NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES, AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

(1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do <u>not</u> involve discretionary approvals.

(2) Approval of Minutes for the <u>November 12, 2024</u> Planning and Zoning Commission meeting.

(3) **P2024-037 (ANGELICA GUEVARA)**

Consider a request by Frank Conselman of Conselman Equities for the approval of a <u>Final Plat</u> for Lot 1, Block A, Texas Products Addition being a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1775 Airport Road, and take any action necessary.

(4) **P2024-039 (ANGELICA GUEVARA)**

Consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Replat</u> for Lot 4, Block B, Rockwall Technology Park, Phase 2 being a 10.65-acre parcel of land identified as Lot 2, Block B, Rockwall Technology Park, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 2911 Corporate Crossing, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(5) SP2024-043 (BETHANY ROSS)

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a <u>Site Plan</u> for a <u>Medical Office Building</u> on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

(6) SP2024-045 (HENRY LEE)

Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the approval of an <u>Amended Site Plan</u> for outside storage in conjunction with an existing warehouse/distribution center facility on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

(7) MIS2024-019 (ANGELICA GUEVARA)

Discuss and consider a request by Donyelle Fenton for the approval of a <u>Miscellaneous Case</u> for an <u>Exception</u> to the <u>Fence Standards</u> to allow the construction of a fence on a 0.239-acre parcel of land identified as Lot 5, Block A, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 214 Lakeview Drive, and take any action necessary.

(VI) <u>DISCUSSION ITEMS</u>

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is <u>December 10</u>, 2024.

(8) **Z2024-053 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Amanda Dailey for the approval of a <u>Zoning Change</u> from Agricultural (AG) District to Single-Family 10 (SF-10) District bring a 1.47-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 205 Dial Lane, and take any action necessary.

(9) **Z2024-054 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a <u>Zoning Change</u> amending Planned Development District 9 (PD-9) [Ordinance No.'s 73-49, 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43] for the purpose of consolidating the regulating ordinances for a 307.57-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9), generally located south of Horizon Road [FM-3097], east of Ridge Road, and north of the southern corporate limits of the City of Rockwall, and take any action necessary.

(10) **Z2024-055 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Detached Garage</u> on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of R+ockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

(11) **Z2024-056 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

(12) **Z2024-057 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Michael Jaquette of CED Rockwall on behalf of QA Logistics Rockwall, LP for the approval of a <u>Specific Use Permit (SUP)</u> for General Retail Store in conjunction with a Wholesale Showroom Facility on a portion of a larger 5.1292-acre parcel of land identified Lot 2, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1915 Alpha Drive, and take any action necessary.

(13) **Z2024-058 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and take any action necessary.

(14) **Z2024-059 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Daryl Schroeder for the approval of a <u>Specific Use Permit (SUP)</u> for Short-Term Rental on a 0.1515-acre parcel of land identified as Lot 16, Block D, Lynden Park Estates, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), addressed as 117 Lanshire Drive, and take any action necessary.

(15) **Z2024-060 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and

General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

(16) **P2024-040 (HENRY LEE)**

Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Jay Hankla of SH Dev Klutts Rockwall, LLC for the approval of a <u>Final Plat</u> for Phase 2 of the Homestead Subdivision being a 48.170-acre tract of land identified as a portion of Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

(17) SP2024-046 (HENRY LEE)

Discuss and consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger Rayburn County Electric Cooperative for the approval of a <u>Site Plan</u> for *Private Recreation Facilities* on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [*SH-205*], and take any action necessary.

(18) **SP2024-048 (HENRY LEE)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Bill Bricker of Rockwall Property Corporation for the approval of a <u>Site Plan</u> for a <u>Dog Boarding Facility</u> on a 1.50-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

(19) SP2024-049 (HENRY LEE)

Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Jay Hankla of SH Dev Klutts Rockwall, LLC for the approval of a <u>Site Plan</u> for Phase 2 of the Homestead Subdivision being a 48.170-acre tract of land identified as a portion of Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

- (20) <u>Director's Report</u> of post City Council meeting outcomes for development cases (RYAN MILLER).
 - Z2024-049: Specific Use Permit (SUP) for a Residence Hotel along Fit Sport Life Boulevard (1st READING; APPROVED)
 - Z2024-050: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for a Duplex on Bost Street (1ST READING; APPROVED)
 - Z2024-051: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for a Duplex on Bost Street (1ST READING; APPROVED)
 - Z2024-052: Specific Use Permit (SUP) for *Private Sports Court with Standalone or Dedicated Lighting* at 1313 Gideon Way (1ST READING; DENIED)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on <u>November 22, 2024</u> at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

62

63

PLANNING AND ZONING COMMISSION MEETING PLANNING AND ZONING COMMISSION MEETING CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS NOVEMBER 12, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:0 NOVEMBER 12, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES, AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I.CALL TO ORDER

Chairman Deckard called the meeting to order at 6:00PM. Commissioners Present were Dr. Jean Conway, Jay Odom, John Hagaman and Kyle Thompson Commissioners absent were Vice-Chairman John Womble and Ross Hustings. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn price.

II.APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

Director of Planning and Zoning Ryan Miller advised staff would provide ARB recommendations when staff presents the case.

III.OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings

Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Deckard closed the open forum.

IV.CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38. Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

2. Approval of Minutes for the October 29, 2024 Planning and Zoning Commission meeting.

Commissioner Conway made a motion to approve the Consent Agenda. Commissioner Thompson seconded the motion which passed by a vote of 5-0.

V.PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

3. Z2024-049 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.

Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant is requesting approval of a Specific Use Permit (SUP) or a residence hotel. On June 17. 2024 the City Council denied the SUP without prejudice to allow the applicant to resubmit after plans were approved for any addition of the 101 parking spaces. Since then, the applicant has then provided plans and was approved for the paving. The applicants request meets all the Unified Development Code (UDC) Requirements for a residence hotel. The building elevations were added to the ordinance but will be reviewed at site plan. On October 19th staff mailed out notices to property owners and occupants within 500-feet of the subject property. At this time there have not been any notices in return.

Colin McDonald 4633 North Central Expressway Dallas, TX75205

Mr. McDonald came forward and provided additional details in regards to the applicants request.

Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.

Melba Jeffus 2606 Cypress Drive Rockwall, TX 75087

Mrs. Jeffus came forward and expressed her concerns in regards to the parking lot and wanted to make sure there was enough parking.

Chairman Deckard explained that they would have to go based on the hotel and not for the Amerisport.

Director of Planning and Zoning Ryan Miller explained that amerisport had parking issues already an at that time the developer had explained that they would be adding parking spaces, but at that time they had not begun the process therefore they were denied without prejudice to allow them to comeback and resubmit. What has changed since then is they begun construction in the back-parking lot that will add a capacity of 100 spaces.

Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Hagaman asked how many residence hotels Rockwall currently has.

Director of Planning and Zoning Ryan Miller explained that there are four (4) that he knows of that incorporate kitchen facilities and there was one (1) approved but never built.

Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Odom made a motion to approve Z2024-049. Commissioner Thompson seconded the motion which passed by a vote of 4-1. With commissioner Hagaman dissenting.

4. Z2024-050 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a Specific Use Permit (SUP) to construct a duplex on the property. The submitted building elevations indicate that the proposed building does not comply with two standards outlined in the Unified Development Code (UDC) that anti-monotony standards and the garage placement requirement. Regarding the garage placement, the UDC mandates the garage be setback at least 20 feet from the front façade of the building. However, the proposed parking garage in this case is positioned approximately two (2) feet in front of the building's front façade. Additionally, the anti-monotony standards require that homes within a development incorporate at least three district elements to ensure variety. The applicants design and the articulation of the front façade. While the request does not fully meet these standards, staff should note that it appears to align with the spirit and intent of the ordinance and does not appear to negatively impact neighboring properties. On October 22nd staff mailed out notices to property owners and occupants within 500 feet of the subject property. At this time, no responses have been received.

Jim Joyce 453 Creek Crossing Royse City, TX 75189

Mr. Joyce came forward and provided additional details in regards to the request.

Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.

John Unruh 508 Saint Mary's Rockwall, TX 75087

Mr. John came forward and asked if the zoning for the subject property was already zoned as Two-Family (2F) District.

Planning Technician Angelica Guevara advised that it was already zoned Two-Family (2F) District since 1972.

Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.

Chairman Deckard asked what the variances were for the ones he did not meet.

Commissioner Conway made a motion to approve Z2024-050. Commissioner Odom seconded the motion which passed by a vote of 5-0.

5. **Z2024-051** (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall,

Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

Planning Technician Angelica Guevara provided brief summary in regards to the applicants request. The applicant is proposing to construct a duplex on this lot. Similar to the previous request, the applicant the proposed building does not fully comply with two standards outlined in the Unified Development Code (UDC) the anti-monotony standards and the garage location requirement. However, staff should note that the proposed development does not appear to negatively impact the surrounding subdivision. Should the request be approved, the City Council would be granting a waiver of these specific requirements.

Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Deckard closed the public hearing and brought the item back for discussion or action.

Commissioner Thompson made a motion to approve Z2024-051. Commissioner Conway seconded the motion which passed by a vote of 5-0.

6. Z2024-052 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Chad and Cindy Shirley for the approval of a <u>Specific Use Permit (SUP)</u> for a <u>Private Sports Court</u> with Standalone or <u>Dedicated Lighting</u> on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1313 Gideon Way, and take any action necessary.

Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting approval of a Specific Use Permit (SUP) to allow a sports court with dedicated lighting. The lighting meets all the UDC standards by shielding and limiting to 14 feet tall. On October 19th staff mailed out notices to property owners and occupants within 500 feet of the subject property. At this time, three (3) notices have been received in opposition of the request.

Chairman Deckard asked if the three (3) that were in opposition if they were in the notice.

Director of Planning and Zoning Ryan Miller advised that one of the notices provided mention they were behind the subject property.

Commissioner Thompson asked if the lighting pole had changed from previous meeting.

Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.

Lori Schultz 1330 Middleton Drive Rockwall, TX 75087

Mrs. Schultz came forward and expressed her concerns in regards to the basketball court lighting.

Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.

Director of Planning and Zoning Ryan Miller explained that the reason this needs a Specific Use Permit (SUP) would be in regard to the lighting.

Chairman Deckard made a motion to deny Z2024-052. Commissioner Conway seconded the motion which was denied by a vote of 5-0.

VI.ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

7. **SP2024-042** (ANGELICA GUEVARA)

Discuss and consider a request by Joanne Vuckovic on behalf of the Pregnancy Resource Center of Lake Ray Hubbard for the approval of a <u>Site Plan</u> for an existing *Medical Office Building* on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a Site plan for an existing medical office. This site may be familiar, as it underwent an amended site plan process last year for a building addition. However, the applicant has now indicated 90% of the existing structure will be demolished requiring a new site plan approval. The applicant is requesting approval of a Site plan to construct a new medical office building on the property. This new request is subject to the standards of the overlay District, and generally conforms to most requirements, with the exception of the following variances, Primary, secondary materials, cementitious materials, and stone requirements. Staff should note that the proposed new building is intended to be a reconstruction of the previous structure, with the primary difference being a slightly larger footprint. Additionally, the building design elevations indicate that the new structure will maintain continuity with existing homes and office building along Ridge Road.

Joanne Vuckovic 1010 Ridge Road Rockwall, TX 75087

Mrs. Vuckovic came forward and provided additional details in regards to the request.

Commissioner Conway made a motion to approve SP2024-042. Chairman Deckard seconded the motion which passed by a vote of 5-0.

8. SP2024-043 (BETHANY ROSS)

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a <u>Site Plan</u> for a <u>Medical Office Building</u> on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

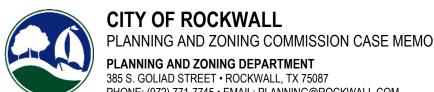
Chairman Deckard explained that the applicant has requested to table till the November 26th meeting.

213 VII. DISCUSSION ITEMS

- 9. <u>Director's Report</u> of post City Council meeting outcomes for development cases (RYAN MILLER).
- P2024-025: Final Plat for Lot 1, Block A, Pro Soap Addition (APPROVED)
- P2024-033: Preliminary Plat for Lots 2-13, Block B & Lot 2, Block C, Rockwall Commercial Addition (APPROVED)
- P2024-035: Replat for Lots 19-21, Block A, Creekside Commons Addition (APPROVED)
- P2024-036: Final Plat for Lots 1-3, Block A, Boardwalk Development Addition (APPROVED)
- Z2024-041: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 324 Valiant Drive (2ND READING; APPROVED)
- Z2024-042: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 515 S. Clark Street (2ND READING; APPROVED)
- Z2024-043: Specific Use Permit (SUP) for Accessory Buildings at 1202 Gideon Way (2ND READING; APPROVED)
- Z2024-044: Specific Use Permit (SUP) for a Short-Term Rental at 806 Austin Street (DENIED)
- Z2024-046: Specific Use Permit (SUP) for a Short-Term Rental at 108 Reliance Court (2ND READING; APPROVED)

227 VIII.<u>ADJOURNMENT</u> 228

Chairman Deckard adjourned the meeting at 6:35PM	
PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this	day of
, 2024.	
Derek Deckard, Chairman	
Attest:	
, 2024.	day of



PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 26, 2024

APPLICANT: Frank Conselman; Conselman Equities

CASE NUMBER: P2024-037; Final Plat for Lot 1, Block A, Texas Products Addition

SUMMARY

Consider a request by Frank Conselman of Conselman Equities for the approval of a Final Plat for Lot 1, Block A, Texas Products Addition being a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1775 Airport Road, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The applicant is requesting the approval of a Final Plat for a 6.68-acre tract of land (i.e. Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102) creating one (1) lot (i.e. Lot 1, Block A, Texas Products Addition) for the purpose of establishing the necessary easements to allow the construction of an Office/Warehouse Facility on the subject property.
- ☑ Background. The subject property was annexed by the City Council on March 16, 1998 by Ordinance No. 98-10 [Case No. A1998-001]. On February 22, 2022, the Planning and Zoning Commission approved a Miscellaneous Case [Case No. MIS2022-001] for a Treescape Plan but denied the Alternative Tree Mitigation Settlement Agreement. On May 2, 2022, the City Council approved a Miscellaneous Case [i.e. Case No. MIS2022-007] for an Alternative Tree Mitigation Settlement Agreement of \$7,800.00 paid into the City's Tree Fund prior to the removal of any trees on the subject property. On December 4, 2023, the City Council approved a Zoning Change [i.e. Case No. Z2023-051] from Agricultural (AG) District to Light Industrial (LI) District. Prior to this zoning change, there was 1,891 SF single-family home that was constructed in 1950 situated on the subject property; however, this home was razed from the property in 2023. The subject property has remained vacant since the home was removed. On April 9, 2024, the Planning and Zoning Commission approved a site plan [i.e. Case No. SP2024-012] for a 42,974 SF Office/Warehouse Facility on the subject property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

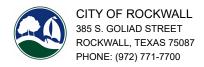
CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for Lot 1, Block A, Texas Products Addition staff would propose the following conditions of approval:

(1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,

2)	Any construction resulting from the approval of this <u>Final Plat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted
	engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



DATE: 11/20/2024

PROJECT NUMBER: P2024-037

PROJECT NAME: Final Plat for Lot 1, Block A, Texas Products

SITE ADDRESS/LOCATIONS: 1775 AIRPORT RD

CASE CAPTION: Consider a request by Frank Conselman of Conselman Equities for the approval of a Final Plat for Lot 1, Block A, Texas Products

Addition being a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1775

Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Angelica Guevara	11/20/2024	Approved w/ Comments	

11/20/2024: P2024-037: Final Plat for Lot 1, Block A, Texas Products Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Texas Products Addition being a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, and addressed as 1775 Airport Road.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aquevara@rockwall.com.
- M.3 For reference, include the case number (P2024-037) in the lower right-hand corner of all pages on future submittals.
- M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 1, BLOCK A
TEXAS PRODUCTS ADDITION
BEING
ONE (1) LOT
6.685-ACRES OR 291,202 SF
SITUATED IN THE
DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label all existing and proposed Firelane/Access/Utility line easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

- M.6 Please label the right-of-way width and street centerline for the street adjacent to the development. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.7 Please ensure Legal Description is correct. There are two (2) different numbers for the distances on the first paragraph (i.e. 497.13 & 497.12). Please verify which is correct. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.8 Please remove the contours within the subject property on the plat.
- M.9 Please provide the following Surveyor's/Registered Engineer Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

NOW. THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR SIGNATURE [OR] REGISTERED ENGINEER PROFESSIONAL ENGINEER NO.

REGISTERED PUBLIC SURVEYOR NO. [OR]

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL	·
PLANNING AND ZONING COMMISSIO	N CHAIRMAN
	_
CITY SECRETARY	

CITY ENGINEER

- I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.
- I.12 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: November 26, 2024 City Council Meeting: December 10, 2024

I.13 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

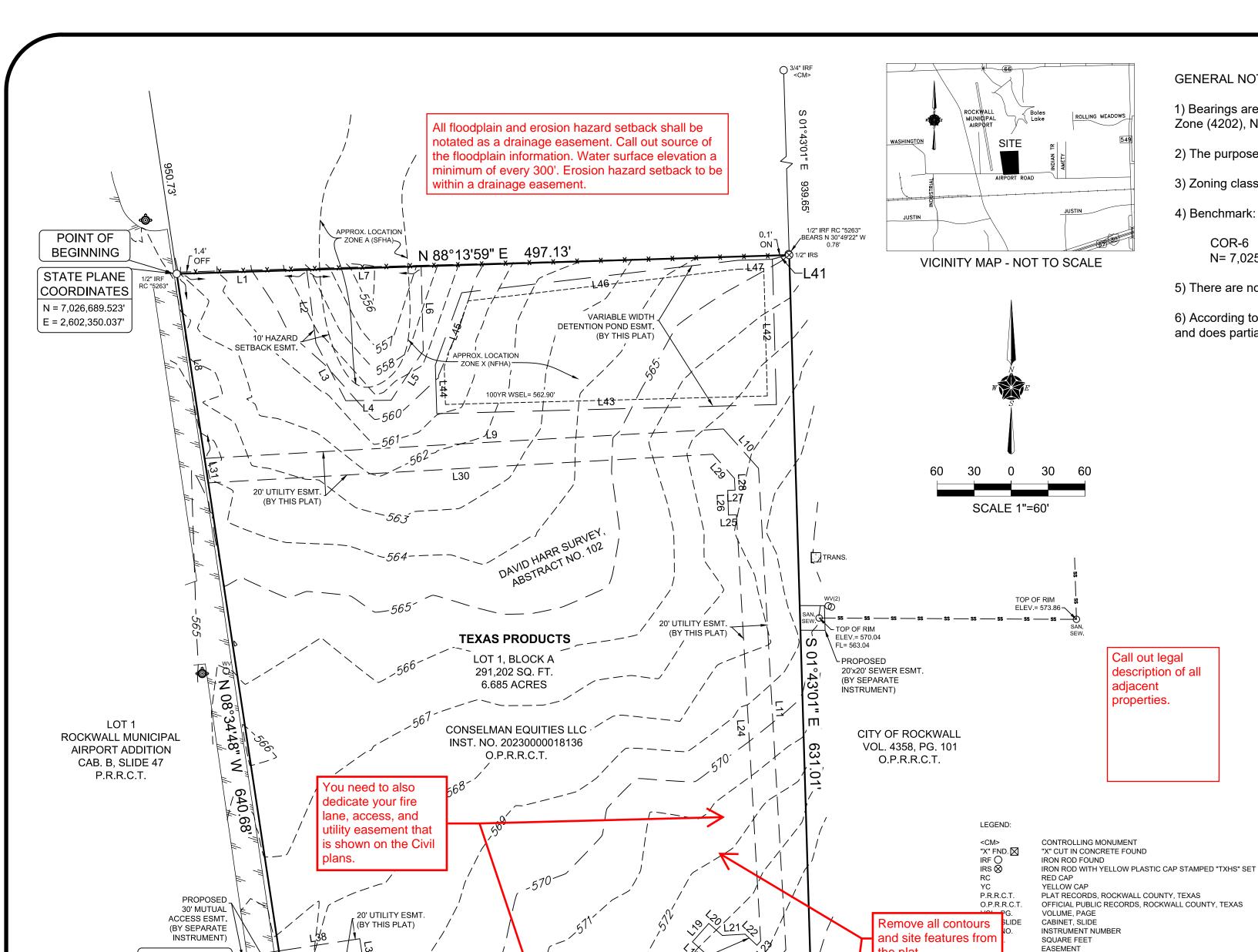
11/19/2024: 1. All floodplain and erosion hazard setback shall be notated as a drainage easement. Call out source of the floodplain information. Water surface elevation a

minimum of every 300'. Erosion hazard setback to be within a drainage easement.

- 2. Call out legal description of all adjacent properties.
- 3. You need to also dedicate your fire lane, access, and utility easement that is shown on the Civil plans.
- 4. Remove all contours and site features from the plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Needs Review	
11/18/2024: Fire Lanes shall be	shown as an easement on the plat.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	_

No Comments



VARIABLE WIDTH

S 86°51'16" W 222.44'

TOP OF RIM
AIRPORT ROAD

ELEV = 570.06 (VARIABLE WIDTH R.O.W.)

FL= 563.40

TOP OF RIM

ELEV.= 570.55

√ FL INACCESSIBLE

∽ TOP OF RIM

ELEV = 571.15 FL= 566.97

UTILITY ESMT.

(BY THIS PLAT)

L34

51 K S 87°52'20" W

52.08'

TOP OF RIM

ELEV = 575.19

L15 L14

STATE PLANE

COORDINATES

N = 7,026,056.013'

E = 2,602,445.621'

20' ROAD DEDICATION

CAB. B, SLIDE 47; P.R.R.C

116.88'

10' UTILITY ESMT.

L33

S 88°26'31" W 146.12'-sn.

(BY THIS PLAT)

GENERAL NOTES:

- 1) Bearings are based upon the Texas State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011).
- 2) The purpose of this plat is to plat an unplatted tract of land into one lot.
- 3) Zoning classification: LI (as per City of Rockwall Zoning GIS map).
- 4) Benchmark:

COR-6

N= 7,025942.628'; E= 2,601204.043'; Elevation= 558.61'

EASEMENT LINE TABLE

- 5) There are no trees on the subject property.
- 6) According to the F.I.R.M. No. 48397C0045L, the subject property lies in Zone A and Zone X and does partially lie within a Special Flood Hazard Area, as shown.

LINE#	LENGTH	DIRECTION
L1	105.52'	N88°13'59"E
L2	59.75'	S7°12'04"E
L3	52.71'	S27°16'42"E
L4	36.85'	N89°27'57"E
L5	47.79'	N33°01'53"E
L6	68.54'	N1°27'19"W
L7	92.85'	S88°16'25"W
L8	151.43'	S8°34'48"E
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L12	46.77'	S41°44'54"W
L13	33.94'	S3°15'06"E
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L17	3.50'	N41°44'54"E
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EAS	EMENT LII	NE TABLE
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L33	147.21'	S88°26'31"W
L34	274.65'	S86°51'16"W
L35	10.93'	S1°43'01"E
L36	55.03'	N8°34'48"W
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L38	66.35'	S81°25'12"W
L39	20.00'	N8°34'48"W
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L47	27.97'	N88°16'59"E

SURVEYOR

TEXAS HERITAGE SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243 Office 214-340-9700 Fax 214-340-9710 txheritage.com Firm No. 10169300

TEXAS PRODUCTS BEING ONE LOT

291,202 SQUARE FEET / 6.685 ACRES SITUATED IN THE DAVID HARR SURVEY, ABSTRACT NO. 102 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NO.

PRELIMINARY PLAT

LOT 1, BLOCK A

PAGE 1 OF 2

ENGINEER MONK CONSULTING ENGINEERS, INC. CONSELMAN EQUITIES LLC, 1200 W. STATE STREET A TEXAS LIMITED LIABILITY COMPANY GARLAND, TEXAS 75040 1210 CRESTCOVE ROCKWALL, TEXAS 75087 attn: JERRY MONK

ELEVATION FLOW LINE

TRANSFORMER

POWER POLE

FIRE HYDRANT

WATER VALVE

ASPHALT

TELEO

ss O

SWB VAULTO

SAN. SEW.O

TELEPHONE PEDESTAL

SANITARY SEWER LINE

CONCRETE PAVING

SOUTHWESTERN BELL VAULT

STORM SEWER MANHOLE

SANITARY SEWER MANHOLE

the plat.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NOTE: THE APPLICATION IS CITY UNTIL THE PLANNING SIGNED BELOW.	E NO. S NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Rockwall, Texas 75087 PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST ISELECT ONLY ONE BOX! PLATTING APPLICATION FEES: **ZONING APPLICATION FEES:** ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)

1 ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 &2 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 OTHER APPLICATION FEES: ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ TREE REMOVAL (\$75.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00) ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 SITE PLAN APPLICATION FEES: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) 1 PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00) INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PROPERTY INFORMATION [PLEASE PRINT] 1779 AIRPORT RD LOT SUBDIVISION TEXAS PRODUCTS **BLOCK** ON AIV port RD, EAST OF AIVPOV **GENERAL LOCATION** ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] **CURRENT USE CURRENT ZONING** D-10/C UNDEVELOOR PROPOSED ZONING ACREAGE LOTS [CURRENT] LOTS [PROPOSED] SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE. OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] MOWNER & CONSELMAN EQUITIES □ APPLICANT FRANK COUSELMAN CONTACT PERSON CONTACT PERSON **ADDRESS ADDRESS** 1210 CRESTCOVE ROCKWAU, TX 75087 CITY, STATE & ZIP CITY, STATE & ZIP PHONE PHONE E-MAIL Frank & THEXAS Propucts com E-MAIL NOTARY VERIFICATION REQUIRED BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF THE APPLICATION HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF 20 SH BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE lovember INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION. GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE $1\partial^{ extstyle T}$ MARGARET DELANEY Notary Public State of Texas OWNER'S SIGNATURE <u> 1D#13112546</u>



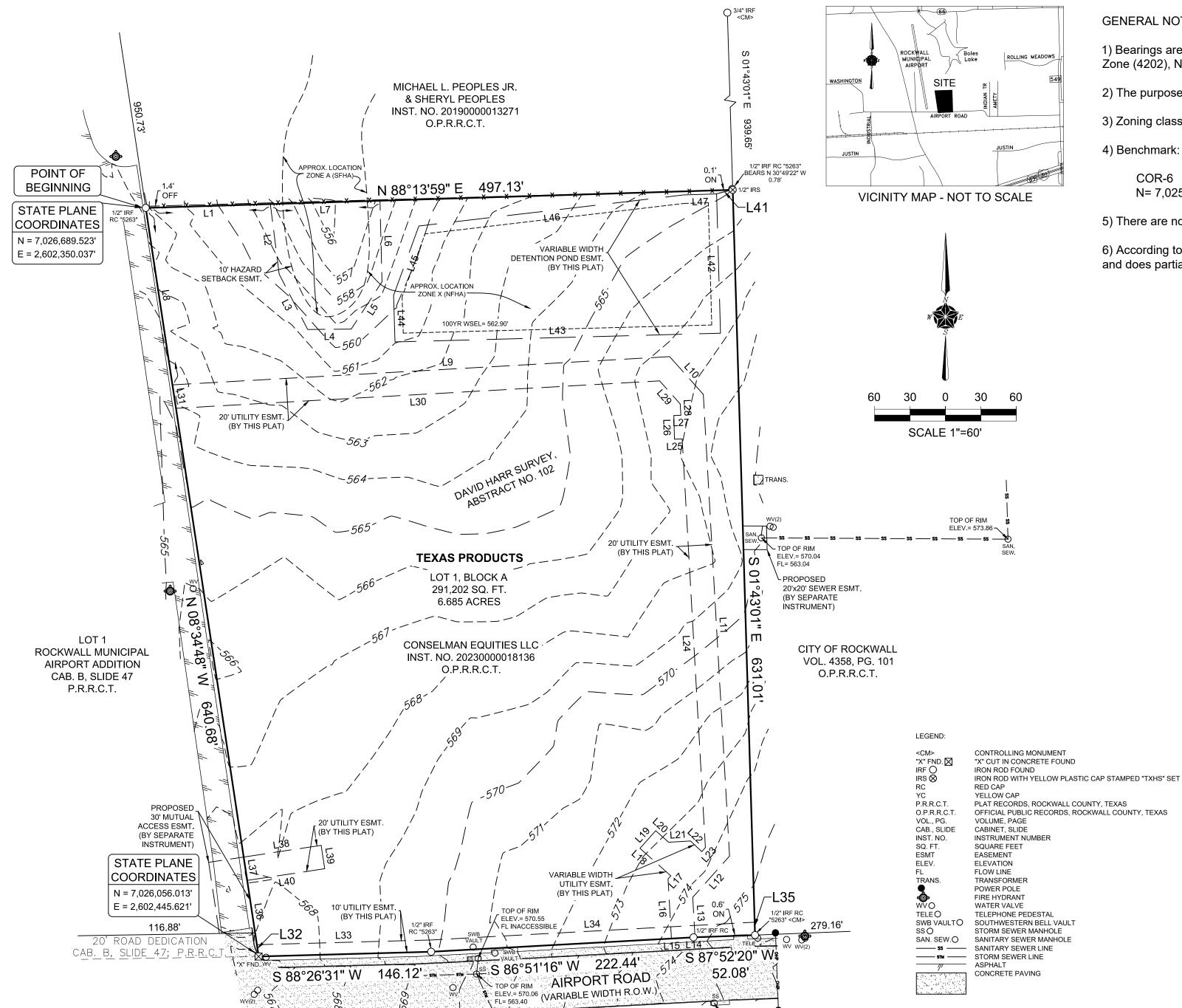


City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





∽ TOP OF RIM

ELEV = 571.15 FL= 566.97

GENERAL NOTES:

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SURVEYOR

TEXAS HERITAGE SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243 Office 214-340-9700 Fax 214-340-9710 txheritage.com Firm No. 10169300

PRELIMINARY PLAT LOT 1, BLOCK A **TEXAS PRODUCTS**

BEING ONE LOT 291,202 SQUARE FEET / 6.685 ACRES SITUATED IN THE DAVID HARR SURVEY, ABSTRACT NO. 102 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NO.

PAGE 1 OF 2

DATE: 11/6/2024 / JOB # 2302034-2 / SCALE= 1" = 60' / DRAWN: JACOB

ENGINEER MONK CONSULTING ENGINEERS, INC. 1200 W. STATE STREET GARLAND, TEXAS 75040

attn: JERRY MONK

TOP OF RIM

ELEV = 575.19

CONSELMAN EQUITIES LLC, A TEXAS LIMITED LIABILITY COMPANY 1210 CRESTCOVE ROCKWALL, TEXAS 75087

OWNER'S CERTIFICATE:

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS, CONSELMAN EQUITIES LLC, a Texas limited liability company is the owner of a tract of land situated in the David Harr Survey, Abstract No. 102 in the City of Rockwall, Rockwall County, Texas, being that tract of land described in General Warranty Deed to CONSELMAN EQUITIES LLC recorded in Instrument Number 20230000018136 of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch iron rod with red plastic cap stamped "5263" found for corner, said corner being in the east line of Lot 1 of Rockwall Municipal Airport Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Cabinet B, Slide 47 of the Plat Records of Rockwall County, Texas, said corner also being the southwest corner of that tract of land described in Warranty Deed with Vendor's Lien to Michael L. Peoples Jr. & Sheryl Peoples recorded in Instrument Number 20190000013271 of the Official Public Records of Rockwall County, Texas, and being the northwest corner of the herein described tract;

Thence North 88 degrees 13 minutes 59 seconds East, along the south line of said Peoples tract, a distance of 497.12 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner, said corner being in the west line of that tract of land described in General Warranty Deed to City of Rockwall recorded in Volume 4358, Page 101 of the Official Public Records of Rockwall County, Texas, from which lies a 1/2 inch iron rod with red plastic cap stamped "5263" found which bears North 30 degrees 49 minutes 22 seconds West, 0.78 feet;

Thence South 01 degrees 43 minutes 01 seconds East, along the west line of said City of Rockwall tract, a distance of 631.01 feet to a 1/2 inch iron rod with red plastic cap stamped "5263" found for corner, said corner being in the north right-of-way line of Airport Road (variable width right-of-way);

Thence South 87 degrees 52 minutes 20 seconds West, along the north right-of-way line of said Airport Road, a distance of 52.08 feet to a 1/2 inch iron rod with red plastic cap found for corner;

Thence South 86 degrees 51 minutes 16 seconds West, continuing along the north right-of-way line of said Airport Road, a distance of 222.44 feet to a 1/2 inch iron rod with red plastic cap stamped "5263" found for corner;

Thence South 88 degrees 26 minutes 31 seconds West, continuing along the north right-of-way line of said Airport Road, a distance of 146.12 feet to an "X" cut in concrete found for corner, said corner being the southeast corner of a 20 foot road dedication, as dedicated by said Rockwall Municipal Airport Addition;

Thence North 08 degrees 34 minutes 48 seconds West, along the east line of said 20 foot road dedication and said Lot 1, a distance of 640.68 feet to the POINT OF BEGINNING and containing 291,202 square feet or 6.685 acres of land, more or less.

CITY OF ROCKWALL PLAT NOTES:

- 1) Subdivider's Statement: Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- 2) Public Improvement Statement: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- 3) Drainage and Detention Easements: Property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- 4) Fire Lanes: All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- 5) Street Appurtenances: All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the homeowner's association (HOA).

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the TEXAS PRODUCTS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the us of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the TEXAS PRODUCTS subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage or cause of action that I may have as a result of the dedication of exactions made herein.

Frank Conselr	man
President	
STATE OF TE	EXAS
COUNTY OF	DALLAS
	• • • • • • • • • • • • • • • • • • • •
Conselman, k foregoing inst	nown to me to be the person whose name is subscribed to
Conselman, k foregoing insti purposes and	R MY HAND AND SEAL OF OFFICE, this day
Conselman, keep foregoing instruction purposes and GIVEN UNDE	nown to me to be the person whose name is subscribed to rument, and acknowledged to me that he executed the san considerations therein stated. R MY HAND AND SEAL OF OFFICE, this day

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. (11/7/2024)

J. R. January, R.P.L.S. No. 5382

placed under my personal supervision.

	Commission and approved by the City Council
of the City of Rockwall, Texas for the	preparation of a Final Plat on the day o
, 2024.	
Mayor of the City of Rockwall	Planning and Zoning Chairman

APPROVED: I hereby certify that the above and foregoing Subdivision Plat was

I, J. R. January, do hereby certify that I prepared this plat from an actual and accurate

survey of the land, and that the corner monuments shown thereon were properly

SURVEYOR



10610 Metric Drive, Suite 124, Dallas, TX 75243 Office 214-340-9700 Fax 214-340-9710 txheritage.com Firm No. 10169300 PRELIMINARY PLAT
LOT 1, BLOCK A
TEXAS PRODUCTS

BEING ONE LOT
291,202 SQUARE FEET / 6.685 ACRES
SITUATED IN THE
DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO.

PAGE 2 OF 2

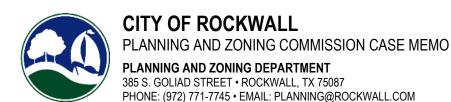
ENGINEER

MONK CONSULTING ENGINEERS, INC.
1200 W. STATE STREET

GARLAND, TEXAS 75040

attn: JERRY MONK

CONSELMAN EQUITIES LLC,
A TEXAS LIMITED LIABILITY COMPANY
1210 CRESTCOVE
ROCKWALL, TEXAS 75087



TO: Planning and Zoning Commission

DATE: November 26, 2024

APPLICANT: Matthew J. Peterson; *DB Constructors, Inc.*

CASE NUMBER: P2024-039; Replat for Lot 4, Block B, Rockwall Technology Park, Phase 2 Addition

SUMMARY

Consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a <u>Replat</u> for Lot 4, Block B, Rockwall Technology Park, Phase 2 being a 10.65-acre parcel of land identified as Lot 2, Block B, Rockwall Technology Park, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 2911 Corporate Crossing, and take any action necessary.

PLAT INFORMATION

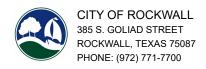
- Purpose. The applicant is requesting the approval of a Replat for a 10.65-acre tract of land (i.e. Lot 2, Block B, Rockwall Technology Park, Phase 2 Addition), establishing one (1) lot (i.e. Lot 4, Block B, Rockwall Technology Park, Phase 2 Addition) for the purpose of facilitating the construction of a Light Manufacturing Facility on the subject property.
- ☑ Background. A portion of the subject property was originally annexed into the City of Rockwall on May 19, 1986 by Ordinance No. 86-37. At the time of annexation this portion of the subject property was zoned Agricultural (AG) District. According to the City's Historic Zoning Maps, between annexation and December 7, 1993 this portion of the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. The remainder of the subject property was annexed into the City of Rockwall on July 21, 1997 by Ordinance No. 97-14. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District. On May 29, 2003, the two (2) portions of the subject property had been assembled as a portion of Lot 1, Block B, Rockwall Technology Park, Phase 2 Addition. By April 5, 2005 the subject property had been rezoned to a Light Industrial (LI) District. On December 5, 2014, the subject property was replatted as Lot 2, Block B, Rockwall Technology Park, Phase 2 Addition [i.e. Case No. P2014-036] (listed as Lot 1, Block B, Rockwall Technology Park, Phase 2 Addition by the Rockwall Central Appraisal District [RCAD] on the certified tax role). The subject property has remained vacant since the time of annexation. On July 5, 2022, City Council approved a Specific Use Permit (SUP) [i.e. Case No. Z2022-022] to allow for a 2,800 SF General Retail Store as part of a larger 189,000 SF Light Manufacturing Facility on the subject property.
- ☑ <u>Conformance to the Subdivision Ordinance</u>. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this <u>Replat</u> by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the <u>Replat</u> for Lot 4, Block B, Rockwall Technology Park Addition staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this *Replat*; and,
- (2) Any construction resulting from the approval of this <u>Replat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



DATE: 11/20/2024

PROJECT NUMBER: P2024-039

PROJECT NAME: Replat for Lot 2, Block b, Rockwall Technology Park Phase II

SITE ADDRESS/LOCATIONS: 2911 DISCOVERY BLVD

CASE CAPTION: Consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Phil Wagner of the Rockwall Economic

Development Corporation (REDC) for the approval of a Replat for Lot 4, Block B, Rockwall Technology Park, Phase 2 being a 10.65-acre parcel of land identified as Lot 2, Block B, Rockwall Technology Park, Phase 2, City of Rockwall, Rockwall County, Texas,

zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 2911 Corporate Crossing,

and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Angelica Guevara	11/20/2024	Approved w/ Comments	_

11/20/2024: P2024-039: Final Plat for Lot 4, Block B, Rockwall Technology Park, Phase 2 Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lot 4, Block B, Rockwall Technology Park, Phase 2 being a 10.65-acre parcel of land identified as Lot 2, Block B, Rockwall Technology Park, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, and addressed as 2911 Corporate Crossing.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aquevara@rockwall.com.
- M.3 For reference, include the case number (P2024-037) in the lower right-hand corner of all pages on future submittals.
- M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK, PHASE 2 ADDITION
BEING A REPLAT OF
LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK PHASE 2
BEING
ONE (1) LOT
10.649-ACRES OR 463,889 SF
SITUATED IN THE
JOHN H.B. JONES SURVEY, ABSTRACT NO. 125 &
JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- M.5 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.6 Please remove all building line setbacks from the subject property on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.7 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).
- M.8 Provide the correct format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):
- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- M.9 Please provide the following Surveyor's/Registered Engineer Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR SIGNATURE [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR NO. [OR] PROFESSIONAL ENGINEER NO.

- M.10 Please remove the Notary Signature Block underneath the Surveyors Certificate.
- M.11 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL	
PLANNING AND ZONING COMMISSION	CHAIRMAN
CITY SECRETARY	

CITY ENGINEER

- I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.
- I.13 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: November 26, 2024

City Council Meeting: December 10, 2024

I.14 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

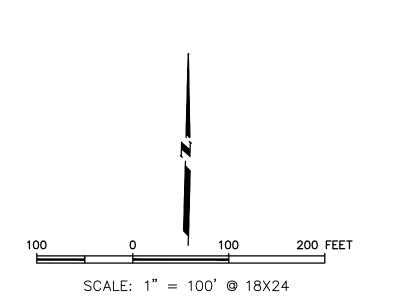
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

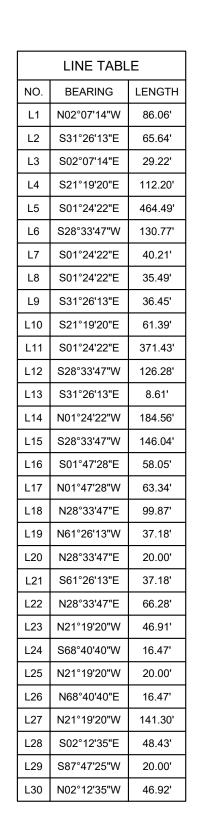
11/19/2024: 1. Need to use City standard plat verbiage and notes.

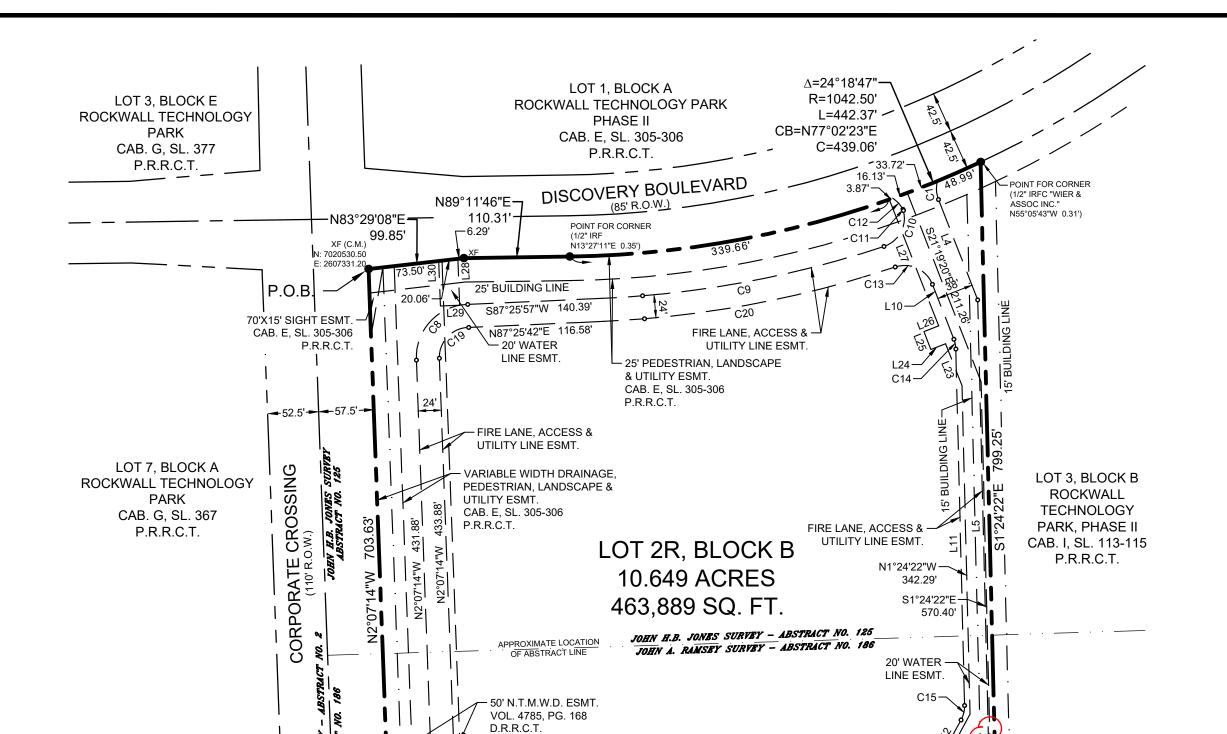
- 2. Add: Property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- 3. List 100-yr WSEL of pond
- 4. Show existing 25' pedestrian, landscape, and utility easement along Springer. Cabinet E, Slide 305-306
- 5. What is this water easement for?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	
N 0 1				

No Comments







FIRE LANE, ACCESS & — UTILITY LINE ESMT.

