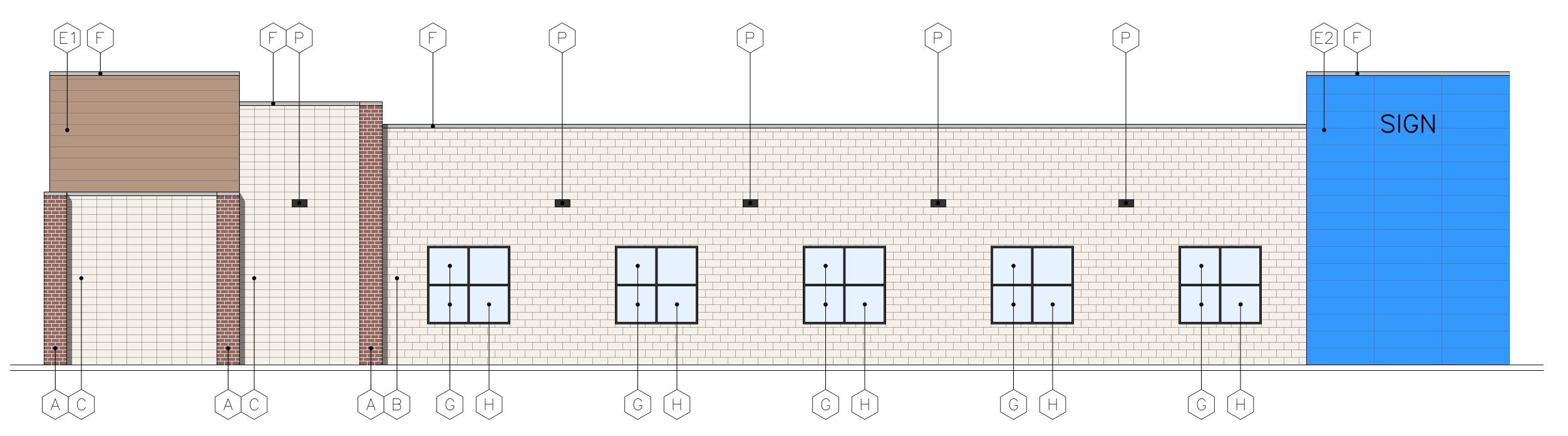
SCALE: 3/8" = 1'-0"



- (A) BRICK VENEER: ACME, COLOR BOURBON STREET
- B BURNISHED FACE CMU RUNNING BOND: FEATHERLITE, CUT STONE 8" x 16" SIZE 8" TALL, COLOR LIMESTONE
- BURNISHED FACE CMU STRAIGHT STACKED: FEATHERLITE, CUT STONE 8" x 16" SIZE 8" TALL, COLOR LIMESTONE
- D STONE CAP: FEATHERLITE, COLOR LIMESTONE
- (E1) COMPOSITE SIDING: NICHIHA, COLOR CEDAR
- COMPOSITE SIDING: NICHIHA ILLUMINATION, COLOR CUSTOM BLUE
- (F) PREFINISHED METAL COPING COLOR SILVER
- G STOREFRONT WINDOW FRAMES, COLOR BLACK
- H GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10% GREY
- STOREFRONT ENTRY DOOR SYSTEM: ALUM. COLOR BLACK
- (K) METAL RAILING, COLOR BLACK
- AWNINGS: PREFINISHED STANDING SEAM MTL. AWNINGS PANELS COLOR MED. GREY
- M METAL CANOPY
- (N) STEEL COLUMN, COLOR BLACK
- (P) DECOR WALL PACKS BLACK
- Q ACCENT LIGHT FIXTURE BLACK

75087 5 FUEL Rockwall,

(STONE) - BURNISHED CMU - 153.6 S.F. - 24.3 BRICK - 36.1 S.F. - 5.7% MASONRY) - COMPOSITE SIDING - 443.6 S.F. - 70.0% - 633.3 S.F. - 100%



BRICK - 36.1 S.F. - 5.7% (MASONRY) - COMPOSITE SIDING - 443.6 S.F. - 70.0% TOTAL - 633.3 S.F. - 100%

(STONE) - BURNISHED CMU - 1,932.0 S.F. - 72.3% BRICK - 106.0 S.F. - 4.0% (MASONRY) - COMPOSITE SIDING - 635.9 S.F. - 26.4% TOTAL - 2,673.9 S.F. - 100%

BACK ELEVATION - WEST

SCALE: 3/16" = 1'-0"

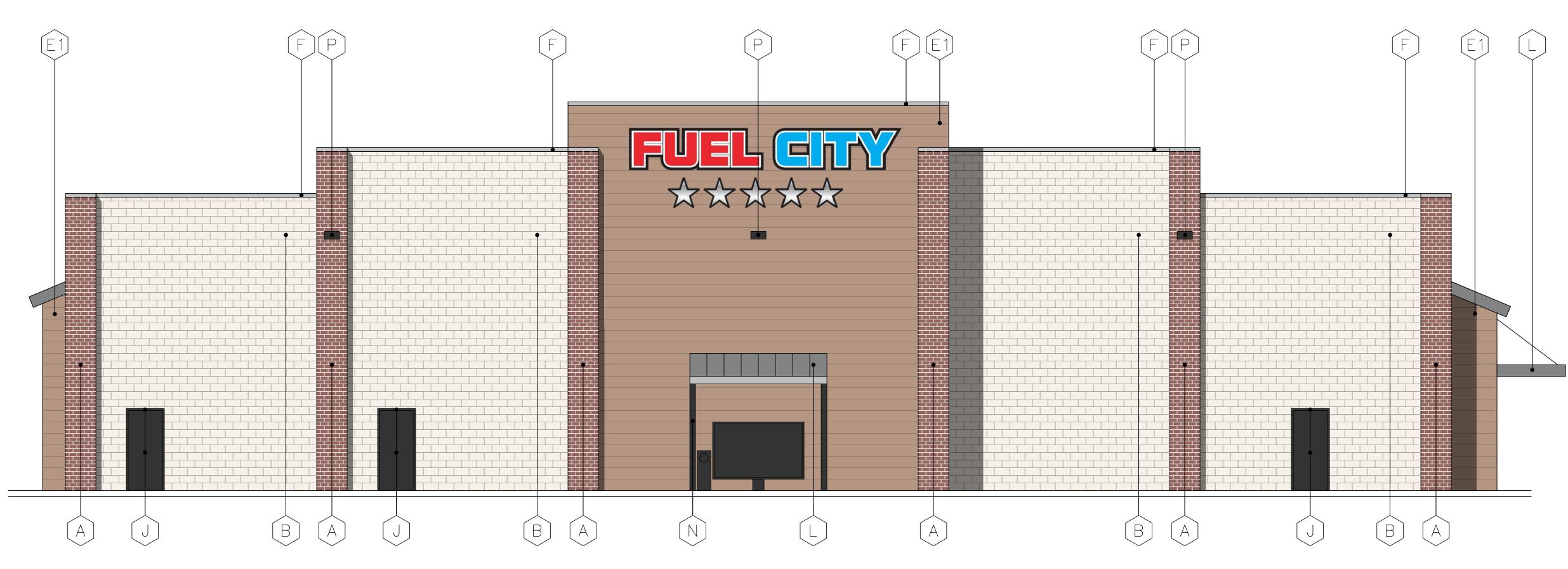
## CARWASH **ELEVATIONS**

PROJECT NO:

EXTERIOR FINISH SCHEDULE

(A) BRICK VENEER: ACME, COLOR - BOURBON STREET

75087 5 FUEL Rockwall,



(STONE) - BURNISHED CMU - 1,984.8 S.F. - 59.3% BRICK - 410.4 S.F. - 12.3% (MASONRY) - COMPOSITE SIDING - 949.1 S.F. - 28.4% TOTAL - 3,344.3 S.F. - 100% BACK ELEVATION - WEST

SCALE: 3/16" = 1'-0"

(STONE) - BURNISHED CMU - 883.1 S.F. - 54.8% BRICK - 326.9 S.F. - 20.3% (MASONRY) - COMPOSITE SIDING TOTAL - 1,612.0 S.F. - 100%

## **EXTERIOR ELEVATIONS**

PROJECT NO: 2024074 A502

**AIRPORT ROAD** 

SITE LOCATION AIRPORT VICINITY MAP

### TREE PRESERVATION LEGEND

EXISTING TREE TO BE REMOVED

L.A. No. 3404 Date 5/15/2025

SHEET NUMBER TP 1.01

### TREE PRESERVATION AND REMOVAL NOTES

1. CONTRACTOR SHALL COORDINATE WITH ISA CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.

2. ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.

3. ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE

4. ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.

5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.

6. CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPLANTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING, OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE HARVESTED AS BALLED & BURLAPPED TREE SPECIMENS, PER ANSI Z60 STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

CONTRACTOR SHALL NOT REMOVE ANY TREE UNTIL A TREE REMOVAL PERMIT HAS BEEN OBTAINED FROM THE APPLICABLE CITY AUTHORITY. A FORMAL TREE REMOVAL PERMIT MUST BE REQUESTED AND APPROVED PRIOR TO ANY TREE DISTURBANCE OR REMOVAL ACTIVITIES. THESE PLANS DO CONSTITUTE AUTHORIZATION FOR TREE REMOVAL, NOR DO THEY IMPLY APPROVAL FOR SUCH ACTION. APPROVAL OF THESE PLANS BY THE CITY IS REQUIRED AS PART OF THE TREE REMOVAL PERMITTING PROCESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS ARE SECURED PRIOR TO COMMENCING WORK.

> SITE PLAN FOR FUEL CITY - ROCKWALL LOT 2, BLOCK A CORNERSTONE COMMUNITY CHURCH

4.34 ACRES

N. BUTLER SURVEY ABSTRACT NO. 20 City of Rockwall, Rockwall County, Texas Current Zoning: C (Commerical District) Proposed Land Use: Gas Station/ Car Wash Submitted: May 16th, 2025

Architect:	I
Carroll Architects 750 E. Interstate 30, Ste. 110 Rockwall, Texas 75087	F 8 D
Contact: Glennon Langston Phone: 972—732—6085	C

Fuel City

801 S. Riverfront Boulevard,00

Kimley—Horn and Associates, Inc.
225 E. John W Carpenter FWY, Dallas, Texas 75207 Contact: Joseph Bickham Phone: 469-203-0159