10' BLACKLAND WATER LINE ESMT.

S88°35'38"W 631.15'

SPRINGER ROAD

MAK SPOT REAL ESTATE, LLC

D.R.R.C.T.

VOL. 6514, PG. 76

List 100-yr

WSEL of pond.

VOL. 75, PG. 598 & VOL. 5628, PG. 258

__S88°35'38"W

436.00'

S88°35'47"W 362.51'

D.R.R.C.T.

DRAINAGE &

DETENTION -

EASEMENT

28.95

(1/2" IRFC "WIER & ASSOC INC." N10°48'39"E 0.17')

LOT 8, BLOCK A

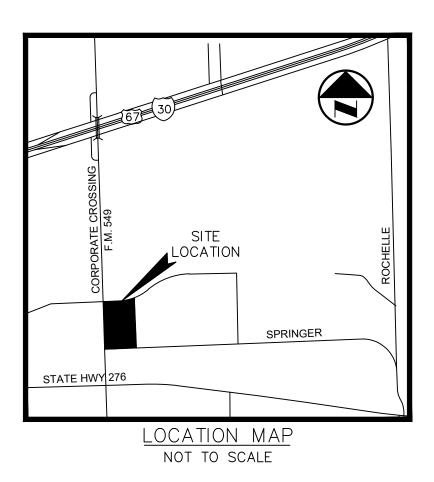
ROCKWALL TECHNOLOGY

PARK

CAB. G, SL. 367

P.R.R.C.T.

N88°35'38"E 403.85'



	CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	36°23'40"	31.00'	19.69'	S03°07'30"E	19.36'
C2	29°58'09"	51.00'	26.68'	S13°34'43"W	26.37'
C3	24°37'35"	29.37'	12.62'	S12°23'34"E	12.53'
C4	23°13'24"	31.00'	12.57'	N10°12'20"E	12.48'
C5	30°01'51"	51.00'	26.73'	N16°25'17"W	26.43'
C6	59°58'09"	31.00'	32.45'	N61°25'17"W	30.99'
C7	90°19'38"	55.00'	86.71'	S46°14'33"E	78.00'
C8	91°38'25"	55.00'	87.97'	S42°39'28"W	78.89'
C9	13°33'30"	1087.00'	257.22'	N78°26'33"E	256.62'
C10	86°36'21"	31.00'	46.86'	N28°21'37"E	42.52'
C11	12°45'34"	6.00'	1.34'	N21°19'20"W	1.33'
C12	29°13'35"	31.00'	15.81'	N42°18'55"W	15.64'
C13	87°14'22"	31.00'	47.20'	N64°56'32"W	42.77'
C14	19°54'58"	30.00'	10.43'	N11°21'51"W	10.38'
C15	29°58'09"	30.00'	15.69'	N13°34'43"E	15.51'
C16	120°00'00"	11.00'	23.04'	N88°33'47"E	19.05'
C17	59°58'09"	55.00'	57.57'	N61°25'17"W	54.97'
C18	91°08'03"	31.00'	49.31'	S47°41'16"E	44.27'
C19	91°24'19"	31.00'	49.46'	S43°34'55"W	44.37'
C20	13°47'03"	1111.00'	267.28'	N78°19'46"E	266.64'

Need to use City standard plat verbiage and notes

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, NORTH TEXAS CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.

- 2. COORDINATES SHOWN ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, NORTH TEXAS CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 3. THE PURPOSE OF THIS REPLAT IS FOR DEVELOPMENT.

NOTES:

- 4. THE SURVEY ABSTRACT LINES SHOWN HEREON ARE APPROXIMATE AND ARE NOT LOCATED ON THE GROUND.
- 5. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

LEGEND

IRF IRON ROD FOUND
(C.M.) CONTROLLING MONUMENT
P.O.B. POINT OF BEGINNING

R.O.W. RIGHT-OF-WAY
CAB. CABINET
SL. SLIDE
VOL. VOLUME
PG. PAGE

ESMT. EASEMENT
P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
XF "X" CUT IN CONCRETE FOUND
IRFC IRON ROD WITH PLASTIC CAP FOUND

Add: Property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

<u>__21.30'</u>

pedestrian,

Show existing 25'

easement along

Slide 305-306

landscape, and utility

Springer. Cabinet E,

What is this water

easement for?

___OWNER / DEVELOPER

ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
697 EAST INTERSTATE 30
P.O. BOX 968
ROCKWALL, TEXAS 75087

PHONE: (972) 772-0025

LOT 2R, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE II

BEING A REPLAT OF LOT 2, BLOCK B, ROCKWALL TECHNOLOGY PARK, PHASE II AS SHOWN BY THE PLAT RECORDED IN CABINET I, SLIDES 113-115.

BEING 10.649 ACRES OF LAND LOCATED IN THE JOHN H.B. JONES SURVEY, ABSTRACT NO. 125 & JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NUMBER

VOTEX SURVEYING COMPANY — TBPLS FIRM NO. 10013600 10440 N. CENTRAL EXPWY, STE. 800 DALLAS, TEXAS 75231 PH. (469) 333—8831; candy@votexsurveying.com PROJECT NO. 2022—018 SHEET 1 OF 2



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department

PLANNING & ZONING CASE NO.
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

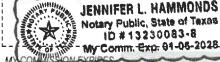
385 S. Goliad Street Rockwall, Texas 75087 PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX] PLATTING APPLICATION FEES: **ZONING APPLICATION FEES:** ■ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹ ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 & 2 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 □ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 □ REPLAT (\$300.00 + \$20.00 ACRE) 1 OTHER APPLICATION FEES: ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ TREE REMOVAL (\$75.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00) ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² SITE PLAN APPLICATION FEES: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00) INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PROPERTY INFORMATION [PLEASE PRINT] 2911 Discovery Boulevard, Rockwall, Texas **ADDRESS** Rockwall Technology Park, Phase II SUBDIVISION LOT **BLOCK** B SE Corner of Discovery Blvd. and Corporate Crossing GENERAL LOCATION ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT) Light Industrial with SUP for factory store CURRENT ZONING **CURRENT USE** Undeveloped Office/Manufacturing/Warehouse/Factory Store PROPOSED ZONING PROPOSED USE 10.65 **ACREAGE** LOTS [CURRENT] LOTS [PROPOSED] SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE. OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] Rockwall EDC ☐ OWNER ☑ APPLICANT DB Constructors, Inc. Phil Wagner CONTACT PERSON Matthew J Peterson CONTACT PERSON 2610 Observation Trail, Suite 104 2400 Great Southwest Parkway **ADDRESS** ADDRESS Fort Worth, Texas 76106 Rockwall, TX 75032 CITY, STATE & ZIP CITY, STATE & ZIP 972-772-0025 972-837-6244 PHONE PHONE E-MAIL pwagner@rockwalledc.com E-MAIL matthew@dbconstructors.com NOTARY VERIFICATION (REQUIRED) BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED IOWNER THE UNDERSIGNED. WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF

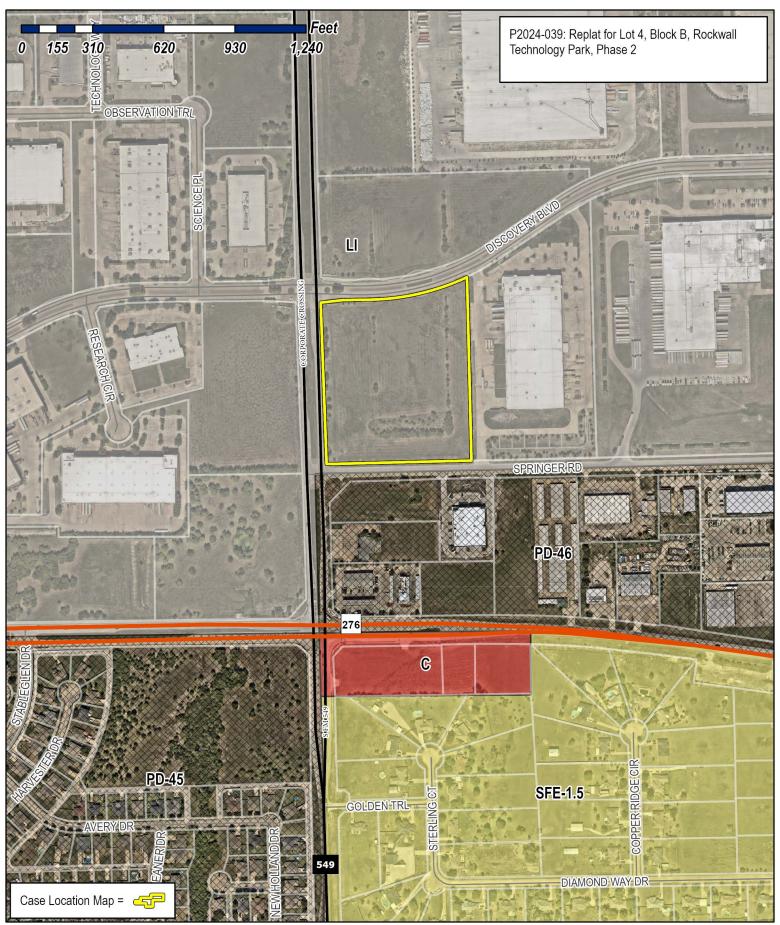
TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE <u>15th</u> DAY OF 20<u>24</u>. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE <u>513.00</u> November INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



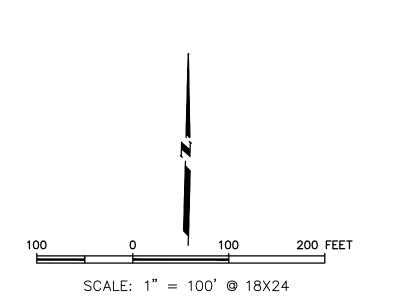




City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





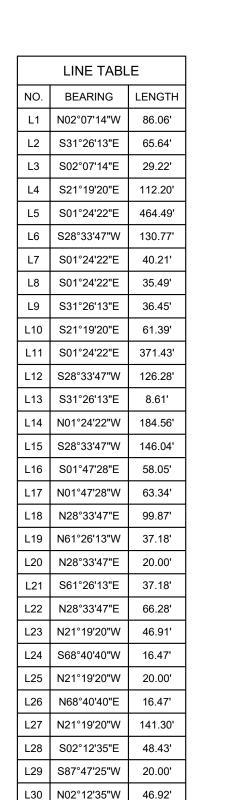
LOT 3, BLOCK E

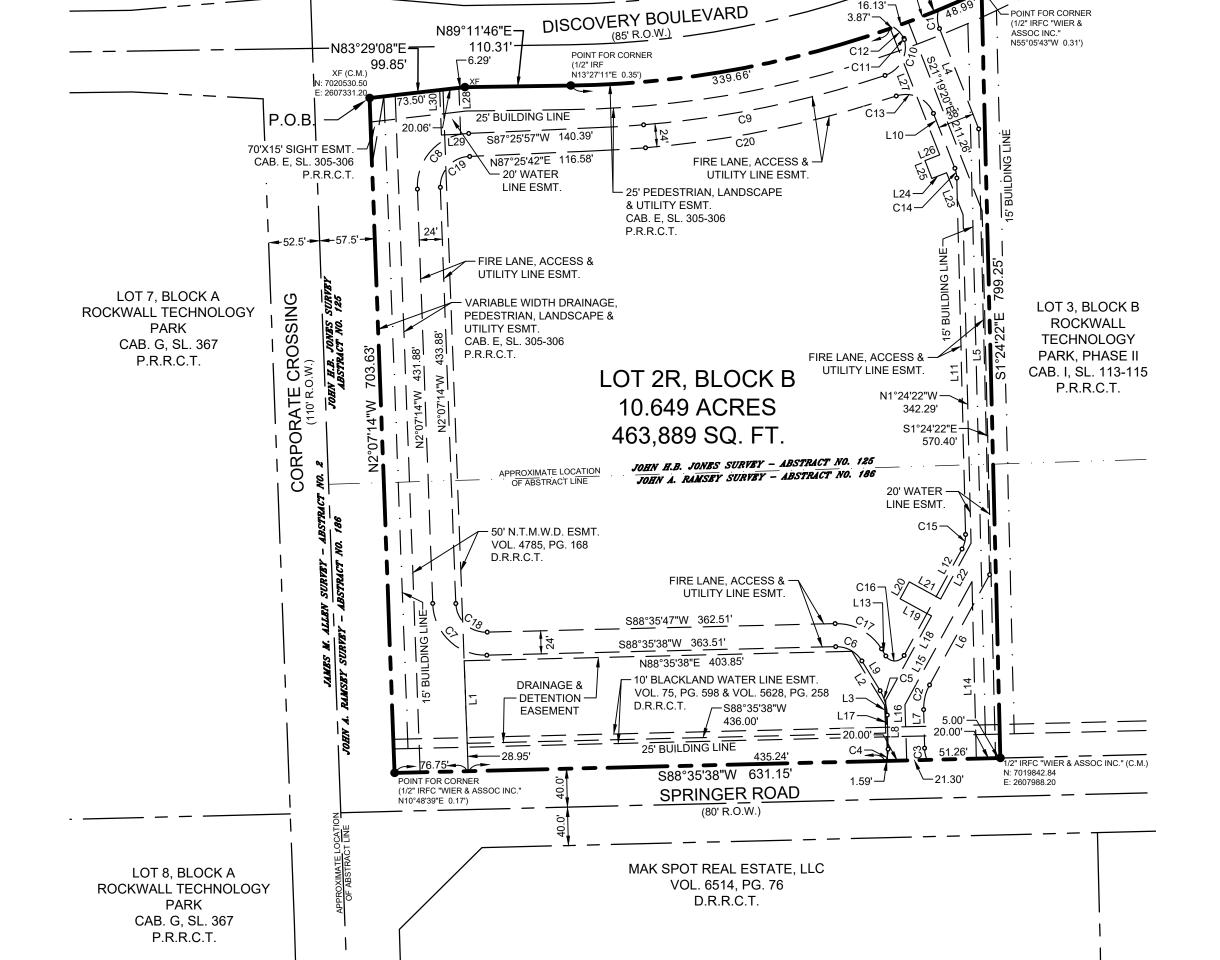
ROCKWALL TECHNOLOGY

PARK

CAB. G, SL. 377

P.R.R.C.T.





LOT 1, BLOCK A

ROCKWALL TECHNOLOGY PARK

PHASE II

CAB. E, SL. 305-306

P.R.R.C.T.

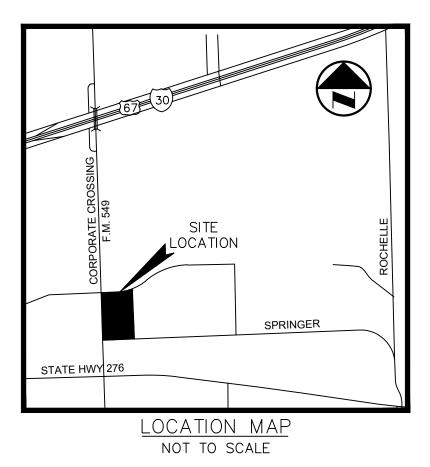
Δ=24°18'47"·

R=1042.50'

CB=N77°02'23"E

L=442.37'

C=439.06'



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	36°23'40"	31.00'	19.69'	S03°07'30"E	19.36'
C2	29°58'09"	51.00'	26.68'	S13°34'43"W	26.37'
СЗ	24°37'35"	29.37'	12.62'	S12°23'34"E	12.53'
C4	23°13'24"	31.00'	12.57'	N10°12'20"E	12.48'
C5	30°01'51"	51.00'	26.73'	N16°25'17"W	26.43'
C6	59°58'09"	31.00'	32.45'	N61°25'17"W	30.99'
C7	90°19'38"	55.00'	86.71'	S46°14'33"E	78.00'
C8	91°38'25"	55.00'	87.97'	S42°39'28"W	78.89'
C9	13°33'30"	1087.00'	257.22'	N78°26'33"E	256.62'
C10	86°36'21"	31.00'	46.86'	N28°21'37"E	42.52'
C11	12°45'34"	6.00'	1.34'	N21°19'20"W	1.33'
C12	29°13'35"	31.00'	15.81'	N42°18'55"W	15.64'
C13	87°14'22"	31.00'	47.20'	N64°56'32"W	42.77'
C14	19°54'58"	30.00'	10.43'	N11°21'51"W	10.38'
C15	29°58'09"	30.00'	15.69'	N13°34'43"E	15.51'
C16	120°00'00"	11.00'	23.04'	N88°33'47"E	19.05'
C17	59°58'09"	55.00'	57.57'	N61°25'17"W	54.97'
C18	91°08'03"	31.00'	49.31'	S47°41'16"E	44.27'
C19	91°24'19"	31.00'	49.46'	S43°34'55"W	44.37'
C20	13°47'03"	1111.00'	267.28'	N78°19'46"E	266.64'

NOTES:

- 1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, NORTH TEXAS CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
- 2. COORDINATES SHOWN ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, NORTH TEXAS CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 3. THE PURPOSE OF THIS REPLAT IS FOR DEVELOPMENT.
- 4. THE SURVEY ABSTRACT LINES SHOWN HEREON ARE APPROXIMATE AND ARE NOT LOCATED ON THE GROUND.
- 5. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

LEGEND	
IRF	IRON ROD FOUND
(C.M.)	CONTROLLING MONUMENT
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT-OF-WAY
CAB.	CABINET
SL.	SLIDE
VOL.	VOLUME
PG.	PAGE
ESMT.	EASEMENT
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
XF	"X" CUT IN CONCRETE FOUND
IRFC	IRON ROD WITH PLASTIC CAP FOUND

OWNER / DEVELOPER

ROCKWALL ECONOMIC

DEVELOPMENT CORPORATION

697 EAST INTERSTATE 30

P.O. BOX 968

ROCKWALL, TEXAS 75087

PHONE: (972) 772-0025

LOT 2R, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE II

BEING A REPLAT OF LOT 2, BLOCK B, ROCKWALL TECHNOLOGY PARK, PHASE II AS SHOWN BY THE PLAT RECORDED IN CABINET I, SLIDES 113-115.

BEING 10.649 ACRES OF LAND LOCATED IN THE JOHN H.B. JONES SURVEY, ABSTRACT NO. 125 & JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NUMBER

VOTEX SURVEYING COMPANY — TBPLS FIRM NO. 10013600 10440 N. CENTRAL EXPWY, STE. 800 DALLAS, TEXAS 75231 PH. (469) 333—8831; candy@votexsurveying.com PROJECT NO. 2022—018 SHEET 1 OF 2

OWNER'S CERTIFICATION

STATE OF TEXAS **COUNTY OF ROCKWALL**

WHEREAS ROCKWALL ECONOMIC DEVELOPMENT CORPORATION. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the John H.B. Jones Survey, Abstract No. 125 and the John A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas and being all of Lot 2, Block B, Rockwall Technology Park, Phase II, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet I, Slides 113-115, Plat Records, Rockwall County, Texas; same being a portion of that tract of land conveyed to Rockwall Economic Development Corporation by deed recorded in Volume 2224, Page 226, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an "X" cut in concrete found at the intersection of the south right-of-way line of Discovery Boulevard (an 85-foot wide right-of-way) with the east right-of-way line of Corporate Crossing (a 110-foot wide right-of-way); same being the northwest corner of said Lot 2;

THENCE with said south right-of-way line of Discovery Boulevard, the following courses and distances:

N 83°29'08" E, a distance of 99.85 feet to an "X" cut in concrete found for an angle point;

N 89°11'46" E, a distance of 110.31 feet to a point for the beginning of a tangent curve to the left; from which a 1/2-inch iron rod found bears N 13°27'11" E, a distance of 0.35 feet;

In a northeasterly direction, with said curve to the left having a central angle of 24°18'47", a radius of 1042.50 feet, a chord that bears N 77°02'23" E, a distance of 439.06 feet and an arc length of 442.37 feet to a point for the common north corner of said Lot 2 and Lot 3, Block B of said Rockwall Technology Park, Phase II; from which a 1/2-inch iron rod with plastic cap stamped "WIER & ASSOC. INC." bears N 55°05'43" W, a distance of 0.31 feet;

THENCE S 01°24'22" E, departing said south line Discovery Boulevard and with the common line of said Lots 2 and 3, a distance of 799.25 feet to a 1/2-inch iron rod with plastic cap stamped "WIER & ASSOC. INC" found in the north right-of-way line of Springer Road (an 80-foot wide right-of-way) at the common south corner of said Lots 2 and 3:

THENCE S 88°35'38" W, with said north right-of-way line of Springer Road, a distance of 631.15 feet to a point for corner at the intersection of said north right-of-way line with said east right-of-way line of Corporate Crossing: from which a 1/2-inch iron rod with plastic cap stamped "WIER & ASSOC. INC" bears N 10°48'39" E, a distance of 0.17 feet;

THENCE N 02°07'14" W, with said east right-of-way line of Corporate Crossing, a distance of 703.63 feet to the POINT OF BEGINNING and containing 463,889 square feet or 10.649 acres of land, more or less.

SURVEYOR'S STATEMENT

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Candy Hone, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the _____ day of _____, 2024.

PRELIMINARY RELEASED 11/10/2024 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Candy Hone, Registered Professional Land Surveyor, No. 5867 Votex Surveying Company - Firm No. 10013600 - (469) 333-8831

STATE OF TEXAS § **COUNTY OF DALLAS §**

Notary Public, State of Texas

Before me, the undersigned, a Notary Public in and for the County and State on this day personally appeared Candy Hone, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ of _____, 2024.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS **COUNTY OF ROCKWALL**

I the undersigned owners of the land shown on this plat, and designated herein as the ROCKWALL TECHNOLOGY PARK, PHASE II subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the ROCKWALL TECHNOLOGY PARK, PHASE II subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

sy:	Rockwall Economic Development Corporation, a Texas nonprofit corporation
	 Name
	TE OF TEXAS § NTY OF DALLAS §
ppe ubs	re me, the undersigned authority, a Notary Public in and for the County and State on this day personally ared, known to me to be the person and officer whose name is cribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purpose consideration therein and in the capacity therein stated.
SIVE	N UNDER MY HAND AND SEAL OF OFFICE, this day of, 2024.

Notary Public, State of Texas

Printed Name

Witness our hands this the ______ Day of ______, 2024.

Planning & Zoning Commission, Chairman I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2024. Mayor, City of Rockwall City Secretary

CITY SIGNATURES

City Engineer

REPLAT LOT 2R, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE II

BEING A REPLAT OF LOT 2, BLOCK B, ROCKWALL TECHNOLOGY PARK, PHASE II AS SHOWN BY THE PLAT RECORDED IN CABINET I, SLIDES 113-115.

> BEING 10.649 ACRES OF LAND LOCATED IN THE JOHN H.B. JONES SURVEY, ABSTRACT NO. 125 & JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

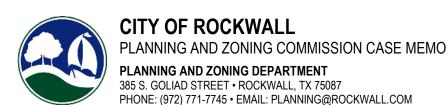
> > CASE NUMBER

OWNER / DEVELOPER ROCKWALL ECONOMIC

DEVELOPMENT CORPORATION 697 EAST INTERSTATE 30 P.O. BOX 968 ROCKWALL, TEXAS 75087

PHONE: (972) 772-0025

VOTEX SURVEYING COMPANY - TBPLS FIRM NO. 10013600 10440 N. CENTRAL EXPWY, STE. 800 DALLAS, TEXAS 75231 PH. (469) 333-8831; candy@votexsurveying.com PROJECT NO. 2022-018 SHEET 2 OF 2



TO: Planning and Zoning Commission

DATE: November 26, 2024

APPLICANT: Jake Hodges; Kimley-Horn

CASE NUMBER: SP2024-043; Site Plan for Rockwall Medical Building

SUMMARY

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a <u>Site Plan</u> for a <u>Medical Office Building</u> on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed on September 16, 1974 by *Ordinance No.* 74-23 [Case No. A1974-003]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 4, 1974, the City Council approved a zoning change from an Agricultural (AG) District to Planned Development District 10 (PD-10) [Ordinance No. 74-32] for allowing *Townhouse* and *Cluster Homes* on the subject property. On February 19, 1996, the City Council approved an amendment to Planned Development District 10 [Ordinance No. 96-03], which superseded the previous ordinance (i.e. Ordinance No. 74-32) and re-designated the subject property for Commercial (C) District land uses. On April 3, 2000, the City Council approved an additional amendment to the Planned Development District 10 (PD-10) [Ordinance No. 00-08], which superseded the previous ordinance (i.e. Ordinance No. 96-3) and amended the concept plan for the Planned Development District. On August 3, 2020, the City Council approved an amendment to Planned Development District 10 (PD-10), which consolidated all of the regulating ordinances into one (1) regulating ordinance [Ordinance No. 20-30]. The subject property has remained vacant since annexation.

PURPOSE

On March 15, 2024, the applicant -- *Jake Hodges with Kimley-Horn* -- submitted an application requesting the approval of a site plan for a 44,692 SF *Medical Office Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276. The land uses adjacent to the subject property are as follows:

North:

Directly north of the property is SH-276, which is designated as a P6D (*i.e. principal arterial, six* [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this roadway, is a 5.354-acre tract of land (*i.e. Tract 1-3, of the J Cadle Survey, Abstract No.* 65), zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. Beyond this is Phase 1 of the Meadow Creek Estates Subdivision, which is zoned Planned Development District 10 (PD-10) for Single Family 6 (SF-6) District land uses. Phase 1 of the Meadow Creek Estates Subdivision consists of 157 residential lots that were established on June 8, 1999.

South: Directly south of the subject property is a 12.3909-acre parcel of dedicated open space (i.e. Lot 1, Block X, Meadowcreek Estates, Phase III) owned by the City of Rockwall and zoned Planned Development 10 (PD-10)

District. Beyond this is a 4.75-acre parcel of dedicated open space (*i.e.* Lot 5, Block X, Hickory Ridge, Phase I) owned by the City of Rockwall and zoned Planned Development 10 (PD-10) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (*i.e.* principal arterial, six (6) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East:

Directly east of the subject property is Phase 3 of the Meadowcreek Estates Subdivision, which is zoned Planned Development 10 (PD-10) District for Single Family 6 (SF-6) District land uses. This subdivision consists of 132 residential lots and was established on February 27, 2001. Beyond this is Faircrest Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 4 of the Meadowcreek Estates Subdivision, which is zoned Planned Development 10 (PD-10) District for Single Family 6 (SF-6) District land uses. This subdivision consists of 192 residential lots and was established on August 16, 2001.

West:

Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six* (6) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.868-acre parcel of land (*i.e. Lot 1, Block 1, Helwig Addition*), which is zoned Planned Development 44 District (PD-44) for Heavy Commercial (HC) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Medical Office Building is a permitted by-right land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 10 (PD-10) and the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X=3.6285-acres; In Conformance
Minimum Lot frontage	60-Feet	X~518-feet; In Conformance
Minimum Lot Depth	100-Feet	X~345-feet; In Conformance
Minimum Front Yard Setback	50-Feet	X>50-feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X>10-feet; In Conformance
Minimum Side Yard Setback	10-Feet	X>10-feet; In Conformance
Maximum Building Height	60-Feet	X~44-feet; In Conformance
Max Building/Lot Coverage	60%	X<60%; In Conformance
Minimum Masonry Requirement	90%	X >90%; In Conformance
Minimum Number of Parking Spaces	1/200 SF = 224 spaces	X=231; In Conformance
Minimum Stone Requirement	20%	X=0%; Not in Conformance
Minimum Landscaping Percentage	20%	X=27%; In Conformance
Maximum Impervious Coverage	85-90%	X=74%; In Conformance

TREESCAPE PLAN

The *Treescape Plan* provided by the applicant indicates that 37 protected Eastern Red Cedar trees -- totaling 148-inches -- are to be removed from the site. To satisfy this mitigation balance, the applicant is proposing to plant 108, four (4) inch caliper trees totaling 432 caliper inches on site.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), Office or Medical Office Building, of Article 13, Definitions, of the Unified Development Code (UDC) defines Office or Medical Office Building as "...(a) facility designed to support a range of healthcare services, including diagnostics, treatments, and administrative functions. These services encompass procedures requiring medical devices or the expertise of a qualified medical professional. Examples include but are not limited to medical doctor offices, physical therapy, massage therapy, chiropractic care, Botox treatments, and sonograms". In this case, the applicant is

requesting a *Medical Office Building*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). In addition, the proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

According to Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative, the code allows the Planning and Zoning Commission to consider the use of three (3) tiered landscaping and a berm along the entire residential adjacency. In this case, the applicant has provided a landscape plan that shows use of three (3) tiered landscaping and a berm along the adjacency. The Planning and Zoning Commission has granted this alternative to the requirement in the past, and it appears to meet the intent of the residential adjacency standards.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As previously stated, the applicant's request appears to generally conform to the requirements of Planned Development District 10 (PD-10) and the Unified Development Code (UDC); however, staff has identified the following variance and exception associated with the applicant's request:

(1) Architectural Standards.

- (a) <u>Stone</u>. According to Subsection 05.01(A), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades..." In this case, the material sample board provided by the applicant shows the use of burnished block on 100.00% of the exterior of the building. Based on this, the applicant will require a <u>variance</u> from the Planning and Zoning Commission.
- (b) <u>Primary Articulation</u>. According to Subsection 05.01(C)(1), <u>Primary Building Articulation</u>, of Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property." This section of the code goes on to state that these facades "...shall meet the standards for articulation on primary building facades as depicted in <u>Figure 13</u>." In this case, the northern and southern building façades do <u>not</u> meet the articulation requirements for a <u>Primary Building Façade</u>, and will require an <u>exception</u> from the Planning and Zoning Commission.

According to Subsection 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant to provide compensatory measures that directly offset the requested variances and exceptions. The applicant has provided the following compensatory measures in their variance letter: [1] increased landscaping, [2] addition of architectural and shading elements over the main façade, [3] provided pedestrian areas, and [4] incorporated additional architectural design features; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the <u>South Central Residential District</u> which "...contains a mixture of established medium and low density residential subdivisions along with several large tracts of land designated for low density residential land uses." The <u>South</u>

Central Residential District is "...anticipated to add additional suburban developments in the western and southern areas of the district." The applicant's site plan appears to meet the intent of Comprehensive Plan for a supportive retail/office land use within the South Central Residential District.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On October 29, 2024, the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant and recommended that the applicant provide a rendering of the building with a solid color theme. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the <u>November 12, 2024</u> Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for a medical office building on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF	DEVELOPMENT RE	QUEST [SELECT ONLY ONE BOX]:	
☐ PRELIMINARY ☐ FINAL PLAT (\$ ☐ REPLAT (\$300 ☐ AMENDING OF ☐ PLAT REINSTA SITE PLAN APPL ☐ SITE PLAN (\$2	(\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 300.00 + \$20.00 ACRE) 1 .00 + \$20.00 ACRE) 1 R MINOR PLAT (\$150.00) ATEMENT REQUEST (\$100.00)	☐ ZONING CH ☐ SPECIFIC U ☐ PD DEVELO OTHER APPLIC ☐ TREE REMO ☐ VARIANCE F NOTES: F: IN DETERMINING PER ACRE AMOUNT F: A \$1,000.00 FEE		
PROPERTY INF	ORMATION [PLEASE PRINT]			
ADDRES	S E Corner of the intersection of S Go	liad St and S	SH 276	
SUBDIVISIO	N Unplatted - W.H. Barnes Survey, At	ostract No. 26	6 LOT N/A BLOCK N/A	
GENERAL LOCATIO	N E Corner of the intersection of S Go	liad St and S	SH 276	
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEASE F	PRINT]		
CURRENT ZONIN	G PD-10	CURRENT USE	Undeveloped	
PROPOSED ZONIN	G PD-10	PROPOSED USE	Medical Office	
ACREAG	E 8.4841 LOTS [CURRENT]	N/A	LOTS [PROPOSED] 2	
REGARD TO ITS	D PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THA APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF ST. DENIAL OF YOUR CASE.	T DUE TO THE PASS AFF'S COMMENTS BY	SAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH Y THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL	
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CHEC	K THE PRIMARY COM	NTACT/ORIGINAL SIGNATURES ARE REQUIRED]	
☐ OWNER	Vue Real Estate	M APPLICANT	Kimley-Horn	
CONTACT PERSON	Jeff Brockette Co	ONTACT PERSON	Jake Hodges	
ADDRESS	9600 N Central Expressway	ADDRESS	203 W Nash St, Suite 100	
	Suite 100			
CITY, STATE & ZIP	Dallas, Texas 75231	CITY, STATE & ZIP	Terrell, Texas 75160	
PHONE	Address	PHONE	972-588-4263	
E-MAIL	Dani.carr@vuerealestate.com	E-MAIL	Jake.Hodges@kimley-horn.com	
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED LANGUAGE BEFORE ME, THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:				
\$	TO COVER THE COST OF THIS APPLICATION, HAS B	BEEN PAID TO THE CIT THAT THE CITY OF RO	OCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE	
	TION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIA			
GIVEN UNDER MY HAND	D AND SEAL OF OFFICE ON THIS THE 19 DAY OF 00 10	20	Comm. Expires 06-02-2025	
	OWNER'S SIGNATURE	we	Winner Notary ID 133133189	

MY COMMISSION EXPIRES



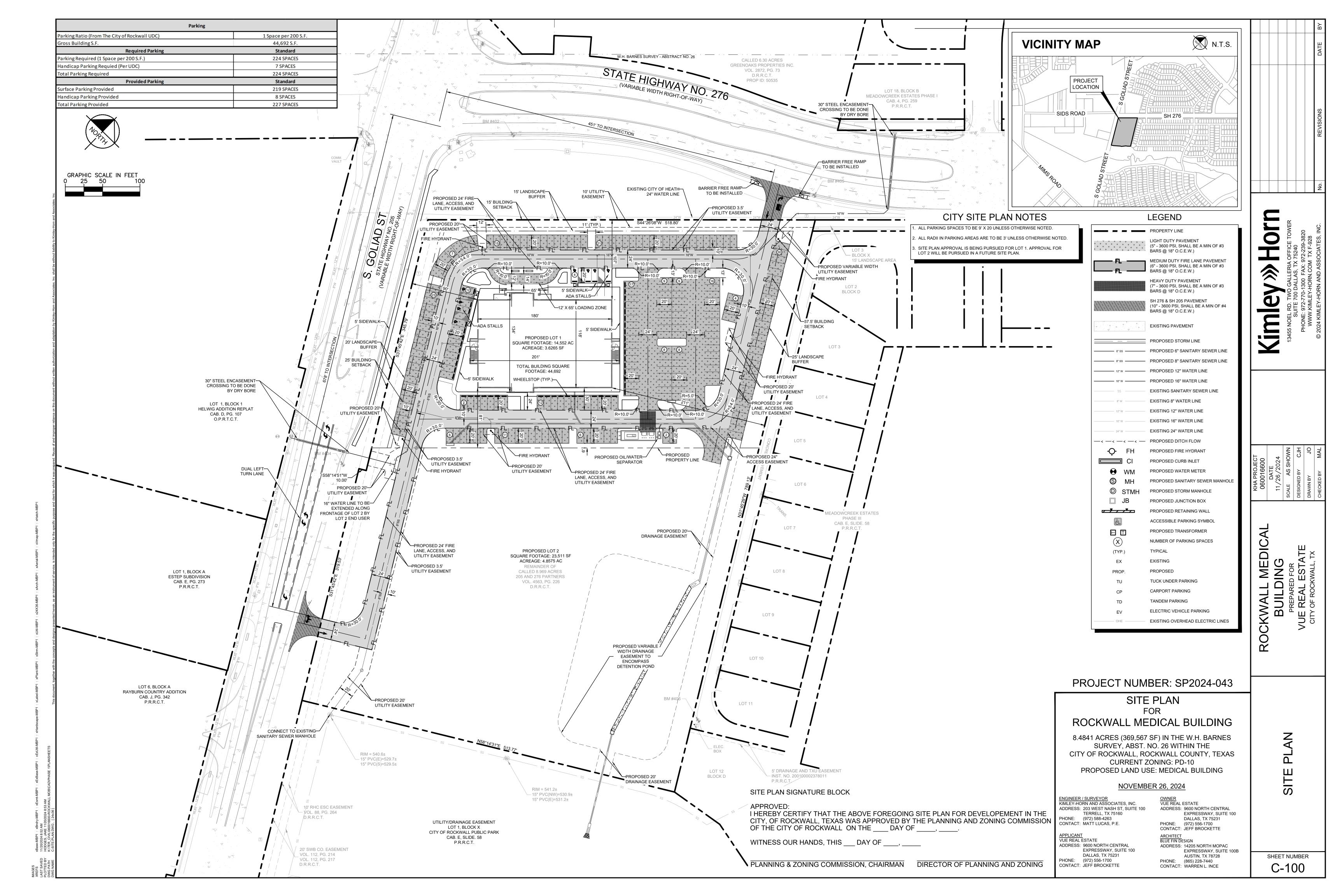


City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

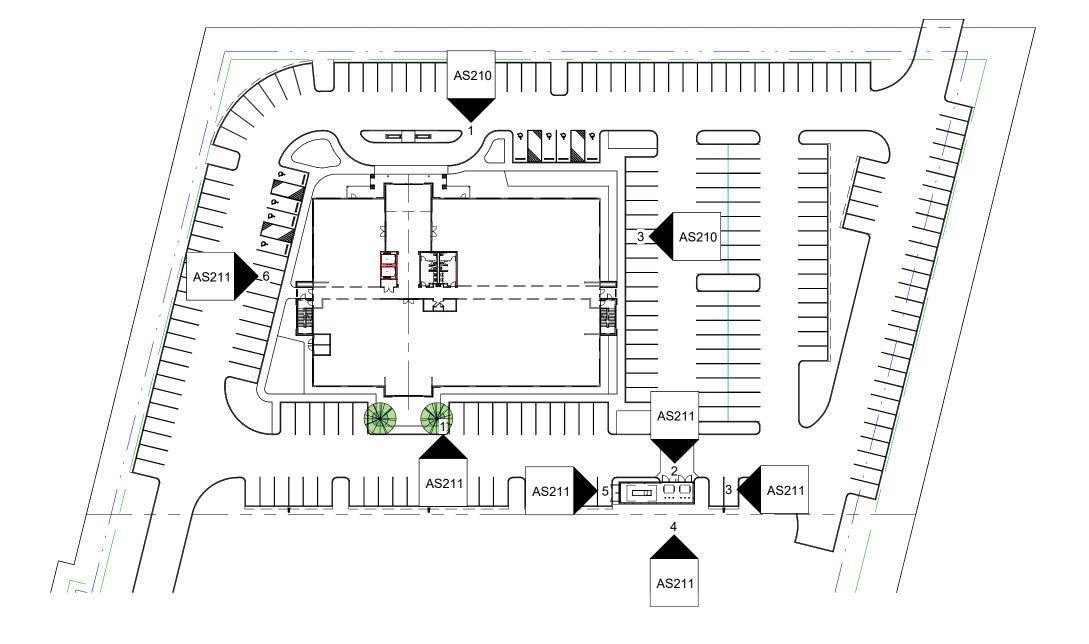
(P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









26' - 5 1/2"

3 EAST ELEVATION (FACING RESIDENTIAL - PRIMARY FACADE)
1" = 10'-0"

33' - 1"

TEXAS RETINA
ASSOCIATES

2 ARCHITECTURAL ELEVATION LEGEND 1" = 60'-0"

TOWER 44' - 6"

ROOF LEVEL
30' - 8"

<u>LEVEL 2</u> 14' - 8"

<u>LEVEL 1</u> 0' - 0"

3' - 0" 6' - 0" 3' - 0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

18' - 0"

9' - 0"

/3' - 0"

9' - 0"

3' - 0"\

31' - 6"

43' - 5 1/2"

/3' - 0"

PRIMARY FACADE ARTICULATION **COMPLIANCE KEY NOTES:**

- WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL. PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
- WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 \geq 2).
- 35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 105'-0".
- SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X $2 \le 3$).
 - 105'-0"(25%) = 26'-3" (NO SECONDARY FEATURE SHOWN -**NEED TO REQUEST VARIANCE.**) WEST/EAST:
 - 52'-6"(25%) = 13' 1 1/2" (NO SECONDARY FEATURE SHOWN -NEED TO REQUEST VARIANCE.)

WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A

- PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 \leq 4). 35'-4"(25%) = 8'-10" (COMPLIES) NORTH AND SOUTH ARE PROPOSED AT 9'-0". EAST AND WEST ARE PROPOSED AT 10'-0".
- PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL **ELEMENT WIDTH.** THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2

TOWER 44' - 6"

PARAPET 35' - 4"

LEVEL 2 14' - 8"

LEVEL 1 0' - 0"

ROOF LEVEL 30' - 8"

2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0"

- PROJECTION HEIGHT. THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 \leq 6).
 - 35'-4"(125%) = 8'-10" OR 44'-2" TOTAL (COMPLIES) PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL MEET ALL OF THE SAME PROJECTIONS AS THE SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT, BUT SHALL EXTEND A MINIMUM OF TWICE THE LENGTH OF THE SECONDARY ELEMENT (I.E. 2 X $3 \ge 7$)
 - NORTH/SOUTH ELEVATION: (NEED TO REQUEST VARIANCE) (2)26'-3" = 52'-6" (DOES NOT COMPLY) SHOWN AT 30'-0".
- EAST/WEST ELEVATION: (NEED TO REQUEST VARIANCE) (2)13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".
- (A) ADDITIONAL ARCHITECTURAL ELEMENT

ADDITIONAL NOTES:

- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY
- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



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BLUE FIN DESIGN, LLC

BFD #:

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Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS

DRAWN BY:

DATE:

DATE #

WLI

EXTERIOR ELEVATIONS -COLOR

DESCRIPTION

2024.11.19

AS INDICATED

DRAWING NUMBER:

SCALE:

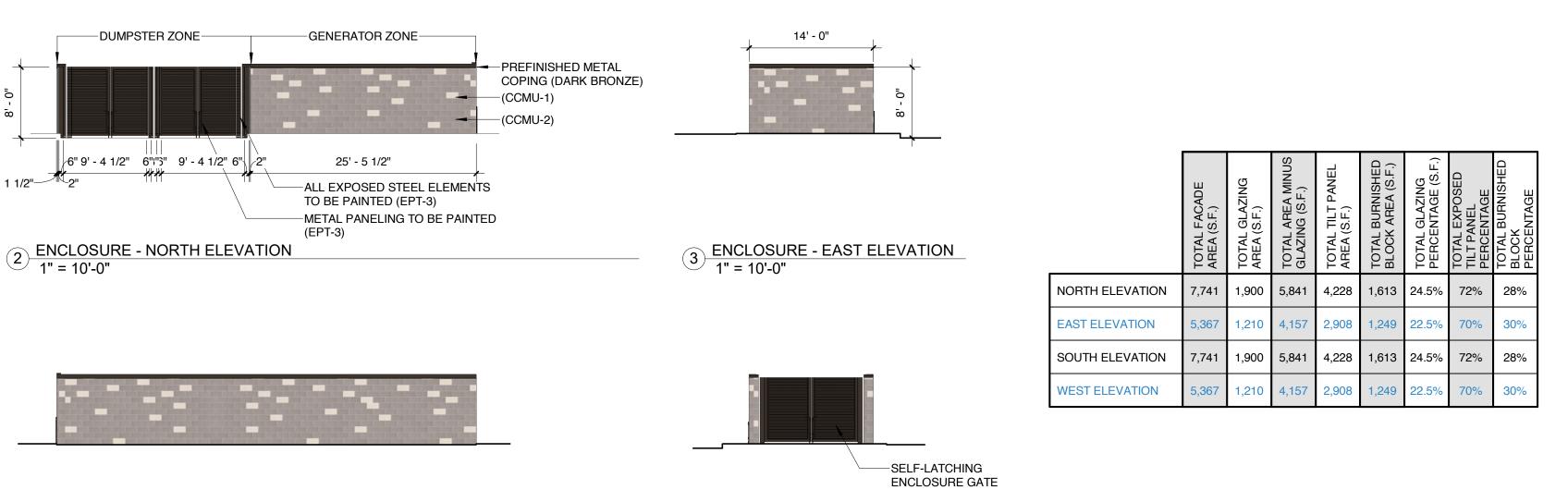
SITE PLAN SIGNATURE BLOCK

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF

WITNESSED OUR HANDS, THIS ___ DAY OF

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING





6 WEST ELEVATION (FACING STATE HIGHWAY 205 - PRIMARY FACADE)
1" = 10'-0"



- WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL. PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
- WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 \geq 2). 35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 105'-0".
- <u>SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH</u> THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF
 - THE WALL LENGTH (I.E. 25% X $2 \le 3$). 105'-0"(25%) = 26'-3" (NO SECONDARY FEATURE SHOWN -**NEED TO REQUEST VARIANCE.**)
 - 52'-6"(25%) = 13' 1 1/2" (NO SECONDARY FEATURE SHOWN -
- **NEED TO REQUEST VARIANCE.**) WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL

ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 \leq 4).

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BFD #:

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SEAL: 11/19/2024

BLUE FIN DESIGN, LLC

DATE #

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS

DATE:

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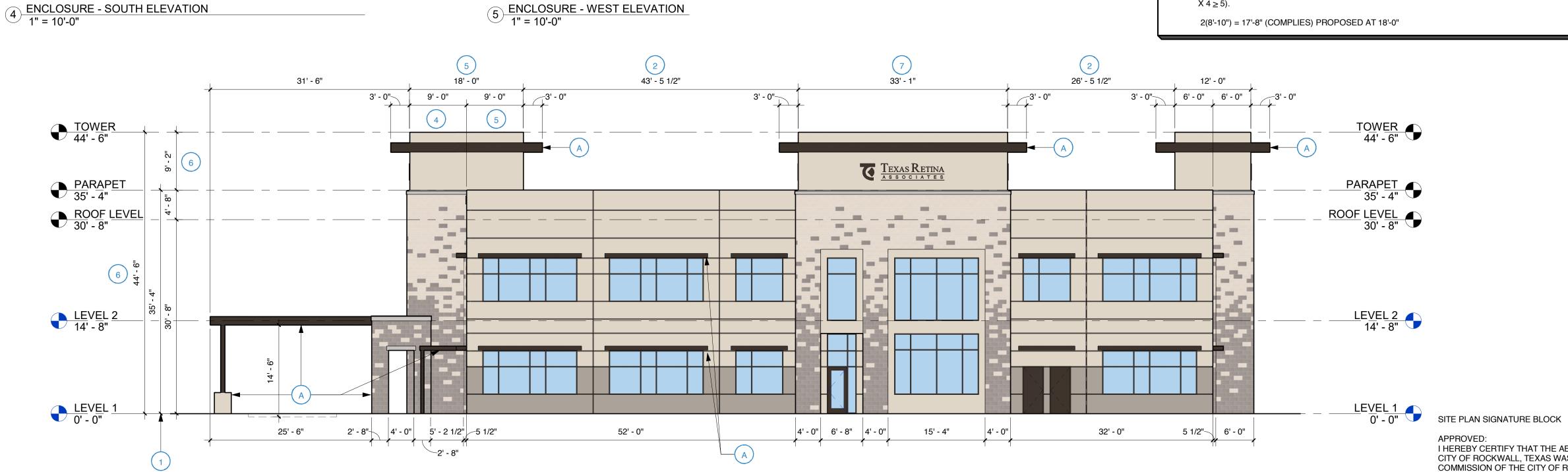
> **EXTERIOR ELEVATIONS** -**COLOR**

DESCRIPTION

2024.11.19

DRAWING NUMBER:

AS INDICATED SCALE:



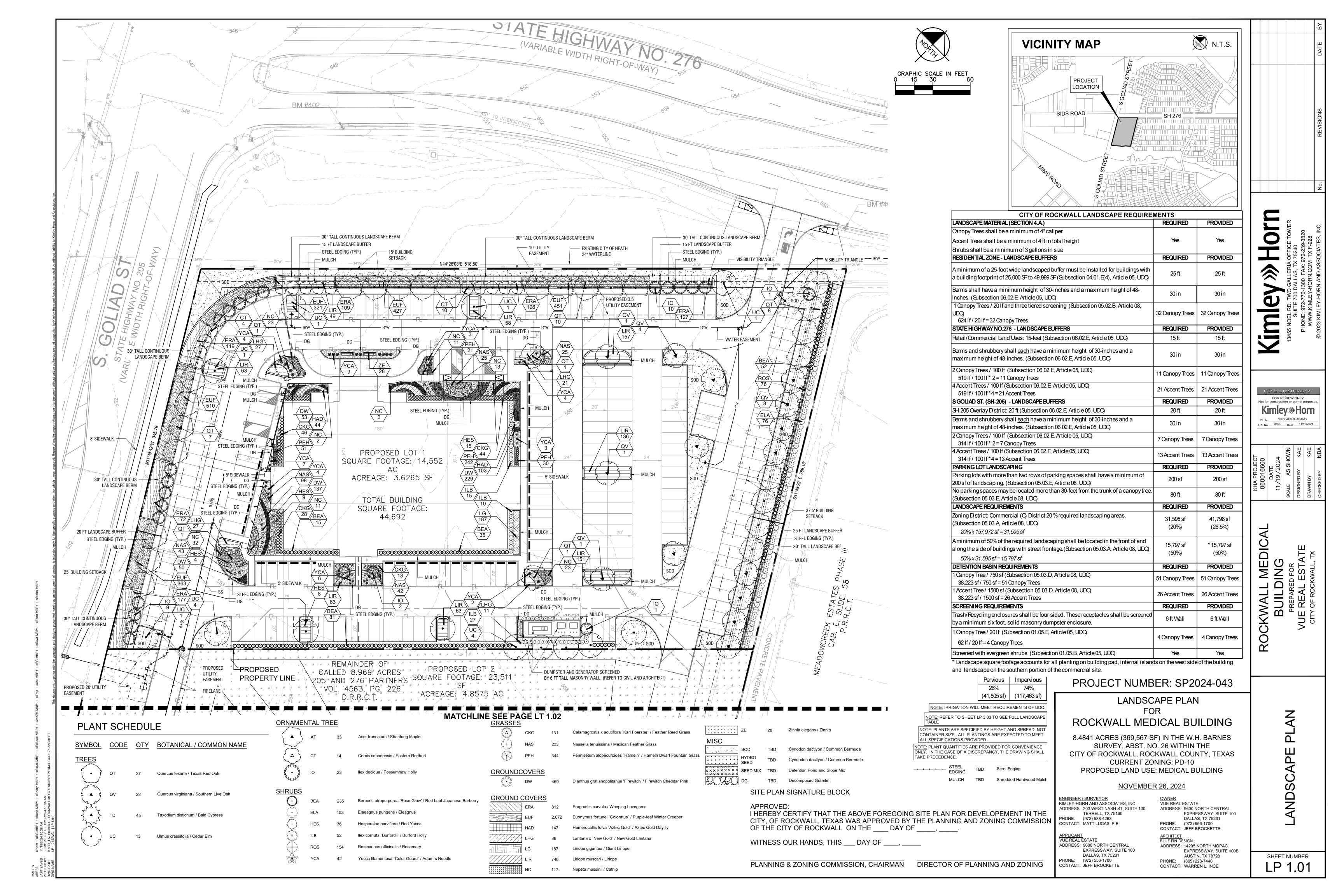
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

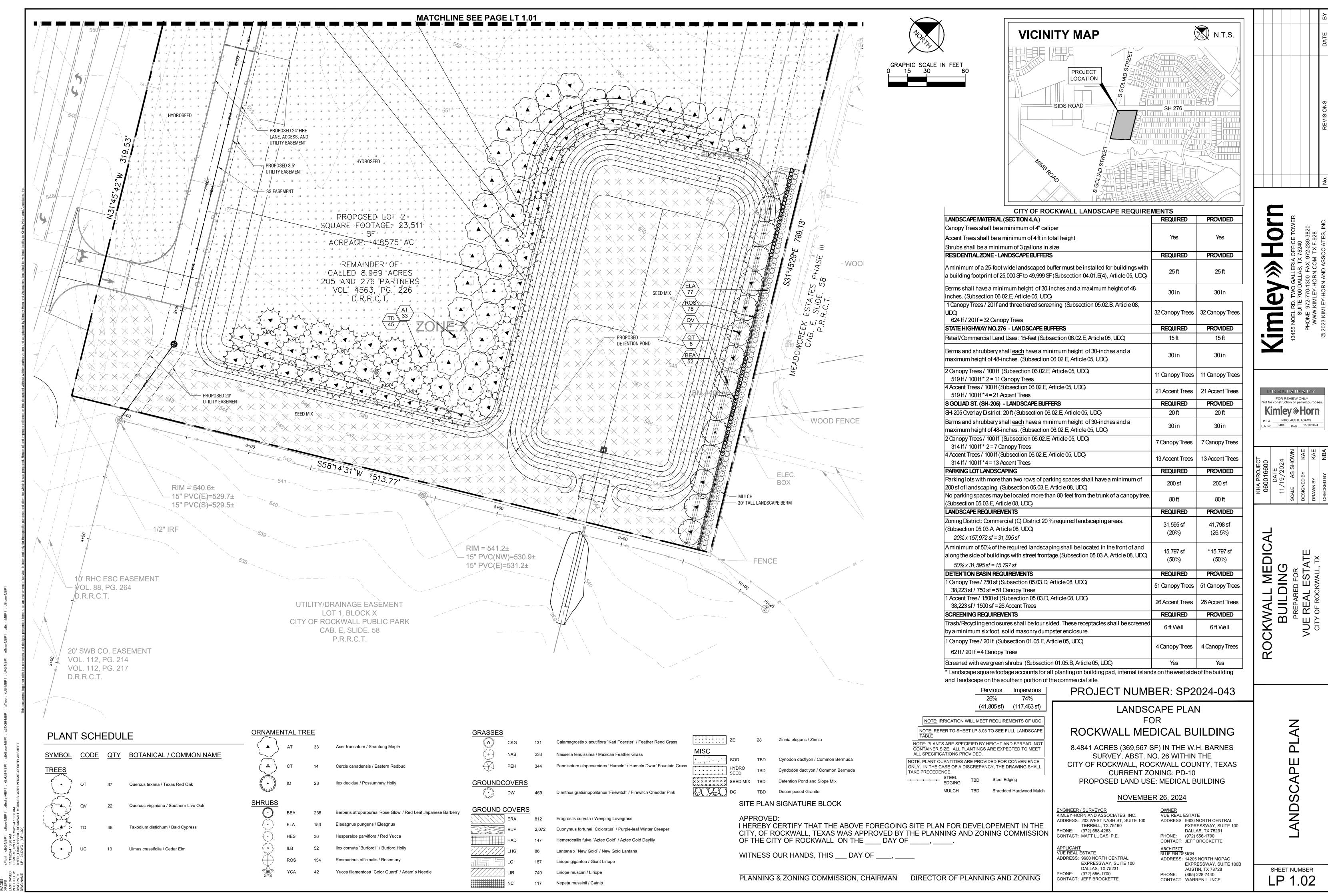
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE

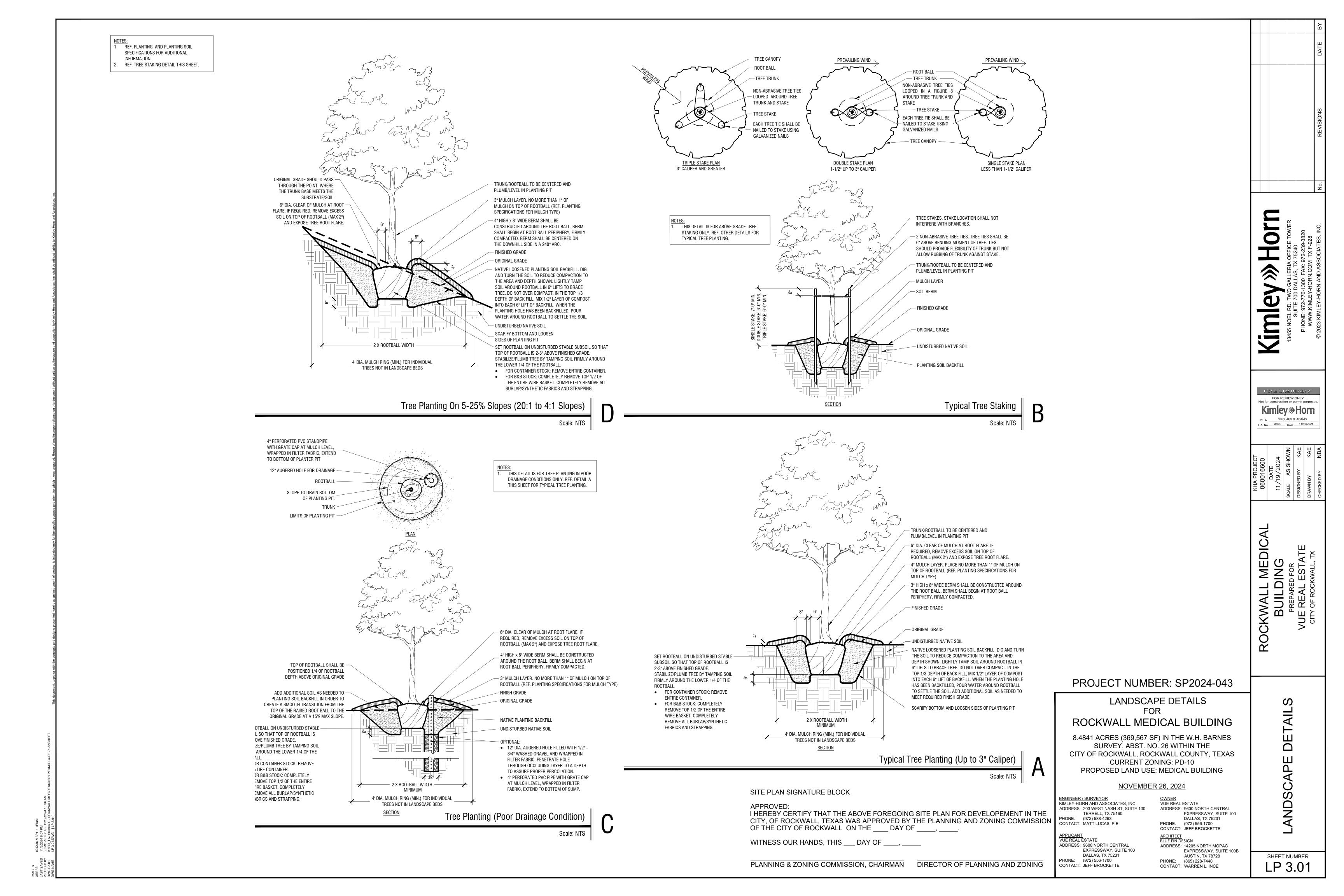
CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING

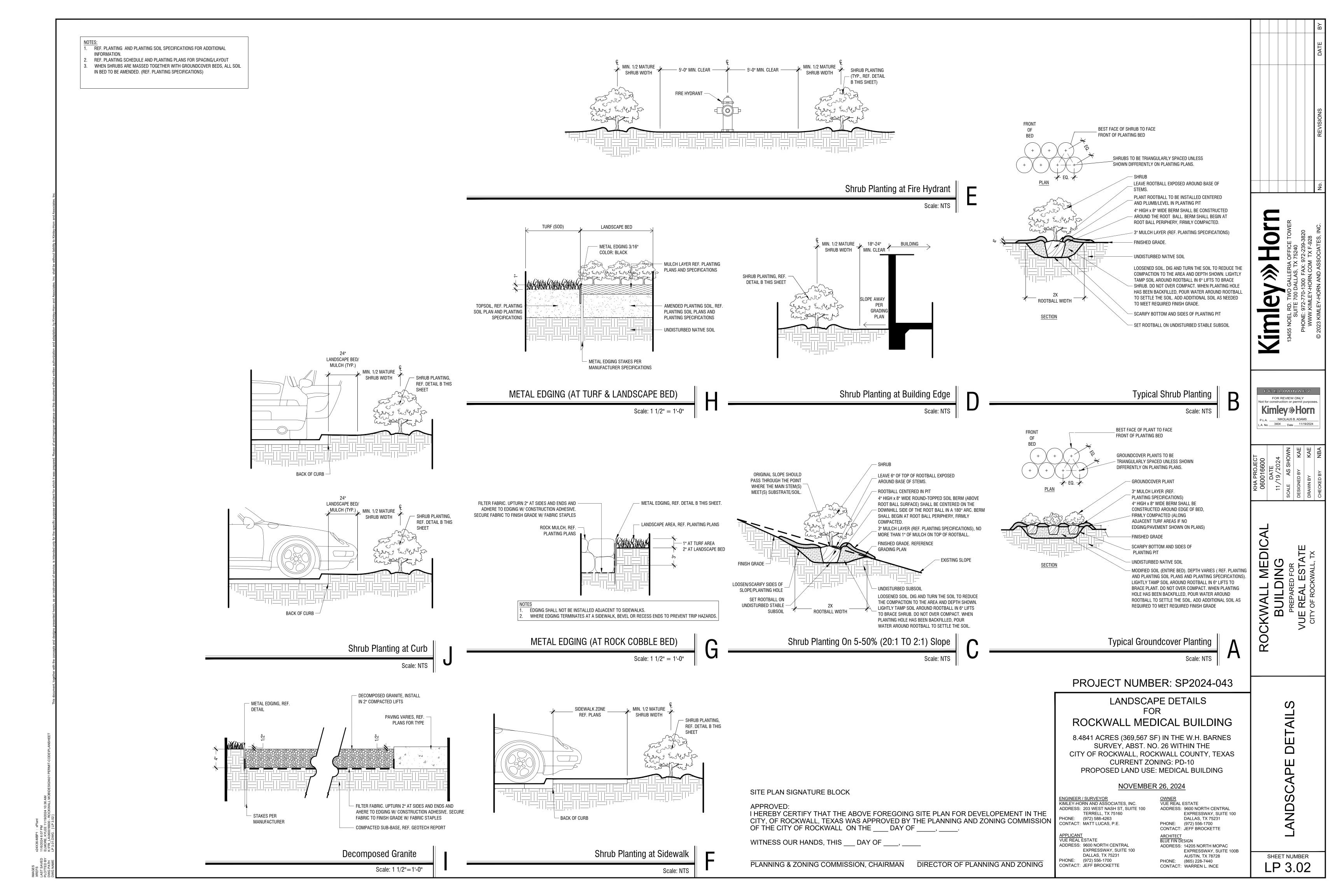
COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF

WITNESSED OUR HANDS, THIS ____ DAY OF









NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL

TBD

Shredded Hardwood Mulch

MULCH

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- 3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY
- 4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- 5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- 6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- 7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN
- 8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- 9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE
- 11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.

MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED

- 12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
- 13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- 14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS. AND TWIGS/BRANCHES
- 15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS. 16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED. 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL

CERTIFICATION OF ACCEPTABILITY BY THE OWNER. B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT. STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF

MATERIALS MAY BEGIN MATERIALS SAMPLES

> TOPSOIL ONE (1) CUBIC YARD PLANTS ONE (1) OF EACH VARIETY

UPON THE APPROVAL OF THE OWNER.

2. PLANT MATERIALS

A PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCI ATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG. SOUND. HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR LIPON DELIVERY TO THE SITE AS DETERMINED BY THE OWNER FOR QUALITY SIZE ANI VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

receive a 4' dia. mulch ring

D. MATERIALS

1. ASTM D5268. NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL

- 2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 3 VERIEY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO
- 4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
- 5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 NCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES
- 6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE
- 7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE
- 8 AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
- a. ORGANIC SOIL AMENDMENTS 1 MANURE: WELL-ROTTED LINEFACHED STABLE OR CATTLE MANURE CONTAINING NOT MORE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO
- 2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
- 3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
- 4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE. 5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
- WORM CASTINGS: EARTHWORMS.

b. INORGANIC SOIL AMENDMENTS

- 1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8
- SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE. 2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR,
- WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
- 3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
- 4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM
- 5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
- c. PLANTING SOIL MIX

FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN

- 1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCEN ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS PFR PI ANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW
- 2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY

OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL. NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA: IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE

FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL 2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14 3. SOD - 8-8-8 FERTILIZER

IN 1 GAL (MIN.) CONTAINER.

IN ADDITION TO SURFACE APPLIED FERTILIZERS. ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10 MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM. NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

M. CONTAINER GROWN STOCK

O. NATIVE STOCK

P. MATERIALS LIST

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT

THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS. 3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE

GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE. 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.

THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES. CONDUITS. SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3 SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS JTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW. FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

THREE (3) TABLETS PER 3 GAL. PLANT

PROPERTY

 FOUR (4) TABLETS PER 10 GAL. PLANT - LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING

WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT 13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE

SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION. 14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD

HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR

DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM

DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PI

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, ____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING. ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL. AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER. TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS

SOD AND THOROUGHLY WATERED IN.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

F PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER, AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE

T. CLEAN-UP

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

LIPON COMPLETION OF ALL PLANTING WORK AND REFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED

THE OWNER'S AUTHORIZED REPRESENTATIVE

U. PLANT MATERIAL MAINTENANCE ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, ULTIVATING. SPRAYING. AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GU SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER, MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM) 1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3 REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION

SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE

AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME

ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE

PROJECT NUMBER: SP2024-043

LANDSCAPE SPECIFICATIONS AND NOTES

ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

NOVEMBER 26, 2024

VUE REAL ESTATE

AUSTIN, TX 78728

PHONE: (865) 228-7440

CONTACT: WARREN L. INCE

(IMI FY-HORN AND ASSOCIATES INC. ADDRESS: 203 WEST NASH ST, SUITE 100 (972) 588-4263 CONTACT: MATT LUCAS, P.E.

PHONE: (972) 556-1700

CONTACT: JEFF BROCKETTE

DALLAS, TX 75231

ADDRESS: 9600 NORTH CENTRAL TERRELL, TX 75160 EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE VUE REAL ESTATE BLUE FIN DESIGN ADDRESS: 9600 NORTH CENTRAL ADDRESS: 14205 NORTH MOPAC **EXPRESSWAY SUITE 100** EXPRESSWAY, SUITE 100B

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SHEET NUMBER LP 3.03

PRELIMINARY

FOR REVIEW ONLY

Kimley WHorn

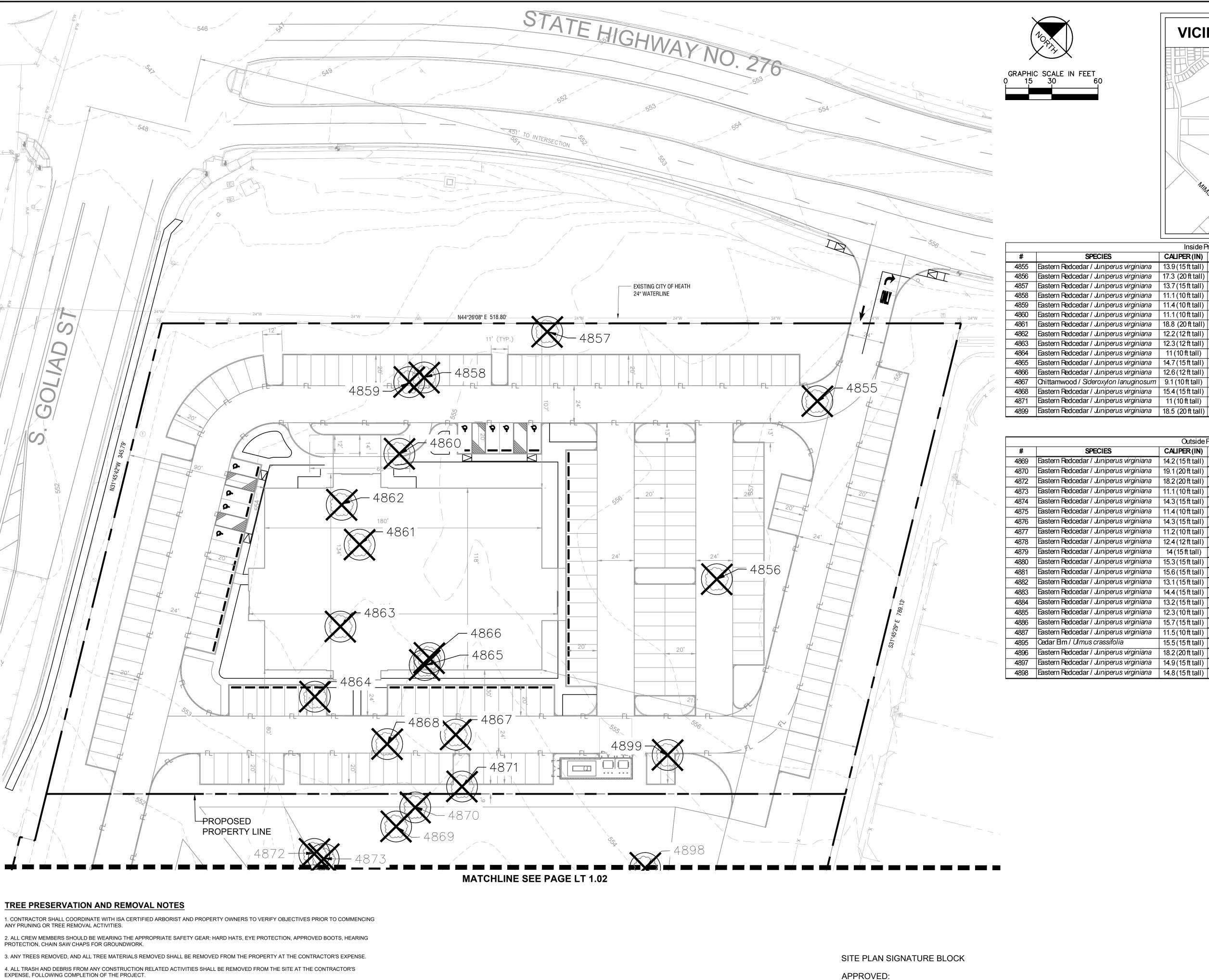
L.A. No. 3404 Date 11/19/2024

P.L.A. NIKOLAUS B. ADAMS

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5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR

6. CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPLANTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING. OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE

HARVESTED AS BALLED & BURLAPPED TREE SPECIMENS, PER ANSI Z60 STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT

ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO

COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT

TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON

AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.

N.T.S. **VICINITY MAP** PROJECT LOCATION SIDS ROAD

		Inside P	roposed Property Line		
#	SPECIES	CALIPER(IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4855	Eastern Redcedar / Juniperus virginiana	13.9 (15 ft tall)	Remove	Healthy (5)	4
4856	Eastern Redcedar / Juniperus virginiana	17.3 (20 ft tall)	Remove	Healthy (5)	4
4857	Eastern Redcedar / Juniperus virginiana	13.7 (15 ft tall)	Remove	Healthy (5)	4
4858	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4
4859	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4
4860	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4
4861	Eastern Redcedar / Juniperus virginiana	18.8 (20 ft tall)	Remove	Healthy (5)	4
4862	Eastern Redcedar / Juniperus virginiana	12.2 (12 ft tall)	Remove	Healthy (5)	4
4863	Eastern Redcedar / Juniperus virginiana	12.3 (12 ft tall)	Remove	Healthy (5)	4
4864	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4
4865	Eastern Redcedar / Juniperus virginiana	14.7 (15 ft tall)	Remove	Healthy (5)	4
4866	Eastern Redcedar / Juniperus virginiana	12.6 (12 ft tall)	Remove	Healthy (5)	4
4867	Chittamwood / Sideroxylon lanuginosum	9.1 (10 ft tall)	Remove	Declining (1)	0
4868	Eastern Redcedar / Juniperus virginiana	15.4 (15 ft tall)	Remove	Healthy (5)	4
4871	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4
4899	Eastern Redcedar / Juniperus virginiana	18.5 (20 ft tall)	Remove	Healthy (5)	4
				Total Mitigation Required:	60

		Outside l	Proposed Property Line		
#	SPECIES	CALIPER (IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4869	Eastern Redcedar / Juniperus virginiana	14.2 (15 ft tall)	Remove	Healthy (5)	4
4870	Eastern Redcedar / Juniperus virginiana	19.1 (20 ft tall)	Remove	Healthy (5)	4
4872	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4
4873	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4
4874	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4
4875	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4
4876	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4
4877	Eastern Redcedar / Juniperus virginiana	11.2 (10 ft tall)	Remove	Healthy (5)	4
4878	Eastern Redcedar / Juniperus virginiana	12.4 (12 ft tall)	Remove	Healthy (5)	4
4879	Eastern Redcedar / Juniperus virginiana	14 (15 ft tall)	Remove	Healthy (5)	4
4880	Eastern Redcedar / Juniperus virginiana	15.3 (15 ft tall)	Remove	Healthy (5)	4
4881	Eastern Redcedar / Juniperus virginiana	15.6 (15 ft tall)	Remove	Healthy (5)	4
4882	Eastern Redcedar / Juniperus virginiana	13.1 (15 ft tall)	Remove	Healthy (5)	4
4883	Eastern Redcedar / Juniperus virginiana	14.4 (15 ft tall)	Remove	Healthy (5)	4
4884	Eastern Redcedar / Juniperus virginiana	13.2 (15 ft tall)	Remove	Healthy (5)	4
4885	Eastern Redcedar / Juniperus virginiana	12.3 (10 ft tall)	Remove	Healthy (5)	4
4886	Eastern Redcedar / Juniperus virginiana	15.7 (15 ft tall)	Remove	Healthy (5)	4
4887	Eastern Redcedar / Juniperus virginiana	11.5 (10 ft tall)	Remove	Healthy (5)	4
4895	Cedar ⊞m / Ulmus crassifolia	15.5 (15 ft tall)	Remove	Healthy (5)	4
4896	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4
4897	Eastern Redcedar / Juniperus virginiana	14.9 (15 ft tall)	Remove	Healthy (5)	4
4898	Eastern Redcedar / Juniperus virginiana	14.8 (15 ft tall)	Remove	Healthy (5)	4
				Total Mitigation Required	: 88

Grand Total Mitigation Required: 148 in

TREE PRESERVATION LEGEND

EXISTING TREE TO BE REMOVED

PROJECT NUMBER: SP2024-043

TREE PRESERVATION PLAN

ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

NOVEMBER 26, 2024

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____. (972) 588-4263 CONTACT: MATT LUCAS, P.E.

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

WITNESS OUR HANDS, THIS ___ DAY OF ____, ____

DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ARCHITECT BLUE FIN DESIGN

APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 AUSTIN, TX 78728 PHONE: (972) 556-1700 PHONE: (865) 228-7440 CONTACT: JEFF BROCKETTE CONTACT: WARREN L. INCE

<u>OWNER</u> VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B

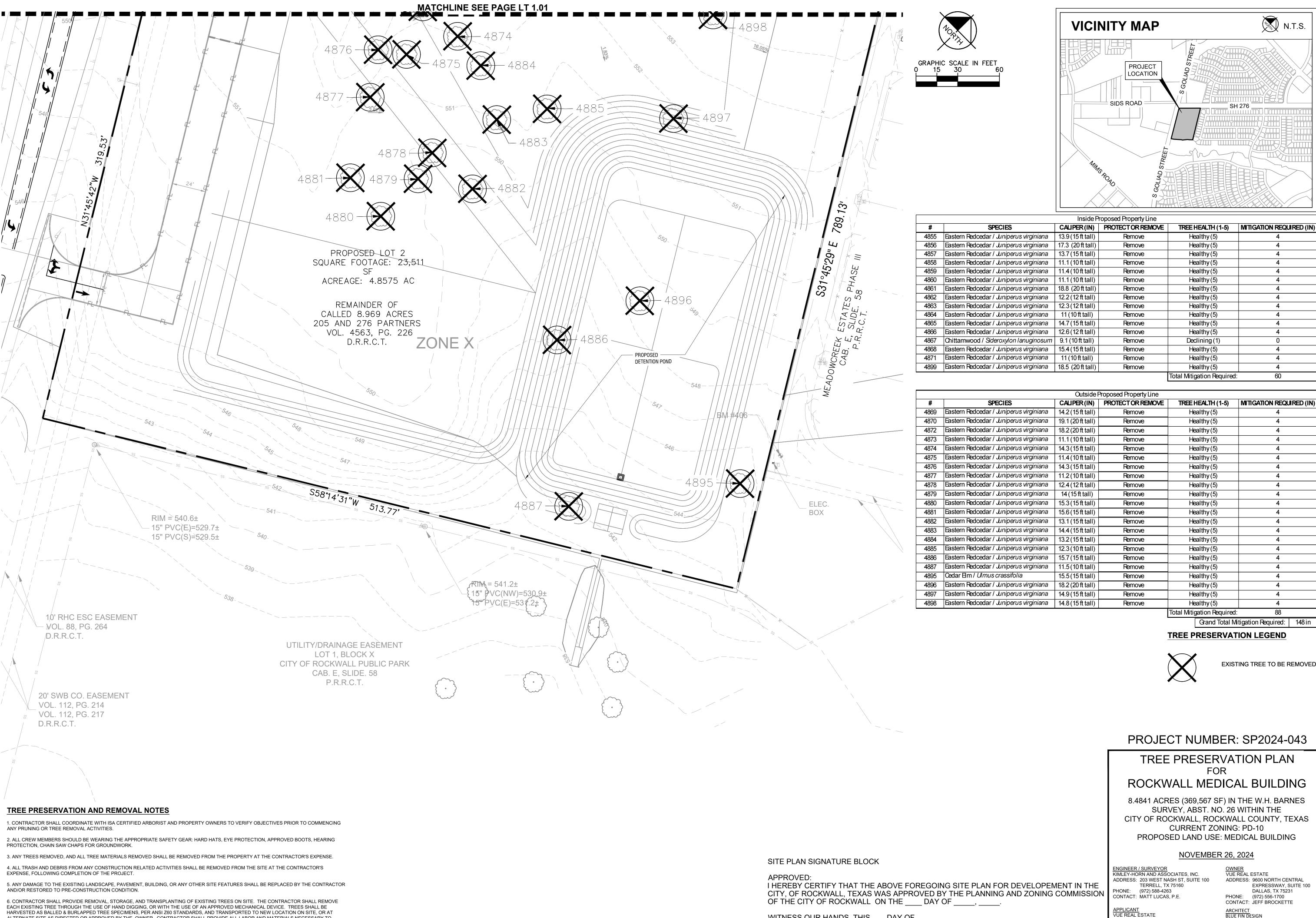
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FOR REVIEW ONLY
Not for construction or permit purpos

Kimley Whorn

P.L.A. NIKOLAUS B. ADAMS L.A. No. 3404 Date 11/19/2024

SHEET NUMBER



ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO

PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT

COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET

FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

TO TEMPORARY STORAGE AREA. ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON

N.T.S.

4

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Grand Total Mitigation Required: 148 in

EXISTING TREE TO BE REMOVED

PRELIMINARY FOR REVIEW ONLY for construction or permit purp Kimley»Horn L.A. No. 3404 Date 11/19/2024

PROJECT NUMBER: SP2024-043

TREE PRESERVATION PLAN

ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS **CURRENT ZONING: PD-10** PROPOSED LAND USE: MEDICAL BUILDING

NOVEMBER 26, 2024

ADDRESS: 203 WEST NASH ST, SUITE 100

DALLAS, TX 75231

PHONE: (972) 556-1700

CONTACT: JEFF BROCKETTE

WITNESS OUR HANDS, THIS ___ DAY OF ____, ____

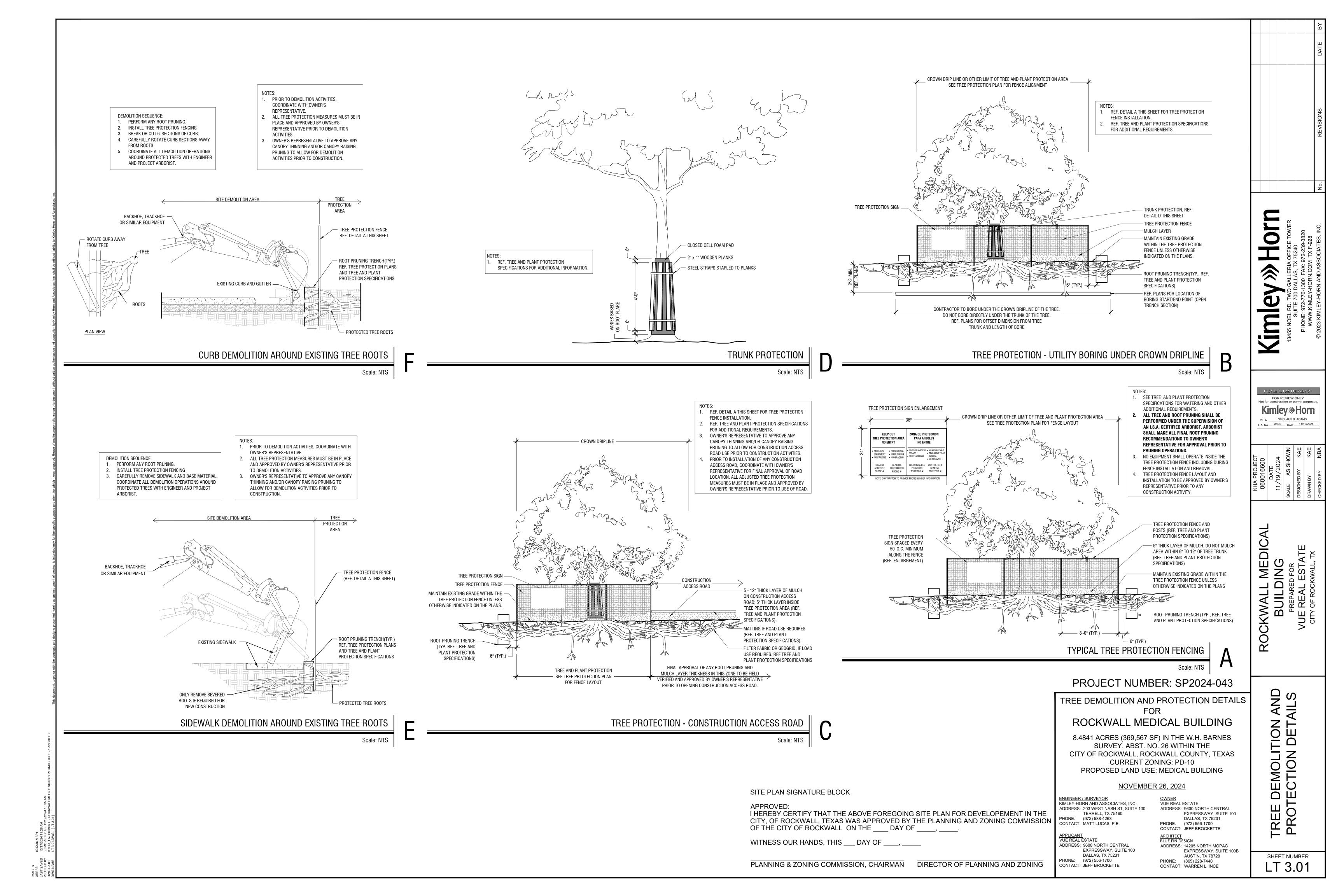
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE BLUE FIN DESIGN ADDRESS: 9600 NORTH CENTRAL

ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100 EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (865) 228-7440 CONTACT: WARREN L. INCE

VUE REAL ESTATE

SHEET NUMBER LT 1.02



GENERAL NOTES STATE HIGHWAY 276 BYPASS (PRIMARY BUILDING FACADE ZONE) 3. LIGHT SOURCES SHALL BE COMPLETELY CONCEALED WITHIN OPAQUE HOUSINGS AND SHALL NOT BE VISIBLE FROM ADJACENT STREETS OR PROPERTIES. 4. ALL EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT OFF. 5. LIGHTING FIXTURES SHALL BE MOUNTED IN SUCH A MANNER THAT THE CONE OF LIGHT IS CONTAINED ON SITE AND DOES NOT CROSS ANY PROPERTY LINE OF THE SITE. BFD #: 45' - 0" 7.) VARIANCE NEEDED^I 2.) UNDER 106'-0" REQUIREMENT LEVEL 1: 22,275 GSF LEVEL 2: 22,408 GSF TOTAL: 44.683 GSF PARKING 1:200 : 224 SPACES PARKING PROPOSED: 233 SPACES (PRIMARY BUI SEAL: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF E.G. LOPEZ DEL CASTILLO, P.E., REG. #58483 ON 10/17/24. IT IS NOT TO BE USED FOR BIDDING, PERMIT OR CONSTRUCTION. BLUE FIN DESIGN, LLC Do NOT scale drawings. Use given dimensions only. If shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions conditions of job DATE # MOUNTING HEIGHTS <u>SITE PLAN - PHOTOMETRICS</u> 20' 1 0.1 0.1 0.1 DATE: SECONDARY BUILDING FACADE ZONE DRAWN BY: 25′ 25′ SITE PLAN -Luminaire Schedule 25′ |Qty |Label Arrangement Description Luminaire Luminaire | Total Watts Lumens Watts 25′ PHOTOMETRICS 6 | 7075-08-C13-35K 7075-08-TW-C13-35K 0.950 | 1161 12.35 74.1 Single 0.950 13798 OPF-M-A11-830-BLC OPF-M-A11-830-BLC —— A3 Single 786 0.950 6030 WFA-3 38W 4000K 36.68 183.4 Single SITE PLAN SIGNATURE BLOCK 0.950 8023 OPF-M-A08-830-BLC OPF-M-A08-830-BLC 74.41 148.82 Single DRAWING NUMBER: OPF-M-A11-830-T2M OPF-M-A11-830-T2M 0.950 | 19790 262 —— A1 Single OPF-M-A11-830-T5W — A4 OPF-M-A11-830-T5W 0.950 19606 Single 131 262 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE 0.950 19790 CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OPF-M-A11-830-T2M 1 Single OPF-M-A11-830-T2M 131 131 OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____. Calculation Summary WITNESS OUR HANDS, THIS ____ DAY OF ____, ____ Label CalcType Units Max | Avg/Min | Max/Min SCALE: LIGHT TRESPASS Illuminance Fc N.A. PARKING Planar Illuminance 72.00 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

24115

REVISIONS

DESCRIPTION

2024.10.17

AS INDICATED

Author



November 6, 2024

City of Rockwall 385 S. Goliad Street Rockwall, Texas 75087

To Whom it May Concern:

Please accept this letter as compliance to comments M.10 and M.11 concerning Project Number SP2024-043 for project "Site Plan for Rockwall Medical Building" located at 2651 S. Goliad Street, Rockwall, Texas 75032.