Irving, Texas 75062 Contact: Jared Earney, P.E. Phone: 214-420-5600

1 1	1		1	I	1 .				T	I , ,			_	1			T	1
<b>TAG# DB</b> i		common name eastern redcedar	Juniperus virginiana	CONDITION Healthy (5)	MULTIPLE-STEMMED Single	PROTECT OR REMOVE Remove	MITIGATION REQUIRED (IN)	8220 5.5 8221 6.8	eastern redcedar eastern redcedar	Juniperus virginiana  Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove Remove	4	8357 6.3 8358 7.6	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	, , ,
1553 6.		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8222 24.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8359 6.8	eastern redcedar	Juniperus virginiana	
1554 13.		eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8223 5.5	American elm	Ulmus americana	Healthy (5)	Single	Remove	5.5'	8360 6.0	eastern redcedar	Juniperus virginiana	Healthy (5)
1555 8.	3.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8224 24.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8361 10.8	hackberry	Celtis laevigata	, , ,
1556 6.		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8225 12.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8362 4.8	eastern redcedar	Juniperus virginiana	, , ,
1557 8.		eastern redeedar	Juniperus virginiana	Healthy (5)	Multi	Remove Remove	4	8226 10.3 8227 5.1	eastern redeedar	Juniperus virginiana	Healthy (5)	Single	Remove Remove	4	8363 7.3 8364 4.8	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	<u> </u>
1558 4.5 1559 7.5	1.5 ' n	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove	4	8228 9.3	eastern redcedar eastern redcedar	Juniperus virginiana  Juniperus virginiana	Healthy (5) Healthy (5)	Single Forked	Remove	<u>4</u>	8365 5.6	eastern redcedar	Juniperus virginiana	
1560 10.	).6	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8229 6.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8366 6.0	eastern redcedar	Juniperus virginiana	Healthy (5)
1561 6.3	3.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8230 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8367 7.2	eastern redcedar	Juniperus virginiana	• • • • • • • • • • • • • • • • • • • •
1562 6.	S. 1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8231 11.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8368 6.5	eastern redcedar	Juniperus virginiana	, , ,
1563 6.3	3.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8232 4.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8369 7.3 8370 4.8	eastern redcedar hackberry	Juniperus virginiana Celtis laevigata	- ' ' '
1564 12.	2.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8233 6.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8371 7.0	eastern redcedar	Juniperus virginiana	, , ,
1565 5. 1566 4.	0.1	eastern redeedar	Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove Remove	4	8234 10.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8372 6.1	hackberry	Celtis laevigata	
1567 6.	i. i	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5)	Single	Remove	4	8235 12.0 8236 7.3	hackberry eastern redcedar	Celtis laevigata  Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove Remove	4	8373 7.3	hackberry	Celtis laevigata	Healthy (5)
1568 6.:		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8237 5.2	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8374 12.2	hackberry	Celtis laevigata	Declining (1)
1569 5.	5.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8238 5.8	American elm	Ulmus americana	Healthy (5)	Single	Remove	5.8	8375 18.6	hackberry	Celtis laevigata	, , ,
1570 6.:	5.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8239 5.0	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8376 9.9 8377 5.9	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	
1571 6.3		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8240 4.0	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8378 3.6	live oak	Quercus virginiana	, , ,
1572 5.5 1573 8.4		eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove Remove	4	8241 9.1	hackberry	Celtis laevigata	Healthy (5)	Single	Remove Remove	0	8379 3.1	live oak	Quercus virginiana	
1574 6.		eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8242 4.3 8243 22.7	hackberry eastern redcedar	Celtis laevigata Juniperus virginiana	Healthy (5) Healthy (5)	Single Multi	Remove	4	8380 3.1	live oak	Quercus virginiana	, , ,
1575 7.		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8244 7.1	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8381 3.9	live oak	Quercus virginiana	- ' ' '
1576 5.	5.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8245 14.3	American elm	Ulmus americana	Healthy (5)	Forked	Remove	14.3	8382 4.2 8383 3.3	live oak	Quercus virginiana Quercus virginiana	, , ,
1577 9.5	9.9	eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8246 9.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8384 4.4	live oak	Quercus virginiana	
1578 14.		eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8247 7.4	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8385 2.6	live oak	Quercus virginiana	Healthy (5)
1579 7.3 1580 5.4		eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5) Healthy (5)	Forked Forked	Remove Remove	4 /	8248 6.5 8249 5.4	eastern redcedar hackberry	Juniperus virginiana  Celtis laevigata	Healthy (5) Healthy (5)	Forked Single	Remove Remove	4	8386 3.1	live oak	Quercus virginiana	
1581 6.		eastern redcedar	Juniperus virginiana  Juniperus virginiana	Healthy (5)	Single	Remove	4	8249 5.4 8250 5.0	nackberry hackberry	Celtis laevigata  Celtis laevigata	Healthy (5) Healthy (5)	Single	Remove	0	8387 2.9	live oak	Quercus virginians	, , , ,
1582 10.		eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8251 5.3	American elm	Ulmus americana	Healthy (5)	Single	Remove	5.3	8388 3.8 8389 4.2	live oak	Quercus virginiana Quercus virginiana	• • • •
1583 6.	5.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8252 5.2	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8390 3.9	live oak	Quercus virginiana	
1584 6.:		eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8253 4.1	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8391 4.1	live oak	Quercus virginiana	• • • • • • • • • • • • • • • • • • • •
		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8254 4.4	hackberry	Celtis laevigata	Healthy (5)	Forked	Remove	0	8392 6.2	live oak	Quercus virginiana	, , , ,
· ·		eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5) Healthy (5)	Multi Single	Remove Remove	4 1	8255 6.2 8256 11.8	hackberry hackberry	Celtis laevigata Celtis laevigata	Healthy (5) Healthy (5)	Multi Multi	Remove Remove	0	8393 4.1	live oak	Quercus virginiana	
1595 6.		eastern redcedar	Juniperus virginiana  Juniperus virginiana	Healthy (5)	Single	Remove	4	8256 11.8 8257 8.8	hackberry hackberry	Celtis laevigata  Celtis laevigata	Healthy (5) Healthy (5)	Single	Remove	0	8394 4.3 8395 5.1	live oak	Quercus virginiana Quercus virginiana	- ' ' '
1597 5.		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8258 6.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8395 5.1 8396 11.3	eastern redcedar	Juniperus virginiana	
1598 11.:	.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8259 6.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8397 14.6	eastern redcedar	Juniperus virginiana	
1599 7.3		eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8260 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8398 7.6	eastern redcedar	Juniperus virginiana	Healthy (5)
1600 6.		eastern redcedar	Juniperus virginiana	Healthy (5)	Multi	Remove	4	8261 9.8	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8399 8.3	eastern redcedar	Juniperus virginiana	- ' '
1601 5.	b.U	eastern redcedar	Juniperus virginiana	Healthy (5) <b>602-7900 were no</b>	Single	Remove	4	8262 9.5 8263 4.4	hackberry eastern redcedar	Celtis laevigata  Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove Remove	0	8400 7.4	eastern redcedar	Juniperus virginiana	gs 8401-8450 were i
7901 9.3	9.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8264 6.1	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8451 6.4	eastern redcedar	Juniperus virginiana	
<del> </del>		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8265 6.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8452 6.1	eastern redcedar	Juniperus virginiana	
7903 7.	'.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8266 5.1	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8453 6.5	eastern redcedar	Juniperus virginiana	na Healthy (5)
7904 6.		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8267 6.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8454 7.1	eastern redcedar	Juniperus virginiana	, , ,
7905 10. 7906 14.		eastern redcedar eastern redcedar	Juniperus virginiana	Healthy (5) Healthy (5)	Single Forked	Remove Remove	4	8268 7.5	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8455 6.2 8456 8.3	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	, , ,
		eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5)	Single	Remove	4	8269 5.3 8270 8.2	eastern redcedar hackberry	Juniperus virginiana  Celtis laevigata	Healthy (5) Healthy (5)	Single Single	Remove Remove	0	8457 15.3	eastern redcedar	Juniperus virginiana	
7908 14.		eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4	8271 6.3	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8458 11.3	eastern redcedar	Juniperus virginiana	
7909 6.	5.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8272 8.6	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0	8459 9.6	eastern redcedar	Juniperus virginiana	a Healthy (5)
7910 7.5	'.9	eastern redcedar	Juniperus virginiana			ſ	4											
			<u> </u>	Healthy (5)	Single	Remove	4	8273 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8460 9.8	eastern redcedar	Juniperus virginiana	, , ,
7911 8.		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4	8274 17.2	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	4 0		eastern redcedar d tag series: 1551-1601	, ,	, , ,
7911 8. 7912 5.	5.7	eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana	Healthy (5) Healthy (5)	Single Single	Remove Remove	4 4 4	8274 17.2 8275 10.2	hackberry hackberry	Celtis laevigata Celtis laevigata	Healthy (5) Healthy (5)	Single Single	Remove Remove	0		d tag series: 1551-1601	1, 7901-7950, 8201-84	, , ,
7911 8. 7912 5. 7913 16.	5.7	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4 4 4 4 4	8274 17.2	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	4 0 0 0 0 4	Kimley-Horn re	d tag series: 1551-1601	1, 7901-7950, 8201-84	100, and 8451-8460.
7911 8. 7912 5. 7913 16. 7914 8. 7915 6.	5.7 5.6 3.8 5.7	eastern redcedar eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy (5) Healthy (5) Healthy (5) Healthy (5) Healthy (5) Healthy (5)	Single Single Multi Forked Single	Remove Remove Remove Remove Remove	4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8	hackberry hackberry hackberry	Celtis laevigata Celtis laevigata Celtis laevigata	Healthy (5) Healthy (5) Healthy (5)	Single Single Forked	Remove Remove Remove	0	Kimley-Horn red	tag series: 1551-1601  TREE MITIGAT	1, 7901-7950, 8201-84	, , ,
7911 8. 7912 5. 7913 16. 7914 8. 7915 6. 7916 6.	5.7 5.6 3.8 5.7 5.3	eastern redcedar eastern redcedar eastern redcedar eastern redcedar eastern redcedar eastern redcedar	Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single	Remove Remove Remove Remove Remove Remove	4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy (5)	Single Single Forked Single Single Single	Remove Remove Remove Remove Remove Remove Remove	0 0 4 4 4	Total Mitigation Total Provided I	d tag series: 1551-1601	1, 7901-7950, 8201-84	100, and 8451-8460.
7911 8. 7912 5. 7913 16. 7914 8. 7915 6. 7916 6. 7917 14.	5.7 5.6 3.8 5.7 5.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi	Remove Remove Remove Remove Remove Remove Remove Remove	4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata	Healthy (5)	Single Single Forked Single Single Single Single Single	Remove Remove Remove Remove Remove Remove Remove Remove	0 0 4 4 4 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 4" Cal.	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental	1, 7901-7950, 8201-84	100, and 8451-8460.
7911 8. 7912 5. 7913 16. 7914 8. 7915 6. 7916 6. 7917 14. 7918 8.	5.7 5.6 3.8 5.7 5.3 4.2	eastern redcedar eastern redcedar eastern redcedar eastern redcedar eastern redcedar eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove Remove Remove Remove Remove Remove	4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata	Healthy (5)	Single Single Forked Single Single Single Single Single Single Single	Remove Remove Remove Remove Remove Remove Remove Remove Remove	0 0 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal.	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental	1, 7901-7950, 8201-84	883.5 312
7911 8. 7912 5. 7913 16. 7914 8. 7915 6. 7916 6. 7917 14.	5.7 5.6 3.8 5.7 5.3 4.2 3.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi	Remove	4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata	Healthy (5)	Single Single Forked Single Single Single Single Single	Remove Remove Remove Remove Remove Remove Remove Remove	0 0 4 4 4 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental Needed	ΠΟΝ	312 571.5
7911 8. 7912 5. 7913 16. 7914 8. 7915 6. 7916 6. 7917 14. 7918 8. 7919 7.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Multi Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata	Healthy (5)	Single Single Forked Single Single Single Single Single Single Single Single	Remove	0 0 4 4 4 0 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal.	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental Needed	ΠΟΝ	883.5 312
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Single Single Single Single Single Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata	Healthy (5)	Single Single Forked Single	Remove	0 0 4 4 4 4 0 0 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental Needed	ΠΟΝ	312 571.5
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 0.2 2.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Single Single Single Single Single Single Single Single Forked	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata	Healthy (5) Declining (1) Healthy (5) Healthy (5)	Single Single Forked Single	Remove	0 0 4 4 4 4 0 0 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental Needed	ΠΟΝ	312 571.5
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 0.2 2.5 3.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Single Single Single Single Single Single Single Forked Forked	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6	hackberry hackberry hackberry eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 4 4 4 4 0 0 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental Needed	TON \$ 114,	883.5 312 571.5 ,300.00
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 0.2 2.5 3.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Single Single Single Single Single Single Single Single Forked	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata	Healthy (5) Declining (1) Healthy (5) Healthy (5)	Single Single Forked Single	Remove	0 0 4 4 4 4 0 0 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost	TON \$ 114,	883.5 312 571.5 ,300.00
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7927       7.         7927       7.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 5.2 2.5 3.5 7.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6       8288     6.7	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana	Healthy (5) Declining (1) Healthy (5) Healthy (5) Healthy (5) Healthy (5) Healthy (5) Healthy (5)	Single Single Forked Single	Remove	0 0 4 4 4 4 0 0 0	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation  NOTE: CONTRACT HAS BEEN	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost	TON \$ 114,  REMOVE ANY T	312 571.5 ,300.00 TREE UNTIL A T
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7927       7.         7928       5.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 5.9 5.8 5.7 7.6 7.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6       8288     6.7       8289     4.9       8290     16.8       8291     11.3	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar eastern redcedar eastern redcedar eastern redcedar eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation Total Mitigation REMOVAL	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental So" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B	REMOVE ANY THE APPLICAL REQUESTED A	571.5 ,300.00  TREE UNTIL A TABLE CITY AUTH
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7927       7.         7928       5.         7929       8.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 5.9 5.8 5.7 7.6 7.4 5.8 3.7	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single Single Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6       8288     6.7       8289     4.9       8290     16.8       8291     11.3       8292     7.4	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation  NOTE: CONTRACT HAS BEEN REMOVAL DISTURBA	TREE MITIGAT Required Inches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental So" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B	REMOVE ANY TO THE APPLICAL ACTIVITIES.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7926       7.         7928       5.         7929       8.         7930       7.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.9 5.8 5.2 2.5 3.7 7.6 7.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single Single Single Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6       8288     6.7       8289     4.9       8290     16.8       8291     11.3       8293     12.4	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation Total Mitigation HAS BEEN REMOVAL DISTURBA AUTHORIZ	TREE MITIGAT Required Inches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE	REMOVE ANY TO THE APPLICAL ACTIVITIES. TERMOVAL, NO	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7927       7.         7928       5.         7929       8.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.9 5.8 5.2 2.5 3.7 7.6 7.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single Single Single Single	Remove	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6       8288     6.7       8289     4.9       8290     16.8       8291     11.3       8292     7.4	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation Total Mitigation ANOTE: CONTRACT HAS BEEN REMOVAL DISTURBA AUTHORIZ SUCH ACT	TREE MITIGAT Required Inches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 150" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE	REMOVE ANY TO ALL ACTIVITIES. TERMOVAL, NO OF THESE PLAN	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7927       7.         7928       5.         7929       8.         7930       7.         7931       4.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.2 2.5 3.7 7.6 7.4 5.8 3.7 7.4	eastern redcedar	Juniperus virginiana Sideroxylon lanuginosum	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Forked Single Single Single Single Single Single Single Single Single	Remove		8274     17.2       8275     10.2       8276     13.8       8277     7.8       8278     5.9       8279     5.1       8280     4.2       8281     5.1       8282     4.3       8283     4.7       8284     12.1       8285     5.2       8286     6.2       8287     12.6       8288     6.7       8289     4.9       8290     16.8       8291     11.3       8292     7.4       8293     12.4       8294     8.3	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation Total Mitigation  NOTE: CONTRACT HAS BEEN REMOVAL DISTURBA AUTHORIZ SUCH ACT OF THE TR	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911       8.         7912       5.         7913       16.         7914       8.         7915       6.         7916       6.         7917       14.         7918       8.         7919       7.         7920       5.         7921       6.         7922       10.         7923       12.         7924       13.         7925       8.         7927       7.         7928       5.         7929       8.         7930       7.         7931       4.         7932       7.         7933       9.         7934       14.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 5.9 7.6 7.4 5.8 3.7 7.4 4.2 7.1 5.8 5.7 7.4	eastern redcedar	Juniperus virginiana Virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove		8274       17.2         8275       10.2         8276       13.8         8277       7.8         8278       5.9         8279       5.1         8280       4.2         8281       5.1         8282       4.3         8283       4.7         8284       12.1         8285       5.2         8286       6.2         8287       12.6         8288       6.7         8289       4.9         8290       16.8         8291       11.3         8292       7.4         8293       12.4         8294       8.3         8295       12.2         8296       7.9         8297       4.6	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7933         9.           7934         14.           7935         8.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.9 5.8 5.9 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.9 6.8 6.7 7.3 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Forked Single	Remove		8274       17.2         8275       10.2         8276       13.8         8277       7.8         8278       5.9         8279       5.1         8280       4.2         8281       5.1         8282       4.3         8283       4.7         8284       12.1         8285       5.2         8286       6.2         8287       12.6         8288       6.7         8289       4.9         8290       16.8         8291       11.3         8292       7.4         8293       12.4         8294       8.3         8295       12.2         8296       7.9         8297       4.6         8298       7.1	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5) Declining (1) Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation Total Mitigation Total Mitigation Total Mitigation  NOTE: CONTRACT HAS BEEN REMOVAL DISTURBA AUTHORIZ SUCH ACT OF THE TR	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 7.3 5.9 5.8 5.9 7.6 7.4 5.8 3.7 7.6 7.4 4.2 7.1 5.8 3.7 7.4 4.2 7.1 5.8 5.7 7.8 7.8 7.8 7.8 7.8 7.8 7.8 7	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single	Remove		8274       17.2         8275       10.2         8276       13.8         8277       7.8         8278       5.9         8279       5.1         8280       4.2         8281       5.1         8282       4.3         8283       4.7         8284       12.1         8285       5.2         8286       6.2         8287       12.6         8288       6.7         8289       4.9         8290       16.8         8291       11.3         8292       7.4         8293       12.4         8294       8.3         8295       12.2         8296       7.9         8297       4.6         8298       7.1         8299       8.8	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
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7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.9 5.8 5.7 7.6 7.4 4.2 7.1 5.8 5.7 7.4 4.2 7.1 5.8 5.8 5.8	eastern redcedar	Juniperus virginiana Celtis laevigata	Healthy (5)	Single Single Multi Forked Single Single Multi Single Multi Single Single Single Single Single Single Single Single Forked Forked Single	Remove	0 4 4 4 4	8274       17.2         8275       10.2         8276       13.8         8277       7.8         8278       5.9         8279       5.1         8280       4.2         8281       5.1         8282       4.3         8283       4.7         8284       12.1         8285       5.2         8286       6.2         8287       12.6         8288       6.7         8289       4.9         8290       16.8         8291       11.3         8292       7.4         8293       12.4         8294       8.3         8295       12.2         8296       7.9         8297       4.6         8298       7.1         8299       8.8	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7940         6.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.2 2.5 3.7 7.6 7.4 4.2 7.1 9.8 4.2 3.9 5.8 5.7	eastern redcedar	Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single	Remove	0 4 4 4 4 0 0 4 4 4	8274       17.2         8275       10.2         8276       13.8         8277       7.8         8278       5.9         8279       5.1         8280       4.2         8281       5.1         8282       4.3         8283       4.7         8284       12.1         8285       5.2         8286       6.2         8287       12.6         8288       6.7         8289       4.9         8290       16.8         8291       11.3         8292       7.4         8293       12.4         8294       8.3         8295       12.2         8296       7.9         8297       4.6         8298       7.1         8299       8.8         8300       5.2         8301       5.9	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.2 2.5 3.7 7.6 7.4 5.8 3.7 7.4 4.2 7.1 9.8 4.2 3.9 5.8 5.8 5.8 5.7 5.8 5.8 5.8 5.8 5.8 5.8 5.8 5.8	eastern redcedar	Juniperus virginiana Celtis laevigata	Healthy (5)	Single Single Multi Forked Single Single Multi Single Forked Forked Single	Remove	0 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7940         6.           7942         6.           7942         6.	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.3 5.8 5.7 7.4 5.8 5.7 7.3 5.8 5.7 7.4 5.8 5.7 7.3 5.8 5.7 7.4 6.8 6.8 6.7 7.3 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.3 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4	8274       17.2         8275       10.2         8276       13.8         8277       7.8         8278       5.9         8279       5.1         8280       4.2         8281       5.1         8282       4.3         8283       4.7         8284       12.1         8285       5.2         8286       6.2         8287       12.6         8288       6.7         8289       4.9         8290       16.8         8291       11.3         8292       7.4         8293       12.4         8294       8.3         8295       12.2         8296       7.9         8297       4.6         8298       7.1         8299       8.8         8300       5.2         8301       5.9         8302       5.7         8303       6.0         8304       19.1         8305       7.1	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.	5.7 5.6 3.8 5.7 5.3 4.2 3.5 5.9 5.8 5.2 2.5 3.7 7.6 7.4 5.8 3.7 7.4 4.2 7.1 9.8 4.2 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 6.8 6.7 7.4 6.8 6.8 7.4 6.8 6.8 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
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7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7944         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7944         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.9 5.8 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7943         7.           7945         6.           7946         8.           7947         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.9 5.8 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.8 5.7 7.4 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7945         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 6.8 6.7 6.8 6.7 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Single Single Single Single Single Single Single Forked Forked Forked Single	Remove	0 4 4 4 4 0 4 4 4 0 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7943         7.           7945         6.           7946         8.           7947         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 6.8 6.7 6.8 6.7 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A  BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH ED PERMITS A</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 0 0 0 0 0 0 0 0 0 4 0 4 4 4 4 0 0 0 0 0 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A  BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH ED PERMITS A
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7944         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.9 5.8 5.7 7.4 5.8 5.9 5.8 5.9 5.8 5.7 7.4 5.8 5.8 5.9 5.8 5.8 5.9 5.8 5.8 5.8 5.8 5.8 5.8 5.8 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 4 4 4 0 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	312 571.5 ,300.00  TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7946         8.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.6 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 4 4 4 0 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A  BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH ED PERMITS A</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A  BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH ED PERMITS A
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7946         8.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.5 5.7 7.6 7.4 5.8 5.7 7.6 7.4 5.8 5.7 7.6 7.4 5.8 5.7 7.6 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 4 4 4 0 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A  BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH ED PERMITS A</td>	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A  BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CIT OCESS. IT IS TH ED PERMITS A
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7943         7.           7945         6.           7946         8.           7950         11.           82	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.5 5.8 5.7 7.6 7.7 6.8 6.7 7.6 7.7 6.8 6.7 7.6 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 7.7 6.8 6.7 6.8 6.7 6.8 6.7 6.8 6.7 6.8 6.7 6.8 6.8 6.7 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.7 6.8 6.8 6.9 6.9 6.9 6.9 6.9 6.9 6.9 6.9	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry hackberry eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A THE</td>	hackberry hackberry hackberry eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A THE
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7941         8.           7942         6.           7943         7.           7946         8.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.8 5.7 5.8 5.8 5.7 5.8 5.8 5.7 5.8 5.8 5.8 5.7 5.8 5.8 5.8 5.8 5.8 5.8 5.8 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single   Single   Multi   Forked   Single   Single   Multi   Single   Sin	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CORN N. City</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CORN N. City
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7943         7.           7945         6.           7946         8.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A TOUR AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CUTY CUTY CUTY CUTY CUTY</td>	hackberry hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A TOUR AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CUTY CUTY CUTY CUTY CUTY
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7940         6.           7943         7.           7946         8.           7947         6.           7948         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.8 5.7 7.4 5.8 5.8 5.8 5.7 7.4 5.8 5.8 5.8 5.8 5.8 5.7 7.4 5.8 5.8 5.8 5.8 5.8 5.8 5.8 5.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single   Single   Multi   Forked   Single   Single   Multi   Single   Sin	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CORN N. City</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CORN N. City
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7940         6.           7941         8.           7945         6.           7946         8.           7947         6.           7948         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.5 5.7 7.6 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single Single Multi Single Single Single Single Single Single Forked Forked Single	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A TOUR AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CUTY CUTY CUTY CUTY CUTY</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry eastern redcedar hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A TOUR AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CUTY CUTY CUTY CUTY CUTY
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7940         6.           7941         8.           7947         6.           7948         6.           7949         8.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.9 5.8 5.7 7.6 7.4 5.8 5.7 7.6 7.4 5.8 5.7 7.6 7.4 5.8 5.7 7.6 7.4 5.8 5.7 7.6 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.7 7.4 6.8 6.8 6.8 6.8 6.8 6.8 6.8 6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A TOUR AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CUTY CUTY CUTY CUTY CUTY</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A TOUR AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY OCESS. IT IS THE ED PERMITS A CUTY CUTY CUTY CUTY CUTY
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7939         6.           7941         8.           7945         6.           7946         8.           7947         6.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 2.5 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.7 7.4 5.8 5.9 5.8 5.8 5.9 5.9 5.9 5.9 5.9 5.9 5.9 5.9	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Single</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY CESS. IT IS THE ED PERMITS A CITY CORN Architect:  Carroll Architects</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY CESS. IT IS THE ED PERMITS A CITY CORN Architect:  Carroll Architects
7911         8.           7912         5.           7913         16.           7914         8.           7915         6.           7916         6.           7917         14.           7918         8.           7919         7.           7920         5.           7921         6.           7922         10.           7923         12.           7924         13.           7925         8.           7926         7.           7927         7.           7928         5.           7929         8.           7930         7.           7931         4.           7932         7.           7933         9.           7934         14.           7935         8.           7936         16.           7937         7.           7938         5.           7940         6.           7941         8.           7947         6.           7948         6.           7949         8.           794	5.7 5.6 5.8 5.7 5.3 5.9 5.8 5.9 5.8 5.2 5.5 5.7 7.6 7.4 5.8 5.7 7.6 7.4 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.7 5.8 5.9 5.9 5.9 5.9 5.9 5.9 5.9 5.9	eastern redcedar	Juniperus virginiana	Healthy (5)	Single Single Multi Forked Single	Remove	0 4 4 4 4 0 0 4 4 4 4 4 4 4 4 4 4 4 4 4	8274         17.2           8275         10.2           8276         13.8           8277         7.8           8278         5.9           8279         5.1           8280         4.2           8281         5.1           8282         4.3           8283         4.7           8284         12.1           8285         5.2           8286         6.2           8287         12.6           8288         6.7           8289         4.9           8290         16.8           8291         11.3           8292         7.4           8293         12.4           8294         8.3           8295         12.2           8296         7.9           8297         4.6           8298         7.1           8299         8.8           8300         5.2           8301         5.9           8302         5.7           8303         6.0           8304         19.1           8305         7.1           8306         14.0 <td>hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar eastern redcedar</td> <td>Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana Juniperus virginiana</td> <td>Healthy (5) Healthy (5)</td> <td>Single Single Forked Single Si</td> <td>Remove Remove Remove</td> <td>0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4</td> <td>Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation Total Mitigation</td> <td>TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR</td> <td>REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.</td> <td>TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY CESS. IT IS THE ED PERMITS A Architect:</td>	hackberry hackberry eastern redcedar eastern redcedar eastern redcedar hackberry hackberry hackberry hackberry hackberry hackberry hackberry eastern redcedar	Celtis laevigata Celtis laevigata Celtis laevigata Juniperus virginiana Juniperus virginiana Celtis laevigata Juniperus virginiana Celtis laevigata Juniperus virginiana	Healthy (5)	Single Single Forked Single Si	Remove	0 0 0 4 4 4 4 0 0 0 0 0 0 0 4 4 4 4 4 4	Total Mitigation Total Provided I Trees at 4" Cal. Trees at 3" Cal. Total Mitigation	TREE MITIGAT Required nches 26-Canopy 104", 37 Ornamental 148", 20 Ornamental 50" Needed Cost  TOR SHALL NOT OBTAINED FROM PERMIT MUST B NCE OR REMOVA ATION FOR TREE ION. APPROVAL EE REMOVAL PE BILITY TO ENSUR	REMOVE ANY TO THE APPLICATION THE APPLICATION THE APPLICATION TO THE REMOVAL, NO THESE PLANTERMITTING PROPERTY.	TREE UNTIL A BLE CITY AUTH AND APPROVE THESE PLANS OR DO THEY IM NS BY THE CITY CESS. IT IS THE ED PERMITS A Architect:

8358	7.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
359	6.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
)	6.0	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
†	10.8	hackberry	Celtis laevigata	Healthy (5)	Forked	Remove	0
	4.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
ŀ	7.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
+	4.8	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	
+	5.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	
ŀ	6.0	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
ł	7.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
+			<u> </u>	• ` ` `			
4	6.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
4	7.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
_	4.8	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0
	7.0	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
	6.1	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0
4	7.3	hackberry	Celtis laevigata	Healthy (5)	Single	Remove	0
$\perp$	12.2	hackberry	Celtis laevigata	Declining (1)	Single	Remove	0
	18.6	hackberry	Celtis laevigata	Healthy (5)	Forked	Remove	0
	9.9	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
'	5.9	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
	3.6	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.6
9	3.1	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.1
	3.1	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.1
1	3.9	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.9
	4.2	live oak	Quercus virginiana	Healthy (5)	Single	Remove	4.2
	3.3	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.3
1	4.4	live oak	Quercus virginiana	Healthy (5)	Single	Remove	4.4
;	2.6	live oak	Quercus virginiana	Healthy (5)	Single	Remove	2.6
†	3.1	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.1
†	2.9	live oak	Quercus virginiana	Healthy (5)	Single	Remove	2.9
†	3.8	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.8
t	4.2	live oak	Quercus virginiana	Healthy (5)	Single	Remove	4.2
-	3.9	live oak	Quercus virginiana	Healthy (5)	Single	Remove	3.9
ł	4.1	live oak	Quercus virginiana	Healthy (5)	Single	Remove	4.1
+	6.2		·				6.2
2		live oak	Quercus virginiana	Healthy (5)	Forked	Remove	
$\rightarrow$	4.1	live oak	Quercus virginiana	Healthy (5)	Single	Remove	4.1
4	4.3	live oak	Quercus virginiana	Healthy (5)	Single	Remove	4.3
5	5.1	live oak	Quercus virginiana	Healthy (5)	Forked	Remove	5.1
; ,	11.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4
7	14.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4
8	7.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
9	8.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
	7.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
			Tags 84	401-8450 were no			
1	6.4	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
2	6.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
3	6.5	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
4	7.1	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
5	6.2	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
6	8.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4
7	15.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
8	11.3	eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
_	9.6	eastern redcedar	Juniperus virginiana	Healthy (5)	Forked	Remove	4
<b>y</b> 1		eastern redcedar	Juniperus virginiana	Healthy (5)	Single	Remove	4
i9 i0	9.8	pasiem rencenar					

Remove

TREE MITIGATIO	ON	
Total Mitigation Required		883.5
Total Provided Inches 26-Canopy		
Trees at 4" Cal. <u>104"</u> , 37 Ornamental		312
Trees at 4" Cal. 148", 20 Ornamental		312
Trees at 3" Cal. 60"		
Total Mitigation Needed		571.5
Total Mitigation Cost	\$	114,300.00

ONTRACTOR SHALL NOT REMOVE ANY TREE UNTIL A TREE REMOVAL PERMIT IAS BEEN OBTAINED FROM THE APPLICABLE CITY AUTHORITY. A FORMAL TREE EMOVAL PERMIT MUST BE REQUESTED AND APPROVED PRIOR TO ANY TREE ISTURBANCE OR REMOVAL ACTIVITIES. THESE PLANS DO CONSTITUTE AUTHORIZATION FOR TREE REMOVAL, NOR DO THEY IMPLY APPROVAL FOR SUCH ACTION. APPROVAL OF THESE PLANS BY THE CITY IS REQUIRED AS PART F THE TREE REMOVAL PERMITTING PROCESS. IT IS THE CONTRACTOR'S ESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS ARE SECURED PRIOR TO OMMENCING WORK.