We are requesting variance exception to the following areas:

(1) Four (4)-sided Architecture:

We are requesting a variance/exception based on the size and scale of the proposed facility. Additional articulation elements do not complement the architecture for this specific property/building.

(2) Primary Articulation:

We are requesting a variance/exception based on the size and scale of the proposed facility. Additional articulation elements do not complement the architecture for this specific property/building.

We believe the architecture as proposed has a great balance of articulation. Our primary facade facing State Highway 276 elongates it's primary articulation form with covered user drop off and pedestrian walking zones accented with additional masonry pillars, plantings and seating opportunities.

The architecture also incorporates decorative metal accents, shading bands above all windows and articulated facade elements.

(3) 20% Stone:

We are requesting a variance/exception with proposed 28-30% custom concrete masonry units in burnished form in lieu of natural stone.



(4) 90% masonry:

We are requesting a variance/exception with the balance of the facility facades not glass or custom concrete masonry units being comprised of comparable finished concrete tilt panel.

(5) excess of 10% secondary materials:

See prior variance/exception request line item 4 preceding this which would alleviate this requirement.

(6) natural stone:

See prior variance/exception request line item 3 preceding this which would alleviate this requirement.

Compensatory Items:

- 1.) We have proposed additional landscaping area over the minimum.
- 2.) We have incorporated architectural/shading elements over main facade windows to add visual interest and solar shading to the windows.
- 3.) We have incorporated complementary design features for the tower/articulation elements similar to the window shading structures.
- 4.) We have incorporated a covered portico for user drop off adding further articulation from the main facade and visual interest from the intersection.
- 5.) We have incorporated pedestrian porticos on each side of the main entry adding visual interest.
- 6.) We have incorporated masonry passageways flanking the main entry architecture for visual interest.
- 7.) We have incorporated additional masonry minor articulating facades flanking the main entry for additional visual interest.
- 8.) We have incorporated masonry planters to the drive thru portico design for visual interest.

We have also included with the submittal the requested alternative design changing two tone custom concrete masonry unit design with the single brown/gray tone unit in lieu of combination gradient finish using brown/gray tone and limestone finish units.

Sincerely,

Warren L. Ince, R.A.

Warren J. drug

Principal



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 26, 2024

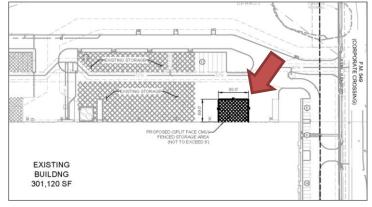
APPLICANT: Chris Lewis; *Kimley-Horn and Associates, Inc.*

CASE NUMBER: SP2024-045; Amended Site Plan for 1351 Corporate Crossing (SCP Distribution Center)

On September 14, 2021, the Planning and Zoning Commission approved a site plan [Case No. SP2021-024] to allow the construction of a 301,120 SF Warehouse/Distribution Center on the subject property. **Following** the construction of Warehouse/Distribution Center, the Planning and Zoning Commission approved two (2) amended site plans, [1] [Case No. SP2023-006] to allow ~78,500 SF (~10% of the total impervious area) of outside storage and eight (8) silos, and [2] [Case No. SP2024-027] to allow ~48,000 SF (~6.10% of the total impervious area) of outside storage and four (4) silos on the subject property. This equates to a total of 12 silos and ~126,500 SF (~16.10% of the total impervious area) of outside storage. In February 2023 a fence permit [Permit No. COM2024-598] was submitted to the Building Inspection Department requesting to construct an eight (8) foot wrought iron fence for outside storage. Staff informed the applicant that the proposed outside storage was not delineated on the approved site plan and an amended site plan would be required. Based on staff's comment, on May 17, 2024 the applicant submitted a development application requesting approval of an Amended Site Plan to allow a 60-foot by 80-foot (i.e. 4,800 SF) outside storage area. Due to visibility concerns that the Planning and Zoning Commission expressed, this request was ultimately withdrawn by the applicant in order to explore other screening options. Following this, on October 18, 2024, the applicant submitted a new Amended Site Plan application. At the October 29, 2024 Planning and



<u>FIGURE 1</u>. APPROXIMATE LOCATION AND VISIBILITY OF THE PROPOSED OUTSIDE STORAGE AREA FROM CORPORATE CROSSING.



<u>FIGURE 2</u>. SITE PLAN SHOWING THE LOCATION OF THE PROPOSED OUTSIDE STORAGE AREA.

Zoning Commission meeting, the applicant requested a two (2) week extension in order to provide an exhibit of the proposed outside storage enclosure. This established the applicant's new action date as November 12, 2024; however, the applicant was unable to provide the additional exhibit, and subsequently extended their request an additional two (2) weeks to the November 26, 2024 Planning and Zoning Commission meeting.

According to Subsection 01.05(E), Screening Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(o)utside storage of materials or vehicles shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property." In addition, Subsection 01.05(E) states that the associated screening "...must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot

centers..."; however, the Planning and Zoning Commission may approve alternative landscape screening methods. In this case, the applicant is requesting to screen a 60-foot by 80-foot (*i.e.* 4,800 SF) outside storage area, with an eight (8) foot split face CMU screening wall, without canopy trees on 20-foot centers. Based on this, the applicant is requesting an exception to

this requirement. In addition, the applicant has indicated that the "...outside storage area will consist of palletized crates of stone, pavers, bagged sand, PVC pipe (3" or less), and pre-cast concrete equipment pads. There will be no chemicals stored in the yard." If approved this would increase the outside storage on the subject property to ~131,300 SF (~16.71% of the total impervious area). Based on the Planning and Zoning Commissions concerns from the October 29, 2024 meeting (i.e. the appearance of the enclosure and the direction the enclosure would be loaded), the applicant has provided an exhibit depicting the enclosure and the existing landscaping at a mature state. In addition, the provided exhibit indicates that the loading area will face east and will have direct visibility from



<u>FIGURE 3</u>. EXHIBIT DEPICTING THE ENCLOSURE AND THE EXISTING LANDSCAPING AT A MATURE STATE.

Corporate Crossing, but that they will be using a slated steel material that will impair visibility of the materials when the gate is closed.

According to Subsection 09.01, Exceptions to the General Standards, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, the applicant is <u>not</u> providing any compensatory measures to offset the requested exception to the outside storage screening requirements. With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception. If the Planning and Zoning Commission chooses to approve the applicant's <u>Amended Site Plan</u> to allow outside storage on the subject property as delineated on the site plan, then staff would propose the following conditions of approval:

- (1) All outside storage may not exceed eight (8) feet in total height and/or extend above the eight (8) foot split face CMU wall; and,
- (2) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *November 26*, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASE	NO.
	NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

PLEASE CHECK THE A	PPROPRIATE BOX BELOW TO INDICATE THE TYPE	E OF DE	VELOPMENT REQU	UEST [SELECT ON	LY ONE BOX]:		
PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)			ZONING APPLICATION FEES: ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST (\$100.00) '				
	ATION FEES: 0.00 + \$20.00 ACRE))	NOTES: 1: IN DETERMININ MULTIPLYING BY 1 ACRE, ROUND UP	NG THE FEE, PLEA: THE PER ACRE AMOU TO ONE (1) ACRE.	SE USE THE I	EXACT ACREA ESTS ON LESS	GE WHEN THAN ONE
PROPERTY INFO	RMATION [PLEASE PRINT]						
ADDRESS	1351 Corporate Crossing Rockwall, T	X 7503	32				
SUBDIVISION	Platted - John Lockhard Survey Abstra	act No	. 134	LOT	1	BLOCK	Α
GENERAL LOCATION	West of intersection of Corporate Cros	sing a	nd Capital Blvd				
ZONING, SITE PL	AN AND PLATTING INFORMATION [PL	EASE PR	INT]				
CURRENT ZONING	u de la companya de l		CURRENT USE	Ware House			
PROPOSED ZONING			PROPOSED USE	Warehouse			
ACREAGE	43.237 AC LOTS [CURRE	ENT]	1	LOTS [I	PROPOSED]	N/A	
REGARD TO ITS A	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDG APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY ENIAL OF YOUR CASE.	GE THAT . OF STAF	DUE TO THE PASSA F'S COMMENTS BY	AGE OF <u>HB3167</u> THE THE DATE PROVIDE	E CITY NO LON D ON THE DEV	IGER HAS FLE ELOPMENT CA	XIBILITY WITH ALENDAR WILL
OWNER/APPLICA	ANT/AGENT INFORMATION [PLEASE PRINT	T/CHECK		FACT/ORIGINAL SIGN	NATURES ARE	REQUIRED]	
☐ OWNER	Westcore Bravo Rockwall, LLC		M APPLICANT	Kimley-Horn a	and Associa	ates, Inc.	
CONTACT PERSON	Matthew Bateman	COI	NTACT PERSON	Chris Lewis			
ADDRESS	4350 La Jolla Village Drive, Suite 900		ADDRESS	2600 N Centr	al Express	way	
				Suite 400			
CITY, STATE & ZIP	San Diego, CA 92122	CI.	TY, STATE & ZIP	Richardson,		80	
PHONE	(858) 625-4100		PHONE	(469) 445-27	80		
E-MAIL	mbateman@westcore.net		E-MAIL	chris.lewis@k	imley-horn	.com	
STATED THE INFORMATI	RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPE. ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED	THE FOL					SIGNED, WHO
S	I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION TO COVER THE COST OF THIS APPLICATION 20 BY SIGNING THIS APPLICATION, I A D WITHIN THIS APPLICATION TO THE PUBLIC. THE CIT	N, HAS BE AGREE TH IN 15 VALS AGSOCIAT	EN PAID TO THE CITY OAT THE CITY OF ROU SO AUTHORIZED AND TED OR IN RESPONSE	OF ROCKWALL ON TH CKWALL (I.E. "CITY") I PERMITTED TO REF	S AUTHORIZED PRODUCE ANY	AND PERMITTE COPYRIGHTED	DAY UF
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE OWNER'S SIGNATURE FOR THE STATE OF TEXAS	the X	7 (20 <u>20</u>	92			
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	70%		MY COMMI	SSION EXPIRES		

Development Application City of Rockwall Planning & Zoning Department

WESTCORE BRAVO ROCKWALL, LLC a Delaware limited liability company

By: Westcore Management I, LLC.

a Delaware limited liability company,

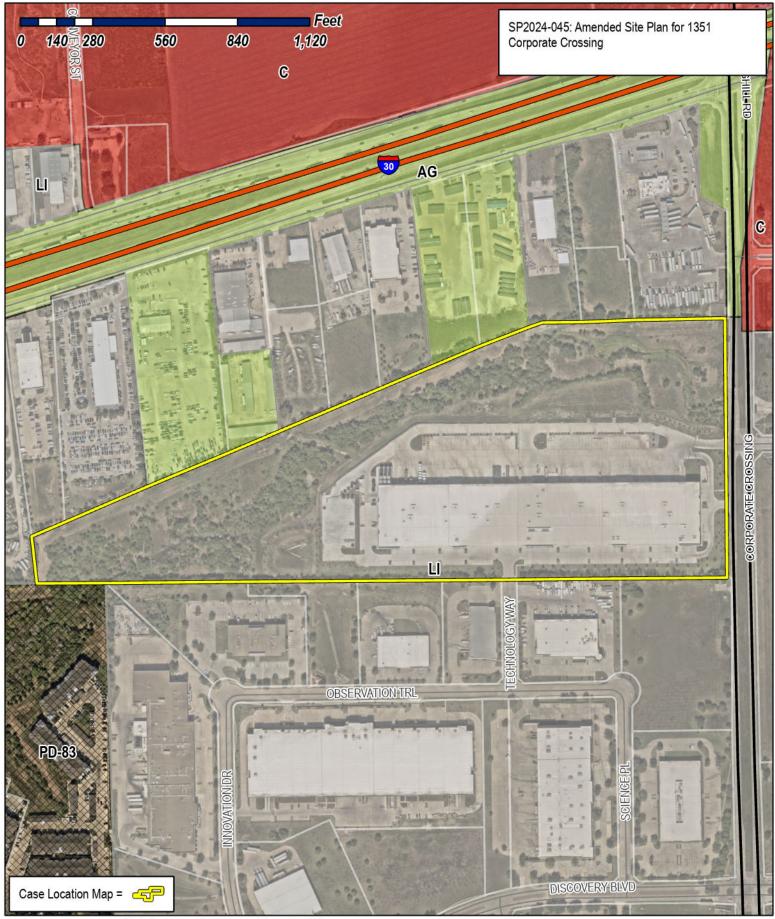
as Agent for Owner

By: 12114

Name: Matthew Bateman

Title: Authorized Signatory

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.	CALIFORNIA JURAT
State of California)	
County of San Diego	
Subscribed and sworn to (or affirmed) before me on this	21 day
of <u>Oct.</u> , 20 24 , by <u>N</u>	latthew Bateman
proved to me on the basis of satisfactory evidence to be the persor who appeared before me.	n(s)
Signature MCCC	MICHAEL CONRAD COMM. #2432761 NOTARY PUBLIC-CALIFORNIA SAN DIEGO COUNTY My Commission Expires JANUARY 23, 2027
Signature	(Seal)
OPTIONAL INFORMATION Although the information in this section is not required by law, it could pre jurat to an unauthorized document and may prove useful to persons relying to the person of Attached Document	event fraudulent removal and reattachment of this and on the attached document. Additional Information
This certificate is attached to a document titled/for the purpose of	Method of Affiant Identification Proved to me on the basis of satisfactory evidence:
	L form(s) of identification credible witness(es) Notarial event is detailed in notary journal on: Page # Entry # Notary contact:
	Other Describer
containing pages, and dated	Affiant(s) Thumbprint(s) Describe:



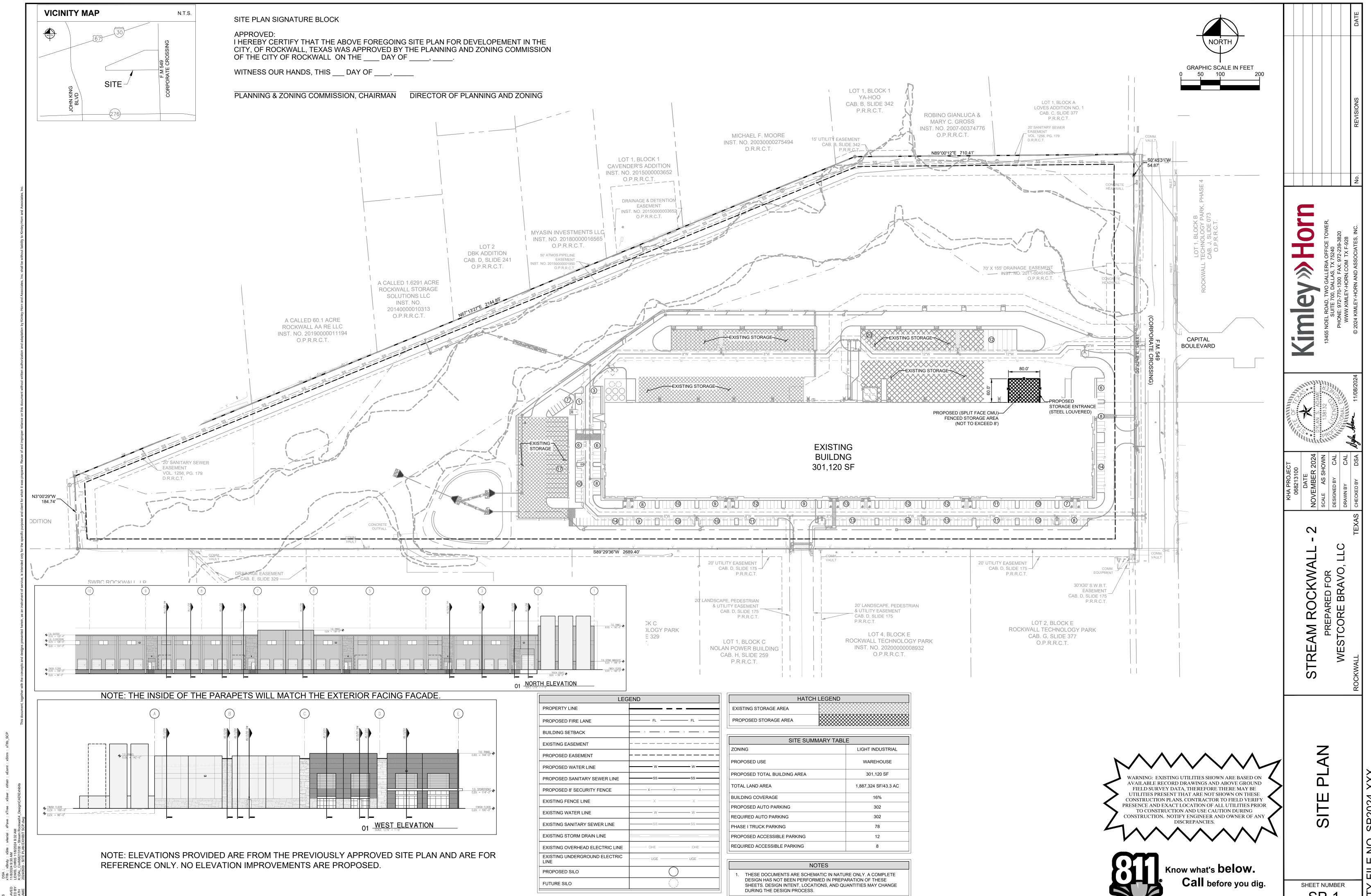


City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

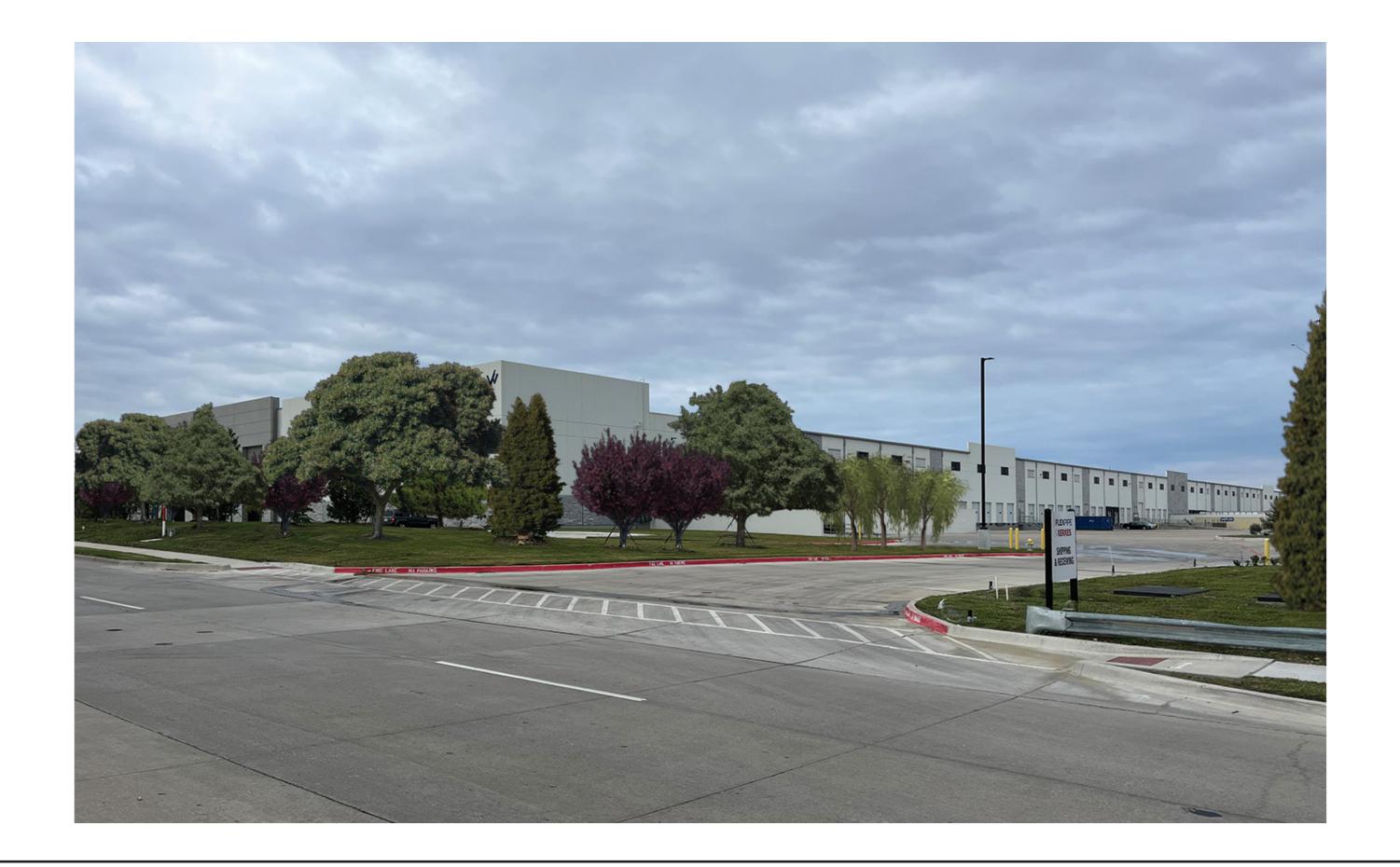
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SP-1





November 19, 2024



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Angelica Guevara, Planning Technician

DATE: November 26, 2024

SUBJECT: MIS2024-019; Exception to the Fence Material Standards for 214 Lakeview Drive

The applicant, Donyelle Fenton, is requesting the approval of an *Exception* to the *Fence Standards* to allow the construction of a fence on the subject property. The subject property is located on a 0.239-acre parcel of land (*i.e. Lot 5, Block A, Lakeridge Park Addition*) and is addressed as 214 Lakeview Drive. In this case, the applicant is requesting to repair and replace the existing wood picket fence and wooden posts with the same building materials. Based on the applicant's letter, they are requesting a wood picket fence in order to maintain an unobstructed view from their back yard as shown in *Figure 1*.



FIGURE 1: EXISTING WOOD PICKET FENCE AND VIEW FROM YARD

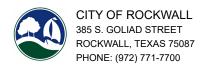
According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as "(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure." In addition, Subsection 08.02, General Fence Standards, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC) states that, "(u)nless otherwise provided for in this section (i.e. Section 08. Fence Standards), the following material requirements shall apply to all residential and non-residential fences: ... (1) Permitted fencing materials are limited to wood pickets, vinyl coated chain link, wrought iron, decorative metal (i.e. with the appearance of wrought iron but is made of powder-coated steel, aluminum or covered with a corrosion protection finish). brick, stone, split face CMU or burnished block, vinyl, fiberglass composite, and concrete with stone face/form

liner ..." Subsection 08.03, Residential Fences, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), states that "(a)ll new transparent fencing shall be wrought iron that is a minimum of four (4) feet in height and a maximum of eight (8) feet in height.." In addition, Subsection 08.03 (B) Fence Standards for Existing and Infill Single-Family and Duplex Properties, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), states that, "all fences being proposed in established residential areas...shall be architecturally compatible with the design, materials, and colors of the existing fences in the area."

In accordance with the UDC requirements outlined above, a wood picket fence is an allowable fence material for the subject property; however, as the property is located within an established residential area, it is subject to the *Transparent Fencing* standards, which mandate the use of a wrought iron fence. In addition, wood fence posts would not be permitted by the fence standards. Furthermore, staff reviewed the surrounding properties along Lakeview Drive and found that the majority of homes either feature a wrought iron fence or have no fence at all, making the applicant's request inconsistent with the fencing conditions in the area.

With all of this being said, the approval of an exception is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on *November 26, 2024*.

PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: MIS2024-019

PROJECT NAME: Variance Request for 214 Lakeview Drive

SITE ADDRESS/LOCATIONS: 214 LAKEVIEW DR

CASE CAPTION: Discuss and consider a request by Donyelle Fenton for the approval of a Miscellaneous Case for an Exception to the Fence

Standards to allow the construction of a fence on a 0.239-acre parcel of land identified as Lot 5, Block A, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 214 Lakeview Drive, and take any action

necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments	
11/19/2024: FYI - Fence may n	ot be installed within any existing easements.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved w/ Comments	
11/20/2024: If approved, a sepa	arate building permit will be required			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Angelica Guevara	11/21/2024	Approved w/ Comments	

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request approval of a Miscellaneous Case for an Exception to the Fence Standards to allow the construction of a fence on a 0.239-acre parcel of land identified as Lot 5, Block A, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 214 Lakeview Drive.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- I.3 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as "(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure."
- I.4 According to Subsection 08.02, General Fence Standards, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "Unless otherwise provided for in this section (i.e. Section 08, Fence Standards), the following material requirements shall apply to all residential and non-residential fences:
- Permitted fencing materials are limited to wood pickets, vinyl coated chain link, wrought iron, decorative metal (i.e. with the appearance of wrought iron but is made of powder-coated steel, aluminum or covered with a corrosion protection finish), brick, stone, split face CMU or burnished block, vinyl, fiberglass composite, and concrete with stone face/form liner."
- I.5 According to Subsection 08.03, Residential Fences, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "Transparent Fencing. (a) Wrought Iron Fences. All new transparent fencing shall be wrought iron that is a minimum of four (4) feet in height and a maximum of eight (8) feet in height."
- 1.6 Subsection 08.03(B)(3), Special Exceptions, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC) states that, "the Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 08.02(B), and/or alternative fence standards on a case-by-case basis."
- I.7 In this case, the applicant is requesting to repair and replace the four (4) foot, wood picket fence and wooden posts. While wood picket fences are a permitted fencing material, wooden posts are not permitted per the UDC standards. In addition, the subject property is subject to the Transparent Fencing standards which requires a wrought iron fence on the subject property.
- I.8 Please note the scheduled meeting for this case:
- (1) Planning & Zoning meeting will be held on November 26, 2024 at 6:00 PM in the City Hall Council Chambers.
- 1.9 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.



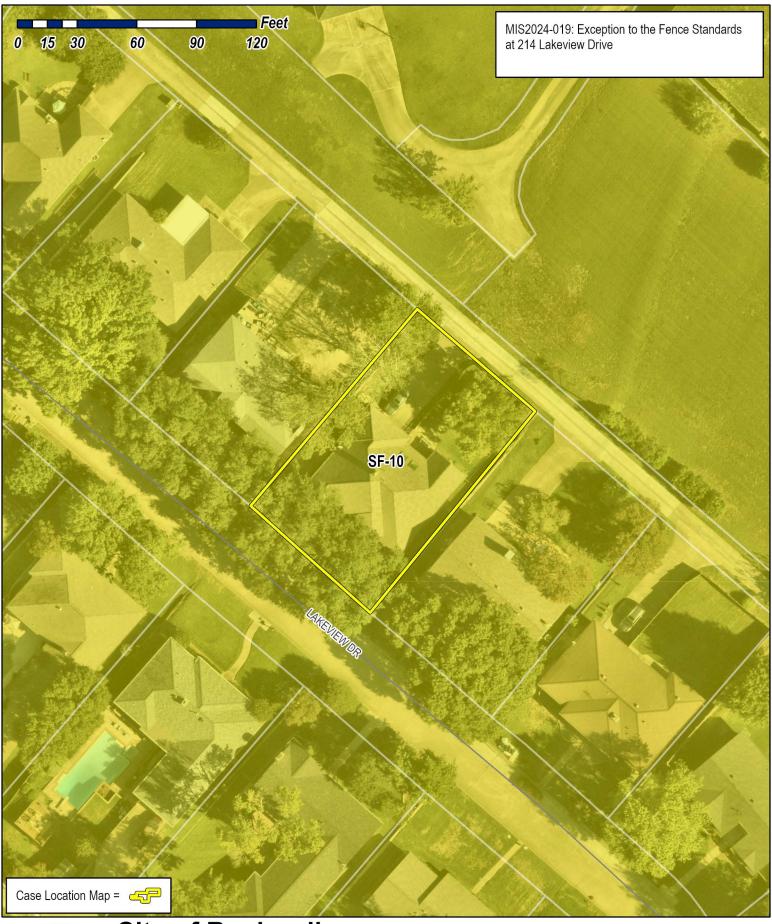
DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY PLANNING & ZONING CASE NO.
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX].

Platting Application Fees: Master Plat (\$100.00 + \$15.00 Acre) 1 Preliminary Plat (\$200.00 + \$15.00 Acre) 1 Final Plat (\$300.00 + \$20.00 Acre) 1 Replat (\$300.00 + \$20.00 Acre) 1 Amending or Minor Plat (\$150.00) Plat Reinstatement Request (\$100.00) Site Plan Application Fees: Site Plan (\$250.00 + \$20.00 Acre) 1 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)			Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹ : In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.			
Sittle of the the environmental expenditures	DRMATION [PLEASE PRINT])			
Address	and the contract	DC 1				
Subdivision	Lakeridge Park			Lot 5	Block A	
General Location						
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLE	ASE PRINT]				
Current Zoning	SF2	Curren	t Use	Al		
Proposed Zoning		Propose	d Use			
Acreage	Lots [Current			Lots [Proposed]		
	PLATS: By checking this box you acknowledge that due t					
and the state of t	ure to address any of staff's comments by the date provided CANT/AGENT INFORMATION [PLEASE PRINT]			The state of the s	A contract of the contract of	
		[] Appl		OWINCI, ONIONAL SIGNATURES		
Contact Person	Donyelle Fendon same	Contact Pe	rson			
Address	214 takeview Dr	Add	lress			
City, State & Zip	Rockwooll to 75087	City, State 8	& Zip			
	9728967158	Pl	none			
E-Mail	donyelle fearl.com	E-	Mail			
lefore me, the undersig	CATION [REQUIRED] The dauthority, on this day personally appeared up and certified the following:	elle for	rtor	$\bigcap [\mathit{Owner}]$ the undersigned, who	stated the information on	
over the cost of this ap hat the City of Rockwa	m the owner for the purpose of this application; all informate plication, has been paid to the City of Rockwall on this the _ II (i.e. "City") is authorized and permitted to provide information submitted in conjunction with	day of 1 nation contained this application,	Within	this application to the public. The	gning this application, I agree ne City is also authorized and	
iven under my hand ar	nd seal of office on this the day of NOVEM	2et , 20 2	1	My Co	Christine Todd mmission Expires	
	Owner's Signature	>			9/22/2025 Notary ID 39347323	
Notary Public in	and for the State of Texas april 20d	d		My Commission Expire	· 9.22.2025	





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

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Donyelle Fenton 972-896-7158 214 Lakeview Dr Rockwall, TX 75087

Nov 7th, 2024

Re: Fence/Other Structure replacement - Permits

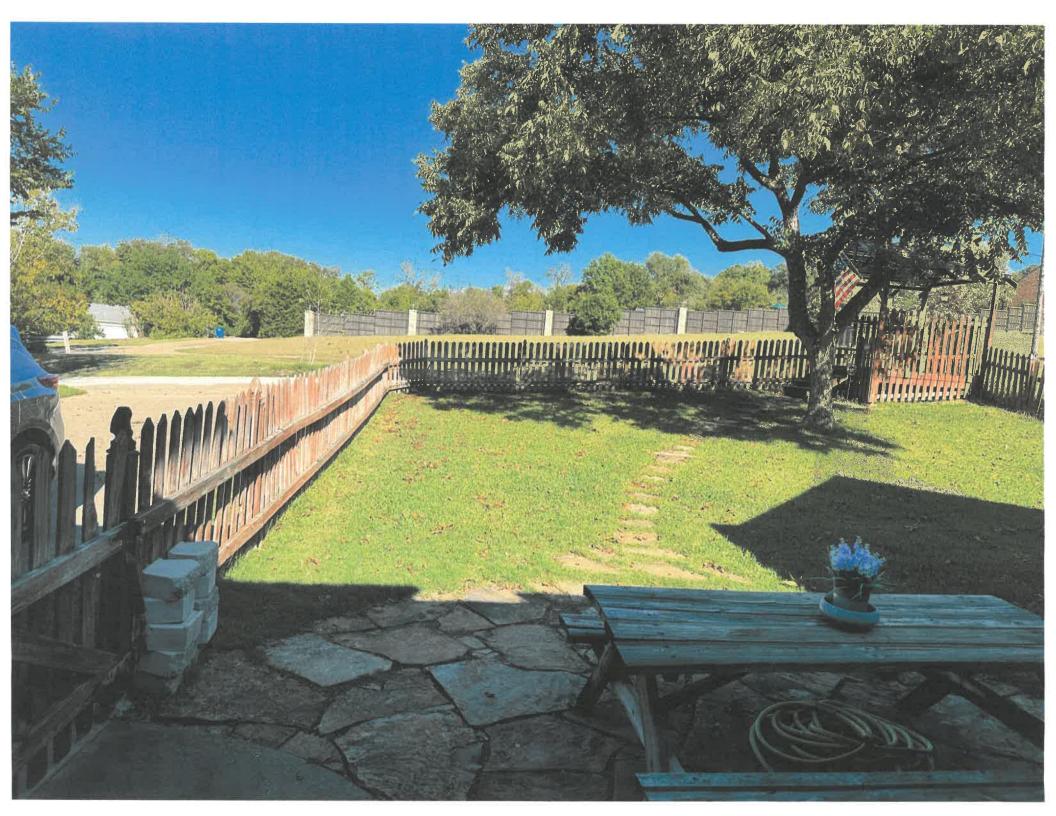
Dear Sir or Madam,

I am requesting an exception to obtain permits to replace my current wood picket fence with wood posts and repair/replacement of my other structure (arbor).

My property has a view of the lake and I'd prefer not to obstruct that view with a privacy fence and I personally don't like the aesthetic look of wrought iron fencing for my property. I currently have a pine wood picket fence in the backyard and other arbor like structure that. They are both in need of repair/replacement. We will be updating to cedar wood.

Appreciate your consideration.

Regards, Donyelle Fenton donyellef@aol.com



Google Maps

214 Lakeview Dr



Map data ©2024 , Map data ©2024 Google 20

214 Lakeview Dr

Building











Directions

Save

Nearby

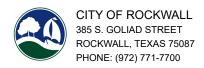
Send to phone

Share



214 Lakeview Dr, Rockwall, TX 75087

PROJECT COMMENTS



DATE: 11/20/2024

PROJECT NUMBER: Z2024-053

PROJECT NAME: Zoning Change from AG to SF-10

SITE ADDRESS/LOCATIONS: 205 DIAL LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Amanda Dailey for the approval of a Zoning Change from Agricultural

(AG) District to Single-Family 10 (SF-10) District bring a 1.47-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 205 Dial Lane, and take any action

necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	11/20/2024	Approved w/ Comments	

11/20/2024: Z2024-053: Zoning Change from Agricultural (AG) District to Single-Family 10 (SF-10) District for 205 Dial Lane Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Zoning Change from Agricultural (AG) District to Single-Family 10 (SF-10) District bring a 1.47-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and addressed as 205 Dial Lane.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (Z2024-053) in the lower right-hand corner of all pages on future submittals.
- I.4 According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is scheduled for Low Density Residential (LDR) land uses. The proposed change in zoning -- from Agricultural (AG) District to a Single-Family 10 (SF-10) District -- is consistent with the OURHometown Vision 2040 Comprehensive Plan.
- I.5 Please note that regardless of the submitted request -- if this zoning case is approved -- any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Single-Family 10 (SF-10) District.
- M.6 Ordinances. Please review the attached Draft Ordinance prior to the December 10, 2024 Planning and Zoning Commission Meeting, and provide staff with your markups by no later than December 3, 2024.
- 1.7 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning and Zoning Commission Public Hearing Meeting.
- 1.8 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 26, 2024 and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on December 10, 2024.

1.9 City Council Meeting Dates. The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2025 (2nd Reading).
 1.10 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE
 APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

11/19/2024: General Comments:

- Must meet City 2023 Standards of Design and Construction
- Impact Fees (Water, Sewer, Roadway), if applicable.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Additional comments may be provided at time of Building Permit/Site Plan.

Streets/Paving:

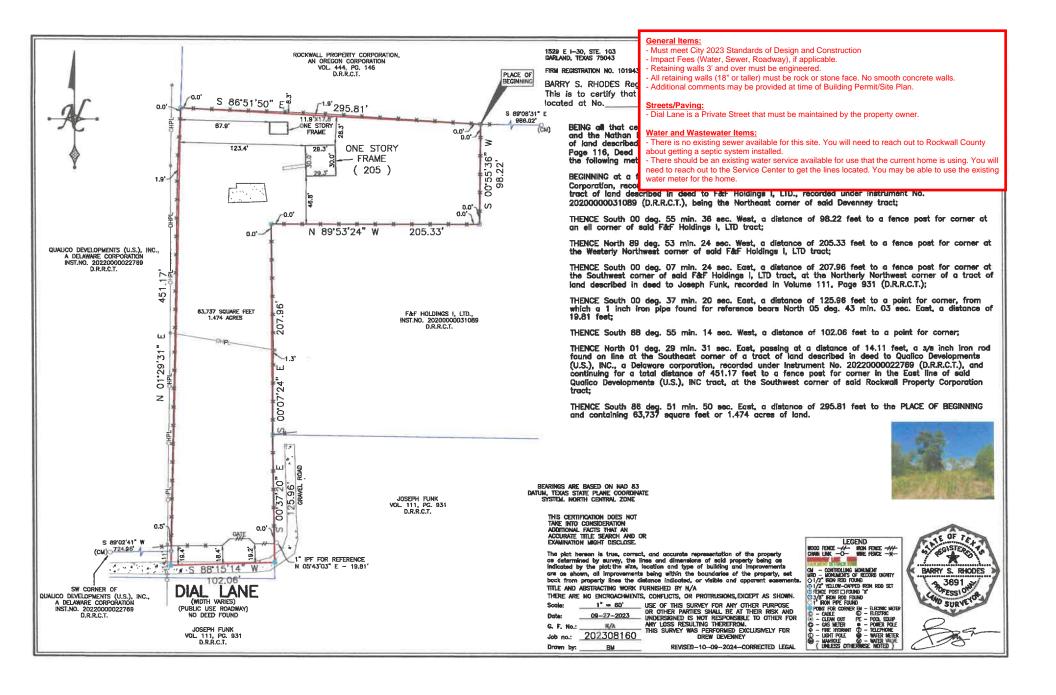
- Dial Lane is a Private Street that must be maintained by the property owner.

Water and Wastewater Items:

- There is no existing sewer available for this site. You will need to reach out to Rockwall County about getting a septic system installed.
- There should be an existing water service available for use that the current home is using. You will need to reach out to the Service Center to get the lines located. You may be able to use the existing water meter for the home.

REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Craig Foshee	11/20/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Ariana Kistner	11/18/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Lance Singleton	11/18/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Chris Cleveland	11/05/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Travis Sales	11/19/2024	Approved	
	Craig Foshee REVIEWER Ariana Kistner REVIEWER Lance Singleton REVIEWER Chris Cleveland REVIEWER	Craig Foshee 11/20/2024 REVIEWER DATE OF REVIEW Ariana Kistner 11/18/2024 REVIEWER DATE OF REVIEW Lance Singleton 11/18/2024 REVIEWER DATE OF REVIEW Chris Cleveland 11/05/2024 REVIEWER DATE OF REVIEW Chris Cleveland 11/05/2024	Craig Foshee 11/20/2024 Approved REVIEWER DATE OF REVIEW STATUS OF PROJECT Ariana Kistner 11/18/2024 Approved REVIEWER DATE OF REVIEW STATUS OF PROJECT Lance Singleton 11/18/2024 Approved REVIEWER DATE OF REVIEW STATUS OF PROJECT Chris Cleveland 11/05/2024 Approved REVIEWER DATE OF REVIEW STATUS OF PROJECT Chris Cleveland 11/05/2024 Approved

No Comments



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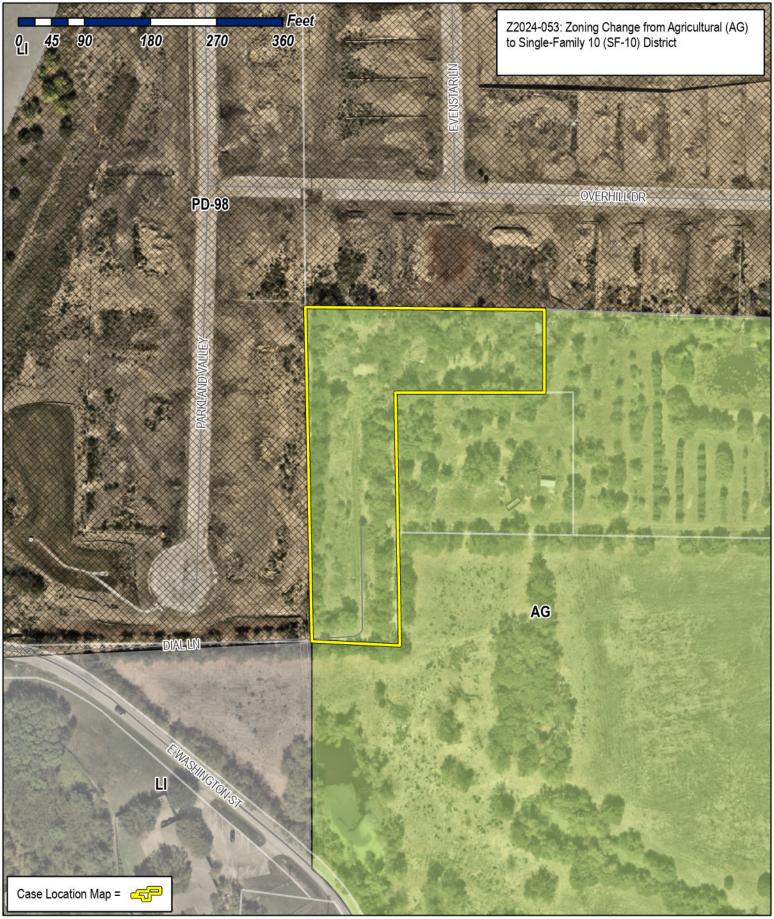
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

Ī	PLANNING & ZONING CASE NO.
	<u>MOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
1	DIRECTOR OF PLANNING:

Rockwall, Texas 75087				CITY ENGI	NEER:			
PLEASE CHECK THE AL	PPROPRIATE BOX BELOW TO II	NDICATE THE TYPE O	F DEVELOPME	NT REQUES	T ISELECT ON	LY ONE BOXI:		
PLATTING APPLICATION FEES: MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) 1 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			ZONING. SPEC PD DE OTHER A TREE VARIA NOTES: NOTER A A \$1,000	1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING				
	RMATION [PLEASE PRINT]							
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City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

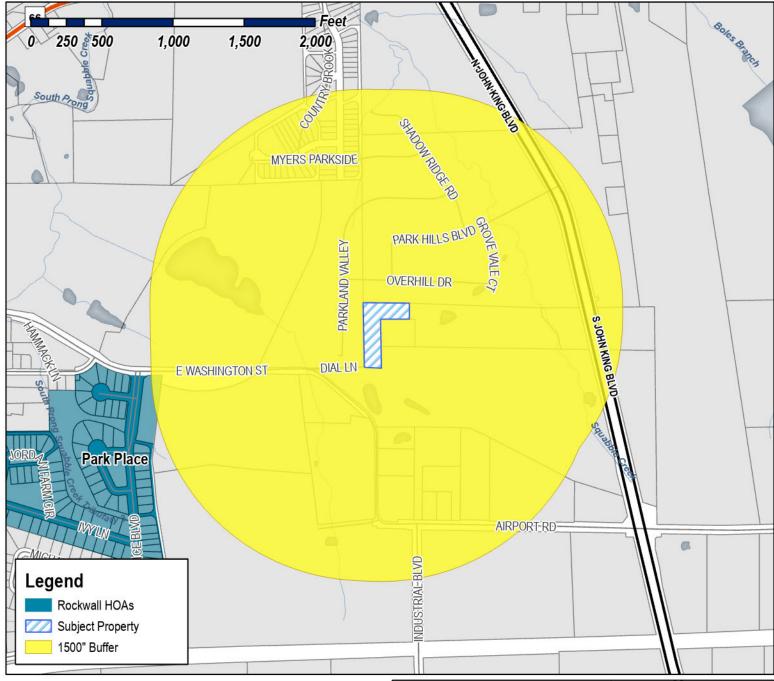
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-053

Case Name: Zoning Change from Agricultural(AG)

to Single-Family 10 (SF-10) District

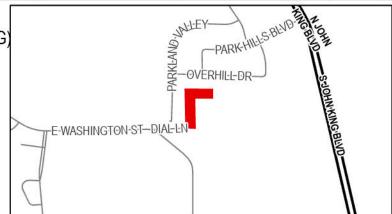
Case Type: Zoning

Zoning: Agricultural (AG) District

Case Address: 205 Dial Street

Date Saved: 11/5/2024

For Questions on this Case Call (972) 771-7745



From: Zavala, Melanie

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

Subject: Neighborhood Notification Program [Z2024-053]

Date: Wednesday, November 20, 2024 1:59:09 PM

Attachments: HOA Map (11.5.2024).pdf

Public Notice (P&Z) (11.18.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, November 22, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, December 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 16, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2024-053: Zoning Change from AG to SF-10

Hold a public hearing to discuss and consider a request by Amanda Dailey for the approval of a <u>Zoning Change</u> from Agricultural (AG) District to Single-Family 10 (SF-10) District bring a 1.47-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 205 Dial Lane, and take any action necessary.

Thank you,

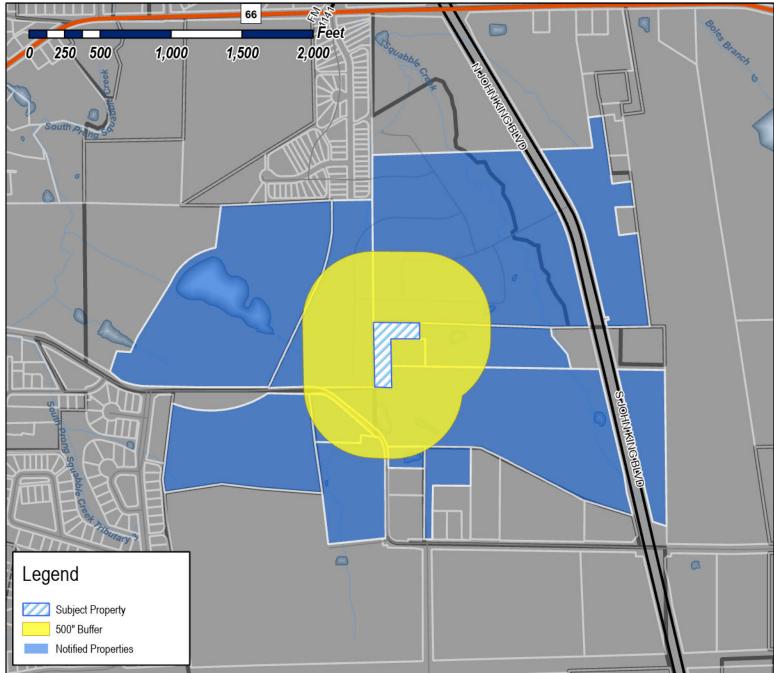
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall 972-771-7745 Ext. 6568



The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2024-053

Case Name: Zoning Change from AG to SF-10

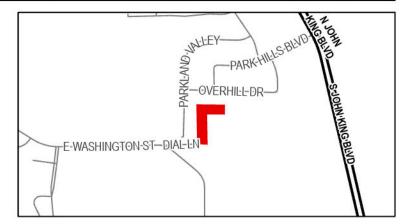
Case Type: Zoning

Zoning: Agricultural (AG) District

Case Address: 205 Dial Street

Date Saved: 11/18/2024

For Questions on this Case Call: (972) 771-7745



CITY OF ROCKWALL ATTN;MARY SMITH 385 S GOLIAD ST ROCKWALL, TX 75087

F & F HOLDINGS I, LTD 11226 INDIAN TRAIL DALLAS, TX 75229 F & F HOLDINGS I, LTD 11226 INDIAN TRAIL DALLAS, TX 75229

DEVENNEY DIANA 2944 PEGASUS DR GARLAND, TX 75044 QUALICO DEVELOPMENTS (US), INC 14400 THE LAKES BLVD BUILDING C, SUITE 200 AUSTIN, TX 78660 BAYS JACOB M 5602 YACHT CLUB DR. ROCKWALL, TX 75032

SOROPTIMIST INT'L OF ROCKWALL PO BOX 372 ROCKWALL, TX 75087 THE CHILDREN'S ADVOCACY CENTER FOR
ROCKWALL CTY

1350 E WASHINGTON ST
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP ATTN:BILL BRICKER 2235 RIDGE RD STE 201 ROCKWALL, TX 75087

FUNK JOSEPH 11226 INDIAN TRAIL DALLAS, TX 75229 ZAPH & ATH PROPERTIES LLC 929 ANNA CADE RD. ROCKWALL, TX 75087 CROSSPOINT COMMUNITY CHURCH P.O. BOX 1015 ROCKWALL, TX 75087

RESIDENT 945 E WASHINGTON ST ROCKWALL, TX 75087 RESIDENT 205 DIAL ROCKWALL, TX 75087 RESIDENT 1350 E WASHINGTON ROCKWALL, TX 75087

RESIDENT 1505 AIRPORT RD ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-053: Zoning Change from AG to SF-10

Hold a public hearing to discuss and consider a request by Amanda Dailey for the approval of a <u>Zoning Change</u> from Agricultural (AG) District to Single-Family 10 (SF-10) District bring a 1.47-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 205 Dial Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday</u>, <u>December 10</u>, <u>2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday</u>, <u>December 16</u>, <u>2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM
se No. Z2024-053: Zoning Change from AG to SF-10
ease place a check mark on the appropriate line below:
I am in favor of the request for the reasons listed below.
I am opposed to the request for the reasons listed below.
Name:
dress:

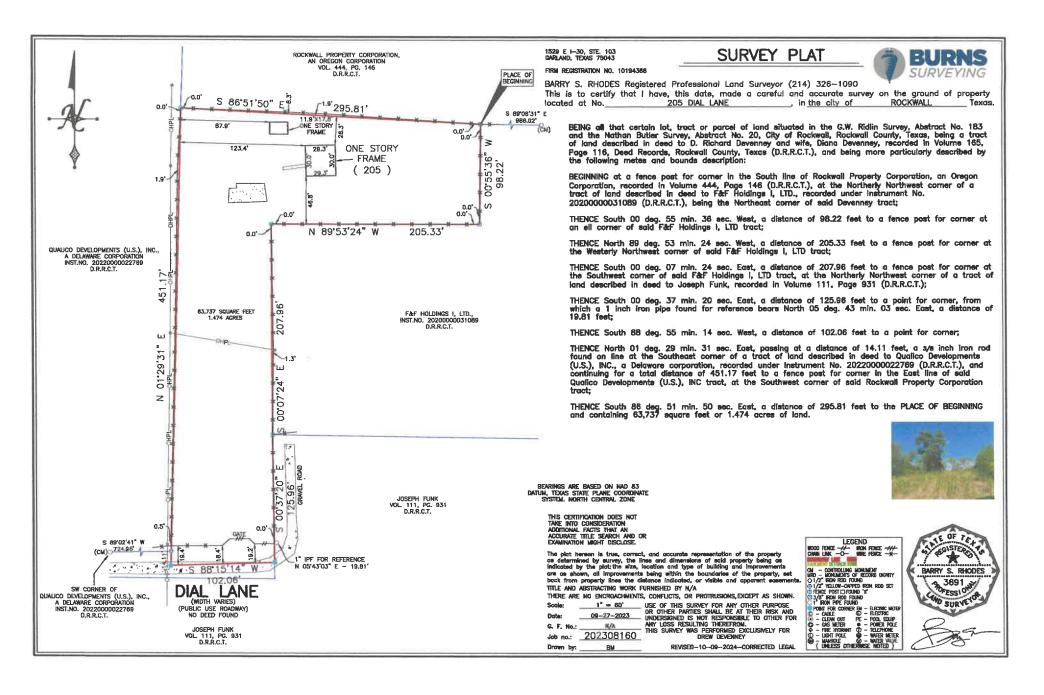
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID. NAME. AND ADDRESS OWN	VERID/% E	EXEMPTIONS	TAXING UNITS		VALUES	2024	2025
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12214		100.00%		GRW	100.00	LAND MARKET	+ 150,000	185,724
	2944 PEGASUS DR			srw	100.00	MARKET VALUE	= 150,000	186,038
A0183 G W REDLINE & ABSTRACT N BUTLER, TRACT 3, ACRES 1.474 TYPE: R DBA:	GARLAND TX 75044			CAD	100.00	SPECIAL USE EXCL	- 0	0
GEO ID: 0183-0000-0003-00-0R PROP USE: A1 MAP ID: 2-3						APPRAISED VALUE	= 150,000	186,038
Ref ID1: AS CODE: A0183 MAPSCO: Ref ID2: R12214 SUBTYPE RES TIF:						HS VALUE LIMIT CIRCUIT BRKR LIMIT	- 0	0 6,038
MKT AREA: N0077-2017 SUB MKT: EFF SIZE:	AGENT:							
LEGAL ACREAGE: 1.4740 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATE:					NET APPRAISED	= 150,000	180,000
GENERAL	REMARKS					SKETCH		
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APPEAL HISTORY	建							
YEAR APPEAL ID TYPE STATUS PROTESTER FINL D 2023 89042 A DECA-CAD DEVENNEY DIANA 2023-		-3		Transfer.				
2022 3780 A DECISION.A DEVENNEY DIANA 2022-	07-07				Pys.	NA WARRANCIA BACANCININA		
2020 23177 A DECA-CAD DEVENNEY DIANA 2020-	06-03					14		
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1997-08-15 WD null/18.								
1982-05-24 OT null/11								
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Property ID: 12214



01 CENTRAL DISTRICT

DISTRICT DESCRIPTION

The Central District is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. Park Place), estate and rural residential (e.g. Rolling Meadows Subdivision), and higher density residential developments (e.g. Evergreen Senior Living). The Central District also incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Rail Road line that bisects the district -and City -- in an east/west direction. The Ralph Hall Municipal Airport and several other large public/school facilities are also located within the boundaries of this district.

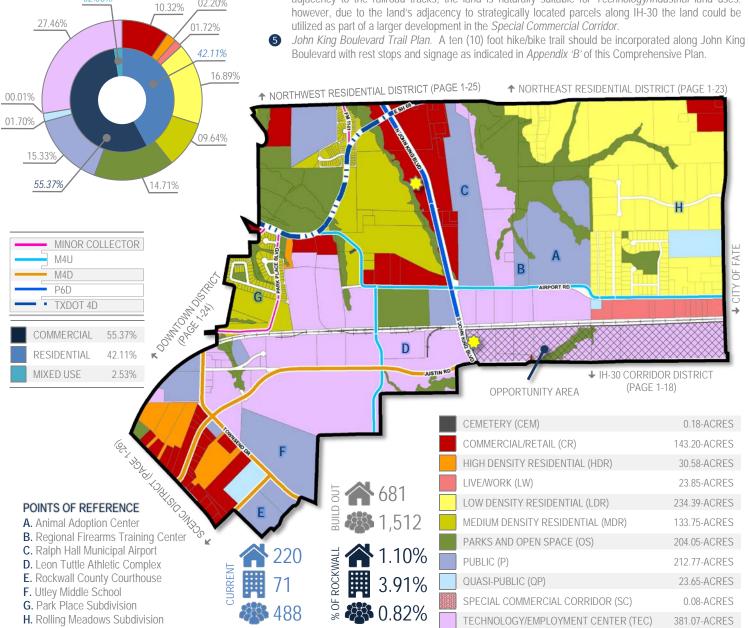
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DISTRICT STRATEGIES

The Central District still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this

- Live/Work. The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- when appropriate -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- Suburban Residential. While many of the larger tracts in this area are not large enough to support a master planned community (which is characteristic of Northern Estates and Northwest Residential Districts), any new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should <u>not</u> be smaller than existing Suburban Residential lots in this district, but should be comparable in size to newer developments (i.e. Ridgecrest Subdivision). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. larger lots or a large landscape buffer) adjacent to the existing subdivision.
- Commercial/Retail Centers. The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. are more characteristic of neighborhood/convenience centers); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. berms, landscaping and large buffers) to transition uses.
- Industrial/Special Commercial Corridor Opportunity Area. The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for Technology/Industrial land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL. TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY 10 (SF-10) DISTRICT FOR A 1.47-ACRE TRACT OF LAND IDENTIFIED AS TRACT 3 OF THE N. BUTLER SURVEY, ABSTRACT NO. 183, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBITS 'A' & 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Amanda Dailey for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to Single-Family 10 (SF-10) District for a 1.47-acre tract of land identified as Tract 3 of the N. Butler Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described and depicted in *Exhibits 'A' & 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Single-Family 10 (SF-10) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 10 (SF-10) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 03.01, *General Residential District Standards*, and Section 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JANUARY, 2025.

ATTEST:	Trace Johannesen, <i>Mayor</i>
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>December 10, 2024</u>	

2nd Reading: January 6, 2025

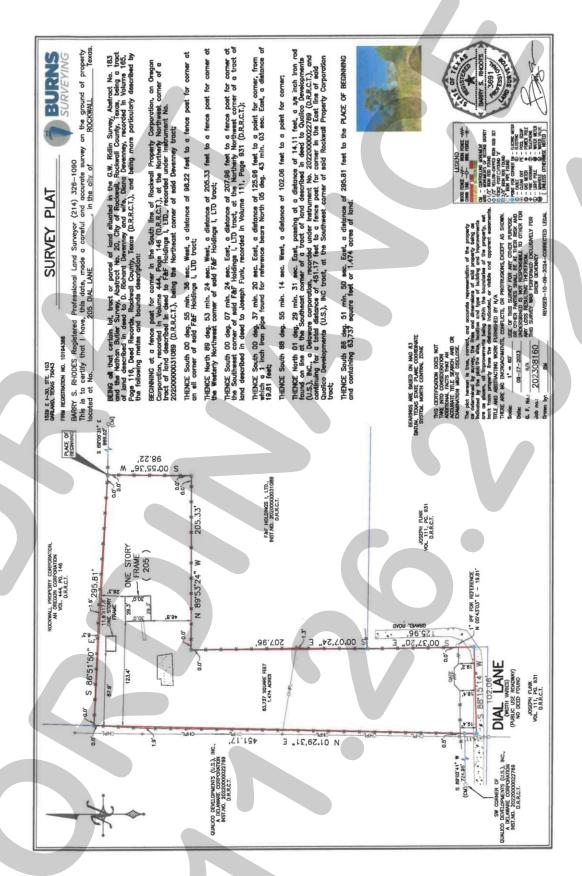
Exhibit 'A': Location Map

Address: 205 Dial Lane

Legal Description: Tract 3 of the N. Butler Survey, Abstract No. 183



Exhibit 'B': Survey





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross; Planner **DATE:** November 26, 2024

SUBJECT: Development Cases for Planned Development District 9 (PD-9)

On June 5, 2023, the City Council directed staff to begin the process of initiating zoning to amend the City's older Planned Development (PD) Districts in order to prepare consolidating ordinances (i.e. writing one [1] ordinance that supersedes all previous ordinances for the Planned Development Districts). The purpose of this effort is to [1] make zoning easier to understand for the City's external customers (i.e. developers, homebuilders, and citizens), and [2] to make the zoning ordinances easier to interpret internally by City staff; however, the proposed consolidating ordinances are <u>not</u> intended to change any of the requirements, concept plans, or development standards stipulated for any Planned Development (PD) District. This was successfully done recently to the Planned Development (PD) Districts for the Chandler's Landing Subdivision (i.e. Planned Development District 3 [PD-3], and Lakeside Village and Turtle Cove Subdivisions (i.e. Planned Development District 2 [PD-2]).

Planned Development District 9 (PD-9) was originally adopted in 1973, and currently consists of 66 pages of regulations within ten (10) regulating ordinances. The following is a timeline and summary of the ~205 development cases associated with this Planned Development District:

<u>RED</u>: EXPIRED ORDINANCES
<u>BLUE</u>: SUPERSEDED ORDINANCES

GREEN: PARTIALLY SUPERSEDED ORDINANCES

ORANGE: ORDINANCES

- JULY 23, 1968: [Case No. Not Found] A final plat was approved for Highland Acres Subdivision.
- OCTOBER 29, 1973 (ORDINANCE NO. 73-44): [Case No. A1973-006] An annexation was approved for a 138.5-acre portion of Planned Development District 9 (PD-9).
- OCTOBER 29, 1973 (ORDINANCE NO. 73-45): [Case No. A1973-007] An annexation was approved for a 53.6-acre portion of Planned Development District 9 (PD-9).
- <u>NOVEMBER 12, 1973 (ORDINANCE NO. 73-49)</u>: The original Planned Development District 9 (PD-9) was established as part of the 1972 Zoning Ordinance [Ordinance No. 72-02], and allowed the following land uses: shopping center uses, garden apartments, town homes, cluster homes, single-family units. [SUPERSEDED BY ORDINANCE NO. 86-55]
- <u>SEPTEMBER 10, 1979 (ORDINANCE NO. 79-16, S-008):</u> A specific use permit (SUP) was approved for a *municipally* owned or controlled facility for the North Texas Municipal Water District.
- <u>JUNE 16, 1986 (ORDINANCE NO. 86-55):</u> [Case No. PZ1986-003-01] This ordinance partially superseded the existing Planned Development District 9 (PD-9), and adopted a concept plan for the 287.403-acre tract of land and provided area requirements for the following uses: office/warehouse, single-family units, and general retail. [PARTIALLY SUPERSEDED BY ORDINANCE NO.'s 87-30, 88-13, 88-20, 95-17, 01-43, and 13-43]
- <u>APRIL 20, 1987</u>: [Case No. PZ1987-23-01-PP] A preliminary plat was approved for Lot 1, Block A, Buffalo Creek Office Park.
- MAY 18, 1987: [Case No. PZ1987-031-FP] A final plat was approved for Lot 1, Block A, Buffalo Creek Office Park.
- MAY 18, 1987: [Case No. PZ1987-032-01] A revised preliminary plat was approved for Planned Development District 9 (PD-9) for the purpose of reducing the required square footage for buildings and landscaped percentage in the office/warehouse area.
- <u>JUNE 1, 1987 (ORDINANCE NO. 87-30)</u>: [Case No. PZ-1987-32-Z] This ordinance amended Ordinance No. 86-55.
 Under this amendment, the development standards for the office/warehouse use were amended. [PARTIALLY SUPERSEDED BY ORDINANCE NO. 95-17]

- MARCH 21,1988: [Case No. PZ1988-006-01] A preliminary plat was approved for Foxchase Subdivision, Phase 1.
- <u>APRIL 4, 1988:</u> [Case No. PZ1988-013-02] A conditional use permit (CUP) was approved to include a *garden center* as a listed use under *general retail* area.
- MAY 2, 1988: [Case No. PZ1988-005-01] A preliminary plat was approved for Lot 1, Block A, Buffalo Creek Shopping Village.
- MAY 2, 1988: [Case No. PZ1988-005-02] A site plan was approved to allow an indoor commercial amusement/recreation center.
- MAY 2, 1988: [Case No. PZ1988-005-03] A conditional use permit (CUP) was approved for an indoor commercial amusement/recreation center.
- <u>MAY 2, 1988 (ORDINANCE NO. 88-13):</u> [Case No. PZ1988-013-01] This ordinance amended Ordinance No. 86-55. Under this amendment, *garden center* was added as a listed use in the *general retail* area.
- MAY 2, 1988: [Case No. PZ1988-013-02] A conditional use permit (CUP) was approved for a garden center.
- <u>MAY 2, 1988:</u> [Case No. PZ1988-013-03] A site plan was approved for a *general retail building* in Buffalo Creek Shopping Center No. 2.
- MAY 2, 1988: [Case No. PZ1988-015-01] A final plat was approved for the Lot 1, Block A, Buffalo Creek Shopping Center No. 2.
- MAY 12, 1988: [Case No. PZ1988-021-01] A final plat was approved for the Lot 1, Block A, Buffalo Creek Shopping Center.
- <u>JUNE 6, 1988 (ORDINANCE NO. 88-20)</u>: [Case No. PZ1988-017-01] This ordinance amended *Ordinance No. 86-55*. Under this amendment, a zoning change from Single-Family 12.5 (SF-12.5) District land uses to Single-Family 10 (SF-10) District land uses was approved for Foxchase Subdivision, Phase 1.
- JUNE 6, 1988: [Case No. PZ1988-017-02] A preliminary plat was approved for Foxchase Subdivision, Phase 1.
- AUGUST 11, 1988: [Case No. PZ1988-042-01] A final plat was approved for Foxchase Subdivision, Phase 1.
- MARCH 6, 1989: [Case No. PZ1989-004-01] A conditional use permit (CUP) was approved for a garden center.
- DECEMBER 20, 1993: [Case No. PZ1993-042-01] A final plat was approved for Foxchase Subdivision, Phase 2.
- MAY 16, 1994: [Case No. PZ1994-008-01] A final plat was approved for Foxchase Subdivision, Phase 3.
- NOVEMBER 7, 1994: [Case No. PZ1994-026-01] A preliminary plat was approved for Foxchase Subdivision, Phase 4.
- DECEMBER 19, 1994: [Case No. PZ1994-035-01] A final plat was approved for Foxchase Subdivision, Phase 4.
- MAY 15, 1995: [Case No. PZ95-019-01] A conditional use permit (CUP) was approved for a self-service car wash.
- MAY 15, 1995: [Case No. PZ95-019-01] A site plan was approved for a self-service car wash.
- MAY 15, 1995: [Case No. PZ95-019-01] A final plat was approved for Lot 1, Block A, Mark Carson Addition.
- MAY 15, 1995: [Case No. PZ95-8-RP] A replat was approved for Lots 1-R & 2-R, Block A, Buffalo Creek Shopping Center No. 2.
- <u>JUNE 5, 1995 (ORDINANCE NO. 95-17):</u> [Case No. PZ-95-8-Z/SPP.RP] This ordinance amended *Ordinance No. 87-30.* Under this amendment, the construction material requirements for Planned Development District 9 (PD-9) were revised.
- <u>JUNE 5, 1995:</u> [Case No. PZ-95-8-Z/SPP.RP] A replat was approved for Lots 2 and 3, Block A of Buffalo Creek Shopping Center.
- JUNE 5, 1995: [Case No. PZ-95-8-Z/SPP.RP] A site plan for was approved for a strip retail center.
- <u>DECEMBER 16, 1996: [Case No. PZ1996-094-01-PP]</u> A final plat was approved for Lots 1 & 2, Block A, Allen Anderson Addition.
- JANUARY 21, 1997: [Case No. PZ1996-89] A replat was approved for Lots 1-RA & 2-RA, Block A, Buffalo Shopping Village No. 2.
- OCTOBER 20, 1997: [Case No. PZ1997-072-01] A preliminary plat was approved for Foxchase Subdivision, Phase 5.
- DECEMBER 9, 1997: [Case No. PZ1997-088-01] A final plat was approved for Foxchase Subdivision, Phase 5.
- JULY 28, 1998: [Case No. PZ1998-044-01] A treescape plan was approved for Foxchase Subdivision, Phase 5.
- FEBRUARY 2, 1999: [Case No. PZ1999-005-01] A preliminary plat was approved for Foxchase Subdivision, Phase 6.
- <u>JUNE 21, 1999:</u> [Case No. PZ1999-39-01-Z] A zoning change from General Retail (GR) District land uses to Commercial (C) District land uses to allow a *major automotive repair facility* was denied for Lots 1-3, Block A, Allen Anderson Addition.
- <u>JUNE 21, 1999:</u> [Case No. PZ1999-39-02-CUP] A conditional use permit (CUP) to allow a *major automotive repair facility* was denied for the Allen Anderson Addition.
- JUNE 21, 1999: [Case No. PZ1999-39-03-FP] A final plat was denied for Lots 1-3, Block A, Allen Anderson Addition.
- <u>JULY 19, 1999:</u> [Case No. PZ1999-50-01-PP] A preliminary plat and concept plan was approved for Lots 1-9, Block A, Horizon Ridge Addition & Lots 1-3, Block B, Horizon Ridge Addition.

- <u>JULY 19, 1999:</u> [Case No. PZ1999-50-01-PP] A preliminary plat was approved for Lots 1-9, Block A, Horizon Ridge Addition & Lots 1-3, Block B, Horizon Ridge Addition.
- OCTOBER 18, 1999: [Case No. PZ1999-061-01] A final plat was approved for Foxchase Subdivision, Phase 6.
- OCTOBER 18, 1999: [Case No. PZ1999-074-01] A final plat was approved for Rainbow Lake Estates.
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-01] A preliminary plat was approved for Lot 1, Block A, Walgreens Rockwall Addition.
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-02] A site plan was approved for a *general retail store* (i.e. Walgreens).
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-03] A landscape plan was approved for a general retail store (i.e. Walgreens)
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-04] A treescape plan was approved for a *general retail store* (i.e. Walgreens).
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-090-01] A final plat was approved for Lots 1 & 2, Block A, Allen Anderson Addition.
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-099-01] A replat was approved for Lot 29-R, Block C, Foxchase Subdivision, Phase 3.
- JANUARY 18, 2000: [Case No. PZ1999-109-01] A site plan was approved for a medical office building.
- FEBRUARY 21, 2000: [Case No. PZ2000-007-01] A final plat was approved for Lot 1, Block A, RDI Retail Addition.
- <u>JULY 17, 2000:</u> [Case No. PZ2000-060-01] A preliminary plat was approved for Lots 1 & 2, Block A, M.R.P. Investments Addition.
- <u>AUGUST 21, 2000:</u> [Case No. PZ2000-063-01] A final plat was approved for Lots 1 & 2, Block A, M.R.P. Investments Addition.
- AUGUST 21, 2000: [Case No. PZ2000-063-02] A site plan was approved for a medical office building.
- AUGUST 21, 2000: [Case No. PZ2000-063-03] A treescape plan was approved for a medical office building.
- AUGUST 21, 2000: [Case No. PZ2000-063-04] A landscape plan was approved for a medical office building.
- JANUARY 16, 2001: [Case No. PZ2000-113-01] A concept plan was approved for a strip retail center.
- <u>JANUARY 16, 2001:</u> [Case No. PZ2000-113-02] A preliminary plat was approved for Lots 1-13, Block A, Horizon Ridge Addition & Lots 1-5, Block B, Horizon Ridge Addition.
- <u>JULY 10, 2001:</u> [Case No. PZ2001-069-01-FP-SP-BE-LP-TP] A final plat, site plan (including building elevations), landscape plan, and treescape plan was approved for Lots 1-9, Block A, Horizon Ridge Addition & Lots 1-3, Block B, Horizon Ridge Addition.
- <u>SEPTEMBER 17, 2001 (ORDINANCE NO. 01-43):</u> [Case No. Z2001-012] This ordinance amended Ordinance No. 86-55.
 Under this amendment, use of a four-pump gasoline convince store was approved as an accessory use to a retail grocery facility. [EXPIRED; NO LONGER APPLICABLE]
- <u>NOVEMBER 19, 2001:</u> [Case No. PZ1999-049-01-FP] A final plat was approved for Lots 1 & 2, Block A, Horizon Ridge Center, Phase 1.
- <u>DECEMBER 16, 2002:</u> [Case No. PZ2002-102-RP/FP] A replat was approved for Lot 9R and 14, Block A, Horizon Ridge Addition.
- MARCH 17, 2003: [Case No. PZ2003-13-RP] A replat was approved for Lots 7R, 8R, & 12, Block A Horizon Ridge Addition.
- MARCH 17, 2003: [Case No. PZ2003-26-RP] A replat was approved for Lot 5R, Block A, Horizon Ridge Addition.
- <u>APRIL 21, 2003:</u> [Case No. PZ-2003-27-SP-BE-LP] A site plan including building elevations and landscape plan was approved for a *financial institution with a drive-through* (i.e. South Trust Bank).
- APRIL 21, 2003: [Case No. PZ-2003-29-RP] A replat was approved for Lot 10R and 13, Block A, Horizon Ridge Addition.
- <u>MAY 5, 2003:</u> [Case No. PZ2003-26-SP-BE-LP] A site plan including building elevations and landscape plan was approved for a *financial institution with a drive-through* (i.e. Bank of America).
- MAY 19, 2003: [Case No. PZ2003-035-01] A replat was approved for Lots 10R, 11R, 13, Block A, Horizon Ridge Addition.
- MAY 19, 2003: [Case No. PZ2003-035-02] A site plan was approved for a financial institution with a drive-through.
- MAY 19, 2003: [Case No. PZ2003-035-03] Building elevations were approved for a financial institution with a drive-through.
- MAY 19, 2003: [Case No. PZ2003-035-04] A landscape plan was approved for a financial institution with a drive-through.
- JUNE 16, 2003: [Case No. P2003-009] A replat was approved for Lot 13R, Block A, Horizon Ridge Addition.
- <u>JULY 7, 2003:</u> [Case No. Z2003-004] A conditional use permit (CUP) was approved to allow combustible structural construction materials.

- AUGUST 2, 2003: [Case No. SP2003-005] A site plan was approved for a medical office building.
- OCTOBER 6, 2003 (ORDINANCE NO. 03-39): [Case No. A2003-001] An annexation was approved for Rainbow Lakes Subdivision and Foxchase Subdivision, Phase 7.
- OCTOBER 20, 2003: [Case No. SP2003-012] A site plan was approved for an office building.
- NOVEMBER 17, 2003: [Case No. P2003-025] A replat was approved for Lot 1, Block 1, Horizon Village Addition.
- <u>JANUARY 5, 2004 (ORDINANCE NO. 04-02)</u>: [Case No. Z2003-014] A zoning change from Agricultural (AG) District to Single-Family 10 (SF-10) District was approved for Rainbow Lakes Subdivision and Foxchase Subdivision, Phase 7.
- JANUARY 20, 2024: [Case No. P2003-035] A replat was approved for Lots 10R1, 10R2, & 10R3, Block A, Horizon Ridge Addition.
- JANUARY 20, 2004; [Case No. SP2003-022] A site plan was approved for an office building.
- JULY 6, 2004: [Case No. P2004-022] A replat was approved for Lots 6 & 7, Block B, Horizon Ridge Addition.
- SEPTEMBER 20, 2004: [Case No. P2004-043] A replat was approved for Lot 8R, Block A, Horizon Ridge Addition.
- OCTOBER 18, 2004: [Case No. P2004-018] A final plat for was approved for Foxchase Subdivision, Phase 7.
- NOVEMBER 15, 2004: [Case No. P2004-053] A replat was approved for Lots 4 & 5, Block B, Horizon Ridge Addition.
- NOVEMBER 15, 2004: [Case No. P2004-054] A replat was approved for Lots 17, 18, 19, Block A, Horizon Ridge Addition.
- <u>NOVEMBER 15, 2004:</u> [Case No. SP2004-023] A site plan was approved for a medical office building (i.e. Rockwall Medical Center).
- JULY 6, 2004: [Case No. SP2004-009] A site plan was approved for office buildings.
- JANUARY 18, 2005: [Case No. P2004-069] A replat was approved for Lot 10, Block B, Horizon Ridge Addition.
- <u>FEBRUARY 7, 2005:</u> [Case No. SP2004-031] A site plan was approved for a medical office building (i.e. Open Imaging of Rockwall).
- FEBRUARY 21, 2005: [Case No. P2005-008] A replat was approved for Lots 15 & 16, Block A, Horizon Ridge Addition.
- FEBRUARY 21, 2005: [Case No. SP2005-003] A site plan was approved for a medical office building.
- <u>MARCH 21, 2005:</u> [Case No. SP2005-006] A site plan was approved for a medical office building (i.e. Eye Care Management of Rockwall).
- MAY 2, 2005: [Case No. SP2005-009] A site plan was approved for the expansion of a medical office building (i.e. Rockwall Medical Center)
- <u>MAY 2, 2005</u>: [Case No. Z2005-013] A Planned Development amendment to Planned Development District 9 (PD-09) was denied to add a permitted use for a Congregate Care Facility/Elderly Housing.
- MAY 2, 2005: [Case No. P2005-016] A replat was approved for Lot 11, Block B, Horizon Ridge Addition.
- <u>SEPTEMBER 27, 2005:</u> [Case No. SP2005-018] A site plan was approved for a restaurant with a drive-through (i.e Panda Express).
- OCTOBER 17, 2005 (ORDINANCE NO. 05-55, S-024): [Case No. Z2005-035] A specific use permit (SUP) was approved for a restaurant with a drive-through (i.e. Panda Express).
- DECEMBER 5, 2005: [Case No. P2005-042] A final plat was approved for Lot 1, Block A, Horizon Ridge Center, Phase I.
- JANUARY 17, 2006: [Case No. P2005-048] A replat was approved for Lot 4, Block A, Horizon Ridge Addition.
- MARCH 6, 2006: [Case No. P2006-005] An amended preliminary plat was approved for Horizon Ridge Center North.
- MARCH 6, 2006: [Case No. P2006-006] An amended preliminary plat was approved for Horizon Ridge Center South.
- APRIL 11, 2006: [Case No. SP2006-008] A site plan was approved for an office building.
- <u>JULY 11, 2006:</u> [Case No. SP2006-017] A site plan was approved for a *medical office building* (i.e. Rockwall Oral and Facial).
- <u>SEPTEMBER 5, 2006:</u> [Case No. P2006-035] A final plat was approved for Lots 1-14, Block A, Horizon Ridge Addition.
- <u>NOVEMBER 28,2006:</u> [Case No. SP2006-035] A site plan was approved for a Congregate Care Facility/Elderly Housing Facility (i.e. Lakeshore Assisted Living).
- FEBRUARY 5, 2007: [Case No. P2007-001] A replat was approved for Lot 21, Block A, Horizon Ridge Addition.
- SEPTEMBER 9, 2007: [Case No. SP2007-022] A site plan was approved for a office buildings.
- OCTOBER 9, 2007: [Case No. SP2007-021] A site plan was approved for medical office buildings (i.e. Horizon Ridge Medical Park).
- OCTOBER 15, 2007: [Case No. P2007-031] A replat was approved for Lots 1 & 2, Block A, Allen Anderson Addition.
- <u>JANUARY 22, 2008:</u> [Case No. SP2007-029] A site plan was approved for a *medical office building* (i.e. Presbyterian Hospital).

- <u>JANUARY 22, 2008:</u> [Case No. P2008-002] A replat was approved for Lot 15, Block A, Presbyterian Hospital of Rockwall Addition.
- JANURARY 29, 2008: [Case No. SP2007-025] A site plan was approved for a financial institution with a drive-through (i.e. Chase Bank).
- FEBRAURY 12, 2008: [Case No. SP2008-001] A site plan was approved for a medical office building.
- <u>FEBRUARY 12, 2008:</u> [Case No. SP2008-002] A site plan was approved for a medical office building (i.e. Lake Pointe Orthopedics).
- FEBRUARY 18, 2008: [Case No. P2008-004] A final plat was approved for Lot 7, Block C, Horizon Ridge Medical Park.
- MARCH 12, 2008: [Case No. SP2008-005] A site plan was approved for a medical office building.
- MARCH 3, 2008: [Case No. P2008-007] A replat was approved for Lots 16 and 17, Block A, Presbyterian Hospital of Rockwall Addition.
- APRIL 7, 2007: [Case No. P2008-012] A replat was approved for Lot 2, Block A, Mark Carson Addition.
- <u>APRIL 7, 2008:</u> [Case No. P2008-010] A replat was approved for Lot 18, Block A, Presbyterian Hospital of Rockwall Addition.
- APRIL 21, 2008: [Case No. P2008-013] A replat was approved for Lot 22, Block A, Horizon Ridge Addition.
- <u>JUNE 16, 2008:</u> [Case No. P2008-017] A replat was approved for Lots 16, 17, & 19, Block A, Presbyterian Hospital of Rockwall.
- JULY 21, 2008: [Case No. P2008-022] A replat was approved for Lot 8, Block C, Horizon Ridge Medical Park.
- <u>JANUARY 13, 2009:</u> [Case No. SP2008-016] A site plan was approved for a *medical office* complex south of the main entrance of Presbyterian Hospital of Rockwall.
- AUGUST 17, 2009: [Case No. P2009-017] A replat was approved for Lot 20, Block A, Presbyterian Hospital of Rockwall.
- NOVEMBER 24, 2009: [Case No. MIS2009-009] A tree preservation plan was approved for 832 Trumpeter Way.
- JANUARY 10, 2010: [Case No. SP2009-010] A site plan was denied for a retail store with gasoline sales (i.e. 7-Eleven).
- <u>JANUARY 15, 2010:</u> [Case No. Z2009-023] The applicant withdrew the specific use permit (SUP) request for a *retail store* with gasoline sales (i.e. 7-Eleven).
- MARCH 9, 2010: [Case No. SP2010-002] A site plan was approved for a medical office building.
- MARCH 30, 2010: [Case No. SP2010-003] A site plan was approved for a retail store with gasoline sales (i.e. 7-Eleven).
- <u>APRIL 19, 2010 (ORDINANCE NO. 10-09):</u> [Case No. Z2010-004] A specific use permit (SUP) was approved for a *retail* store with gasoline sales (i.e. 7-Eleven).
- <u>APRIL 19, 2010:</u> [Case No. Z2010-006] A specific use permit (SUP) was denied for a *minor auto repair shop* (i.e. Christian Brothers).
- <u>JULY 19, 2010:</u> [Case No. P2010-012] A final plat was approved for Lots 1 & 2, Block B, Horizon Ridge Center (i.e. 7-Eleven).
- OCTOBER 18, 2010 (ORDINANCE NO. 10-29): [Case No. Z2010-015] A specific use permit (SUP) was approved for outside storage at a retail store with gasoline sales (i.e. 7-Eleven).
- <u>FEBRUARY 8, 2011:</u> [Case No. SP2011-002] A site plan was approved for gasoline sales at Kroger but because the Planned Development District 9 (PD-09) amendment (Case No. Z2011-002) was denied on February 21, 2011, the site plan approval is considered invalid.
- <u>FEBRUARY 21, 2011:</u> [Case No. Z2011-002] An amendment to Planned Development District 9 (PD-09) was denied for the use of a proposed fuel center in conjunction with the existing *general retail store* (i.e. Kroger).
- <u>JULY 5, 2011 (ORDINANCE NO. 11-31):</u> [Case No. Z2011-012] This ordinance amended Ordinance No. 86-55. Under this amendment, use of a proposed fuel center in conjunction with the existing *general retail store* (*i.e. Kroger*).
- <u>JULY 12, 2011:</u> [Case No. SP2011-006] An amended site plan was approved for a Congregate Care Facility/Elderly Housing Facility (i.e. Broadmore Medical Lodge).
- NOVEMBER 7, 2011: [Case No. P2011-018] A final plat was approved for Lot 6, Block C, of Horizon Ridge Medical Park.
- NOVMEMBER 8, 2011: [Case No. SP2011-013] A site plan was approved for a general retail store (i.e. Autozone).
- JANUARY 3, 2012: [Case No. P2011-021] A replat was approved for lot 23, Block A, Horizon Ridge Addition but was never filed.
- <u>FEBRUARY 20, 2012:</u> [Case No. P2012-003] A preliminary plat was approved for Lots 1 & 2, Block A, Ridge/Summer Lee Addition.
- <u>FEBRUARY 28, 2012:</u> [Case No. SP2012-001] A site plan was approved for a *general retail store* (i.e. ALDI) on Lot 1, Block A, Ridge/Summer Lee Addition.
- APRIL 2, 2012: [Case No. P2012-008] A final plat was approved for Lots 1 & 2, Block A, Ridge/Summer Lee Addition.

- <u>NOVEMBER 19, 2012 (ORDINANCE NO. 12-28)</u>: [Case No. A2012-002] An annexation was approved for Lot 1, Block B, Foxchase Subdivision, Phase 7.
- DECEMBER 17, 2012: [Case No. SP2012-027] A site plan was approved for a medical office building.
- <u>JULY 9, 2013:</u> [Case No. SP2013-012] A site plan was approved for a restaurant with a drive-through (i.e. Dunkin Donuts).
- AUGUST 14, 2013: [Case No. SP2013-021] An amended site plan was approved for a general retail store (i.e. Kroger).
- AUGUST 19, 2013: [Case No. P2013-025] A replat was approved for Lots 23, 24, & 25, Block A, Horizon Ridge Addition.
- AUGUST 19, 2013: [Case No. SP2013-019] A site plan was approved for two (2) office buildings.
- <u>AUGUST 19, 2013:</u> [Case No. Z2013-017] A specific use permit (SUP)was approved for a restaurant with a drive-through (i.e. Dunkin Donuts).
- <u>NOVEMBER 4, 2013 (ORDINANCE NO. 13-43):</u> [Case No. Z2013-026] This ordinance amended *Ordinance No. 86-55* and approved a zoning change from Single-Family 22.5 (SF-22.5) District land uses to a Single-Family 12.5 (SF-12.5) District land uses for Shady Dale Lane Subdivision.
- <u>NOVEMBER 4, 2013:</u> [Case No. P2013-036] A final plat was approved for Lot 1, Block A, NEC Ridge/Summer Lee Addition.
- <u>NOVEMBER 18, 2013:</u> [Case No. P2013-038] A replat was approved for Lots 26 and 27, Block A, Horizon Ridge Addition.
- JANUARY 14, 2014: [Case No. SP2013-031] A site plan was approved for a medical office building.
- JANUARY 21, 2014: [Case No. P2013-042] A final plat was approved for Lots 1-14, Block 1, Shady Dale Estates.
- <u>AUGUST 4, 2014:</u> [Case No. P2014-015] A final plat was approved for Lot 1, Block A, Eye Care and Laser Management
 of Rockwall.
- AUGUST 4, 2014: [Case No. SP2014-010] A site plan was approved for a medical office building.
- <u>SEPTEMBER 2, 2014:</u> [Case No. P2014-019] A replat was approved for Lot 21, Block A, Presbyterian Hospital of Rockwall Addition.
- <u>NOVEMBER 21, 2014:</u> [Case No. SP2014-030] An amended site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall).
- March 16, 2015: [Case No. SP2015-003] A site plan was approved for a medical office building.
- MAY 12, 2015; [Case No. SP2015-009] A site plan was approved for a medical office building.
- MAY 12, 2015: [Case No. SP2015-010] A site plan was approved for a medical office building.
- JUNE 26, 2015: [Case No. P2015-026] A minor plat was approved for Lots 1-3, Block A, Temunovic Addition.
- JULY 6, 2015: [Case No. P2015-027] A replat was approved for Lot 2, Block A, Ridge/Summer Lee Addition.
- AUGUST 3, 2015: [Case No. P2015-032] A final plat was approved for Lots 4-6, Block A, Temunovic Addition.
- MAY 12, 2016: [Case No. SP2016-011] An amended site plan was approved for a general retail store (i.e. Walgreens).
- <u>JUNE 6, 2016 (ORDINANCE NO. 16-38, S-153):</u> [Case No. Z2016-012] A specific use permit (SUP) was approved for gasoline sales at Kroger.
- OCTOBER 11, 2016: [Case No. SP2016-020] A site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall).
- NOVEMBER 21, 2016: [Case No. P2016-049] A replat was approved for Lot 22, Block A, Presbyterian Hospital.
- <u>JUNE 13, 2017:</u> [Case No. SP2017-017] An amended site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall).
- JULY 25, 2017: [Case No. SP2017-023] A site plan was approved for a medical office building (i.e. Fisher and Zitterich).
- AUGUST 7, 2017: [Case No. P2017-036] A replat was approved for Lot 23, Block A, Presbyterian Hospital.
- OCTOBER 2, 2017 (ORDINANCE NO. 17-52, S-175): [Case No. Z2017-036] A specific use permit (SUP) was approved
 for exceeding the maximum height of a medical office building (i.e. Fisher and Zitterich) within the Scenic Overlay (SOV)
 District at 1310 Summer Lee Drive.
- <u>FEBRUARY 19, 2018</u>: [Case No. SP2018-001] A site plan was approved for a retail store with gasoline sales (i.e. 7-eleven).
- OCTOBER 1, 2018 (ORDINANCE NO.18-44, S-196): [Case No. Z2018-039] A specific use permit (SUP) was approved for a retail store with gasoline sales (i.e. 7-eleven).
- <u>NOVEMBER 13, 2018:</u> [Case No. SP2018-031] A site plan was approved for a retail store with gasoline sales (i.e. 7-eleven).
- FEBRUARY 4, 2019: [Case No. P2019-001] A replat was approved for Lots 4 & 5, Block B, Horizon Ridge Addition.
- FEBRAURY 4, 2019: [Case No. P2019-004] A replat was approved for Lot 7, Block A, Temunovic Addition.

- <u>FEBRUARY 19, 2019:</u> [Case No. P2019-001] A replat was approved for Lots 3 & 4, Block B, Horizon Ridge Center Addition.
- <u>APRIL 30, 2019:</u> [Case No. SP2019-011] An amended site plan was approved for a medical office building (i.e. Fisher and Zitterich).
- <u>SEPTEMBER 16, 2019:</u> [Case No. Z2019-019] A specific use permit (SUP) was withdrawn for a *freestanding commercial* antenna for a *government facility* (i.e. Fire Station No. 2).
- <u>JANUARY 14, 2020:</u> [Case No. SP2019-051] A site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall)
- APRIL 20, 2020: [Case No. P2020-015] A replat was approved for Lot 24, Block A, Presbyterian Hospital.
- <u>APRIL 28, 2020:</u> [Case No. SP2020-004] A site plan was approved for a *strip retail center* (i.e. Crisp and Green & MOD Pizza).
- JULY 14, 2020: [Case No. SP2020-010] A site plan was approved for a medical office building (i.e. Ellis Medical Center).
- <u>AUGUST 3, 2020 (ORDINANCE NO. 20-26, S-228)</u>: [Case No. Z2020-023] A specific use permit (SUP) was approved for residential infill in an established subdivision for 54 Shadydale Lane.
- OCTOBER 2, 2020: [Case No. SP2020-024] A site plan for 3140 Horizon Road was approved.
- OCTOBER 27, 2020: [Case No. MIS2020-013] A special exception to the material standards for residential fences was approved for 54 Shadydale Lane.
- <u>NOVEMBER 24, 2020:</u> [Case No. SP2020-030] An amended site plan was approved for a hospital (i.e. The Presbyterian Hospital CUP Building).
- <u>JANUARY 4, 2021 (ORDINANCE NO. 21-05, S-241):</u> [Case No. Z2020-051] A specific use permit (SUP) was approved for Residential Infill within Shady Dale Lane Subdivision.
- JANUARY 4, 2021: [Case No. P2020-051] A final plat was approved for Lot 1, Block A, SDI Rockwall Addition.
- <u>FEBRUARY 23, 2021:</u> [Case No. MIS2021-003] A special exception to the material standards for residential fences was approved for 54 Shadydale Lane.
- OCTOBER 4, 2021: [Case No. Z2021-037] A specific use permit (SUP) was approved for an accessory structure
 exceeding the maximum square footage for 54 Shadydale Lane.
- MARCH 15, 2022: [Case No. MIS2022-004] A special exception to the material standards for residential fences was approved for 54 Shadydale Lane.
- MAY 3, 2021; [Case No. P2021-017] A replat was approved for Lot 25. Block A. Presbyterian Hospital.
- <u>JANUARY 11, 2022:</u> [Case No. SP2021-035] A site plan was approved for a financial institution with a drive through (i.e. Frost Bank).
- MARCH 21, 2022: [Case No. P2022-007] A replat was approved for Lot 3, Block A, Allen Anderson Addition.
- <u>APRIL 12, 2022:</u> [Case No. SP2022-009] A site plan was approved for a medical office building (i.e. Capps, Morgan, Hodges).
- <u>DECEMBER 5, 2022:</u> [Case No. P2022-057] A replat for Lot 12, Block B, Horizon Ridge Addition was approved to establish the easements for the construction of a medical office (i.e. Capps, Morgan, Hodges).
- OCTOBER 29, 2024: [Case No. SP2024-035] An amended site plan was approved for a general retail store (i.e. Kroger).



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross; Planner **DATE:** December 10, 2024

SUBJECT: Development Cases for Planned Development District 9 (PD-9)

Planned Development District 9 (PD-9) was originally adopted in 1973, and currently consists of 66 pages of regulations within 10 regulating ordinances. The following is a timeline and summary of the ~205 development cases associated with this Planned Development District:

<u>RED</u>: EXPIRED ORDINANCES
<u>BLUE</u>: SUPERSEDED ORDINANCES

GREEN: PARTIALLY SUPERSEDED ORDINANCES

ORANGE: ORDINANCES

- JULY 23, 1968: [Case No. Not Found] A final plat was approved for Highland Acres Subdivision.
- OCTOBER 29, 1973 (ORDINANCE NO. 73-44): [Case No. A1973-006] An annexation was approved for a 138.5-acre portion of Planned Development District 9 (PD-9).
- OCTOBER 29, 1973 (ORDINANCE NO. 73-45): [Case No. A1973-007] An annexation was approved for a 53.6-acre portion of Planned Development District 9 (PD-9).
- <u>NOVEMBER 12, 1973 (ORDINANCE NO. 73-49)</u>: The original Planned Development District 9 (PD-9) was established as part of the 1972 Zoning Ordinance [Ordinance No. 72-02], and allowed the following land uses: shopping center uses, garden apartments, town homes, cluster homes, single-family units. [SUPERSEDED BY ORDINANCE NO. 86-55]
- <u>SEPTEMBER 10, 1979 (ORDINANCE NO. 79-16, S-008)</u>: A specific use permit (SUP) was approved for a municipally owned or controlled facility for the North Texas Municipal Water District.
- <u>JUNE 16, 1986 (ORDINANCE NO. 86-55):</u> [Case No. PZ1986-003-01] This ordinance partially superseded the existing Planned Development District 9 (PD-9), and adopted a concept plan for the 287.403-acre tract of land and provided area requirements for the following uses: office/warehouse, single-family units, and general retail. [PARTIALLY SUPERSEDED BY ORDINANCE NO.'s 87-30, 88-13, 88-20, 95-17, 01-43, and 13-43]
- <u>APRIL 20, 1987</u>: [Case No. PZ1987-23-01-PP] A preliminary plat was approved for Lot 1, Block A, Buffalo Creek Office Park.
- MAY 18, 1987: [Case No. PZ1987-031-FP] A final plat was approved for Lot 1, Block A, Buffalo Creek Office Park.
- <u>MAY 18, 1987:</u> [Case No. PZ1987-032-01] A revised preliminary plat was approved for Planned Development District 9
 (PD-9) for the purpose of reducing the required square footage for buildings and landscaped percentage in the office/warehouse area.
- <u>JUNE 1, 1987 (ORDINANCE NO. 87-30)</u>: [Case No. PZ-1987-32-Z] This ordinance amended Ordinance No. 86-55.
 Under this amendment, the development standards for the office/warehouse use were amended. [PARTIALLY SUPERSEDED BY ORDINANCE NO. 95-17]
- MARCH 21,1988: [Case No. PZ1988-006-01] A preliminary plat was approved for Foxchase Subdivision, Phase 1.
- <u>APRIL 4, 1988:</u> [Case No. PZ1988-013-02] A conditional use permit (CUP) was approved to include a garden center as a listed use under general retail area.
- MAY 2, 1988: [Case No. PZ1988-005-01] A preliminary plat was approved for Lot 1, Block A, Buffalo Creek Shopping Village.
- MAY 2, 1988: [Case No. PZ1988-005-02] A site plan was approved to allow an indoor commercial amusement/recreation center.
- MAY 2, 1988: [Case No. PZ1988-005-03] A conditional use permit (CUP) was approved for an indoor commercial amusement/recreation center.

- <u>MAY 2, 1988 (ORDINANCE NO. 88-13):</u> [Case No. PZ1988-013-01] This ordinance amended Ordinance No. 86-55. Under this amendment, garden center was added as a listed use in the general retail area.
- MAY 2, 1988: [Case No. PZ1988-013-02] A conditional use permit (CUP) was approved for a garden center.
- MAY 2, 1988: [Case No. PZ1988-013-03] A site plan was approved for a general retail building in Buffalo Creek Shopping Center No. 2.
- MAY 2, 1988: [Case No. PZ1988-015-01] A final plat was approved for the Lot 1, Block A, Buffalo Creek Shopping Center No. 2.
- MAY 12, 1988: [Case No. PZ1988-021-01] A final plat was approved for the Lot 1, Block A, Buffalo Creek Shopping Center.
- <u>JUNE 6, 1988 (ORDINANCE NO. 88-20):</u> [Case No. PZ1988-017-01] This ordinance amended *Ordinance No.* 86-55. Under this amendment, a zoning change from Single-Family 12.5 (SF-12.5) District land uses to Single-Family 10 (SF-10) District land uses was approved for Foxchase Subdivision, Phase 1.
- JUNE 6, 1988: [Case No. PZ1988-017-02] A preliminary plat was approved for Foxchase Subdivision, Phase 1.
- AUGUST 11, 1988: [Case No. PZ1988-042-01] A final plat was approved for Foxchase Subdivision, Phase 1.
- MARCH 6, 1989: [Case No. PZ1989-004-01] A conditional use permit (CUP) was approved for a garden center.
- <u>DECEMBER 20, 1993:</u> [Case No. PZ1993-042-01] A final plat was approved for Foxchase Subdivision, Phase 2.
- MAY 16, 1994: [Case No. PZ1994-008-01] A final plat was approved for Foxchase Subdivision, Phase 3.
- NOVEMBER 7, 1994: [Case No. PZ1994-026-01] A preliminary plat was approved for Foxchase Subdivision, Phase 4.
- <u>DECEMBER 19, 1994:</u> [Case No. PZ1994-035-01] A final plat was approved for Foxchase Subdivision, Phase 4.
- MAY 15, 1995: [Case No. PZ95-019-01] A conditional use permit (CUP) was approved for a self-service car wash.
- MAY 15, 1995: [Case No. PZ95-019-01] A site plan was approved for a self-service car wash.
- MAY 15, 1995: [Case No. PZ95-019-01] A final plat was approved for Lot 1, Block A, Mark Carson Addition.
- MAY 15, 1995: [Case No. PZ95-8-RP] A replat was approved for Lots 1-R & 2-R, Block A, Buffalo Creek Shopping Center No. 2.
- <u>JUNE 5, 1995 (ORDINANCE NO. 95-17):</u> [Case No. PZ-95-8-Z/SPP.RP] This ordinance amended *Ordinance No.* 87-30. Under this amendment, the construction material requirements for Planned Development District 9 (PD-9) were revised.
- <u>JUNE 5, 1995:</u> [Case No. PZ-95-8-Z/SPP.RP] A replat was approved for Lots 2 and 3, Block A of Buffalo Creek Shopping Center.
- JUNE 5, 1995: [Case No. PZ-95-8-Z/SPP.RP] A site plan for was approved for a strip retail center.
- <u>DECEMBER 16, 1996: [Case No. PZ1996-094-01-PP]</u> A final plat was approved for Lots 1 & 2, Block A, Allen Anderson Addition.
- JANUARY 21, 1997: [Case No. PZ1996-89] A replat was approved for Lots 1-RA & 2-RA, Block A, Buffalo Shopping Village No. 2.
- OCTOBER 20, 1997: [Case No. PZ1997-072-01] A preliminary plat was approved for Foxchase Subdivision, Phase 5.
- DECEMBER 9, 1997: [Case No. PZ1997-088-01] A final plat was approved for Foxchase Subdivision, Phase 5.
- JULY 28, 1998: [Case No. PZ1998-044-01] A treescape plan was approved for Foxchase Subdivision, Phase 5.
- FEBRUARY 2, 1999: [Case No. PZ1999-005-01] A preliminary plat was approved for Foxchase Subdivision, Phase 6.
- <u>JUNE 21, 1999:</u> [Case No. PZ1999-39-01-Z] A zoning change from General Retail (GR) District land uses to Commercial (C) District land uses to allow a *major automotive repair facility* was denied for Lots 1-3, Block A, Allen Anderson Addition.
- <u>JUNE 21, 1999:</u> [Case No. PZ1999-39-02-CUP] A conditional use permit (CUP) to allow a *major automotive repair facility* was denied for the Allen Anderson Addition.
- JUNE 21, 1999: [Case No. PZ1999-39-03-FP] A final plat was denied for Lots 1-3, Block A, Allen Anderson Addition.
- <u>JULY 19, 1999:</u> [Case No. PZ1999-50-01-PP] A preliminary plat and concept plan was approved for Lots 1-9, Block A, Horizon Ridge Addition & Lots 1-3, Block B, Horizon Ridge Addition.
- <u>JULY 19, 1999:</u> [Case No. PZ1999-50-01-PP] A preliminary plat was approved for Lots 1-9, Block A, Horizon Ridge Addition & Lots 1-3, Block B, Horizon Ridge Addition.
- OCTOBER 18, 1999: [Case No. PZ1999-061-01] A final plat was approved for Foxchase Subdivision, Phase 6.
- OCTOBER 18, 1999: [Case No. PZ1999-074-01] A final plat was approved for Rainbow Lake Estates.
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-01] A preliminary plat was approved for Lot 1, Block A, Walgreens Rockwall Addition.
- DECEMBER 20, 1999: [Case No. PZ1999-082-02] A site plan was approved for a general retail store (i.e. Walgreens).
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-03] A landscape plan was approved for a *general retail store* (i.e. Walgreens)

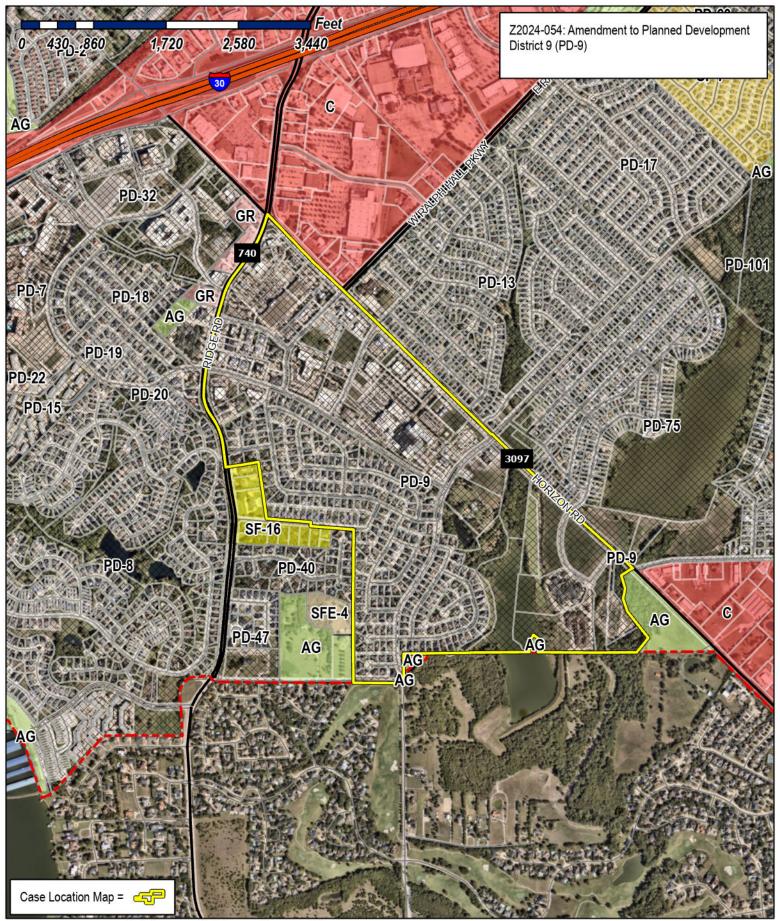
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-082-04] A treescape plan was approved for a general retail store (i.e. Walgreens).
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-090-01] A final plat was approved for Lots 1 & 2, Block A, Allen Anderson Addition
- <u>DECEMBER 20, 1999:</u> [Case No. PZ1999-099-01] A replat was approved for Lot 29-R, Block C, Foxchase Subdivision, Phase 3.
- JANUARY 18, 2000: [Case No. PZ1999-109-01] A site plan was approved for a medical office building.
- FEBRUARY 21, 2000: [Case No. PZ2000-007-01] A final plat was approved for Lot 1, Block A, RDI Retail Addition.
- <u>JULY 17, 2000:</u> [Case No. PZ2000-060-01] A preliminary plat was approved for Lots 1 & 2, Block A, M.R.P. Investments Addition.
- <u>AUGUST 21, 2000:</u> [Case No. PZ2000-063-01] A final plat was approved for Lots 1 & 2, Block A, M.R.P. Investments
 Addition
- AUGUST 21, 2000: [Case No. PZ2000-063-02] A site plan was approved for a medical office building.
- AUGUST 21, 2000: [Case No. PZ2000-063-03] A treescape plan was approved for a medical office building.
- AUGUST 21, 2000: [Case No. PZ2000-063-04] A landscape plan was approved for a medical office building.
- JANUARY 16, 2001: [Case No. PZ2000-113-01] A concept plan was approved for a strip retail center.
- <u>JANUARY 16, 2001:</u> [Case No. PZ2000-113-02] A preliminary plat was approved for Lots 1-13, Block A, Horizon Ridge Addition & Lots 1-5, Block B, Horizon Ridge Addition.
- <u>JULY 10. 2001:</u> [Case No. PZ2001-069-01-FP-SP-BE-LP-TP] A final plat, site plan (including building elevations), landscape plan, and treescape plan was approved for Lots 1-9, Block A, Horizon Ridge Addition & Lots 1-3, Block B, Horizon Ridge Addition.
- <u>SEPTEMBER 17, 2001 (ORDINANCE NO. 01-43)</u>: [Case No. Z2001-012] This ordinance amended Ordinance No. 86-55.
 Under this amendment, use of a four-pump gasoline convince store was approved as an accessory use to a retail grocery facility. [EXPIRED; NO LONGER APPLICABLE]
- <u>NOVEMBER 19, 2001:</u> [Case No. PZ1999-049-01-FP] A final plat was approved for Lots 1 & 2, Block A, Horizon Ridge Center, Phase 1.
- <u>DECEMBER 16, 2002:</u> [Case No. PZ2002-102-RP/FP] A replat was approved for Lot 9R and 14, Block A, Horizon Ridge Addition.
- MARCH 17, 2003: [Case No. PZ2003-13-RP] A replat was approved for Lots 7R, 8R, & 12, Block A Horizon Ridge Addition.
- MARCH 17, 2003: [Case No. PZ2003-26-RP] A replat was approved for Lot 5R, Block A, Horizon Ridge Addition.
- <u>APRIL 21, 2003:</u> [Case No. PZ-2003-27-SP-BE-LP] A site plan including building elevations and landscape plan was approved for a *financial institution with a drive-through* (i.e. South Trust Bank).
- APRIL 21, 2003: [Case No. PZ-2003-29-RP] A replat was approved for Lot 10R and 13, Block A, Horizon Ridge Addition.
- <u>MAY 5, 2003:</u> [Case No. PZ2003-26-SP-BE-LP] A site plan including building elevations and landscape plan was approved for a *financial institution with a drive-through* (i.e. Bank of America).
- MAY 19, 2003: [Case No. PZ2003-035-01] A replat was approved for Lots 10R, 11R, 13, Block A, Horizon Ridge Addition.
- MAY 19, 2003: [Case No. PZ2003-035-02] A site plan was approved for a financial institution with a drive-through.
- MAY 19, 2003: [Case No. PZ2003-035-03] Building elevations were approved for a financial institution with a drive-through.
- MAY 19, 2003: [Case No. PZ2003-035-04] A landscape plan was approved for a financial institution with a drive-through.
- JUNE 16, 2003: [Case No. P2003-009] A replat was approved for Lot 13R, Block A, Horizon Ridge Addition.
- <u>JULY 7, 2003:</u> [Case No. Z2003-004] A conditional use permit (CUP) was approved to allow combustible structural construction materials.
- AUGUST 2, 2003: [Case No. SP2003-005] A site plan was approved for a medical office building.
- OCTOBER 6, 2003 (ORDINANCE NO. 03-39): [Case No. A2003-001] An annexation was approved for Rainbow Lakes Subdivision and Foxchase Subdivision, Phase 7.
- OCTOBER 20, 2003: [Case No. SP2003-012] A site plan was approved for an office building.
- NOVEMBER 17, 2003: [Case No. P2003-025] A replat was approved for Lot 1, Block 1, Horizon Village Addition.
- <u>JANUARY 5, 2004 (ORDINANCE NO. 04-02):</u> [Case No. Z2003-014] A zoning change from Agricultural (AG) District to Single-Family 10 (SF-10) District was approved for Rainbow Lakes Subdivision and Foxchase Subdivision, Phase 7.
- JANUARY 20, 2024: [Case No. P2003-035] A replat was approved for Lots 10R1, 10R2, & 10R3, Block A, Horizon Ridge Addition.

- JANUARY 20, 2004; [Case No. SP2003-022] A site plan was approved for an office building.
- JULY 6, 2004: [Case No. P2004-022] A replat was approved for Lots 6 & 7, Block B, Horizon Ridge Addition.
- SEPTEMBER 20, 2004: [Case No. P2004-043] A replat was approved for Lot 8R, Block A, Horizon Ridge Addition.
- OCTOBER 18, 2004: [Case No. P2004-018] A final plat for was approved for Foxchase Subdivision, Phase 7.
- NOVEMBER 15, 2004: [Case No. P2004-053] A replat was approved for Lots 4 & 5, Block B, Horizon Ridge Addition.
- <u>NOVEMBER 15, 2004:</u> [Case No. P2004-054] A replat was approved for Lots 17, 18, 19, Block A, Horizon Ridge Addition.
- <u>NOVEMBER 15, 2004:</u> [Case No. SP2004-023] A site plan was approved for a medical office building (i.e. Rockwall Medical Center).
- JULY 6, 2004: [Case No. SP2004-009] A site plan was approved for office buildings.
- JANUARY 18, 2005: [Case No. P2004-069] A replat was approved for Lot 10, Block B, Horizon Ridge Addition.
- <u>FEBRUARY 7, 2005:</u> [Case No. SP2004-031] A site plan was approved for a medical office building (i.e. Open Imaging of Rockwall).
- FEBRUARY 21, 2005: [Case No. P2005-008] A replat was approved for Lots 15 & 16, Block A, Horizon Ridge Addition.
- FEBRUARY 21, 2005: [Case No. SP2005-003] A site plan was approved for a medical office building.
- <u>MARCH 21, 2005:</u> [Case No. SP2005-006] A site plan was approved for a medical office building (i.e. Eye Care Management of Rockwall).
- MAY 2, 2005: [Case No. SP2005-009] A site plan was approved for the expansion of a medical office building (i.e. Rockwall Medical Center)
- <u>MAY 2, 2005</u>: [Case No. Z2005-013] A Planned Development amendment to Planned Development District 9 (PD-09) was denied to add a permitted use for a *Congregate Care Facility/Elderly Housing*.
- MAY 2, 2005: [Case No. P2005-016] A replat was approved for Lot 11, Block B, Horizon Ridge Addition.
- <u>SEPTEMBER 27, 2005:</u> [Case No. SP2005-018] A site plan was approved for a restaurant with a drive-through (i.e Panda Express).
- OCTOBER 17, 2005 (ORDINANCE NO. 05-55, S-024): [Case No. Z2005-035] A specific use permit (SUP) was approved for a restaurant with a drive-through (i.e. Panda Express).
- <u>DECEMBER 5, 2005:</u> [Case No. P2005-042] A final plat was approved for Lot 1, Block A, Horizon Ridge Center, Phase I.
- JANUARY 17, 2006: [Case No. P2005-048] A replat was approved for Lot 4, Block A, Horizon Ridge Addition.
- MARCH 6, 2006: [Case No. P2006-005] An amended preliminary plat was approved for Horizon Ridge Center North.
- MARCH 6, 2006: [Case No. P2006-006] An amended preliminary plat was approved for Horizon Ridge Center South.
- APRIL 11, 2006: [Case No. SP2006-008] A site plan was approved for an office building.
- <u>JULY 11, 2006:</u> [Case No. SP2006-017] A site plan was approved for a medical office building (i.e. Rockwall Oral and Facial).
- SEPTEMBER 5, 2006: [Case No. P2006-035] A final plat was approved for Lots 1-14, Block A, Horizon Ridge Addition.
- <u>NOVEMBER 28,2006:</u> [Case No. SP2006-035] A site plan was approved for a Congregate Care Facility/Elderly Housing Facility (i.e. Lakeshore Assisted Living).
- FEBRUARY 5, 2007: [Case No. P2007-001] A replat was approved for Lot 21, Block A, Horizon Ridge Addition.
- SEPTEMBER 9, 2007: [Case No. SP2007-022] A site plan was approved for a office buildings.
- OCTOBER 9, 2007: [Case No. SP2007-021] A site plan was approved for medical office buildings (i.e. Horizon Ridge Medical Park).
- OCTOBER 15, 2007: [Case No. P2007-031] A replat was approved for Lots 1 & 2, Block A, Allen Anderson Addition.
- <u>JANUARY 22, 2008:</u> [Case No. SP2007-029] A site plan was approved for a medical office building (i.e. Presbyterian Hospital).
- <u>JANUARY 22, 2008:</u> [Case No. P2008-002] A replat was approved for Lot 15, Block A, Presbyterian Hospital of Rockwall Addition.
- JANURARY 29, 2008: [Case No. SP2007-025] A site plan was approved for a financial institution with a drive-through (i.e. Chase Bank).
- FEBRAURY 12, 2008: [Case No. SP2008-001] A site plan was approved for a medical office building.
- <u>FEBRUARY 12, 2008:</u> [Case No. SP2008-002] A site plan was approved for a medical office building (i.e. Lake Pointe Orthopedics).
- FEBRUARY 18, 2008: [Case No. P2008-004] A final plat was approved for Lot 7, Block C, Horizon Ridge Medical Park.
- MARCH 12, 2008: [Case No. SP2008-005] A site plan was approved for a medical office building.

- MARCH 3, 2008: [Case No. P2008-007] A replat was approved for Lots 16 and 17, Block A, Presbyterian Hospital of Rockwall Addition.
- APRIL 7, 2007: [Case No. P2008-012] A replat was approved for Lot 2, Block A, Mark Carson Addition.
- <u>APRIL 7, 2008:</u> [Case No. P2008-010] A replat was approved for Lot 18, Block A, Presbyterian Hospital of Rockwall Addition.
- APRIL 21, 2008: [Case No. P2008-013] A replat was approved for Lot 22, Block A, Horizon Ridge Addition.
- <u>JUNE 16, 2008:</u> [Case No. P2008-017] A replat was approved for Lots 16, 17, & 19, Block A, Presbyterian Hospital of Rockwall.
- JULY 21, 2008: [Case No. P2008-022] A replat was approved for Lot 8, Block C, Horizon Ridge Medical Park.
- <u>JANUARY 13, 2009:</u> [Case No. SP2008-016] A site plan was approved for a *medical office* complex south of the main entrance of Presbyterian Hospital of Rockwall.
- AUGUST 17, 2009: [Case No. P2009-017] A replat was approved for Lot 20, Block A, Presbyterian Hospital of Rockwall.
- NOVEMBER 24, 2009: [Case No. MIS2009-009] A tree preservation plan was approved for 832 Trumpeter Way.
- JANUARY 10, 2010: [Case No. SP2009-010] A site plan was denied for a retail store with gasoline sales (i.e. 7-Eleven).
- <u>JANUARY 15, 2010:</u> [Case No. Z2009-023] The applicant withdrew the specific use permit (SUP) request for a *retail store* with gasoline sales (i.e. 7-Eleven).
- MARCH 9, 2010: [Case No. SP2010-002] A site plan was approved for a medical office building.
- MARCH 30, 2010: [Case No. SP2010-003] A site plan was approved for a retail store with gasoline sales (i.e. 7-Eleven).
- <u>APRIL 19, 2010 (ORDINANCE NO. 10-09):</u> [Case No. Z2010-004] A specific use permit (SUP) was approved for a *retail* store with gasoline sales (i.e. 7-Eleven).
- <u>APRIL 19, 2010:</u> [Case No. Z2010-006] A specific use permit (SUP) was denied for a *minor auto repair shop* (i.e. *Christian Brothers*).
- <u>JULY 19, 2010:</u> [Case No. P2010-012] A final plat was approved for Lots 1 & 2, Block B, Horizon Ridge Center (i.e. 7-Eleven).
- OCTOBER 18, 2010 (ORDINANCE NO. 10-29): [Case No. Z2010-015] A specific use permit (SUP) was approved for outside storage at a retail store with gasoline sales (i.e. 7-Eleven).
- <u>FEBRUARY 8, 2011:</u> [Case No. SP2011-002] A site plan was approved for gasoline sales at Kroger but because the Planned Development District 9 (PD-09) amendment (Case No. Z2011-002) was denied on February 21, 2011, the site plan approval is considered invalid.
- <u>FEBRUARY 21, 2011:</u> [Case No. Z2011-002] An amendment to Planned Development District 9 (PD-09) was denied for the use of a proposed fuel center in conjunction with the existing *general retail store* (i.e. Kroger).
- <u>JULY 5, 2011 (ORDINANCE NO. 11-31):</u> [Case No. Z2011-012] This ordinance amended Ordinance No. 86-55. Under this amendment, use of a proposed fuel center in conjunction with the existing *general retail store* (i.e. Kroger).
- <u>JULY 12, 2011:</u> [Case No. SP2011-006] An amended site plan was approved for a Congregate Care Facility/Elderly Housing Facility (i.e. Broadmore Medical Lodge).
- NOVEMBER 7, 2011: [Case No. P2011-018] A final plat was approved for Lot 6, Block C, of Horizon Ridge Medical Park.
- NOVMEMBER 8, 2011: [Case No. SP2011-013] A site plan was approved for a general retail store (i.e. Autozone).
- <u>JANUARY 3, 2012:</u> [Case No. P2011-021] A replat was approved for lot 23, Block A, Horizon Ridge Addition but was never filed.
- <u>FEBRUARY 20, 2012:</u> [Case No. P2012-003] A preliminary plat was approved for Lots 1 & 2, Block A, Ridge/Summer Lee Addition.
- <u>FEBRUARY 28, 2012:</u> [Case No. SP2012-001] A site plan was approved for a *general retail store* (i.e. ALDI) on Lot 1, Block A, Ridge/Summer Lee Addition.
- APRIL 2, 2012: [Case No. P2012-008] A final plat was approved for Lots 1 & 2, Block A, Ridge/Summer Lee Addition.
- <u>NOVEMBER 19, 2012 (ORDINANCE NO. 12-28)</u>: [Case No. A2012-002] An annexation was approved for Lot 1, Block B, Foxchase Subdivision, Phase 7.
- <u>DECEMBER 17, 2012:</u> [Case No. SP2012-027] A site plan was approved for a medical office building.
- <u>JULY 9, 2013:</u> [Case No. SP2013-012] A site plan was approved for a restaurant with a drive-through (i.e. Dunkin Donuts).
- AUGUST 14, 2013: [Case No. SP2013-021] An amended site plan was approved for a general retail store (i.e. Kroger).
- AUGUST 19, 2013: [Case No. P2013-025] A replat was approved for Lots 23, 24, & 25, Block A, Horizon Ridge Addition.
- AUGUST 19, 2013: [Case No. SP2013-019] A site plan was approved for two (2) office buildings.

- <u>AUGUST 19, 2013:</u> [Case No. Z2013-017] A specific use permit (SUP)was approved for a restaurant with a drive-through (i.e. Dunkin Donuts).
- <u>NOVEMBER 4, 2013 (ORDINANCE NO. 13-43):</u> [Case No. Z2013-026] This ordinance amended *Ordinance No. 86-55* and approved a zoning change from Single-Family 22.5 (SF-22.5) District land uses to a Single-Family 12.5 (SF-12.5) District land uses for Shady Dale Lane Subdivision.
- <u>NOVEMBER 4, 2013:</u> [Case No. P2013-036] A final plat was approved for Lot 1, Block A, NEC Ridge/Summer Lee Addition.
- <u>NOVEMBER 18, 2013:</u> [Case No. P2013-038] A replat was approved for Lots 26 and 27, Block A, Horizon Ridge Addition.
- JANUARY 14, 2014: [Case No. SP2013-031] A site plan was approved for a medical office building.
- JANUARY 21, 2014: [Case No. P2013-042] A final plat was approved for Lots 1-14, Block 1, Shady Dale Estates.
- <u>AUGUST 4, 2014:</u> [Case No. P2014-015] A final plat was approved for Lot 1, Block A, Eye Care and Laser Management of Rockwall.
- AUGUST 4, 2014: [Case No. SP2014-010] A site plan was approved for a medical office building.
- <u>SEPTEMBER 2, 2014:</u> [Case No. P2014-019] A replat was approved for Lot 21, Block A, Presbyterian Hospital of Rockwall Addition.
- <u>NOVEMBER 21, 2014:</u> [Case No. SP2014-030] An amended site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall).
- March 16, 2015: [Case No. SP2015-003] A site plan was approved for a medical office building.
- MAY 12, 2015; [Case No. SP2015-009] A site plan was approved for a medical office building.
- MAY 12, 2015: [Case No. SP2015-010] A site plan was approved for a medical office building.
- JUNE 26, 2015: [Case No. P2015-026] A minor plat was approved for Lots 1-3, Block A, Temunovic Addition.
- JULY 6, 2015: [Case No. P2015-027] A replat was approved for Lot 2, Block A, Ridge/Summer Lee Addition.
- AUGUST 3, 2015: [Case No. P2015-032] A final plat was approved for Lots 4-6, Block A, Temunovic Addition.
- MAY 12, 2016: [Case No. SP2016-011] An amended site plan was approved for a general retail store (i.e. Walgreens).
- <u>JUNE 6, 2016 (ORDINANCE NO. 16-38, S-153):</u> [Case No. Z2016-012] A specific use permit (SUP) was approved for gasoline sales at Kroger.
- OCTOBER 11, 2016: [Case No. SP2016-020] A site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall).
- NOVEMBER 21, 2016: [Case No. P2016-049] A replat was approved for Lot 22, Block A, Presbyterian Hospital.
- <u>JUNE 13, 2017:</u> [Case No. SP2017-017] An amended site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall).
- JULY 25, 2017: [Case No. SP2017-023] A site plan was approved for a medical office building (i.e. Fisher and Zitterich).
- AUGUST 7, 2017: [Case No. P2017-036] A replat was approved for Lot 23, Block A, Presbyterian Hospital.
- OCTOBER 2, 2017 (ORDINANCE NO. 17-52, S-175): [Case No. Z2017-036] A specific use permit (SUP) was approved
 for exceeding the maximum height of a medical office building (i.e. Fisher and Zitterich) within the Scenic Overlay (SOV)
 District at 1310 Summer Lee Drive.
- <u>FEBRUARY 19, 2018</u>: [Case No. SP2018-001] A site plan was approved for a retail store with gasoline sales (i.e. 7-eleven).
- OCTOBER 1, 2018 (ORDINANCE NO.18-44, S-196): [Case No. Z2018-039] A specific use permit (SUP) was approved for a retail store with gasoline sales (i.e. 7-eleven).
- NOVEMBER 13, 2018: [Case No. SP2018-031] A site plan was approved for a retail store with gasoline sales (i.e. 7-eleven).
- FEBRUARY 4, 2019: [Case No. P2019-001] A replat was approved for Lots 4 & 5, Block B, Horizon Ridge Addition.
- FEBRAURY 4, 2019: [Case No. P2019-004] A replat was approved for Lot 7, Block A, Temunovic Addition.
- <u>FEBRUARY 19, 2019:</u> [Case No. P2019-001] A replat was approved for Lots 3 & 4, Block B, Horizon Ridge Center Addition.
- <u>APRIL 30, 2019:</u> [Case No. SP2019-011] An amended site plan was approved for a *medical office building* (i.e. Fisher and Zitterich).
- <u>SEPTEMBER 16, 2019:</u> [Case No. Z2019-019] A specific use permit (SUP) was withdrawn for a *freestanding commercial* antenna for a *government facility* (i.e. Fire Station No. 2).
- <u>JANUARY 14, 2020:</u> [Case No. SP2019-051] A site plan was approved for a hospital (i.e. Presbyterian Hospital of Rockwall)

- APRIL 20, 2020: [Case No. P2020-015] A replat was approved for Lot 24, Block A, Presbyterian Hospital.
- <u>APRIL 28, 2020:</u> [Case No. SP2020-004] A site plan was approved for a *strip retail center* (i.e. Crisp and Green & MOD Pizza).
- <u>JULY 14, 2020:</u> [Case No. SP2020-010] A site plan was approved for a medical office building (i.e. Ellis Medical Center).
- <u>AUGUST 3, 2020 (ORDINANCE NO. 20-26, S-228):</u> [Case No. Z2020-023] A specific use permit (SUP) was approved for residential infill in an established subdivision for 54 Shadydale Lane.
- OCTOBER 2, 2020: [Case No. SP2020-024] A site plan for 3140 Horizon Road was approved.
- OCTOBER 27, 2020: [Case No. MIS2020-013] A special exception to the material standards for residential fences was approved for 54 Shadydale Lane.
- <u>NOVEMBER 24, 2020:</u> [Case No. SP2020-030] An amended site plan was approved for a hospital (i.e. The Presbyterian Hospital CUP Building).
- <u>JANUARY 4, 2021 (ORDINANCE NO. 21-05, S-241)</u>: [Case No. Z2020-051] A specific use permit (SUP) was approved for Residential Infill within Shady Dale Lane Subdivision.
- JANUARY 4, 2021: [Case No. P2020-051] A final plat was approved for Lot 1, Block A, SDI Rockwall Addition.
- <u>FEBRUARY 23, 2021:</u> [Case No. MIS2021-003] A special exception to the material standards for residential fences was approved for 54 Shadydale Lane.
- OCTOBER 4, 2021: [Case No. Z2021-037] A specific use permit (SUP) was approved for an accessory structure exceeding the maximum square footage for 54 Shadydale Lane.
- <u>MARCH 15, 2022:</u> [Case No. MIS2022-004] A special exception to the material standards for residential fences was approved for 54 Shadydale Lane.
- MAY 3, 2021: [Case No. P2021-017] A replat was approved for Lot 25, Block A, Presbyterian Hospital.
- <u>JANUARY 11, 2022:</u> [Case No. SP2021-035] A site plan was approved for a financial institution with a drive through (i.e. Frost Bank).
- MARCH 21, 2022: [Case No. P2022-007] A replat was approved for Lot 3, Block A, Allen Anderson Addition.
- <u>APRIL 12, 2022:</u> [Case No. SP2022-009] A site plan was approved for a medical office building (i.e. Capps, Morgan, Hodges).
- <u>DECEMBER 5, 2022:</u> [Case No. P2022-057] A replat for Lot 12, Block B, Horizon Ridge Addition was approved to establish the easements for the construction of a medical office (i.e. Capps, Morgan, Hodges).
- OCTOBER 29, 2024: [Case No. SP2024-035] An amended site plan was approved for a general retail store (i.e. Kroger).