> SITE PLAN FOR FUEL CITY - ROCKWALL LOT 2, BLOCK A CORNERSTONE COMMUNITY CHURCH

4.34 ACRES

N. BUTLER SURVEY ABSTRACT NO. 20 City of Rockwall, Rockwall County, Texas Current Zoning: C (Commerical District) Proposed Land Use: Gas Station/ Car Wash Submitted: May 16th, 2025

<u> Architect:                                     </u>	<u>De ve</u>
Carroll Architects	Fuel Cit
750 E. Interstate 30, Ste. 110	801 S.
Rockwall, Texas 75087	Dallas,
Contact: Glennon Langston	Contact
Phone: 972-732-6085	Phone:

City Kimley—Horn and Associates, Inc.
S. Riverfront Boulevard,00
s. Texas 75207
Suite 1100

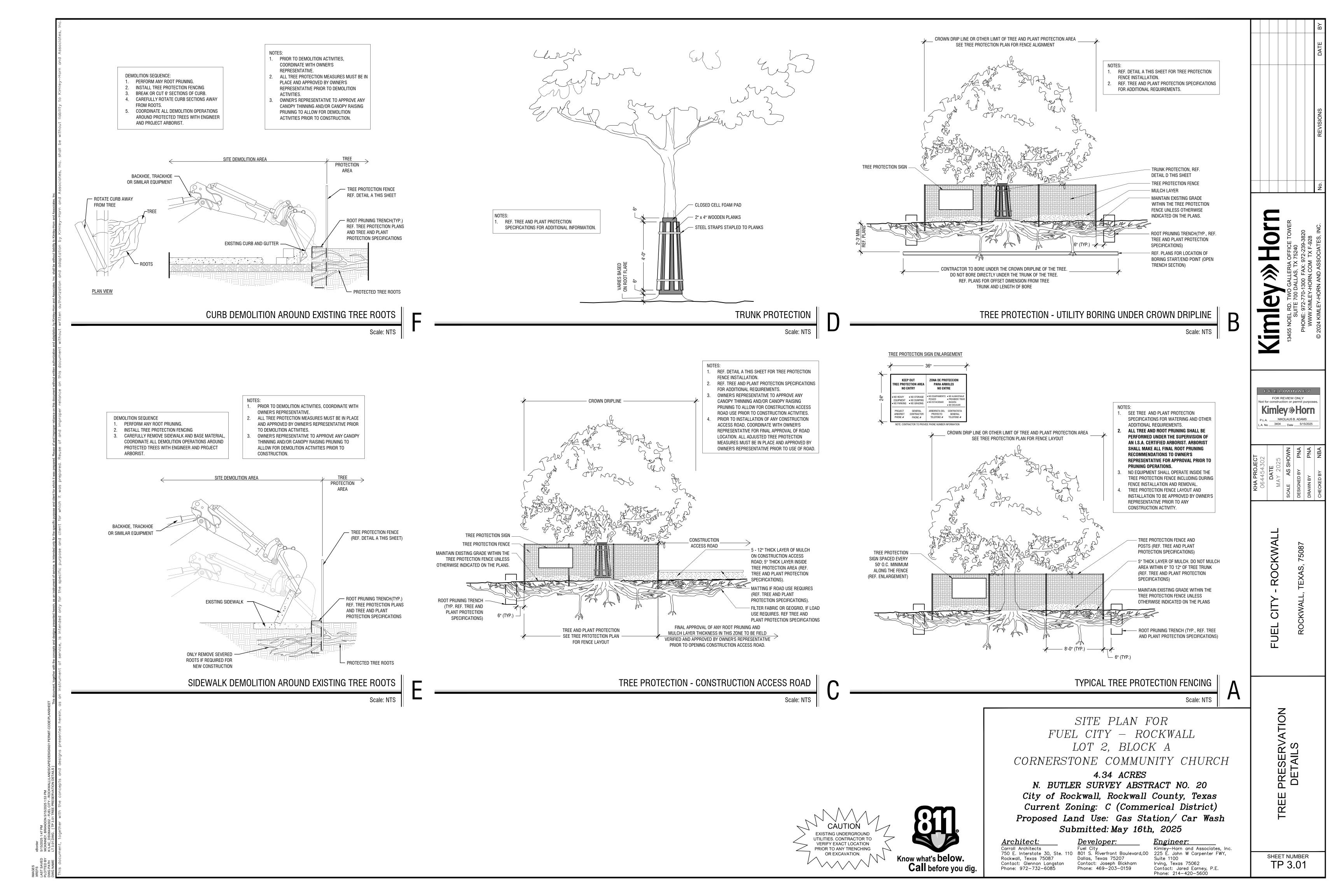
Latin Taylor 75062 Irving, Texas 75062 Contact: Jared Earney, P.E. Phone: 214—420—5600 Contact: Joseph Bickham Phone: 469-203-0159

FOR REVIEW ONLY
Not for construction or permit purpose

**Kimley Horn** 

P.L.A. NIKOLAUS B. ADAMS L.A. No. 3404 Date 5/15/2025

SHEET NUMBER TP 1.02



IT IS THE INTENT OF THIS SECTION THAT THE REQUIREMENTS APPLY TO ALL OTHER SECTIONS OF THE PROJECT SPECIFICATION SUCH THAT ANY SUBCONTRACTOR MUST COMPLY WITH THE RESTRICTIONS ON WORK WITHIN DESIGNATED

DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION. 2. IRRIGATION SPECIFICATIONS

3. PLANTING SPECIFICATIONS

REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN 2.2 MATTING SPECIFICATION SECTION, THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL. REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER, 2.3 GEOGRID THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.

1. ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE (9 PARTS), MOST

2. INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES (ISA BMP) MOST CURRENT EDITIONS. a. TREE PRUNING

b. SOIL MANAGEMENT FOR URBAN TREES

c. Tree Support Systems: Cabling, Bracing, Guying, and Propping

d. TREE LIGHTING PROTECTION SYSTEMS e. MANAGING TREES DURING CONSTRUCTION

f. TREE PLANTING

g. TREE RISK ASSESSMENT

h. TREE INVENTORY INTEGRATED PEST MANAGEMENT

j. TREE INJECTIONS k. Tree and shrub fertilization

3. PRUNING PRACTICES SHALL CONFORM WITH RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY"; PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA; MOST CURRENT EDITION. 4. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST CURRENT EDITION.

ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM 3.3 TREE AND PLANT PROTECTION AREA: THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS, REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE

OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING FROM CHANGES IN THE WORK.

WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED OR TESTED. THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS

CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH. IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS, THE MORE RESTRICTIVE STANDARD OR CODE SHALL APPLY OR OWNER'S REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR 3.5 SOIL MOISTURE

ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS 1.7 CHANGES IN THE WORK THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK. AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION

MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED. THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S REPRESENTATIVE AT THE SOONEST POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL

ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS

1.9 DEFINITIONS

MODIFIED BELOW.

1. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK. 2. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION IS INTENDED TO MEAN THAT THE CONDITIONS

CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT PLANTS ARE NOT FREE OF DEFECTS, AND THAT PLANT CONDITIONS CHANGE WITH TIME. THIS SPECIFICATION ALSO RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSION JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S

REPRESENTATIVE EXPERT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE. 3. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 25 FEET.

EACH TREE WITH A RADIUS EQUAL TO THE CLOWN DRIPLINE UNLESS OTHERWISE INDICATED BY THE OWNER'S REPRESENTATIVE OR THE CONSTRUCTION DRAWINGS 5. TREE: SINGLE AND MULTI-STEMMED PLANTS, INCLUDING PALMS WITH ANTICIPATED MATURE HEIGHT APPROXIMATELY

VEGETATION TO BE PROTECTED DURING CONSTRUCTION, AND DEFINED BY A CIRCLE CENTERED ON THE TRUNK WITH EDITION.

GREATER THAN 25 FEET OR ANY PLANT IDENTIFIED ON THE PLANS AS A TREE.

1.10 SUBMITTALS ARBORIST REPORT

A CONSULTING ARBORIST WHO IS A REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED ARBORIST. WHICH DETAILS THE FOLLOWING INFORMATION FOR ALL TREES TO REMAIN WITHIN THE AREA DESIGNATED ON THE DRAWINGS AS THE TREE AND PLANT PROTECTION AREA. THE REPORT SHALL INCLUDE THE FOLLOWING

a. A DESCRIPTION OF EACH TREE TO REMAIN INDICATING ITS GENUS AND SPECIES, CONDITION INCLUDING ANY VISIBLI DAMAGE TO THE ROOT SYSTEM OR SOIL WITHIN THE ROOT ZONE. TREE DIAMETER AT BREAST HEIGHT (DBH) AND APPROXIMATE HEIGHT AND CANOPY SPREAD, SIZE AND ANY VISIBLE DISEASE, INSECT INFESTATIONS AND OR BRANCH AND TRUNK STRUCTURAL DEFICIENCIES.

b. THE REPORT SHALL NOTE ALL TREES OR PARTS OF TREES, WHICH ARE CONSIDERED A HAZARD OR SIGNIFICANT OR EXTREME RISK LEVEL. INCLUDE THE INTERNATIONAL SOCIETY OF ARBORICULTURE HAZARD EVALUATION SHEET FOR B. EACH TREE, WHICH MAY REASONABLY BE IDENTIFIED AS A POTENTIAL HAZARD TREE.

c. RECOMMENDATIONS AS TO TREATMENT OF ALL INSECT, DISEASE AND STRUCTURAL PROBLEMS ENCOUNTERED. d. RECOMMENDATIONS FOR FERTILIZER TREATMENTS. IF ANY. e. A PLAN OF THE SITE SHOWING THE LOCATION OF ALL TREES INCLUDED IN THE REPORT.

PRODUCT DATA

1. SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL BEFORE THE START OF ANY WORK AT THE

QUALIFICATIONS SUBMITTAL

EXPERIENCE OF THE CONSULTING ARBORIST, PROOF OF EITHER THE REGISTERED CONSULTING ARBORIST® (RCA)

WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED MASTER ARBORIST, ANY ISA CERTIED ARBORISTS, AND ANY REQUIRED HERBICIDE/PESTICIDE LICENSE TO THE OWNER'S REPRESENTATIVE, FOR REVIEW PRIOR TO THE START OF WORK.

1.11 OBSERVATION OF THE WORK

A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.

1.12 PRF-CONSTRUCTION CONFERENCE SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.

1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:

a. GENERAL CONTRACTOR.

b. CONSULTING ARBORIST/CERTIFIED ARBORIST c. TREE AND PLANT PROTECTION SUB-CONTRACTOR.

d. EARTHWORK SUB-CONTRACTOR. e. ALL SITE UTILITY SUB-CONTRACTORS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.

f. LANDSCAPE SUB-CONTRACTOR. g. IRRIGATION SUB-CONTRACTOR.

h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.

1.13 QUALITY ASSURANCE

A. CONTRACTOR QUALIFICATIONS:

1. ALL PRUNING, BRANCH TIE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF ISA CERTIFIED ARBORIST. SUBMIT AFOREMENTIONED INDIVIDUAL'S QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE

2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY CHEMICAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

PART 2 PRODUCTS

1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND A. HEAVY-DUTY PLASTIC LAMINATED OR CORRUGATED PLASTIC SIGNS, 24 INCHES X 36 INCHES, WHITE COLORED BACKGROUND WITH BLACK 2 INCH HIGH OR LARGER LETTERS BLOCK LETTERS. THE SIGNS SHALL BE STAKED ADJACENT TO EXISTING TREES. THE TREE PROTECTION SIGN SHALL READ "KEEP OUT - TREE AND PLANT PROTECTION AREA" AND OTHER PROJECT INFORMATION AS SHOWN ON DRAWINGS.

THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERETO. IN THE A. MATTING FOR VEHICLE AND WORK PROTECTION SHALL BE HEAVY DUTY MATTING DESIGNED FOR VEHICLE LOADING OVER EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS

TREE ROOTS, ALTURNAMATS AS MANUFACTURED BY ALTURNAMATS, INC. FRANKLIN, PA 16323 OR APPROVED EQUAL.

GEOGRID SHALL BE WOVEN POLYESTER FABRIC WITH PVC COATING, UNI-AXIAL OR BIAXIAL GEOGRID, INERT TO BIOLOGICAL DEGRADATION, RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS, ACIDS.

1. GEOGRID SHALL BE MIRAGRID 2XT AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.

B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

FILTER FABRIC SHALL BE NONWOVEN POLYPROPYLENE FIBERS, INERT TO BIOLOGICAL DEGRADATION AND RESISTANT OF NATURALLY OCCURRING CHEMICALS, ALKALIS AND ACIDS.

1. MIRAFI 135 N AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. <u>HTTP://www.tencate.com</u> or approved

B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

PART 3 EXECUTION

A. EXAMINE THE SITE, TREE, PLANT AND SOIL CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS THAT MAY IMPACT THE SUCCESSFUL TREE AND PLANT PROTECTIONS THAT IS THE INTENT OF THIS SECTION.

3.2 COORDINATION WITH PROJECT WORK THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES COORDINATE THE RELOCATION OF ANY IRRIGATION LINES CURRENTLY PRESENT ON THE IRRIGATION PLAN, HEADS OR THE CONDUITS OF OTHER UTILITY LINES OR STRUCTURES THAT ARE IN CONFLICT WITH TREE LOCATIONS. TREE ROOTS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

A. THE TREE AND PLANT PROTECTION AREA IS DEFINED AS ALL AREAS INDICATED ON THE TREE PROTECTION PLAN.

WHERE NO LIMIT OF THE TREE AND PLANT PROTECTION AREA IS DEFINED ON THE DRAWINGS, THE LIMIT SHALL BE THE DRIP LINE (OUTER EDGE OF THE BRANCH CROWN) OF EACH TREE.

ALIGNMENTS OF REQUIRED TREE AND PLANT PROTECTION FENCING AND ROOT PRUNING. OBTAIN THE OWNER'S FLAG ALL TREES AND LARGE SHRUBS TO BE REMOVED BY WRAPPING ORANGE PLASTIC RIBBON AROUND THE TRUNK AND OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND LARGE SHRUBS TO BE REMOVED PRIOR TO THE

START OF TREE AND SHRUB REMOVAL. AFTER APPROVAL, MARK ALL TREES AND SHRUBS TO BE REMOVED WITH ORANGE PAINT IN A BAND COMPLETELY AROUND THE BASE OF THE TREE OR LARGE SHRUB 4.5 FEET ABOVE THE GROUND. FLAG ALL TREES AND LARGE SHRUBS TO REMAIN WITH WHITE PLASTIC RIBBON TIED COMPLETELY AROUND THE TRUNK OR EACH TREE AND ON A PROMINENT BRANCH FOR EACH SHRUB. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND SHRUBS TO REMAIN PRIOR TO THE START OF TREE AND SHRUB REMOVAL.

PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, FILTER FABRIC, SILT FENCE, TREE PROTECTION SIGNS, GEOGRID, MULCH AND OR WOOD CHIPS AS SHOWN ON THE DRAWINGS.

VOLUMETRIC SOIL MOISTURE LEVEL. IN ALL SOILS WITHIN THE TREE AND PLANT PROTECTION AREA SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT TO A DEPTH OF AT LEAST 8 INCHES. NO SOIL WORK OR OTHER ACTIVITY SHALL BE PERMITTED WITHIN THE TREE AND PLANT PROTECTION AREA WHEN THE VOLUMETRIC SOIL MOISTURE IS ABOVE FIELD CAPACITY. THE PERMANENT WILT POINT AND FIFLD CAPACITY FOR EACH TYPE OF SOIL TEXTURE SHALL BE DEFINED AS FOLLOWS (NUMBERS INDICATE PERCENTAGE VOLUMETRIC SOIL MOISTURE):

SOIL TYPE PERMANENT WILT POINT V/V FIELD CAPACITY V/V SAND, LOAMY SAND, SANDY LOAM 12 - 18% 27 - 36% LOAM, SANDY CLAY, SANDY CLAY LOAM 14 - 25% CLAY LOAM, SILT LOAM 11 - 22% 31 - 36% SILTY CLAY, SILTY CLAY LOAM 22 - 27% 38 - 41%

VOLUMETRIC SOIL MOISTURE SHALL BE MEASURED WITH A DIGITAL, ELECTRIC CONDUCTIVITY METER. THE METER SHALL BE THE DIGITAL SOIL MOISTURE METER, DSMM500 BY GENERAL SPECIALTY TOOLS AND INSTRUMENTS, OR APPROVED

THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS WITH A MOISTURE METER. IF THE MOISTURE IS TOO HIGH, SUSPEND OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.

FINAL RECOMMENDATIONS ON ANY ROOT PRUNING REQUIREMENTS AND PROCEDURES ARE TO BE DETERMINED THE PROJECT ARBORIST AND PROVIDED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY ROOT PRUNING. PRIOR TO ANY EXCAVATING INTO THE EXISTING SOIL GRADE WITHIN 25 FEET OF THE LIMIT OF THE TREE AND PLANT PROTECTION AREA OR TREES TO REMAIN, ROOT PRUNE ALL EXISTING TREES TO A DEPTH OF 24 INCHES BELOW EXISTING GRADE IN ALIGNMENTS FOLLOWING THE EDGES OF THE TREE AND PLANT PROTECTION AREA OR AS DIRECTED BY 4. TREE AND PLANT PROTECTION AREA: AREA SURROUNDING INDIVIDUAL TREES, GROUPS OF TREES, SHRUBS, OR OTHER THE OWNER'S REPRESENTATIVE. ROOT PRUNING SHALL BE IN CONFORMANCE WITH ANSI A300 (PART 8) LATEST

> 1. USING A ROCK SAW, CHAIN TRENCHER OR SIMILAR TRENCHING DEVICE, MAKE A VERTICAL CUT WITHIN 2 FEET OF THE 3.12 WATERING LIMIT OF GRADING. 2. AFTER COMPLETION OF THE CUT, MAKE CLEAN CUTS WITH A LOPPER, SAW OR PRUNER TO REMOVE ALL TORN ROOT

ENDS ON THE TREE SIDE OF THE EXCAVATION, AND BACKFILL THE TRENCH IMMEDIATELY WITH EXISTING SOIL, FILLING 3.7 INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, AND OR AGGREGATE 1. PRIOR TO THE START OF CONSTRUCTION, SUBMIT, FOR APPROVAL BY THE OWNER'S REPRESENTATIVE, THE REPORT OF A. INSTALL GEOGRIDS, FILTER FABRIC, MATTING, AND/OR AGGREGATE IN AREAS AND DEPTHS SHOWN ON THE PLANS AND DETAILS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IN GENERAL IT IS THE INTENT OF THIS SPECIFICATION TO

> 1. AREAS WHERE FOOT TRAFFIC OR STORAGE OF LIGHTWEIGHT MATERIALS IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF FILTER FABRIC UNDER THE 6 INCHES OF MULCH. 2. AREAS WHERE OCCASIONAL LIGHT VEHICLE TRAFFIC IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF

PROVIDE THE FOLLOWING LEVELS OF PROTECTION:

GEOGRIDS UNDER 8 INCHES OF MULCH. 3. AREAS WHERE HEAVY VEHICLE TRAFFIC IS UNAVOIDABLE PROVIDE A LAYER OF GEOGRIDS UNDER 8 - 12 INCHES OF MULCH AND A LAYER OF MATTING OVER THE MULCH.

THE OWNER'S REPRESENTATIVE SHALL APPROVE THE APPROPRIATE LEVEL OF PROTECTION.

IN THE ABOVE REQUIREMENTS, LIGHT VEHICLE IS DEFINED AS A TRACK SKID STEER WITH A GROUND PRESSURE OF 4 PSI OR LIGHTER. A HEAVY VEHICLE IS ANY VEHICLE WITH A TIRE OR TRACK PRESSURE OF GREATER THAN 4 PSI. LIGHTWEIGHT 3.15 CLEAN-UP MATERIALS ARE ANY PACKAGED MATERIALS THAT CAN BE PHYSICALLY MOVED BY HAND INTO THE LOCATION. BULK MATERIALS SUCH AS SOIL, OR AGGREGATE SHALL NEVER BE STORED WITHIN THE TREE AND PLANT PROTECTION AREA. 3.8 PROTECTION:

WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE. 1. FOR EACH APPLICABLE PERSON EXPECTED TO WORK ON THE PROJECT, PROVIDE COPIES OF THE QUALIFICATIONS AND 3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA: A. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA D. REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE

PROTECT THE TREE AND PLANT PROTECTION AREA AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND

TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES

WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; BY THE CONTRACTOR. STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND 3.16 REMOVAL OF TREE AND PLANT PROTECTION SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE A. AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL AREA ANY REASON. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON

THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW. IN THE EVENT THAT CONSTRUCTION/VEHICULAR ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION

3.17 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. TREE

PROTECTION FOR THE REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: 1. IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.

2. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN MULCH AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITHOUT THE APPROVAL OF THE OWNERS REPRESENTATIVE AND PROJECT ARBORIST. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

3. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PARTS 1 AND 8) AND BE PERFORMED UNDER SUPERVISION OF THE I.S.A. CERTIFIED ARBORIST

4. MATTING: INSTALL TEMPORARY MATTING OR AN ADDITIONAL 12 INCH MULCH LAYER OVER THE MULCH SPECIFIED HEREFORD WITHIN THESE SPECIFICATIONS TO THE EXTENT INDICATED. DO NOT PERMIT FOOT TRAFFIC, SCAFFOLDING, VEHICULAR TRAFFIC, OR THE STORAGE OF MATERIALS WITHIN THE TREE AND PLANT PROTECTION AREA TO OCCUR OFF

5. TRUNK PROTECTION: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A CLOSED CELL FOAM PAD AND A RING OF 2" x 4" x 4'-0" PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE. TRUNK PROTECTION MUST BY KEPT IN PLACE NO LONGER THAN 12 MONTHS. IF CONSTRUCTION REQUIRES WORK NEAR A PARTICULAR TREE TO CONTINUE LONGER THAN 12 MONTHS, THE STEEL BANDS SHALL BE INSPECTED EVERY SIX MONTHS AND LOOSENED IF THEY ARE FOUND TO END OF SECTION 015639 HAVE BECOME TIGHT.

6. AIR EXCAVATION TOOL: IF EXCAVATION FOR FOOTINGS OR UTILITIES IS REQUIRED WITHIN THE TREE AND PLANT PROTECTION AREA, AIR EXCAVATION TOOL TECHNIQUES SHALL BE USED WHERE PRACTICAL OR AS DESIGNED ON THE

a. REMOVE THE MULCH FROM AN AREA APPROXIMATELY 18 INCHES BEYOND THE LIMITS OF THE HOLE OR TRENCH TO BE EXCAVATED. COVER THE MULCH FOR A DISTANCE OF NOT LESS THAN 15 FEET AROUND THE LIMIT OF THE EXCAVATION AREA WITH FILTER FABRIC OR PLASTIC SHEETING TO PROTECT THE MULCH FROM SILT. MOUND THE MUI CH SO THAT THE PLASTIC SLOPES TOWARDS THE EXCAVATION.

b. USING A SPRINKLER OR SOAKER HOSE, APPLY WATER SLOWLY TO THE AREA OF THE EXCAVATION FOR A PERIOD OF AT LEAST 4 HOURS, APPROXIMATELY 12 HOURS PRIOR TO THE WORK SO THAT THE GROUND WATER LEVEL IS AT OR NEAR FIELD CAPACITY AT THE BEGINNING OF THE WORK. FOR EXCAVATIONS THAT GO BEYOND THE DAMP SOIL, REWET THE SOIL AS NECESSARY TO KEEP SOIL MOISTURE NEAR FIELD CAPACITY. C. USING AN AIR EXCAVATION TOOL SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE INTENDED PURPOSE, AND

AT PRESSURES RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT, FRACTURE THE EXISTING SOIL TO THE SHAPE AND THE DEPTHS REQUIRED. WORK AT RATES AND USING TECHNIQUES THAT DO NOT HARM TREE ROOTS. AIR PRESSURE SHALL BE A MAXIMUM OF 90-100 PSI. 1.) THE AIR EXCAVATION TOOL SHALL BE "AIR-SPADE" AS MANUFACTURED BY CONCEPT ENGINEERING GROUP, INC.,

VERONA, PA (412) 826-8800, OR AIR KNIFE AS MANUFACTURED BY EASY USE AIR TOOLS, INC. ALLISON PARK, PA (866) 328-5723 OR APPROVED EQUAL. d. USING A COMMERCIAL, HIGH-POWERED VACUUM TRUCK IF REQUIRED, REMOVE THE SOIL FROM THE EXCAVATION PRODUCED BY THE AIR KNIFE EXCAVATION. THE VACUUM TRUCK SHOULD GENERALLY OPERATE SIMULTANEOUSLY WITH THE HOSE OPERATOR, SUCH THAT THE SOIL PRODUCED IS PICKED UP FROM THE EXCAVATION HOLE, AND THE EXPOSED ROOTS CAN BE OBSERVED AND NOT DAMAGED BY THE ONGOING OPERATION. DO NOT DRIVE THE VACUUM

TRUCK INTO THE TREE AND PLANT PROTECTION AREA UNLESS THE AREA IS PROTECTED FROM COMPACTION AS

APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE. e. REMOVE ALL EXCAVATED SOIL AND EXCAVATED MULCH, AND CONTAMINATED SOIL AT THE END OF THE EXCAVATION. f. SCHEDULE THE WORK SO THAT FOUNDATIONS OR UTILITY WORK IS COMPLETED IMMEDIATELY AFTER THE EXCAVATION. DO NOT LET THE ROOTS DRY OUT. MIST THE ROOTS SEVERAL TIMES DURING THE DAY. IF THE EXCAVATED AREA MUST REMAIN OPEN OVER NIGHT, MIST THE ROOTS AND COVER THE EXCAVATION WITH BLACK

g. DISPOSE OF ALL SOIL IN A MANNER THAT MEETS LOCAL LAWS AND REGULATIONS.

h. RESTORE SOIL WITHIN THE TRENCH AS SOON AS THE WORK IS COMPLETED. UTILIZE SOIL OF SIMILAR TEXTURE TO THE REMOVED SOIL AND LIGHTLY COMPACT WITH HAND TOOLS. LEAVE SOIL MOUNDED OVER THE TRENCH TO A HEIGHT OF APPROXIMATELY 10% OF THE TRENCH DEPTH TO ACCOUNT FOR SETTLEMENT.

i. RESTORE ANY GEOGRIDS, FILTER FABRIC, OR MULCH AND OR MATTING THAT WAS PREVIOUSLY REQUIRED FOR THE A. PRIOR TO THE PRECONSTRUCTION MEETING, LAYOUT THE LIMITS OF THE TREE AND PLANT PROTECTION AREA AND THEN 3.10 TREE REMOVAL:

> REMOVE ALL TREES INDICATED BY THE DRAWINGS AND SPECIFICATIONS. AS REQUIRING REMOVAL, IN A MANNER THA WILL NOT DAMAGE ADJACENT TREES OR STRUCTURES OR COMPACTS THE SOIL. REMOVE TREES THAT ARE ADJACENT TO TREES OR STRUCTURES TO REMAIN, IN SECTIONS, TO LIMIT THE OPPORTUNITY OF DAMAGE TO ADJACENT CROWNS, TRUNKS, GROUND PLANE FLEMENTS AND STRUCTURES DO NOT DROP TREES WITH A SINGLE CUT UNLESS THE TREE WILL FALL IN AN AREA NOT INCLUDED IN THE TREE AND

BE PUSHED OVER OR UP-ROOTED USING A PIECE OF GRADING FQUIPMENT PROTECT ADJACENT PAVING. SOIL. TREES. SHRUBS. GROUND COVER PLANTINGS AND UNDERSTORY PLANTS TO REMAIN FROM DAMAGE DURING ALL TREE REMOVAL OPERATIONS. AND FROM CONSTRUCTION OPERATIONS. PROTECTION SHALL INCLUDE THE ROOT SYSTEM, TRUNK, LIMBS, AND CROWN FROM BREAKAGE OR SCARRING, AND THE SOIL FROM

PLANT PROTECTION AREA. NO TREE TO BE REMOVED WITHIN 50 FEET OF THE TREE AND PLANT PROTECTION AREA SHALL

REMOVE STUMPS AND IMMEDIATE ROOT PLATE FROM EXISTING TREES TO BE REMOVED. GRIND TRUNK BASES AND LARGE BUTTRESS ROOTS TO A DEPTH OF THE LARGEST BUTTRESS ROOT OR AT LEAST 18 INCHES BELOW THE TOP MOST ROOTS WHICH EVER IS LESS AND OVER THE AREA OF THREE TIMES THE DIAMETER OF THE TRUNK (DBH)

1. FOR TREES WHERE THE STUMP WILL FALL UNDER NEW PAVED AREAS, GRIND ROOTS TO A TOTAL DEPTH OF 18 INCHES BELOW THE EXISTING GRADE. IF THE SIDES OF THE STUMP HOLE STILL HAVE GREATER THAN APPROXIMATELY 20% WOOD VISIBLE, CONTINUE GRINDING OPERATION DEEPER AND OR WIDER UNTIL THE RESULTING HOLE HAS LESS THAN 20% WOOD, REMOVE ALL WOOD CHIPS PRODUCED BY THE GRINDING OPERATION AND BACK FILL IN 8 INCH LAYERS WITH CONTROLLED FILL OF A QUALITY ACCEPTABLE TO THE SITE ENGINEER FOR FILL MATERIAL UNDER STRUCTURES COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. THE OWNER'S REPRESENTATIVE SHALL

APPROVE EACH HOLE AT THE END OF THE GRINDING OPERATION. 2. IN AREAS WHERE THE TREE LOCATION IS TO BE A PLANTING BED OR LAWN, REMOVE ALL WOODCHIPS AND BACKFILL STUMP HOLES WITH PLANTING SOIL AS DEFINED IN THE SOIL MANAGEMENT SPECIFICATIONS, IN MAXIMUM OF 12 INCH LAYERS AND COMPACT TO 80 - 85% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR.