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

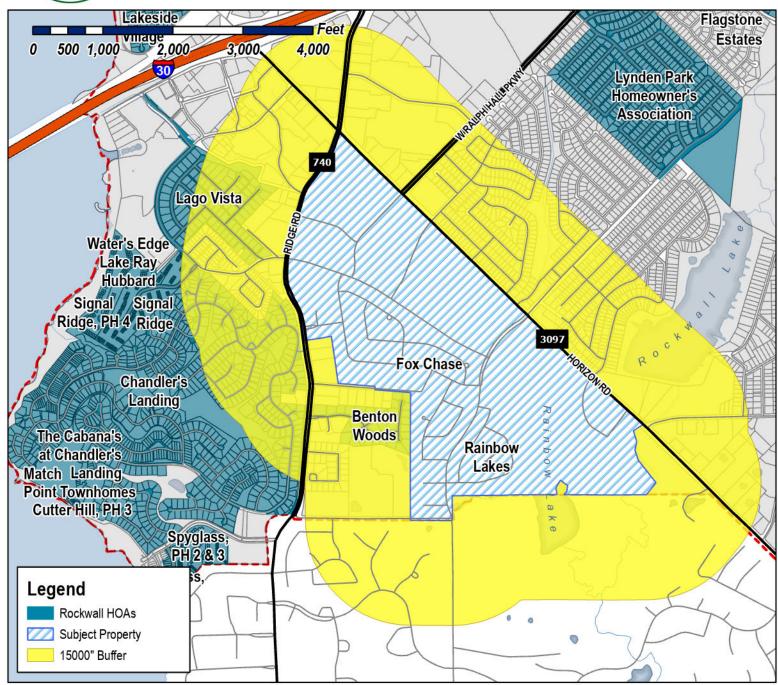
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-054

Case Name: Amendment to Planned

Development District 9 (PD-9)

Case Type: Zoning

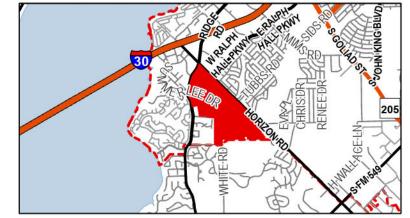
Zoning: Planned Development District 9

(PD-9)

Case Address: Foxchase Subdivision

Date Saved: 11/6/2024

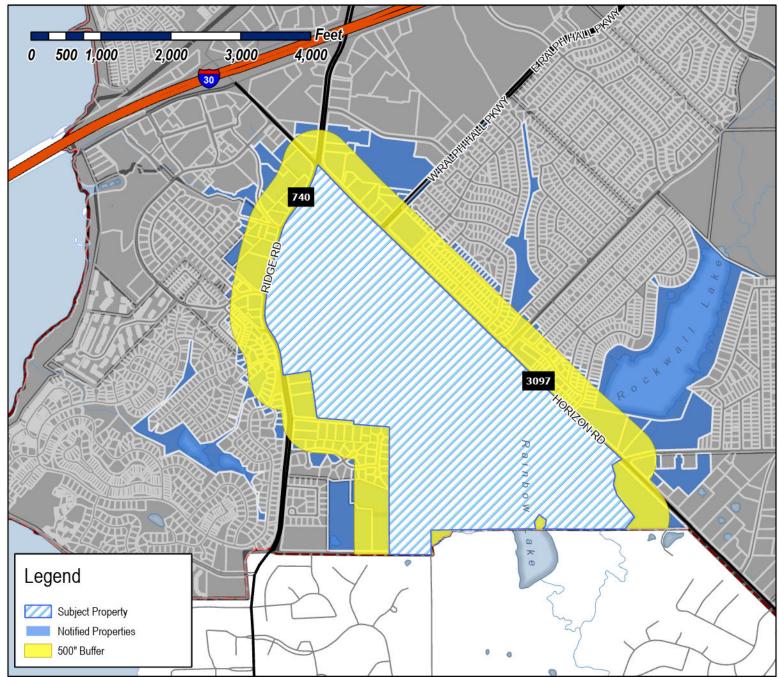
For Questions on this Case Call (972) 771-7745





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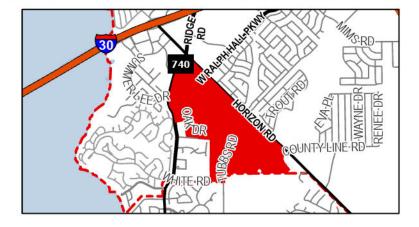
Zoning: Planned Development District 9

(PD-9)

Case Address: Foxchase Subdivision

Date Saved: 11/6/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC 1 COMMODORE PLAZA ROCKWALL, TX 75032

2023 S H ADAMS REVOCABLE TRUST SHAWN LINDSEY ADAMS & HOLLI GAIL ADAMS -TRUSTEES 1 MANOR CT HEATH, TX 75032

HATFIELD CLAUDETTE 1 SHADY DALE LN ROCKWALL, TX 75032

LOWES HOME CENTERS INC 1000 LOWES BLVD MOORESVILLE, NC 28117 RESIDENT 1005 W RALPH HALL PKWY ROCKWALL, TX 75032 RESIDENT 101 BROCKWAY DR ROCKWALL, TX 75032

RESIDENT 101 FRANCE CT ROCKWALL, TX 75032 RESIDENT 101 MAPLERIDGE DR ROCKWALL, TX 75032 RENTFROW JENNIFER AND BRETT HOFFMAN 101 EASTERNER PLACE ROCKWALL, TX 75032

BECKER CHRISTIANE AND JOSEPH WORRALL 101 INDEPENDENCE PLACE ROCKWALL, TX 75032

SHOCKLEY URIAH B 101 OAKRIDGE DR ROCKWALL, TX 75032 MOULTON JENNIFER DEE 101 WINDMILL RIDGE DR ROCKWALL, TX 75032

RESIDENT 1010 W RALPH HALL PKWY ROCKWALL, TX 75032 KROGER TEXAS LP 1014 VINE STREET CINCINNATI, OH 45202 KROGER TEXAS LP 1014 VINE STREET CINCINNATI, OH 45202

BRIGHT WILLIAM MARK AND SHERRYL J 102 EASTERNER PLACE ROCKWALL, TX 75032 GARDNER PAUL S AND CINDY 102 INDEPENDENCE PL ROCKWALL, TX 75032 FUENTES MARIA E 102 MULBERRY LN ROCKWALL, TX 75032

FUENTES MARIA E 102 MULBERRY LN ROCKWALL, TX 75032 VU NGOC TRI AND LE THI THU AND DAVID VU 102 WINDMILL RIDGE DR ROCKWALL, TX 75032

RESIDENT 1020 W RALPH HALL PKWY ROCKWALL, TX 75032

HVCSG LLC 1027 WOODBRIDGE PLACE HEATH, TX 75032 RESIDENT 103 ALTHEA RD ROCKWALL, TX 75032 RESIDENT 103 MAPLERIDGE DR ROCKWALL, TX 75032

RESIDENT 103 WINDMILL RIDGE DR ROCKWALL, TX 75032 PARNELL TOMMY AND PATTI 103 BROCKWAY DRIVE ROCKWALL, TX 75032 MORENO SUSAN C 103 EASTERNER PL ROCKWALL, TX 75032

POPA VALENTIN D & CONSTANTA 103 FRANCE CT ROCKWALL, TX 75032 BCL REAL ESTATE LLC 103 GROSS RD BLDG A MESQUITE, TX 75149 BCL REAL ESTATE LLC 103 GROSS RD MESQUITE, TX 75149 UNDERHILL TERESA D AND STEPHEN 103 INDEPENDENCE PL ROCKWALL, TX 75032 TRISTAN DAVID 103 OAKRIDGE DRIVE ROCKWALL, TX 75032 RANEY JOHN CURTIS & BRENDA GAIL SMITH 104 EASTERNER PL ROCKWALL, TX 75032

NEWMAN DONALD T 104 FRANCES CT ROCKWALL, TX 75032 TREJO NICOLAS & MINDY 104 MAPLERIDGE DR ROCKWALL, TX 75032 ROOKER ESTELLAMARIE & OBIE 104 WINDMILL RIDGE DR ROCKWALL, TX 75032

GABRIEL KAY 1040 TWIN BROOKS DRIVE GRAND PRAIRIE, TX 75051 GABRIEL KAY 1040 TWIN BROOKS DRIVE GRAND PRAIRIE, TX 75051

RESIDENT 105 BROCKWAY DR ROCKWALL, TX 75032

RESIDENT 105 MAPLERIDGE DR ROCKWALL, TX 75032 RESIDENT 105 WINDMILL RIDGE DR ROCKWALL, TX 75032 SCHUBERT LAURIE LEE 105 EASTERNER PLACE ROCKWALL, TX 75032

CROOKS JOHN O & PATRICIA K 105 FRANCE CT ROCKWALL, TX 75032 PARK SI GWAN &
JUNG OK LEE
105 INDEPENDENCE PL
ROCKWALL, TX 75032

HUGGS DENISE RAE 105 MULBERRY LN ROCKWALL, TX 75032

CM & C COMBS REAL ESTATE INVESTMENTS LLC

BIRDSONG PAUL KENT AND KAREN M 105 N ALAMO RD ROCKWALL, TX 75087

SERIES K ROCKWALL FAMILY LAND 10521 FINCHER ROAD ARGYLE, TX 76226 RESIDENT 106 MAPLERIDGE DR ROCKWALL, TX 75032

LAWRENCE JULIE & SUSAN J EVERETT 106 EASTERNER PL ROCKWALL, TX 75032 DUGAN ADAM TL AND WHITNEY C 106 FRANCE CT ROCKWALL, TX 75032 ALLEN DONNA A 106 WINDMILL RIDGE DR ROCKWALL, TX 75032

RESIDENT 107 WINDMILL RIDGE DR ROCKWALL, TX 75032 ORTIZ ADAN AND ANA 107 BROCKWAY DR ROCKWALL, TX 75032 ALVARENGA OSWALDO JR & JUDITH 107 EASTERNER PL ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDR AND YULYIA NESTERENKO 107 INDEPENDENCE PLACE ROCKWALL, TX 75032

VALDEZ EULOGIO & JESUSA A 107 MAPLERIDGE DR ROCKWALL, TX 75032 RESIDENT 108 MAPLERIDGE DR ROCKWALL, TX 75032

RESIDENT 108 MULBERRY LN ROCKWALL, TX 75032 SHARING SMILES LLC 108 CRYSTAL CT RICHARDSON, TX 75081 HUMBLE BRIAN 108 EASTERNER PLACE ROCKWALL, TX 75032

ROSEKRANS JOHN 108 HOMESTEAD BLVD MILL VALLEY, CA 94941	GEIST JOANN 108 WINDMILL RIDGE DR ROCKWALL, TX 75032	RESIDENT 109 BROCKWAY DR ROCKWALL, TX 75032 POWELL ISAAC & ASHLEY TAYLOR 109 EASTERNER PL ROCKWALL, TX 75032		
RESIDENT 109 INDEPENDENCE PL ROCKWALL, TX 75032	RESIDENT 109 WINDMILL RIDGE DR ROCKWALL, TX 75032			
BARTHALT JULIE AND JOHN JR	MAC SPORTS AND REHAB LLC	MAXWELL CAROLE AND GARY		
109 MAPLERIDGE DRIVE	11 SOUTH ANGELL ST	110 EASTERNER PL		
ROCKWALL, TX 75032	PROVIDENCE, RI 2906	ROCKWALL, TX 75032		
GAITAN JOSE EFRAIN	CROWTHER CHAD ETHAN	THE BELTRAN GROUP LLC		
110 MAPLERIDGE DR	110 WINDMILL RIDGE DRIVE	1100 EDGEFIELD DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	PLANO, TX 75075		
ROYALAND PROPERTIES LLC 11034 GRISSOM LANE DALLAS, TX 75229	RESIDENT 111 WINDMILL RIDGE DR ROCKWALL, TX 75032	KERR NICHOLAS H & THOMAS C KERR 111 BROCKWAY DR ROCKWALL, TX 75032		
LONG DAMON & HEIDI 111 MAPLERIDGE DR ROCKWALL, TX 75032	HUCK AMBER L 111 TROUT ST ROCKWALL, TX 75032	FROST BANK ATTN: ACCOUNTING (DT SA FL 11) 111 W HOUSTON STREET SAN ANTONIO, TX 78205		
MODERN PYRAMIDS INC	MCCLUNG CARL G AND MARESA A	REDDEN TRAVIS		
1111 BELTLINE RD STE #100	1114 OXFORD CT	1115 CONCAN DRIVE		
GARLAND, TX 75040	ROCKWALL, TX 75032	FORNEY, TX 75126		
CHAKMAKJIAN ZAVEN C	RESIDENT	HARMON JIMMY R		
1118 NEWCASTLE DRIVE	112 MAPLERIDGE DR	112 EASTERNER PL		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
WILLIAMS KATHY S	UNRUH CASSIDY A	RESIDENT		
112 GLENN AVE	112 WINDMILL RIDGE RD	113 WINDMILL RIDGE DR		
ROCKWALL, TX 75087	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
HEFFERNAN JOHN R	WILLIAMS GEORGE CRAIG	MEEDER JEFFREY S		
113 BROCKWAY DR	113 MAPLERIDGE DRIVE	1137 SKYLAR DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		

RESIDENT 114 MAPLERIDGE DR ROCKWALL, TX 75032 RESIDENT 114 WINDMILL RIDGE DR ROCKWALL, TX 75032 EDWARDS RICHARD J 1140 BENTON WOODS DR ROCKWALL, TX 75032

VU RUBY HONG-NGOC 11402 JOLA AVENUE GARDEN GROVE, CA 92843 SIPPLE CHRISTOPHER C & JENNIFER N 1145 SKYLAR DR ROCKWALL, TX 75032 RESIDENT 115 MAPLERIDGE DR ROCKWALL, TX 75032

RESIDENT 115 MULBERRY LN ROCKWALL, TX 75032 RESIDENT

115 WINDMILL RIDGE DR
ROCKWALL, TX 75032

STUBBS MARK A & CAROLYN C 1151 SKYLAR DR ROCKWALL, TX 75032

ERVIN PROPERTIES LLC 1155 W WALL STREET SUITE 101 GRAPEVINE, TX 76051 GEMMELL FAMILY LIVING TRUST
ANTONY JAMES FALCONER GEMMELL &
CAROLYN DOUGLAS GEMMELL - TR
1157 SKYLAR DR
ROCKWALL, TX 75032

RESIDENT 116 BASS RD ROCKWALL, TX 75032

RESIDENT 116 WINDMILL RIDGE DR ROCKWALL, TX 75032 WYONT RONALD M 116 MAPLERIDGE DR ROCKWALL, TX 75032 MASE FAMILY LIVING TRUST
RICHARD J MASE JR AND KRISTIANE K MASE TRUSTEES
1160 SKYLAR DR
ROCKWALL, TX 75032

RICHARD FLOYD M & TERI 1163 SKYLAR DR ROCKWALL, TX 75032 GARY & ELIZABETH TIMBES REVOCABLE LIVING TRUST GARY R TIMBES AND ELIZABETH S TIMBES - CO-TRUSTEES 1164 BENTON WOODS DR ROCKWALL, TX 75032

JAMESON JANIE 1164 SKYLAR DRIVE ROCKWALL, TX 75032

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WORSHAM JERRY L & CAROLYN C &
LUFF BRIAN LEE & LISA K
1172 SKYLAR DR
ROCKWALL, TX 75032

MITCHELL CASEY & DEANNA 1175 SKYLAR DR ROCKWALL, TX 75032 ESCOBAR SERGIO & ANABEL 118 ALTHEA RD ROCKWALL, TX 75032

PORTILLO LINDA FRANCES 118 WINDMILL RIDGE DR ROCKWALL, TX 75032 HAIL KATHLEEN 1181 SKYLAR DR ROCKWALL, TX 75032 DUPONT GARRETT J AND JENNY L 1187 SKYLAR DR ROCKWALL, TX 75032

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WILLIAM J HARRIS AND JONNA R HARRISCOTRUSTEES
1188 BENTON WOODS DRIVE
ROCKWALL, TX 75032

RESIDENT 119 WINDMILL RIDGE DR ROCKWALL, TX 75032 PARKER BILLY W AND D'ANDREA TURNER 1193 SKYLAR ROCKWALL, TX 75032 CONFIDENTIAL 1199 SKYLAR DR ROCKWALL, TX 75032 SFR BORROWER 2021-2 LLC 120 S RIVERSIDE PLAZ SUITE 2000 CHICAGO, IL 60606 HPA TEXAS SUB 2017-1 LLC 120 S RIVERSIDE PLZ STE 2000 CHICAGO, IL 60606

HPA BORROWER 2019-2 LLC 120 SOUTH RIVERSIDE PLAZA SUITE 2000 CHICAGO, IL 60606 GONZALEZ ANTONIO & MARIA 120 WINDMILL RIDGE DR ROCKWALL, TX 75032 SONG CORPORATION 1200 HORIZON RD ROCKWALL, TX 75032

US REO LLC SERIES M 1200 JUPITER ROAD SUITE #940414 PLANO, TX 75094 RESIDENT 1201 ARISTA RD ROCKWALL, TX 75032 RESIDENT 1205 SKYLAR DR ROCKWALL, TX 75032

SCOTT R MAHLER LIVING TRUST SCOTT R MAHLER AND MARCUS DONALD MAHLER - TRUSTEES 1206 SKYLAR DR ROCKWALL, TX 75032

RESIDENT 1207 ARISTA DR ROCKWALL, TX 75032 BELT JACKIE 121 MULBERRY LN ROCKWALL, TX 75032

ALLEN L KEITH & BETTY L 1211 SKYLAR DR ROCKWALL, TX 75032 WINDELS R LEONARD 1212 SKYLAR DRIVE ROCKWALL, TX 75032 RESIDENT 1215 ARISTA DR ROCKWALL, TX 75032

HAMILTON LARRY WAYNE & REBA DIANE 1216 BENTON WOODS DR ROCKWALL, TX 75032 GASTON RICHARD 1217 SKYLAR DR ROCKWALL, TX 75032 MAXWELL GLENDA KAY 1218 SKYLAR DR ROCKWALL, TX 75032

RESIDENT 1220 HORIZON RD ROCKWALL, TX 75032 SUN T ENTERPRISES LLC 1221 ARISTA RD ROCKWALL, TX 75032 FRANCE'S LANDING LLC 12222 MERIT DRIVE STE 1000 DALLAS, TX 75251

WATSON WILLIAM B AND ELIZABETH A 1223 SKYLAR DR ROCKWALL, TX 75032 GULLION H DENNIS & KAY 1224 SKYLAR DR ROCKWALL, TX 75032 RODRIGUEZ PAUL AND JANAH HAMMOND 1229 SKYLAR DR ROCKWALL, TX 75032

ZOMER JOHN DAVID 123 TROUT ST ROCKWALL, TX 75032 GOFF SEAN & STEPHANIE BARNES 1250 BENTON WOODS DRIVE ROCKWALL, TX 75032 JAY & MALISHA LLC 1260 HERON LAKES CIR MOBILE, AL 36693

TYRELL ROBERT & KATHY 127 BASS RD ROCKWALL, TX 75032 HERNANDEZ ERIKA 127 MULBERRY LN ROCKWALL, TX 75032 HERNANDEZ SESAR M & MARTA P 127 PERCH RD ROCKWALL, TX 75032 RESIDENT 128 BASS RD ROCKWALL, TX 75032 OJEDA ELIZABETH RODRIGUEZ 128 ALTHEA RD ROCKWALL, TX 75032 WHITE DOVE CAPITAL LLC 12953 TRINITY BLVD STE 125 EULESS, TX 76040

RESIDENT 130 PERCH RD ROCKWALL, TX 75032 RESIDENT 1301 SUMMER LEE DR ROCKWALL, TX 75032 RESIDENT 1306 SUMMER LEE ROCKWALL, TX 75032

RESIDENT 131 MULBERRY LN ROCKWALL, TX 75032 SALAZAR JOSE & MARIA E 132 ALTHEA RD ROCKWALL, TX 75032 HALL & LEE LAND COMPANY LLC 1320 SUMMER LEE DR ROCKWALL, TX 75032

WADE CHELSEA L 133 ALTHEA ROAD ROCKWALL, TX 75032

PALMER CHRIS 135 TROUT ST ROCKWALL, TX 75032 LOWDENT LLC 1350 SUMMER LEE DR ROCKWALL, TX 75032

NATIONAL TRANSFER SERVICES, LLC 1360 POST OAK BLVD STE 100 # 16-2 HOUSTON, TX 77056 RESIDENT 139 LAKESIDE DR ROCKWALL, TX 75032 RESIDENT 140 TROUT RD ROCKWALL, TX 75032

ROCKWALL RETAIL CENTER LLC 1401 LAVACA STREET UNIT 42704 AUSTIN, TX 78701

TUTTLE LEON & BILLIE JEAN 1408 DHAKA DR ROCKWALL, TX 75087 GUZMAN LUIS & YOLANDA 142 ALTHEA RD ROCKWALL, TX 75032

VASQUEZ THOMAS J AND LORENA ALVARADO 147 TROUT ST ROCKWALL, TX 75032

RESIDENT 1489 SHADY GROVE CIR ROCKWALL, TX 75032 RESIDENT 149 LAKESIDE DR ROCKWALL, TX 75032

FW 1508 LLC 14951 DALLAS PARKWAY SUITE 400 DALLAS, TX 75254 STOKES AARON 15 KERIMORE COURT HEATH, TX 75032 DRAKE CARLA DEE & DENNIS HARTLINE 1501 SHADY GROVE CIR ROCKWALL, TX 75032

WECHES LAND LTD 1505 SUMMER LEE DR ROCKWALL, TX 75032 RESIDENT 152 ALTHEA RD ROCKWALL, TX 75032 WILSON FAMILY TRUST 15297 BOHLMAN RD SARATOGA, CA 95070

ALVARADO JOSE 154 TROUT ST ROCKWALL, TX 75032 ALVARADO JOSE 154 TROUT ST ROCKWALL, TX 75032 ALVARADO JOSE A 154 TROUT ST ROCKWALL, TX 75032 KUTI EMMANUEL AND ESE 157 LAKESIDE DRIVE ROCKWALL, TX 75032 SFR JV-1 2019-1 BORROWER LLC 15771 RED HILL AVE TUSTIN, CA 92780 SFR JV-1-202-1 BORROWER LLC 15771 RED HILL AVE TUSTIN, CA 92780

SC ROCKWALL LLC 16 VILLAGE LN STE 250 COLLEYVILLE, TX 76034 TNT INVESTEMENT LIMITED 1606 HIDDEN CREEK DR ROYSE CITY, TX 75189 RESIDENT 164 ALTHEA RD ROCKWALL, TX 75032

BENT TREE REALTY CO 16475 DALLAS PKWY STE 880 ADDISON, TX 75001 RESIDENT 165 LAKESIDE DR ROCKWALL, TX 75032

RESIDENT 166 TROUT RD ROCKWALL, TX 75032

BALLARD STEVE & ANNABETH 17 SHADYDALE LANE ROCKWALL, TX 75032 YU JINWEN 1701 PAYNE ST APT 2006 DALLAS, TX 75201 ARISTA OFFICE LP 1717 MAIN STREET SUITE 2950 DALLAS, TX 75201

RESIDENT 174 TROUT DR ROCKWALL, TX 75032 ESPINOSA DAVID AND ERIN 174 LAKESIDE DR ROCKWALL, TX 75032 LEMMOND BRENTON 175 E INTERSTATE 30 GARLAND, TX 75043

MCCREARY LARRY & SHIRLEY WINGO 176 ALTHEA RD ROCKWALL, TX 75032

RESIDENT 177 ALTHEA RD ROCKWALL, TX 75032 MAKARA MICHAEL AND LYNN 179 LAKESIDE DR ROCKWALL, TX 75032

CROCHERON AVENUE LLC 18 BEVERLY ROAD DOUGLASTON, NY 11363 RESIDENT 182 LAKESIDE DR ROCKWALL, TX 75032 RESIDENT 188 ALTHEA RD ROCKWALL, TX 75032

PARIS BRIAN I AND LINDSEY 189 LAKESIDE DR ROCKWALL, TX 75032 DOSKOCIL PATRICK AND GLINDA 19 SHADYDALE LN ROCKWALL, TX 75032 FAEC HOLDINGS (ROCKWALL) LLC C/O HCP INC 1920 MAIN ST SUITE 1200 IRVINE, CA 92614

RAMIREZ EDDIE RAFAEL & CASSANDRA GAYLE 194 LAKESIDE DR ROCKWALL, TX 75032 BROWN WALTER R & MARJORIE C 196 WILLOW OAK WAY PALM COAST, FL 32137 RESIDENT 199 ALTHEA RD ROCKWALL, TX 75032

RESIDENT 199 LAKESIDE DR ROCKWALL, TX 75032 BYBEE TERRY DON & CATHERINE DENISE 2 SHADYDALE LANE ROCKWALL, TX 75032 MASSEY WAYNE O ETUX 200 MAPLERIDGE DR ROCKWALL, TX 75032 WHITNEY SARDIS LLC 2001 MARCUS AVENUE SUITE N118 LAKE SUCCESS, NY 11042 COMMUNITY BANK OF ROCKWALL 201 E KAUFMAN ST ROCKWALL, TX 75087 COLLINS MARIANNE R 201 MAPLERIDGE DR ROCKWALL, TX 75032

REED BRANDON 201 WINDMILL RIDGE DR ROCKWALL, TX 75032 ST JOSEPH'S RENTALS LLC 2012 BEDFORD RD BEDFORD, TX 76021 GUO ZHENJING AND FANRUI MENG 2017 RUMSON DRIVE ARLINGTON, TX 76006

RESIDENT 202 LAKESIDE DR ROCKWALL, TX 75032 RESIDENT 202 MAPLERIDGE DR ROCKWALL, TX 75032

RESIDENT
202 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT 203 MAPLERIDGE DR ROCKWALL, TX 75032 HENDERSON JORDAN 203 WINDMILL RIDGE DR ROCKWALL, TX 75032 RESIDENT 204 MAPLERIDGE DR ROCKWALL, TX 75032

RESIDENT 204 WINDMILL RIDGE DR ROCKWALL, TX 75032 RESIDENT 205 MAPLERIDGE DR ROCKWALL, TX 75032 RODRIGUEZ JOSE L JR 205 WINDMILL RIDGE DR ROCKWALL, TX 75032

RESIDENT 206 MAPLERIDGE DR ROCKWALL, TX 75032 RESIDENT 206 WINDMILL RIDGE DR ROCKWALL, TX 75032 LARUE PATRICIA 207 MAPLERIDGE DR ROCKWALL, TX 75023

MENDOZA-GARCIA FAVIOLA RUBI 207 WINDMILL RIDGE DRIVE ROCKWALL, TX 75032 RESIDENT 208 MAPLERIDGE DR ROCKWALL, TX 75032 CULEBRO EDGAR HAMED AND CLAUDIA ELVIRA JUAREZ VALDEZ 208 ALTHEA RD

GONZALEZ MARIA A 208 WINDMILL RIDGE DR ROCKWALL, TX 75032 RESIDENT 209 LAKESIDE DR ROCKWALL, TX 75032 RESIDENT 209 WINDMILL RIDGE DR ROCKWALL, TX 75032

ARCILA MARIA GABRIELA MORALES AND JOSE R MORALES ANGULO 209 MAPLERIDGE DRIVE ROCKWALL, TX 75032

RESIDENT 21 SHADYDALE LN ROCKWALL, TX 75032 RODRIGUEZ ALICIA 210 MAPLERIDGE DR ROCKWALL, TX 75032

NIEMEYER RYAN 210 WINDMILL RIDGE DR ROCKWALL, TX 75032 RESIDENT
211 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RAMSAY ROSS 211 MAPLERIDGE DR ROCKWALL, TX 75032 RESIDENT 212 MAPLERIDGE DR ROCKWALL, TX 75032

ROSSMAN CONNIE 212 WINDMILL RIDGE DR ROCKWALL, TX 75032 HERNANDEZ JOSE 213 MAPLERIDGE DR ROCKWALL, TX 75032

CLEM CHRISTOPHER AND NANCY AND HOLLY CLEM 213 WINDMILL RIDGE ROCKWALL, TX 75032

RESIDENT 214 MAPLERIDGE DR ROCKWALL, TX 75032 RESIDENT 214 WINDMILL RIDGE DR ROCKWALL, TX 75032

YOUNG DANIEL JOSEPH 214 STANFORD CT HEATH, TX 75032 PS5 PROPERTIES LLC 2144 CORDERO RD DEL MAR, CA 92014

MORRIS KATE E 215 MAPLERIDGE DR ROCKWALL, TX 75032

SMITH JACOB 215 WINDMILL RIDGE ROCKWALL, TX 75032 RODRIGUEZ SUZANNA 216 WINDMILL RIDGE DR ROCKWALL, TX 75032 HALL TIMOTHY D & BRENDA K 217 MAPLERIDGE DR ROCKWALL, TX 75032

TURNER CYNTHIA J 217 WINDMILL RIDGE ROCKWALL, TX 75032 HAYMAC VENTURES LLC 218 CULLINS ROAD ROCKWALL, TX 75032 CAMACHO JOEL MEJIA AND EMMA HERRERA LUNA 218 LAKESIDE DRIVE ROCKWALL, TX 75032

REYNA FRANCISCO & DOLORES 218 WINDMILL RIDGE DR ROCKWALL, TX 75032 BROWN REBECCA H &
ELMER E HILL
219 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT 220 ALTHEA RD ROCKWALL, TX 75032

RESIDENT 220 WINDMILL RIDGE DR ROCKWALL, TX 75032 RESIDENT
221 WINDMILL RIDGE DR
ROCKWALL, TX 75032

RESIDENT 222 WINDMILL RIDGE DR ROCKWALL, TX 75032

RESIDENT 223 ALTHEA RD ROCKWALL, TX 75032 RESIDENT 223 WINDMILL RIDGE DR ROCKWALL, TX 75032 LUU NGHIA H AND JULIE THURSTON 224 WINDMILL RIDGE DR ROCKWALL, TX 75032

TURNER RICHARD D AND JANET L TURNER AND
ANDREW M TURNER
226 ROCKWALL PARKWAY
ROCKWALL, TX 75032

RIPP THOMAS V DR & HAZEL T 2266 LAFAYETTE LNDG HEATH, TX 75032 YV ROCKWALL REALTY HOLDINGS LLC 2266 LAFAYETTE LNDG ROCKWALL, TX 75032

RESIDENT 228 ROCKWALL PKWY ROCKWALL, TX 75032 REIMER TROY A & LISA C 23 KESWICK CT HEATH, TX 75032 HWANG SEUNG RYONG & EUN SUN KIM HWANG 23 SHADY DALE LN ROCKWALL, TX 75032 RESIDENT 230 LAKESIDE DR ROCKWALL, TX 75032 SHIPMAN KATHLEEN (MERRI) 230 ROCKWALL PKWY ROCKWALL, TX 75032 DICKINSON JIMMY AND BARBARA 2317 FAIRWAY CIR ROCKWALL, TX 75032

RESIDENT 232 ALTHEA RD ROCKWALL, TX 75032 KELLY EDDY DELMAR AND
REX ALLEN KELLY AND RUSSELL GENE KELLY
2324 E I-30
ROYSE CITY, TX 75189

RESIDENT 235 ALTHEA RD ROCKWALL, TX 75032

B R DALLAS PROPERTIES LLC 23801 CALABASAS RD STE 1036 CALABASAS, CA 91302 LEMUS MIGUEL 2381 FIELDCREST DRIVE ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN 24 SHADY DALE LN ROCKWALL, TX 75032

RESIDENT 2400 HORIZON RD ROCKWALL, TX 75032 RESIDENT 242 ALTHEA RD ROCKWALL, TX 75032 1306 SUMMER LEE LLC 244 HARVEST RIDGE DR ROCKWALL, TX 75032

SERIES 305 WINTER PARK, A PROTECTED SERIES
WITHIN
DFRW INVESTMENT HOLDING LLC
2443 FILLMORE ST #380-3288
SAN FRANCISCO, CA 94115

TOVAR LUISIHNO 245 ALTHEA RD ROCKWALL, TX 75032 RESIDENT 2450 HORIZON RD ROCKWALL, TX 75032

SIDNEY S NOE REVOCABLE TRUST SIDNEY S NOE- TRUSTEE 2497 ASHBURY CIRCLE CAPE CORAL, FL 33991

SNIDER VICTOR BRUCE & JUDY LYNNE 25 SHADY DALE LN ROCKWALL, TX 75032 ASTUMIAN SARA LYNN 250 COUNTY ROAD 2504 MINEOLA, TX 75773

RESIDENT 2500 SUMMER LEE DR ROCKWALL, TX 75032

ALDI TEXAS LLC 2500 WESTCOURT ROAD DENTON, TX 76207 NEW BLB CORPORATION 2501 HORIZON RD ROCKWALL, TX 75032

CONFIDENTIAL 25014 KIOWA CRK SAN ANTONIO, TX 78255 RESIDENT 252 ALTHEA RD ROCKWALL, TX 75032 RESIDENT 2525 HORIZON RD ROCKWALL, TX 75032

C M GUIDRY REVOCABLE TRUST CHRISTOPHER MARK GUIDRY- TRUSTEE 2540 WINCREST DRIVE ROCKWALL, TX 75032

SELMA HOSPITALITY INC 2560 ROYAL LN STE 210 DALLAS, TX 75229 SELMA HOSPITALITY INC 2560 ROYAL LN STE 210 DALLAS, TX 75229

RESIDENT 2581 HORIZON RD ROCKWALL, TX 75032 SUDELA THOMAS S AND KAREN C 26 SHADY DALE LN ROCKWALL, TX 75032 HIMMELREICH STEVEN D & NANCY L 2620 WHITE RD ROCKWALL, TX 75032 RESIDENT 264 ALTHEA RD ROCKWALL, TX 75032 DUHON CRAIG R & DONNA L 2640 WHITE RD ROCKWALL, TX 75032 RESIDENT 265 ALTHEA RD ROCKWALL, TX 75032

PARVIN RHONDA 27 SHADY DALE LN ROCKWALL, TX 75032 RESIDENT 2700 SUMMER LEE ROCKWALL, TX 75032 TRAN JAY 2701 CEDAR COURT ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC 2701 SUNSET RIDGE DR SUITE 607 ROCKWALL, TX 75032 HARBOR LAKE POINTE INVESTORS LLC 2701 SUNSET RIDGE DR SUITE 607 ROCKWALL, TX 75032 HERRIAGE JENNIFER RANEY & TIMOTHY 2701 WHISPERING OAKS ROCKWALL, TX 75087

MUMPHREY SCHEDRICK RANDTEZ AND MELODY HOSKINS 2702 FOXCHASE LANE ROCKWALL, TX 75032

ESTES JACK D & DELORES E 2703 CEDAR CT ROCKWALL, TX 75032 HOWELL BRIAN AND KATHRYN 2704 FOXCHASE LN ROCKWALL, TX 75032

DANZEISEN AMANDA WEST & LLOYD ROSS 2705 CEDAR CT ROCKWALL, TX 75032 NIXON KENNETH G & MARY H 2707 CEDAR CT ROCKWALL, TX 75032 ALBRECHT LAWRENCE & LINDA 2709 CEDAR CT ROCKWALL, TX 75032

VENTAS AH ROCKWALL LLC 27101 PUERTA REAL, SUITE 450 MISSION VIEJO, CA 92691 LUO JIAN AND KUN 2711 CEDAR CT ROCKWALL, TX 75032 ARMSTRONG MARY B 2713 CEDAR CT ROCKWALL, TX 75032

KRUSZ WILLIAM C & EVELYN KAY 2715 CEDAR CT ROCKWALL, TX 75032 WEINTRAUB DONALD AND KATHLEEN 28 SHADY DALE LANE ROCKWALL, TX 75032 RESIDENT 2805 HORIZON RD ROCKWALL, TX 75032

TAGGART MICHAEL AND KELLY 2843 MIRA VISTA LN ROCKWALL, TX 75032 RESIDENT 2850 RIDGE RD ROCKWALL, TX 75032 RESIDENT 2855 RIDGE RD ROCKWALL, TX 75032

RESIDENT 2860 RIDGE RD ROCKWALL, TX 75032 RESIDENT 2861 RIDGE RD ROCKWALL, TX 75032 RESIDENT 2865 RIDGE RD ROCKWALL, TX 75032

RESIDENT 2890 RIDGE RD ROCKWALL, TX 75032 HUFFMAN JAMES D & STEPHANIE L 29 SHADY DALE LN ROCKWALL, TX 75032 RESIDENT 2901 RIDGE RD ROCKWALL, TX 75032 RESIDENT 2910 RIDGE RD ROCKWALL, TX 75032 RESIDENT 2911 RIDGE RD ROCKWALL, TX 75032 TOVAR LAURA 2916 TANGLEGLEN DR ROCKWALL, TX 75032

RESIDENT 2918 RIDGE RD ROCKWALL, TX 75032 RESIDENT 2930 SOUTH RIDGE RD ROCKWALL, TX 75032 RESIDENT 2931 RIDGE RD ROCKWALL, TX 75032

BAKER DON 2931 RIDGE RD STE 101-220 ROCKWALL, TX 75032 RESIDENT 2935 RIDGE RD ROCKWALL, TX 75032

RESIDENT 2945 LAGO VISTA LN ROCKWALL, TX 75032

PRINCE BARRY J 2945 LAGO VISTA LN ROCKWALL, TX 75032 RESIDENT 2951 RIDGE RD ROCKWALL, TX 75032 STOKES LEVIN E & MISUZU 2951 RISING TIDE DR FRISCO, TX 75034

PATEL HIMANSHU S AND NIKITA H 2952 OAK DR ROCKWALL, TX 75032 STORBAKKEN JESSICA & NICHOLAS 2953 LAGO VISTA LANE ROCKWALL, TX 75032 CONFIDENTIAL 2954 OAK DR ROCKWALL, TX 75032

WHISMAN RAYMOND V & KATHY M 2956 LAGO VISTA LANE ROCKWALL, TX 75032 BRELAND JUNIOR L & SERENIAH K 2956 OAK DR ROCKWALL, TX 75032 JORDAN WILLIAM 2958 OAK DR ROCKWALL, TX 75032

BURBULYS PAUL D 2959 OAK DR ROCKWALL, TX 75032 FRIZZELL BARBARA 2960 OAK DRIVE ROCKWALL, TX 75032 CROSSLAND RAY WALKER & STACY WORSHAM 2961 HUNTERS GLN N ROCKWALL, TX 75032

LAMBOURNE STEPHEN C & KELLY J 2961 OAK DR ROCKWALL, TX 75032 POWELL TIMOTHY J AND BARBARA TURNER
POWELL
2962 HUNTERS GLEN N
ROCKWALL, TX 75032

KEVIN T MONK AND LISA M MONK REVOCABLE LIVING TRUST KEVIN T AND LISA M MONK TRUSTEES 2962 OAK DR ROCKWALL, TX 75032

SERCY NORMAN W & MARSHA M 2963 LAGO VISTA LN ROCKWALL, TX 75032 WOOD DANNY A & CHERYL 2963 OAK DR ROCKWALL, TX 75032 RESIDENT 2969 N HUNTERS GLEN ROCKWALL, TX 75032

RESIDENT 2970 HORIZON RD ROCKWALL, TX 75032 BEKKA MUSTAPHA & JACQUELINE A 2970 N HUNTERS GLEN ROCKWALL, TX 75032 PREWITT CARROLL O JR AND MARY E 2970 OAK DR ROCKWALL, TX 75032 LANE RICHARD ALLAN 2971 OAK DRIVE ROCKWALL, TX 75032 VARNER GLENN MERRILL & CARRIE G 2972 OAK DR ROCKWALL, TX 75032 BOURQUIN LAUREN 2973 OAK DRIVE ROCKWALL, TX 75032

BOWERMAN FAMILY TRUST
JACK E AND HELEN R BOWERMAN TRUSTEES
2974 OAK DR
ROCKWALL, TX 75032

CHANCELLOR CINDY R 2975 HUNTERS GLEN NORTH ROCKWALL, TX 75032 EVANS JENNIFER BEARD 2975 OAK DR ROCKWALL, TX 75032

MORGAN DALE S & KAY C 2976 HUNTERS GLN N ROCKWALL, TX 75032 RAMOS EMILIO & MARIA C 2976 OAK DR ROCKWALL, TX 75032 KARLEN FRANK W & CHANDRA J 2977 OAK DR ROCKWALL, TX 75032

FOSTER DONNA JO 2978 OAK DRIVE ROCKWALL, TX 75032 SEXTON CHRISTOPHER 2979 OAK DR ROCKWALL, TX 75032 SALUCCI JOSEPH LILIA 2980 OAK DR ROCKWALL, TX 75032

DUNAWAY STEVEN FRANKLIN 2981 HUNTERS GLEN NORTH ROCKWALL, TX 75032 CONFIDENTIAL OWNER 2981 OAK DRIVE ROCKWALL, TX 75032

RESIDENT 2982 OAK DR ROCKWALL, TX 75032

ELWONGER MARLENA JOY AND JASON COLEMAN 2983 OAK DR ROCKWALL, TX 75032 BLACK SHERYL NKA SHERYL L COMPTON AND WILLIAM D COMPTON
2984 HUNTERS GLEN NORTH
ROCKWALL, TX 75032

QUALLS CHARLES S & MARY K 2985 OAK DR ROCKWALL, TX 75032

ANDERSON WILLIAM D & KRISTIN R 2987 HUNTERS GLN N ROCKWALL, TX 75032 HENDRICKS MILLIE E 2990 HUNTERS GLEN ROCKWALL, TX 75032 CONNET STEPHEN R AND DONNA JEAN 2990 OAK DRIVE ROCKWALL, TX 75032

CHOATE RANDELL G & CAROLYN J 2993 OAK DR ROCKWALL, TX 75032 RESIDENT 2994 HORIZON RD ROCKWALL, TX 75032 RESIDENT 2995 HORIZON RD ROCKWALL, TX 75032