WITHIN SIX MONTHS OF THE ESTIMATED DATE OF SUBSTANTIAL COMPLETION, PRUNE ALL DEAD OR HAZARDOUS BRANCHES LARGER THAN 2 INCH IN DIAMETER FROM ALL TREES TO REMAIN. IMPLEMENT ALL PRUNING RECOMMENDATIONS FOUND IN THE ARBORIST REPORT.

PRUNE ANY LOW, HANGING BRANCHES AND VINES FROM EXISTING TREES AND SHRUBS THAT OVERHANG WALKS, STREETS AND DRIVES, OR PARKING AREAS AS FOLLOWS:

1. WALKS - WITHIN 8 FEET VERTICALLY OF THE PROPOSED WALK ELEVATION.

2. PARKING AREAS - WITHIN 12 FEET VERTICALLY OF THE PROPOSED PARKING SURFACE ELEVATION. 3. STREETS AND DRIVES - WITHIN 14 FEET VERTICALLY OF THE PROPOSED DRIVING SURFACE ELEVATION ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1 - PRUNING), ISA BMP: TREE PRUNING AND THE

"STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY. PERFORM OTHER PRUNING TASK AS INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE WHERE TREE SPECIFIC DISEASE VECTORS REQUIRE, STERILIZE ALL PRUNING TOOLS BETWEEN THE WORK IN INDIVIDUAL

USING HOSES OR WATER TANKS AS REQUIRED.

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS AND TREES TO BE PRESERVED DURING THE ENTIRE CONSTRUCTION PERIOD. ADEQUATE WATER IS DEFINED TO BE MAINTAINING SOIL MOISTURE ABOVE THE PERMANENT WILT POINT TO A DEPTH OF 8 INCHES OR GREATER. THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL WATER,

PERIODICALLY TEST THE MOISTURE CONTENT IN THE SOIL WITHIN THE ROOT ZONE TO DETERMINE THE WATER CONTENT

DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT PROTECTION AREA AT LEAST THREE TIMES A YEAR. 1. ALL PLANTS THAT ARE NOT SHOWN ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS.

AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD.

PROVIDE ALL DISEASE AND INSECT CONTROL REQUIRED TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES

OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.

DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY, REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.

CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAYS AND NEIGHBORING ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS.

MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE.

1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL, OIL, TRASH OR DEBRIS DEPOSITED BY THE

FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION

ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER. SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND EQUAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE

1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS. PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES

AND SHRUBS TO BE REPLACED SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE. 1. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR

PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION. 2. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED

BY CONTRACTOR'S FORCES. ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE OR PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL.

ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR).

REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE

EXISTING UNDERGROUND

UTILITIES. CONTRACTOR TO

VERIFY EXACT LOCATION

PRIOR TO ANY TRENCHING

OR EXCAVATION.

Know what's **below**.

Call before you dig

P.L.A. NIKOLAUS B. ADAMS L.A. No. 3404 Date 5/15/2025

Submitted: May 16th, 2025 <u> Architect:</u> Carroll Architects Kimley—Horn and Associates, Inc 750 E. Interstate 30, Ste. 110 801 S. Riverfront Boulevard,00 225 E. John W Carpenter FWY, Rockwall, Texas 75087 Dallas, Texas 75207 Contact: Joseph Bickham Contact: Glennon Langston Irving, Texas 75062 Phone: 972-732-6085 Phone: 469-203-0159 Contact: Jared Earney, P.E.

SITE PLAN FOR

FUEL CITY - ROCKWALL

LOT 2, BLOCK A

CORNERSTONE COMMUNITY CHURCH

4.34 ACRES

N. BUTLER SURVEY ABSTRACT NO. 20

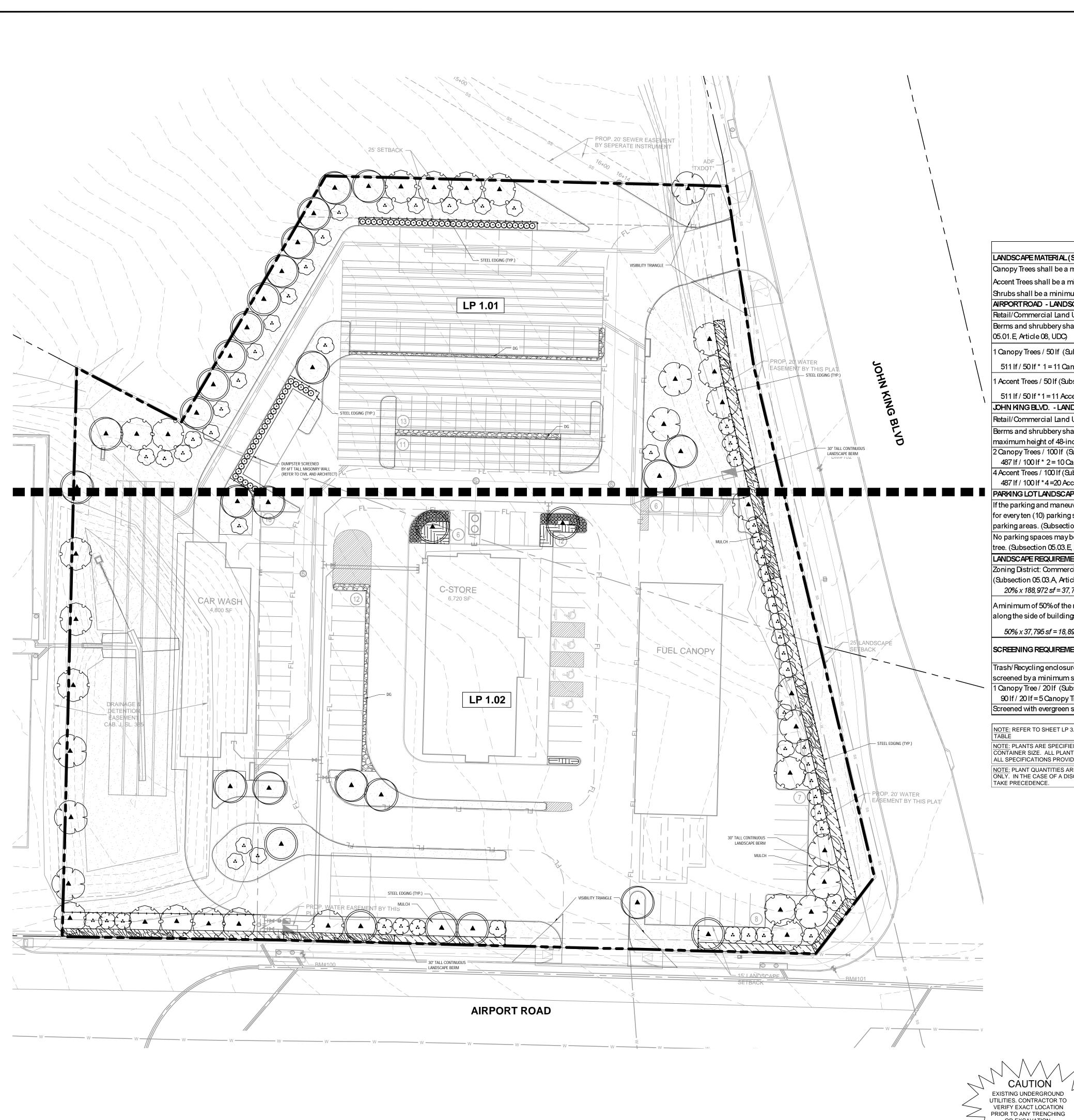
City of Rockwall, Rockwall County, Texas

Current Zoning: C (Commerical District)

Proposed Land Use: Gas Station/ Car Wash

Phone: 214-420-5600

SHEET NUMBER TP 3.02

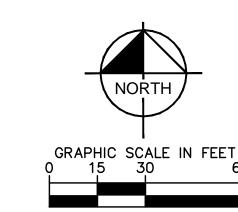




CITY OF ROCKWALL LANDSCAPE REQUIRE	EMENTS	
LANDSCAPE MATERIAL (SECTION 4.A.)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper		
Accent Trees shall be a minimum of 4ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size		
AIRPORTROAD - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Retail/Commercial Land Uses: 15-feet (Subsection 05.01.E, Article 08, UDC)	10 ft	15 ft
Berms and shrubbery shall <u>each</u> have a minimum height of 30-inches. (Subsection 05.01.E, Article 08, UDC)	30 in	30 in
1 Canopy Trees / 50 lf (Subsection 05.01.E, Article 08, UDC)	11 Canopy Trees	11 Canopy Trees
511 lf / 50 lf * 1 = 11 Canopy Trees		
1 Accent Trees / 50 If (Subsection 05.01.E, Article 08, UDC)	11 Accent Trees	11 Accent Trees
511 If / 50 If * 1 = 11 Accent Trees		
JOHN KING BLVD LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Retail/Commercial Land Use: 25 ft (Subsection 06.02.E, Article 05, UDC)	25 ft	25 ft
Berms and shrubbery shall <u>each</u> have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 Canopy Trees / 100 lf (Subsection 06.02.E, Article 05, UDC) 487 lf / 100 lf * 2 = 10 Canopy Trees	10 Canopy Trees	10 Canopy Trees
4 Accent Trees / 100 If (Subsection 06.02.E, Article 05, UDC) 487 If / 100 If *4 = 20 Accent Trees	20 Accent Trees	20 Accent Trees
PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
If the parking and maneuvering space exceeds 20,000 sf, one (1) large canopy tree for every ten (10) parking spaces shallo be required to be planted internal to the parking areas. (Subsection 05.03.E, Article 08, UDC)	1 Canopy Tree per 10 spots	10 Canopy Trees
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
Zoning District: Commercial (C) District 20 % required landscaping areas.  (Subsection 05.03.A, Article 08, UDC)  20% x 188, 972 sf = 37, 794 sf	37,794 sf (20%)	37,794 sf (20%)
Aminimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC) $50\% \times 37,795 \text{ sf} = 18,898 \text{ sf}$	18,898 sf (50%)	18,898 sf (50%)
SCREENING REQUIREMENTS	REQUIRED	PROVIDED
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum sixfoot, solid masonry dumpster enclosure.	6ftWall	6ft Wall
1 Canopy Tree / 20 If (Subsection 01.05.E, Article 05, UDC) 90 If / 20 If = 5 Canopy Trees	5 Canopy Trees	5 Canopy Trees
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	Yes	Yes

NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED. NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

Pervious	Impervious
65%	35%
(123,862 sf)	(65,110sf)



SITE PLAN FOR FUEL CITY — ROCKWALL LOT 2, BLOCK A CORNERSTONE COMMUNITY CHURCH

4.34 ACRES

N. BUTLER SURVEY ABSTRACT NO. 20 City of Rockwall, Rockwall County, Texas Current Zoning: C (Commerical District) Proposed Land Use: Gas Station/ Car Wash Submitted: May 16th, 2025

<u>Archi</u>	tect:	
Rockwall,	rchitects iterstate 30, Texas 75087 Glennon Land	7

Know what's **below. Call before you dig.** Phone: 972-732-6085

Developer:
Fuel City

Ste. 110

B7

Contact: Joseph Bickham
Phone: 469-203-0159

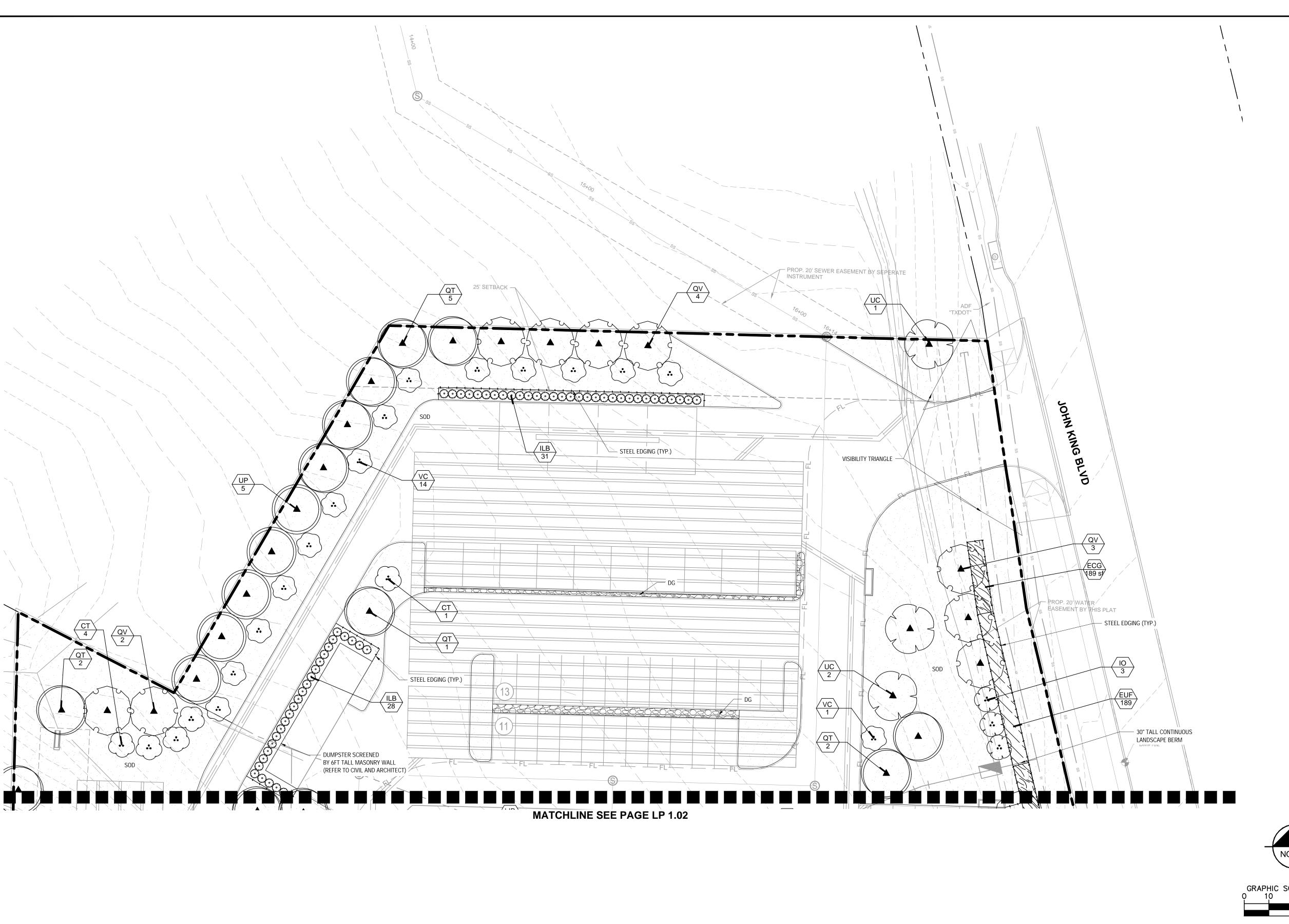
Engineer:

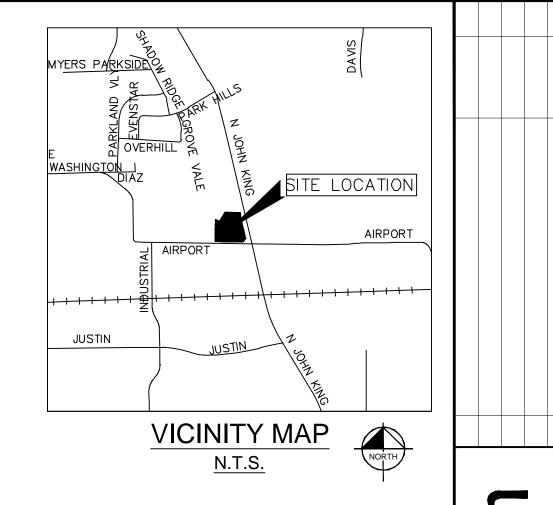
Kimley-Horn and Associates, Inc.
225 E. John W Carpenter FWY,
Suite 1100
Irving, Texas 75062
Contact: Jared Earney, P.E.
Phone: 214-420-5600

Kimley»Horn

P.L.A. NIKOLAUS B. ADAMS
L.A. No. 3404 Date 5/15/2025

SHEET NUMBER LP 1.00





### PLANT SCHEDULE

SYMBOL CODE BOTANICAL / COMMON NAME Quercus texana / Texas Red Oak Quercus virginiana / Southern Live Oak Ulmus crassifolia / Cedar Elm

Cercis canadensis / Eastern Redbud Ilex decidua / Possumhaw Holly llex cornuta `Burfordii` / Burford Holly

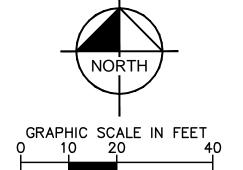
Nassella tenuissima / Mexican Feather Grass

**GROUND COVERS** 

Eragrostis curvula / Weeping Lovegrass Euonymus fortunei `Coloratus` / Purple-leaf Winter Creeper

Liriope muscari / Liriope

Pervious Impervious (123,862 sf) (65,110 sf)



NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC. NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED. NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SITE PLAN FOR FUEL CITY - ROCKWALL LOT 2, BLOCK A

CORNERSTONE COMMUNITY CHURCH

4.34 ACRES

N. BUTLER SURVEY ABSTRACT NO. 20 City of Rockwall, Rockwall County, Texas Current Zoning: C (Commerical District) Proposed Land Use: Gas Station/ Car Wash Submitted: May 16th, 2025

Architect:
Carroll Architects 750 E. Interstate 30, Ste. 1 Rockwall, Texas 75087 Contact: Glennon Langston Phone: 972-732-6085

Contact: Joseph Bickham Phone: 469-203-0159

Fuel City

Ste. 110

801 S. Riverfront Boulevard,00

Dallas, Texas 75207

Ste. 110

Contact: Issue 1100

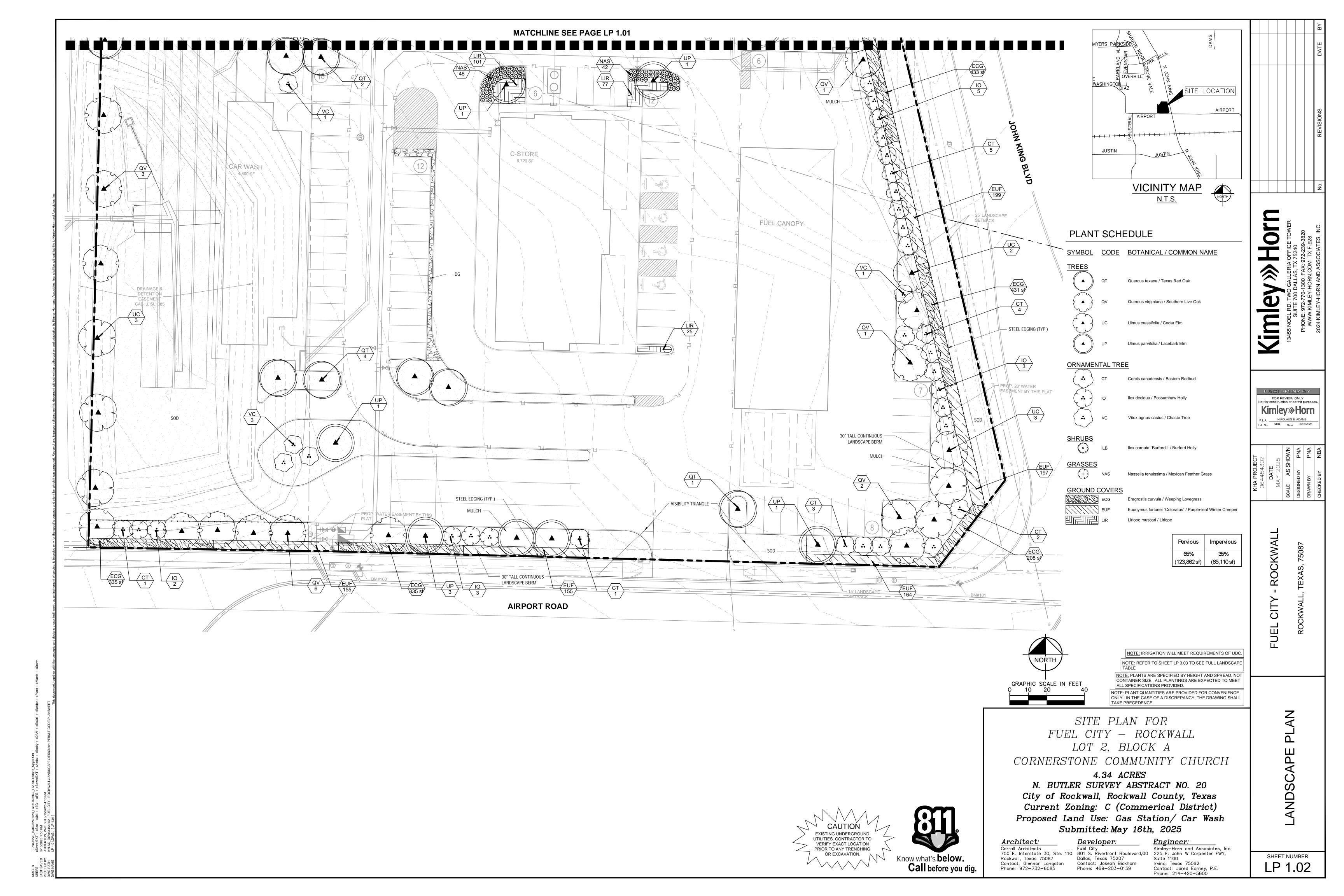
Since 1100 Irving, Texas 75062 Contact: Jared Earney, P.E. Phone: 214—420—5600

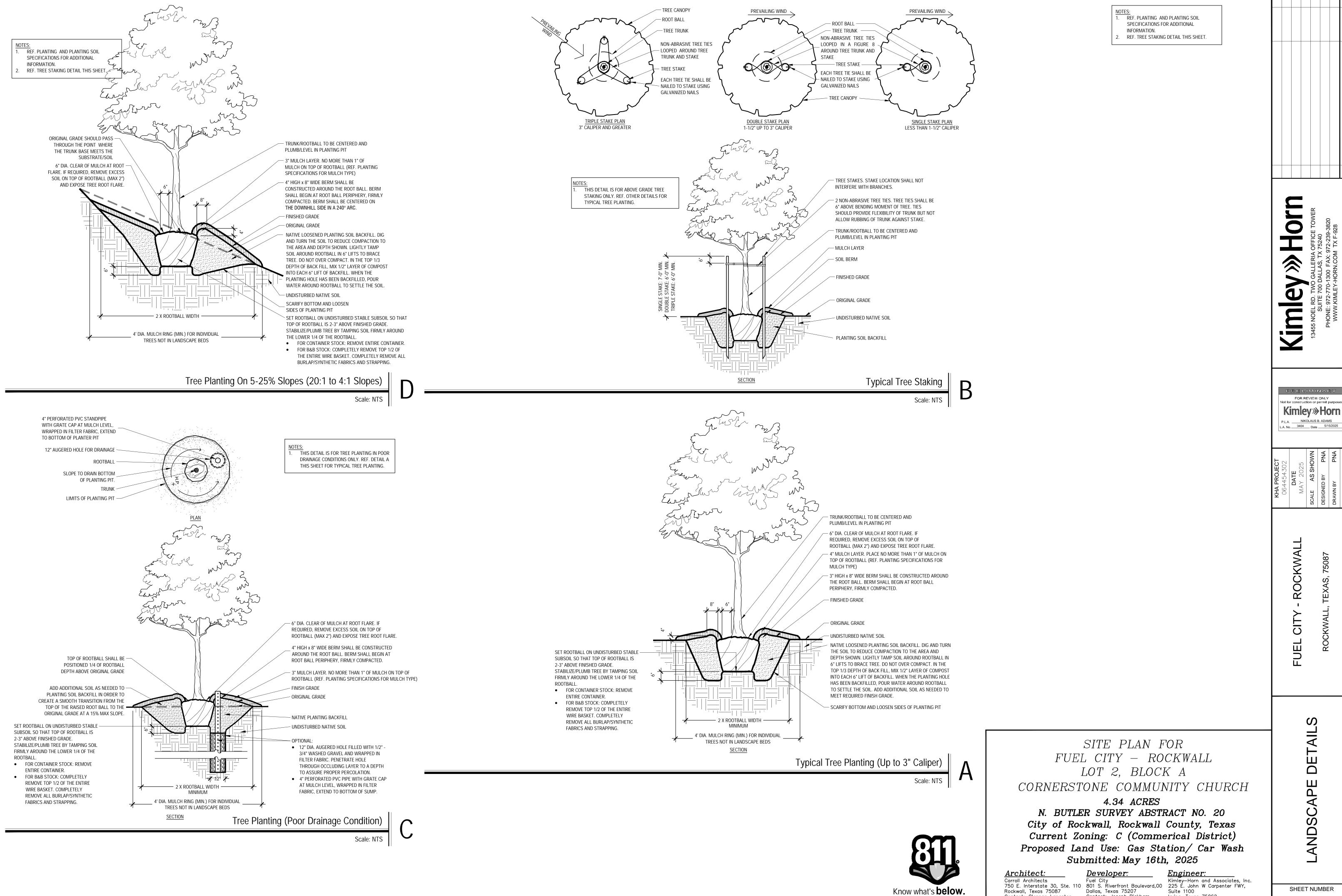
Kimley»Horn

P.L.A. NIKOLAUS B. ADAMS
L.A. No. 3404 Date 5/15/2025

SHEET NUMBER LP 1.01

EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO ANY TRENCHING Know what's **below. Call before you dig.** 





SHEET NUMBER LP 3.01

Rockwall, Texas 75087

Phone: 972-732-6085

Call before you dig.

Contact: Glennon Langston

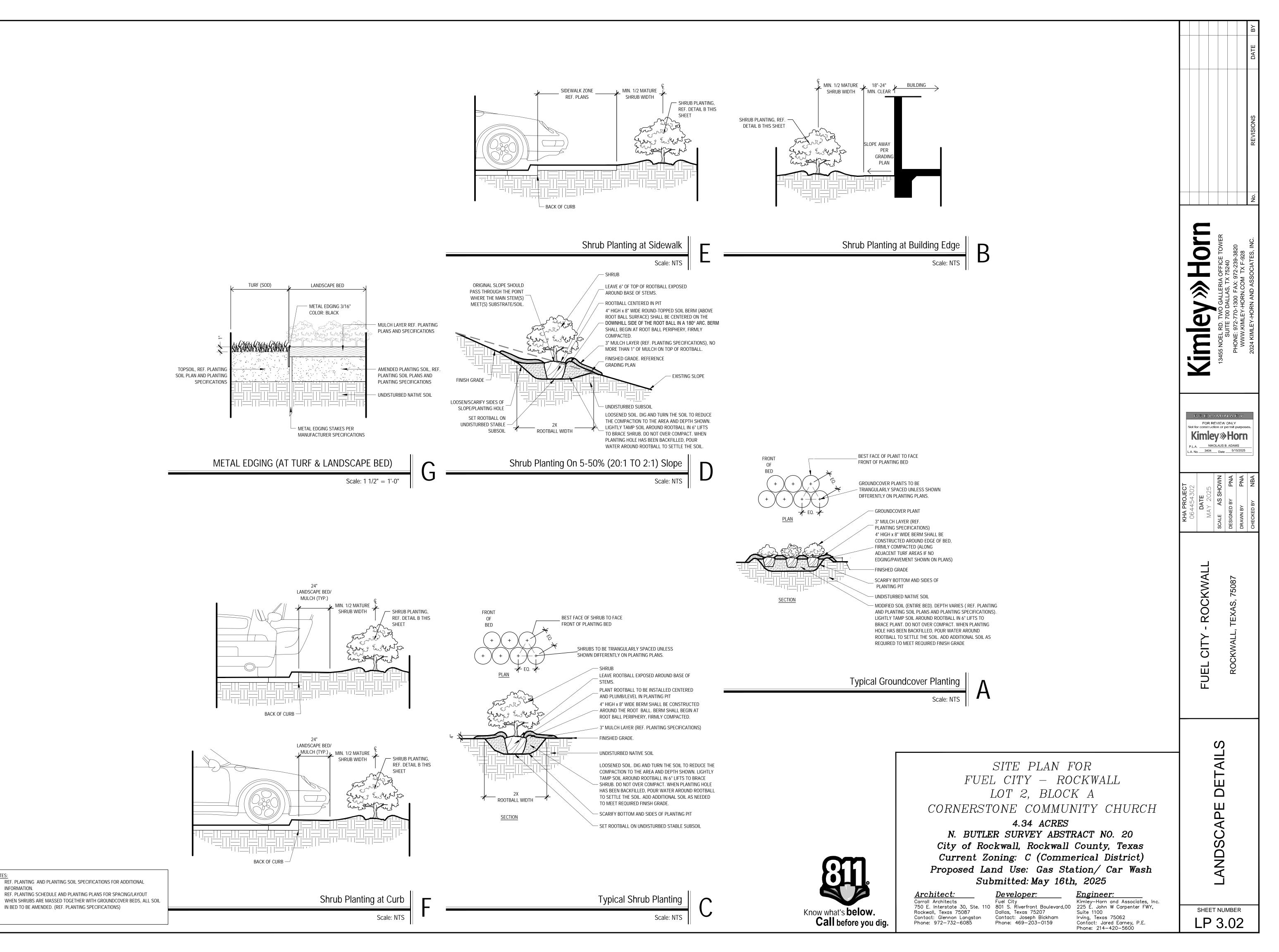
Dallas, Texas 75207

Contact: Joseph Bickham

Phone: 469-203-0159

Irving, Texas 75062

Contact: Jared Earney, P.E. Phone: 214-420-5600



1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER. B. PROTECTION OF EXISTING STRUCTURES ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND

PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT. STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE HE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4 INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER. D. MATERIALS

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR

AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF

MATERIALS SAMPLES MULCH ONE (1) CUBIC FOO TOPSOIL ONE (1) CUBIC YARD

PLANTS ONE (1) OF EACH VARIETY

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCI ATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES 1942 EDITION ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF MERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR LIPON DELIVERY TO THE SITE AS DETERMINED BY THE OWNER FOR QUALITY SIZE AND VARIETY: SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, ATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT. FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL

2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD,

STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO

4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES

5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES 6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS.

OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE 7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.

8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW. a. ORGANIC SOIL AMENDMENTS

 MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE. THAN 25 PERCENT BY VOLUME OF STRAW SAWDUST OR OTHER BEDDING MATERIALS: FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO

3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.

4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.

5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.

6. WORM CASTINGS: EARTHWORMS. b. INORGANIC SOIL AMENDMENTS

1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.

2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, /ITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT

3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT

4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM

5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED

2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT RGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL. NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO

ADDITIONAL COST TO THE OWNER. I. COMMERCIAL FERTILIZER COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA: IT SHALL BE UNIFORM IN COMPOSITION. DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE

FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL 2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14

3. SOD - 8-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS. ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL

M CONTAINER GROWN STOCK

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED VITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN

IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS. 3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER

WHEN THE LISE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR, QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR WNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1 CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH. HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND ELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING

5, GENERAL: COMPLY WITH APPLICABLE FEDERAL. STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE

METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED. 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW. FULL HOSE STREAM ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

TWO (2) TABLETS PER 1 GAL. PLANT - FOUR (4) TABLETS PER 10 GAL, PLANT

- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT. THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11 FILL HOLF WITH SOIL MIXTURE MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT 16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A

GRASS LAWN ACCEPTABLE TO THE OWNER. 2 LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS. WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL. AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL

PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE. 3 SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A PEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY 4. SODDING

THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWIS B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS. ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE ANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON

D DURING DELIVERY PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS. THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURE

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES SHALI BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

E SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET, AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES, CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS. THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY D WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A

DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALI BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING. CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER, MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

/. MAINTENANCE (ALTERNATE BID ITEM 1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED Y THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS. COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER. 4 IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND

IRRIGATION) MAINTENANCE. THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIM SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

### PLANT SCHEDULE

SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS	
TREES						
	QT	17	Quercus texana / Texas Red Oak	4" cal, 16` ht, 5`-6` spr	Full, Straight, Single Lead	
	QV	22	Quercus virginiana / Southern Live Oak	4" cal, 16` ht, 5`-6` spr	Full, Straight, Single Lead	
	UC	11	Ulmus crassifolia / Cedar Elm	4" cal, 15` ht, 6` spr	Full, Straight, Single Lead	
	UP	12	Ulmus parvifolia / Lacebark Elm	4" cal, 15` ht, 6` spr	Full, Straight, Single Lead	
ORNAMENTAL TREE						
	СТ	21	Cercis canadensis / Eastern Redbud	4" cal, 14` ht, 6` spr	Full, Single Leader	
	Ю	16	Ilex decidua / Possumhaw Holly	4" cal, 12` ht, 4` spr	Full, Multi-Trunk	
	VC	20	Vitex agnus-castus / Chaste Tree	8` ht, 5` spr	Full, Multi-Trunk	
<u>SHRUBS</u>						
(Constitution of the constitution of the const	ILB	59	Ilex cornuta `Burfordii` / Burford Holly	36" ht, 30" spr, 42" oc	Full	
GRASSES (+)	NAS	90	Nassella tenuissima / Mexican Feather Grass	18" ht, 24" oc	Full	
GROUND (	COVERS					
STANIK I	ECG	1,931 sf	Eragrostis curvula / Weeping Lovegrass	18" ht, 36" oc	Full	
	EUF	1,059	Euonymus fortunei `Coloratus` / Purple-leaf Winter Creeper	8" ht, 8" spr, 18" oc	Full, 1 gallon min.	
	LIR	203	Liriope muscari / Liriope	12" ht, 12" spr, 18" oc	Full, 1 gallon min.	

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

ANY REVISION TO THIS PLAN WILL REQUIRE CITY OF FRISCO APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN

THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL

3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.

4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.

5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.

6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.

7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.

8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. UNLESS OTHERWISE SPECIFIED

9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED ANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.

11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES. ACTS OF VANDALISM

12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD

13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON

14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4. AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON

16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

Know what's **below.** 

Call before you dig.

SITE PLAN FOR FUEL CITY - ROCKWALL LOT 2, BLOCK A CORNERSTONE COMMUNITY CHURCH 4.34 ACRES

N. BUTLER SURVEY ABSTRACT NO. 20 City of Rockwall, Rockwall County, Texas Current Zoning: C (Commerical District) Proposed Land Use: Gas Station / Car Wash Submitted: May 16th, 2025

<u> Architect:</u> Carroll Architects Rockwall, Texas 75087 Contact: Glennon Langston Phone: 972-732-6085

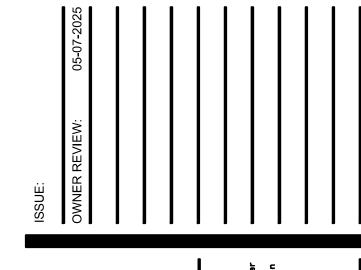
<u>Developer:</u> Dallas, Texas 75207 Contact: Joseph Bickham Phone: 469-203-0159

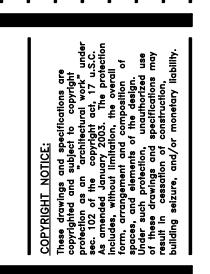
Kimley—Horn and Associates. Inc. 750 E. Interstate 30, Ste. 110 801 S. Riverfront Boulevard,00 225 É. John W Carpenter FWY, Irving, Texas 75062 Contact: Jared Earney, P.E. Phone: 214-420-5600

PRELIMINARY FOR REVIEW ONLY **Kimley** »Horn P.L.A. NIKOLAUS B. ADAMS L.A. No. 3404 Date 5/15/2025

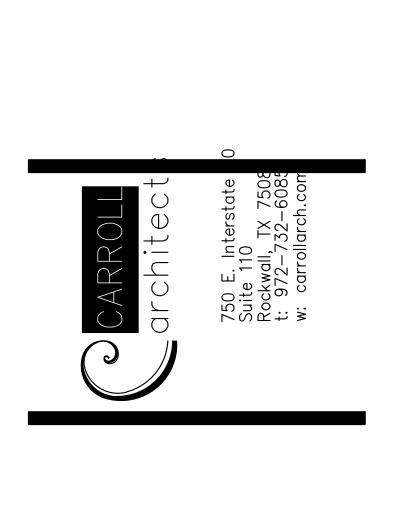
SHEET NUMBER \_P 3.03

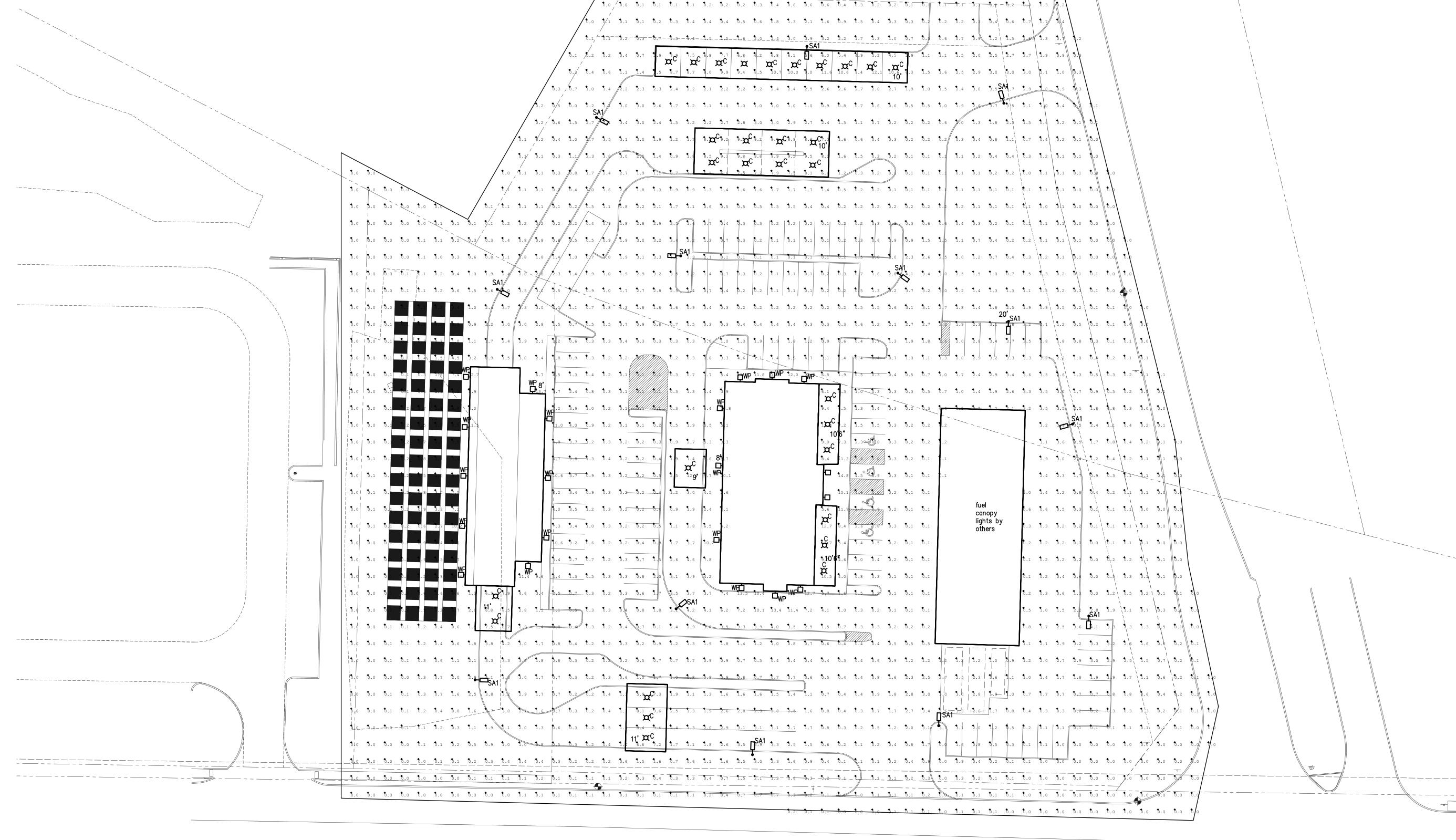
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			10.5, 11
2479	86	1118	20
5073	43	903	8











					DATE:		SHEET NO:	
					1	MAY 2025		
	JFTE		James F. Turne Engineers, L.P.		PROJECT NO:	2024074	EU	.(
		Consulting Engineers 8340 Meadow Rd. Suite 160 Dollas, Texas 75231 TEL. 214-750-2900 75020			DRAWN BY:	GL		
		TEL. 214-750-2900 Job #: 35920 TX REGISTRATION # 10349		CHECKED BY:				
	DRAWN/DESIGN	TJM	QC/APPD	TJM				