THORNLEY JILL E & GERALD R 2996 HUNTERS GLN N ROCKWALL, TX 75032 BORGES DEAN A AND VALARIE D 2998 OAK DRIVE ROCKWALL, TX 75032 COUGHLIN BRIAN & KAREN 2999 OAK DR ROCKWALL, TX 75032

MITCHELL RYAN PATTON & AMANDA NICOLE 3 SHADYDALE LANE ROCKWALL, TX 75032 BESS JULIE M AND JOHN HAGAMAN 30 SHADY DALE LN ROCKWALL, TX 75032 RESIDENT 3000 HORIZON RD ROCKWALL, TX 75032

RESIDENT 3001 RIDGE RD ROCKWALL, TX 75032	RESIDENT 3003 HORIZON RD ROCKWALL, TX 75032	OUR SAVIOR EVANGELIC LUTHERAN CHURCH OF ROCKWALL C/O E H CONSTION 3003 HORIZON ROCKWALL, TX 75032 EEEM ENTERPRISES LLC 3009 N SPRING CT GARLAND, TX 75044		
HOYA CHARLOTTE G 3006 OAK DR ROCKWALL, TX 75032	RESIDENT 3007 OAK DR ROCKWALL, TX 75032			
FAULKNER SCOTT	SEALOCK MICHAEL C & SONIA KAY	JBE RIDGE LLC		
301 WINTER PARK	3010 RIDGE RD	3012 RIDGE RD STE 204		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
JBE RIDGE LLC	RESIDENT	RESIDENT		
3012 RIDGE RD STE 204	3013 RIDGE RD	3014 RIDGE RD		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
GROSS STEPHEN R & MICHELLE L	RESIDENT	RESIDENT		
3014 OAK DR	3015 OAK DR	3016 RIDGE RD		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
RESIDENT	PEOPLES BILLY W	RESIDENT		
3018 RIDGE RD	302 S GOLIAD ST	3020 RIDGE RD		
ROCKWALL, TX 75032	ROCKWALL, TX 75087	ROCKWALL, TX 75032		
5 SHARP REAL ESTATE LLC	5 SHARP REAL ESTATE LLC	5 SHARP REAL ESTATE LLC		
3021 RIDGE RD #160	3021 RIDGE RD #160	3021 RIDGE RD #160		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
5 SHARP REAL ESTATE LLC	CONFIDENTIAL	RIDGE ROAD PROPERTIES LLC		
3021 RIDGE RD #160	3021 RIDGE RD DR #198	3021 RIDGE RD PMB 144		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
	VANHORN WILLIAM & PENNI			

OSBORN DAVID R & DELL A 3021 RIDGE RD SUITE A PMB #131 ROCKWALL, TX 75032 VANHORN WILLIAM & PENNI JOSEPH HENRY & KRISTINE ELIZABETH ZYLKA 3021 RIDGE RD SUITE A-66 ROCKWALL, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E 3022 OAK DR ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST JUNE PETROCELLY TRUSTEE 3023 OAK DRIVE ROCKWALL, TX 75087

COOKS LESTER L 3026 ANDREW DR FARMERSVILLE, TX 75442 WHEELER KEITH P AND TINA KAREN MCMILLAN 303 FEATHERSTONE ROCKWALL, TX 75087 2024 G S SLOAN REVOCABLE TRUST GARY DEAN & STEPHANIE ANN SLOAN -TRUSTEE 3030 OAK DR ROCKWALL, TX 75032

CLARK ROGER AND VICKIE LYNN 3033 OAK DRIVE ROCKWALL, TX 75032 RESIDENT 3035 RIDGE RD ROCKWALL, TX 75032

RESIDENT 305 WINTER PARK ROCKWALL, TX 75032 RESIDENT 3060 RIDGE RD ROCKWALL, TX 75032 BARTELL RICKY J 307 ROCKBROOK DR ROCKWALL, TX 75087

BARTELL RICKY J 307 ROCKBROOK DR ROCKWALL, TX 75087 RESIDENT 3085 RIDGE RD ROCKWALL, TX 75032

RESIDENT 309 WINTER PARK ROCKWALL, TX 75032

HORIZON RIDGE PROFFESSIONAL CNTR LTD 309 ROOKERY CT MARCO ISLAND, FL 34145 GILLEAN AND POTTER REAL ESTATE LLC 3090 RIDGE RD ROCKWALL, TX 75032 RESIDENT 3100 RIDGE RD ROCKWALL, TX 75032

VEAL JEREMY 3101 BOURBON ST ROCKWALL, TX 75032 PATTERSON BRANDY & RYAN LOCKWOOD 3103 BOURBON STREET CIR ROCKWALL, TX 75032 BELL WILLIAM B AND KRISTA D 3104 BOURBON STREET CIRCLE ROCKWALL, TX 75032

LYNN KELSIE 3105 BOURBON STREET CIRCLE ROCKWALL, TX 75032 LIEBSCH MICHAEL JR 3107 BOURBON STREET CIR ROCKWALL, TX 75032 NANCE CARLTON ERIC & RHONDA D 3107 OAK DR ROCKWALL, TX 75032

GREEN DAVID D JR AND JESSICA L 3108 BOURBON STREET CIR ROCKWALL, TX 75032 BOWERS DENNIS & COLLEEN 3108 OAK DR ROCKWALL, TX 75032 SORRELL PATRICIA A AND MARK ANDREWS 3109 BOURBON STREET CIR ROCKWALL, TX 75032

LONG SHAWN 3110 BOURBON STREET CIR ROCKWALL, TX 75032 RESIDENT 3111 BOURBON ST CIR ROCKWALL, TX 75032 RESIDENT 3112 BOURBON ST CIR ROCKWALL, TX 75032

RESIDENT 3113 BOURBON ST. CIR ROCKWALL, TX 75032 RESIDENT 3114 BOURBON ST CIR ROCKWALL, TX 75032 RESIDENT 3115 RIDGE RD ROCKWALL, TX 75032

BILLY AND VICKIE COLEMAN REVOCABLE TRUST
BILLY C COLEMAN AND VICKIE D COLEMAN TRUSTEES
3115 BOURBON ST CIR
ROCKWALL, TX 75032

MCMAHON SANDRA 3115 OAK DR ROCKWALL, TX 75032 BEVAN MARILYN 3116 OAK DR ROCKWALL, TX 75032 ANDERSON CLAUDIA 3117 BOURBON STREET CIR ROCKWALL, TX 75032 KELBERT ERIC R 3119 BOURBON STREET CIR ROCKWALL, TX 75032 IMAN SUE ROFFEE LIVING TRUST
IMAN SUE ROFFEE AND JOSEPH MICHAEL ALKIRWI
3121 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT 3123 BOURBON ST CIR ROCKWALL, TX 75032 KUBIAK NICHOLAS E AND JENNIFER L 3123 OAK DR ROCKWALL, TX 75032 CHILDRESS SHERRY L 3124 OAK DR ROCKWALL, TX 75032

RESIDENT 3125 RIDGE RD ROCKWALL, TX 75032 YORK MICHELLE 3125 BOURBON STREET CIRCLE ROCKWALL, TX 75032 SLAUGHTER CATHY 3127 BOURBON STREET CIR ROCKWALL, TX 75032

HOUSE CHRISTOPHER W 3129 BOURBON STREET CIR ROCKWALL, TX 75032 MORTON JONNA 313 ROCKBROOK ROCKWALL, TX 75087 MILLS JASON E & SARAH C 313 WINTER PARK ROCKWALL, TX 75032

HOVAGUIMIAN MICHAEL GREGORY AND LARA 3131 BOURBON ST CR ROCKWALL, TX 75032 MISHLER JEREMY & CHRISTI 3131 OAK DR ROCKWALL, TX 75032 HALL KEVIN A & MICHELLE D 3133 BOURBON STREET CIR ROCKWALL, TX 75032

MANNO SHARON & PAUL FULLINGTON 3134 OAK DR ROCKWALL, TX 75032

RESIDENT 3136 HORIZON RD ROCKWALL, TX 75032 DODSON GERELDENE 3139 OAK DR ROCKWALL, TX 75032

RESIDENT 3140 HORIZON RD ROCKWALL, TX 75032 GARZA ERIC ISAAC AND KARINA RUBIO 3140 BOURBON STREET CIR ROCKWALL, TX 75032 CROWELL SHANNON P 3142 BOURBON STREET CIRCLE ROCKWALL, TX 75032

HOWARD WILLIAM ARTHUR AND DEBORAH 3144 BOURBON STREET CIR ROCKWALL, TX 75032 DICKINSON JONATHAN PAUL & THERESA MICHELLE 3144 OAK DRIVE ROCKWALL, TX 75032

SALITURE CODY AND BRITTANY 3146 BOURBON STREET CIRCLE ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J 3147 OAK DR ROCKWALL, TX 75032 RESIDENT 3150 HORIZON RD ROCKWALL, TX 75032 LEVINE ERIC HARRIS & MARIO MONZON CUELLAR 3155 BOURBON STREET CIRCLE ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L 3155 OAK DR ROCKWALL, TX 75032 DIESSONGO THIERRY AND MARIAME DIESSONGO 3163 OAK DR ROCKWALL, TX 75032

RESIDENT 3164 HORIZON RD ROCKWALL, TX 75032 BELL CAROLYN 317 WINTER PARK ROCKWALL, TX 75032 PIKE MARTIN E & JANET L 3171 OAK DRIVE ROCKWALL, TX 75032 WEICHEL JAMES D & KRISTEN E 3182 OAK DR ROCKWALL, TX 75032

RESIDENT 3185 S RIDGE RD ROCKWALL, TX 75032 LEWELLYN DARYL G & SARAH 3187 RIDGE RD ROCKWALL, TX 75032 BALLI NOE III & LYNN E 3190 OAK DR ROCKWALL, TX 75032

CULLISON LLOYD AND REBECCA 3198 OAK DR ROCKWALL, TX 75032 KASIRI SAHBA AND SARA SADEGHI 32 SHADY DALE LN ROCKWALL, TX 75032 JANKE JOEL & HALEY BETHEL 3200 OAK DR ROCKWALL, TX 75032

ST CLAIR PAUL M & GENEVIEVE J 3201 RIDGE RD ROCKWALL, TX 75032 SWAGERTY TOMMY & DEBORAH K HARGROVE 321 WINTER PARK ROCKWALL, TX 75032 KIYA ENTERPRISES INC OF ROCKWALL 3312 HAYLEY COURT RICHARDSON, TX 75082

SOUTHTRUST BANK C/O WELLS FARGO 333 MARKET ST 10TH FLOOR 10TH FLMACA0109-101 SAN FRANCISCO, CA 94105

TINDALL CINDY P 34 SHADY DALE LN ROCKWALL, TX 75032 RESIDENT 3520 HORIZON ROCKWALL, TX 75032

DRIBBEN FAMILY TRUST RONALD MARTIN DRIBBEN AND DOLLY MARNA DRIBBEN- COTRUSTEES 357 MARIAH BAY DR HEATH, TX 75032

HAYWOOD CHARLES E AND LISA K 36 IONA DRIVE RD3 TAURANGA NEW ZEALAND 3173, WATSON BRANDON AND VALERIE 36 SHADY DALE LN ROCKWALL, TX 75032

PARKER SLURPEE 2 LLC 3600 POTOMAC AVENUE HIGHLAND PARK, TX 75205

RESIDENT 3615 FM3097 ROCKWALL, TX 75032 RESIDENT 3775 FM3097 ROCKWALL, TX 75032

RESIDENT 38 SHADYDALE LN ROCKWALL, TX 75032 MMAC 300 ROCKWALL TX LLC C/O MONTECITO MEDICAL REAL ESTATE, ATTN BRIAN MAAS 3807 CLEGHORN AVENUE SUITE 903 NASHVILLE, TN 37215

RESIDENT 3835 FM3097 ROCKWALL, TX 75032

CITY OF ROCKWALL ATTN;MARY SMITH 385 S GOLIAD ST ROCKWALL, TX 75087

RESIDENT 3885 FM3097 ROCKWALL, TX 75032 KELLY REX ALLEN 3919 BETTY ST ROCKWALL, TX 75087

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIETRUSTEES
3923 POSTRIDGE TRAIL
MELBOURNE, FL 32934

RESIDENT 3935 FM3097 ROCKWALL, TX 75032 KELBERT ERIC R 3939 E ALLIN ST UNIT 322 LONG BEACH, CA 90803 RESIDENT 3985 FM3097 ROCKWALL, TX 75032 TASSET AUSTIN & KENNEDY 4 SHADY DALE LANE ROCKWALL, TX 75032 JETER PATRICK ALAN AND NATALIE F 40 SHADY DALE LANE ROCKWALL, TX 75032

KRUGER KARIN 400 CHAPARRAL LN ROCKWALL, TX 75032 NERITA LLC 4001 MCEWEN RD SUITE 408 FARMERS BRANCH, TX 75244 RESIDENT 4065 FM3097 ROCKWALL, TX 75032

CASTILLO SILVIA 4125 FM 3097 ROCKWALL, TX 75032 RESIDENT 4175 FM3097 ROCKWALL, TX 75032 PITTMAN JAMES CHRISTOPHER AND AMY 42 SHADY DALE LANE ROCKWALL, TX 75032

RESIDENT 4215 FM3097 ROCKWALL, TX 75032 RESIDENT 4275 FM3097 ROCKWALL, TX 75032 RESIDENT 4325 FM3097 ROCKWALL, TX 75032

RESIDENT 4375 FM3097 ROCKWALL, TX 75032 BREWER ELIZABETH CAITLIN AND NICOLAS LUKASHEVICH 44 SHADY DALE LN ROCKWALL, TX 75032

RESIDENT 4425 FM3097 ROCKWALL, TX 75032

LAKESIDE SURGERY LAND HOLDINGS LLC 4450 TUBBS RD ROCKWALL, TX 75032 RESIDENT 4475 TUBBS RD ROCKWALL, TX 75032 RESIDENT 4485 HORIZON RD ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY 4550 STEEPLE CHASE LN ROCKWALL, TX 75032 HARRIS GERALD T & SHERRI K 4558 STEEPLE CHASE LN ROCKWALL, TX 75032 KIRK MARGIE 4566 STEEPLE CHASE LN ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K 4574 STEEPLE CHASE LN ROCKWALL, TX 75032 GAGNON STEVEN C ETUX SUZANNE 459 WINDING RIDGE LN ROCKWALL, TX 75032 HARGETT STEPHEN WAYNE 46 SHADYDALE LN ROCKWALL TX, 75032

ARNDT GARY & DIANNE 4608 STEEPLE CHASE LN ROCKWALL, TX 75032 POWELL ALEAH D 4609 STEEPLE CHASE LN ROCKWALL, TX 75032 BRANNING BARRY S & LINDA R 4616 STEEPLE CHASE LN ROCKWALL, TX 75032

RESIDENT 4617 STEEPLE CHASE LN ROCKWALL, TX 75032 WATSON MATTHEW WAYNE 4625 STEEPLE CHASE ROCKWALL, TX 75087 KHODAPARAST RAHIM & ROYA 4630 PARKWOOD DR ROCKWALL, TX 75087 VEST DONALD R 4633 PARKWOOD DR ROCKWALL, TX 75032 FLORANCE WILLIAM C & KATHRYN E 4633 STEEPLE CHASE LANE ROCKWALL, TX 75032 CARNEVALE EDWARD A JR AND PAMELA D 4648 PARKWOOD DRIVE ROCKWALL, TX 75032

LEONARD N AND LINDA L SPINELLI TRUST LEONARD N AND LINDA L SPINELLI- TRUSTEES 4648 STEEPLE CHASE ROCKWALL, TX 75032

RESIDENT 4649 PARKWOOD DR ROCKWALL, TX 75032 FREEMAN DENWARD LEE & ELIZABETH ANN 4660 GREENBRIAR CT ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL 4670 PARKWOOD DR ROCKWALL, TX 75032 LIGHT LEIGH ANN AND JEFF 4671 GREENBRIAR CT ROCKWALL, TX 75032

ZEHR JACK L & EDITH L 4671 PARKWOOD DR ROCKWALL, TX 75032

MONGER JUSTIN C AND EVA 4684 GREENBRIAR CT ROCKWALL, TX 75032 HAIN MARGARET GUNTHER AND STEPHANIE HAIN TORRES 4685 GREENBRIAR CT HEATH, TX 75032

RICHARDSON JIM & CAROL 4690 PARKWOOD DR ROCKWALL, TX 75032

PARENT RICHARD DAVID & MARIE L 4691 PARKWOOD DR ROCKWALL, TX 75032 BICKLEY AMANDA 4702 STEEPLE CHASE LN ROCKWALL, TX 75032 BICKLEY AMANDA 4702 STEEPLE CHASE LN ROCKWALL, TX 75032

PAUL AMANDA K & SEAN K 4702 STEEPLE CHASE LN ROCKWALL, TX 75032 PARKS TODD L AND RHONDA DENISE 4704 GREENBRIAR CT ROCKWALL, TX 75032 ENOCH PRESTON 4705 GREENBRIAR CIR ROCKWALL, TX 75032

CARPENTER CRAIG S & EVE E 4710 PARKWOOD DR ROCKWALL, TX 75032 WOLOV MATTHEW BLAKE & KRISTINA MARIE, TRUSTEES MATTHEW & KRISTINA WOLOV LIVING TRUST 4710 PIN OAKS CIR ROCKWALL, TX 75032

BRACE CALVIN & CAROLYN 4710 STEEPLE CHASE LN ROCKWALL, TX 75032

COLONNA DANIEL AND SANDRA 4711 PARKWOOD DR ROCKWALL, TX 75032 WILLIAMS FAMILY LIVING TRUST 4718 STEEPLE CHASE LN ROCKWALL, TX 75032 RESIDENT 4725 BENTON CT ROCKWALL, TX 75032

RESIDENT 4726 STEEPLE CHASE LN ROCKWALL, TX 75032 BELZOWSKI JOSEPH II & LAURA 4734 STEEPLECHASE LN ROCKWALL, TX 75032 HARRIS JUANITA AND JUREL F SMITH JR 4740 PARKWOOD DR ROCKWALL, TX 75032

HUGHES THOMAS DANIEL AND MADISON ELIZABETH 4741 PARKWOOD DRIVE ROCKWALL, TX 75032

JENNINGS CHARLES R & NITA MARIE 4741 SECRET CV ROCKWALL, TX 75032 DORINSKI FAMILY LIVING TRUST
DAVID ALLEN DORINSKI AND TAMMY LYNN
DORINSKI - CO-TRUSTEES
4745 SECRET COVE LN
ROCKWALL, TX 75032

LULE STEVEN & LEANNA 4748 SECRET CV ROCKWALL, TX 75032 JOHNSON SCOTT BRADLEY & JULIE 4749 SECRET CV ROCKWALL, TX 75032 WALLER BENJAMIN E IV 4752 SECRET CV ROCKWALL, TX 75032

MILLS MICHAEL D & MINA R MILLS 4754 PARKWOOD DR ROCKWALL, TX 75032 YOUNES ERIC A & CECILEE M 4755 PARKWOOD DR ROCKWALL, TX 75032 CHRYSSICAS NICOLE AND JOHN 4756 SECRET CV ROCKWALL, TX 75032

WADE KENNETH M & DEBRA L 4760 SECRET COVE ROCKWALL, TX 75032 MCVANEY JEFFREY AND MORGAN 4761 SECRET COVE ROCKWALL, TX 75032 DAVIS JAMES B AND JULIE A 4764 SECRET COVE ROCKWALL, TX 75032

BENNINGFIELD WILLIAM D 4765 SECRET CV HEATH, TX 75032 LONG JOY 4768 PARKWOOD DR ROCKWALL, TX 75032 GALLOWAY JONATHAN 4768 SECRET COVE ROCKWALL, TX 75032

MEEK CHARMA 4769 SECRET CV ROCKWALL, TX 75032 BRITT PAUL D AND HOLLY 4772 SECRET CV ROCKWALL, TX 75474 THOMAS SIMI JOJI AND JOJIMON 4773 SECRET COVE ROCKWALL, TX 75032

WATERS JOHN TAYLOR AND DAVID JOSHUA REYES 4776 SECRET COVE ROCKWALL, TX 75032 MASTROGIANNOPOULOS EMMANUEL AND RUBY
4777 SECRET COVE
ROCKWALL, TX 75032

LEE LARRY EDWARD 4780 SECRET COVE ROCKWALL, TX 75032

JOHNSON MATTHEW 4781 SECRET COVE ROCKWALL, TX 75032 FIELDING JEREMY & LAURA S 4784 SECRET COVE LN ROCKWALL, TX 75032 FOLZ GILBERT FRANK JR & MARY TERESA 4785 SECRET CV ROCKWALL, TX 75032

BELL ADAM & JANETTE 4788 SECRET COVE LANE ROCKWALL, TX 75032 MITCHELL CHARLES F AND PATSY 4789 SECRET COVE ROCKWALL, TX 75032 SARAZEN RAECHELLA AND JOHN 4792 SECRET COVE ROCKWALL, TX 75032

RESIDENT 4793 SECRET COVE LN ROCKWALL, TX 75032 SMITH HUGH CLARK AND NATALIE ANN 4796 SECRET COVE LANE ROCKWALL, TX 75032 ROTE MATTHEW J AND LAURA WRIGHT 4797 SECRET COVE ROCKWALL, TX 75032

HANSON TYLER & SUMMER HANSON 48 SHADY DALE LN ROCKWALL, TX 75032 RESIDENT 4850 TUBBS RD ROCKWALL, TX 75032 RESIDENT 4920 HORIZON RD ROCKWALL, TX 75032

VANDERGRIFFT IRA E & MARY L 4975 HORIZON RD ROCKWALL, TX 75032	RESIDENT 5 SHADYDALE LN ROCKWALL, TX 75032	BLPT LLC 5 BROCKFIELD CT HEATH, TX 75032 SLABAS KAREN AND JEFFREY 50 SHADY DALE LN ROCKWALL, TX 75032		
C. REAL ESTATE, LLC 5 TERRABELLA LANE HEATH, TX 75032	AJ SQUARED LLC 5 TERRABELLA LN HEATH, TX 75032			
SLABAS KAREN AND JEFFREY	ARMM ASSET COMPANY 2, LLC	WEBSTER DAVID L		
50 SHADY DALE LN	5001 PLAZA ON THE LK STE 200	501 E OLD GREENVILLE RD		
ROCKWALL, TX 75032	AUSTIN, TX 78746	ROYSE CITY, TX 75189		
ALSOBROOK HAROLD DAVID JR	ALSOBROOK HAROLD DAVID JR	KENYON REAL PROPERTY LLC		
505 CARRIAGE TR	505 CARRIAGE TRAIL	5093 TEN OAKS RD		
ROCKWALL, TX 75087	ROCKWALL, TX 75087	CLARKSVILLE, MD 21029		
BUCHANAN DANIEL K AND MINDY M 510 CHAPS DR HEATH, TX 75032	HONEYCUTT WELDON & LINDA 5102 YACHT CLUB DR ROCKWALL, TX 75032	BOUGHTON JANENE MARK STUERTZ 5104 YACHT CLUB DR ROCKWALL, TX 75032		
SOUTHAM THOMAS & MELISSA	RESIDENT	LOPEZ RICARDO C		
5106 YACHT CLUB DRIVE	5108 YACHT CLUB DR	519 E I 30 #306		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75087		
RESIDENT	THOMAS JERRY & MARSHA	MERKEL STEPHANIE L		
52 SHADYDALE LN	5202 YACHT CLUB DR	5204 YACHT CLUB DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
RESIDENT	METRY GREGORY K	RESIDENT		
5206 YACHT CLUB DR	5208 YACHT CLUB DRIVE	5242 MEDICAL DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
RESIDENT	DAVIES DAVID B & HELEN J	NORTON JO ANN		
5250 MEDICAL DR	5302 YACHT CLUB DR	5303 YACHT CLUB DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
RANSOM DEBRA POOVEY	MARTIN CAREN	ADRIAN AMANDA C AND MICHAEL S		
5304 YACHT CLUB DR	5305 YACHT CLUB DR	5306 YACHT CLUB DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		

ADDISON MARAVIN G AND FAYE 5308 YACHT CLUB DR. ROCKWALL, TX 75033 RESIDENT 5335 FM3097 ROCKWALL, TX 75032 LEATHERS TIMOTHY 5335 COUNTY ROAD 597 FARMERSVILLE, TX 75442

ATTICUS SUMMER LEE TOWNHOMES LLC 5339 ALPHA ROAD SUITE 300 DALLAS, TX 75240 RESIDENT 5399 FM3097 ROCKWALL, TX 75032 RESIDENT 54 SHADY DALE LN ROCKWALL, TX 75032

FEKADU HENOK 5402 ONSET BAY DR ROWLETT, TX 75089 ODOM JOSHUA D-WAYNE AND LACEY ALEXANDRA 5402 YACHT CLUB DRIVE ROCKWALL, TX 75032

RAMOS JAIME & JUDITH 5411 VICTOR ST DALLAS, TX 75214

RAMOS JAIME & JUDITH 5411 VICTOR ST DALLAS, TX 75214 HASTINGS CLAIMS SERVICE INC 5532 HUFFINES BLVD ROYSE CITY, TX 75189 MATTHEWS GERALD W & DONNA C 5550 HORIZON RD ROCKWALL, TX 75032

M & M ROCKWALL PROPERTIES LLC 5601 RANGER DR ROCKWALL, TX 75032 STEGER TOWNE CROSSING LP 580 DECKER DR STE 203 IRVING, TX 75062 STEGER TOWNE CROSSING II LP 580 DECKER DR STE 203 IRVING, TX 75062

SPT IVEY ROCKWALL MOB II LLC C/O STARWOOD PROPERTY TRUST INC 591 WEST PUTNAM AVENUE GREENWICH, CT 6830 SPT IVEY ROCKWALL MOB LLC C/O STARWOOD PROPERTY TRUST INC 591 WEST PUTNAM AVENUE GREENWICH, CT 6830 CARTER SHARON R BLANKENSHIP DON L & AUDREY LIFE ESTATE 6 SHADY DALE LN ROCKWALL, TX 75032

28 PLAZA LTD 601 KILLARNEY RICHARDSON, TX 75201 BALDERAS VICTORIO AND SUSAN GAMEZ 602 LAWRENCE HEATH, TX 75032

CHEN XIANSONG 609 BELLHAVEN DR ALLEN, TX 75013

ROCKWALL REGIONAL HOSPITAL LLP 612 E LAMAR BLVD STE 100 ARLINGTON, TX 76011 ROCKWALL REGIONAL HOSPITAL LLP 612 E LAMAR BLVD STE 100 ARLINGTON, TX 76011 BAILEY BLAKE C & LAINE E 613 DOVE HILL CIRCLE HEATH, TX 75032

RIDGE ROAD REAL ESTATE LLC 6245 RYEWORTH DR FRISCO, TX 75035 AKP REALTY-DALROCK LLC 6411 ORCHID LN DALLAS, TX 75230 SAUDER WILLIAM MICHAEL TRAN 646 FREED DR ROCKWALL, TX 75087

LEAL ROLAND RYAN AND ERIN TAYLOR 654 SHARPLEY FATE, TX 75087 EMERIROCK LLC
DBA EMERITUS SENIOR LIVING
6737 W WASHINGTON ST STE 2300
MILWAUKEE, WI 53214

RESIDENT 7 SHADYDALE LN ROCKWALL, TX 75032 RESIDENT 7 SHADYDALE LN ROCKWALL, TX 75032 CASTRO RENE AND BETSY 700 WINDSONG LN ROCKWALL, TX 75032 DOTSON DANIEL A & KARA 704 WINDSONG LANE ROCKWALL, TX 75032

R. C. AND I. K. ANDERSON LIVING TRUST R.C. AND INA KAY ANDERSON 708 WINDSONG LANE ROCKWALL, TX 75032

ADAMS RAYMOND J JR & CINDI F 712 WINDSONG LN ROCKWALL, TX 75032 BIG H REVOCABLE TRUST
JOHN S HOHENSHELT & KELLI JENKINS
HOHENSHELT - CO-TRUSTEES
716 WINDSONG LN
ROCKWALL, TX 75032

MANN DAVID & EVELYN 717 WINDSONG LANE ROCKWALL, TX 75032 ROELOFS ALBERT & KAREN K 720 WINDSONG LN ROCKWALL, TX 75032 DAVIS BENJAMIN C & TRACY R 721 WINDSONG LN ROCKWALL, TX 75032

AYRES DAVID L AND ELAINE F SULLIVAN
724 WINDSONG LN
ROCKWALL, TX 75032

RESIDENT 728 WINDSONG LN ROCKWALL, TX 75032 PATRICK REGGIE AND BARBARA L 732 WINDSONG LANE ROCKWALL, TX 75032

VAVRIK LUCIA E & ROBERT A 735 MICAH DR ROCKWALL, TX 75032 SANDRA J SHURLEFF MARITAL TRUST SANDRA J SHURLEFF - TRUSTEE 736 WINDSONG LN ROCKWALL, TX 75032

CHM REAL ESTATE LLC 740 WILFORD WAY HEATH, TX 75032

MCKNIGHT BYRON M & CAROLINE 740 WINDSONG LN ROCKWALL, TX 75032 WATSON BARBARA 743 MICAH DR ROCKWALL, TX 75032 REICHARDT LARRY W & JENNIFER L 743 WINDSONG LN ROCKWALL, TX 75032

JOSEPH P AGOSTINI AND DEBRA R AGOSTINI
FAMILY TRUST
JOSEPH P AGOSTINI AND DEBRA R AGOSTINICOTRUSTEES
744 WINDSONG LANE
ROCKWALL, TX 75032

MEDINA DAVID JR & JERE 747 WINDSONG LANE ROCKWALL, TX 75032 HILL VAN D & ANNE B 748 WINDSONG LANE ROCKWALL, TX 75032

RESIDENT 750 RALPH HALL PKWY ROCKWALL, TX 75032 KROGER TEXAS LP 751 FREEPORT PKWY COPPELL, TX 75019 SWART TAGGART TRUST
JAMES STEPHEN SWART AND ANNETTE M
TAGGART CO TRUSTEES
751 MICAH DR
ROCKWALL, TX 75032

KOHAN FERNANDO AND FLAVIA BELPOLITI 751 WINDSONG LN ROCKWALL, TX 75032

MATA JAIME & TRINA T 752 WINDSONG LN ROCKWALL, TX 75032 BENNETT FAMILY LIVING TRUST WILLIAM THOMAS AND JUDY M BENNETT TRUSTEES 754 HUNTERS GLN ROCKWALL, TX 75032

MARKS DONALD W PAMELA A MARKS 755 HUNTERS GLN ROCKWALL, TX 75032

KEYES JOANN 755 WINDSONG LN ROCKWALL, TX 75087 HP ROCKWALL 740 LTD C/O GARY P HAMMER 7557 RAMBLER ROAD, SUITE 980 DALLAS, TX 75231 ROCK SOUTH INVESTMENTS LTD. A TEXAS LIMITED PARTNERSHIP 756 RIDGE HOLLOW RD ROCKWALL, TX 75032

SCHWERTNER RAY AND SHEILA 756 WINDSONG LANE ROCKWALL, TX 75032 BROWN TOMMY & AMANDA 757 VENUS CT ROCKWALL, TX 75032

ALFINITO JOSEPH J & KAREN D 759 WINDSONG LN ROCKWALL, TX 75032 RESIDENT 760 RALPH HALL ROCKWALL, TX 75032 WASHBURN COBY J & MARCA M 760 VENUS COURT ROCKWALL, TX 75032

MAXWELL CARL T & LISA G 760 WINDSONG LANE ROCKWALL, TX 75032 SAVAGE CLIFFORD & JEANA 761 HUNTERS GLN ROCKWALL, TX 75032 KUEHL FAMILY LIVING TRUST LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES 762 HUNTERS GLEN ROCKWALL, TX 75032

GILLIGAN JASON & KIM 763 WINDSONG LANE ROCKWALL, TX 75032 CROSS MARK F AND LORI E 764 WINDSONG LANE ROCKWALL, TX 75032 LEVINTON ETHAN AND HALEY 765 VENUS COURT ROCKWALL, TX 75032

JENKINS SHEILA KAREN REVOCABLE LIVING TRUST SHEILA KAREN JENKINS TRUSTEE 767 HUNTERS GLEN ROCKWALL, TX 75032

HOGGAN JARED M & ELISE D 767 WINDSONG LN ROCKWALL, TX 75032 KEMP KENNETH W & BARBARA J 768 VENUS CT ROCKWALL, TX 75032

CUNNINGHAM RONNIE & NANCY 768 WINDSONG LANE ROCKWALL, TX 75032 BROWN SANDRA MARIE 770 HUNTERS GLEN ROCKWALL, TX 75032 GADSDEN CURTIS & MARSHA 771 HUNTERS GLN ROCKWALL, TX 75032

FISHER DANA 771 WINDSONG LANE ROCKWALL, TX 75032 PIRRONE GEORGE & LISA 772 WINDSONG LANE ROCKWALL, TX 75032 NOWAKOWSKI RICHARD T AND DEBORAH T 775 HUNTERS GLEN ROCKWALL, TX 75032

PYTER EDWARD AND KAZIMIERA 775 WINDSONG LN ROCKWALL, TX 75032 CHARLES W CLEMENTS REVOCABLE TRUST
CHARLES W CLEMENTS JR AND VICKI GARRETTTRUSTEES
776 WINDSONG LANE
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY 778 HUNTERS GLN ROCKWALL, TX 75032

HOVENDEN DANETTE & DAVID 779 HUNTERS GLEN ROCKWALL, TX 75032 ARKELL STEVEN A AND SHELLEY L 780 WINDSONG LN ROCKWALL, TX 75032 GARCIA FAMILY REVOCABLE LIVING TRUST 784 WINDSONG LN ROCKWALL, TX 75032

JOHNSTON BRENT ALAN AND DALLAS 785 HUNTER GLEN ROCKWALL, TX 75032 ROMER FRANK L & MARCY L AND MARISSA P 786 HUNTERS GLEN ROCKWALL, TX 75032

SMITH LYLE AND IMELDA 788 WINDSONG LN ROCKWALL, TX 75032

QUAN KRIS GENNIFER	SIKES CAMERON & MEGAN	NGUYEN TAMMY		
791 HUNTERS GLEN	791 WINDSONG LN	7910 SARAHVILLE DR		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	DALLAS, TX 75252		
NGUYEN TAMMY	KEYES CHRISTINA R	HONG TAE SU & SUNSIL		
7910 SARAHVILLE DR	792 WINDSONG LN	794 HUNTERS GLN		
DALLAS, TX 75252	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
CASTEEL GERALD & CATHERINE	LANG WILLIAM ALLYN & MELANIE L	GOYAL SANJAY K		
797 HUNTERS GLEN	800 TRUMPETER WAY	8008 STRECKER LN		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	PLANO, TX 75025		
STANFORD STEVEN R AND KIRSTEN L	KAMPER JENNIFER E & ROBERT	MOORE ROBERT W & DIANE B		
802 HUNTERS GLEN	804 TRUMPETER WAY	805 HUNTERS GLN		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
CARSE JOHN DANIEL	GARY DENNIS & DIANNE	CHRISTENSEN BRIAN & JENNIFER		
808 TRUMPETER WAY	809 COUNTY CLUB DRIVE	810 HUNTERS GLN		
ROCKWALL, TX 75032	HEATH, TX 75032	ROCKWALL, TX 75032		
HOLLY FISHER BRITT INVESTMENTS LLC	LD2020 LLC	WILSON GLENN & ALLISON		
810 ROCKWALL PKWY SUITE 2020	8111 PRESTON ROAD SUITE 225	812 TRUMPETER WAY		
ROCKWALL, TX 75032	DALLAS, TX 75225	ROCKWALL, TX 75032		
WARD ANNE AND EDWARD	FORTUNE DEAN WARREN AND LAURA THOMAS	SOLARES MARIA E		
813 HUNTERS GLEN	816 TRUMPETER WAY	817 TRUMPETER WAY		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		
RESIDENT 818 HUNTERS GLEN ROCKWALL, TX 75032	CFT NV DEVELOPMENTS LLC CT CORPORATION SYSTEM 818 WEST 7TH STREET 2ND FLOOR LOS ANGELES, CA 90017	JOSEPH MATHEW CORBETE AND SARAH KATHRYN R 819 HUNTERS GLEN ROCKWALL, TX 75032		
BUTLER CLAYTON E 820 TRUMPETER WAY ROCKWALL, TX 75032	CHRISTIAN ALBERT C AND JIMNETA R 821 TRUMPETER WAY ROCKWALL, TX 75032	AY 824 TRUMPETER WAY		
HANIE BRIAN K & CONNI C	GILLEAN JULIA REBECCA	BRADY LISA AND RALPH		
825 HUNTERS GLEN	825 TRUMPETER WAY	826 HUNTERS GLEN		
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032		

HAMMER MICHAEL AND AMANDA 827 CANTERBURY DRIVE ROCKWALL, TX 75032 METSKER JUSTIN LEE AND TARA LYNN 827 TURQUOISE POINT ROCKWALL, TX 75032 HASENYAGER MARCIA A AND MELVIN K 828 TRUMPETER ROCKWALL, TX 75032

WILSON ROBERT & CAROLE RUTH 829 TRUMPETER WAY ROCKWALL, TX 75032 ESQUIVEL MARIA GARCIA & JAVIER A 830 ELGIN COURT ROCKWALL, TX 75032 MILLER FRANCIS EDWARD AND NATALIE 831 ELGIN CT ROCKWALL, TX 75032

BOWNE BENJAMIN AND VALERIE 831 HUNTERS GLEN ROCKWALL, TX 75032 LOAFMAN MELISSA & THOMAS 831 TURQUOISE PT ROCKWALL, TX 75032 CARTER JEANNE 832 TRUMPETER WAY ROCKWALL, TX 75032

WATKINS SPENCER P & JENNIFER A 833 TRUMPETER WAY ROCKWALL, TX 75032 EASON GEORGE ALLAN AND MARTHA 834 CANTERBURY DR ROCKWALL, TX 75032 SCOTT MARY ELIZABETH 834 HUNTERS GLEN ROCKWALL, TX 75032

HELTON SHARMON BRAD AND SHIRLEY H 834 TURQUOISE PT ROCKWALL, TX 75032 KERN JEFFREY 835 CANTERBURY DR ROCKWALL, TX 75032 BEASLEY MARSHA G 835 TURQUOISE POINT ROCKWALL, TX 75032

JACKSON WILLIAM HARRISON & KATHRYN GRACE 836 TRUMPETER WAY ROCKWALL, TX 75032

RESIDENT 837 ELGIN CT ROCKWALL, TX 75032 SHULTZ ZACHARY AND CRYSTAL 837 HUNTERS GLEN ROCKWALL, TX 75032

REULER MARIA M 837 TRUMPETER WAY ROCKWALL, TX 75032

CONAWAY TIMOTHY E AND ELIZABETH A 838 ELGIN COURT ROCKWALL, TX 75032 LOWRY PAUL E & PENNY G 838 TURQUOISE PT ROCKWALL, TX 75032

BAXTER DOUGLAS & CINDY 839 TURQUOISE PT ROCKWALL, TX 75032 DE LA PENA ENRIQUE & WENDY J 840 TRUMPETER WAY ROCKWALL, TX 75032 FINLEY MATTHEW AND CHARITY 841 TRUMPETER WAY ROCKWALL, TX 75032

HAYDEN VICKY 842 CANTERBURY DRIVE ROCKWALL, TX 75032 BRISCOE JULIE 842 HUNTERS GLEN ROCKWALL, TX 75032 LADD HARVEY S & RILA B 842 TURQUOISE PT ROCKWALL, TX 75032

REDDEN DARREN LEE AND SHERRY ANN 843 CANTERBURY DRIVE ROCKWALL, TX 75032 KRAUS MARY E AND ROBERT G 843 ELGIN CT ROCKWALL, TX 75032 STROTHER PHILLIP S 843 TURQUOISE PT ROCKWALL, TX 75032 MAHMOUD HASSAN 844 ELGIN COURT ROCKWALL, TX 75032 PERRY CHRISTOPHER AND JENNA L 844 TRUMPETER WAY ROCKWALL, TX 75032 DIETERICH GEORGE D & JOHANNA 846 STEEPLE CHASE CT ROCKWALL, TX 75032

RICH TRAVIS AND ANGELA L 846 TURQUOISE POINT ROCKWALL, TX 75032 STEPHENS ROBERT M JR AND LIBBY D 847 TURQUOISE POINT ROCKWALL, TX 75032 BRUMMETT JOHN OSCAR AND GAYLE KATE 849 ELGIN COURT ROCKWALL, TX 75032

KELLY WILLIS G AND GENEVA 850 CANTERBURY DRIVE ROCKWALL, TX 75032 BRODNAX JOE B & CINDY L 850 ELGIN CT ROCKWALL, TX 75032 CARNES LINDA M 850 HUNTERS GLN ROCKWALL, TX 75032

HESKETT RHEA 850 STEEPLE CHASE COURT ROCKWALL, TX 75032 FOX WILLIAM BENJAMIN & MEREDITH PAIGE 850 TURQUOISE POINT ROCKWALL, TX 75032 RESIDENT 851 STEGER TOWNE DR ROCKWALL, TX 75032

ANDERSON LAWRENCE C & JANICE L 851 CANTERBURY DR ROCKWALL, TX 75032 ANDERSON LARY & LAURIE 854 STEEPLE CHASE CT ROCKWALL, TX 75032 RESIDENT 856 ELGIN CT ROCKWALL, TX 75032

KRAFT RHONDA N AND KEVIN 858 CANTERBURY DRIVE ROCKWALL, TX 75032 LEONARD SCOTT E AND CATHERINE W 858 STEEPLE CHASE CT ROCKWALL, TX 75032 MCGUIRE JOHN L & LISA L 862 STEEPLE CHASE CT ROCKWALL, TX 75032

BEST JAMES AND KIMBERLY 870 W INTERSTATE SUITE 100 GARLAND, TX 75043 SALDANA FLOR 8820 COUNTY RD 136 TERRELL, TX 75161 RESIDENT 890 ROCKWALL PKWY ROCKWALL, TX 75032

HSU TAI-YI 8F,-1, NO 7., LN. 173 SHANG'AN RD TAICHUNG CITY, TAIWAN 407, RESIDENT 901 ROCKWALL PKWY ROCKWALL, TX 75032 SOLID ROCK HOLDINGS LLC 904 CAMPTON CT ROCKWALL, TX 75032

CTR PARTNERSHIP LP 905 CALLE AMANACER SUITE 300 SAN CLEMENTE, CA 92673 MILLER JAYME AND JASON T 905 HUNTERS GLEN ROCKWALL, TX 75032 RESIDENT 906 ROCKWALL PKWY ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST 906 HUNTERS GLEN ROCKWALL, TX 75032 NELSON SANDRA 908 BRIDLE PATH CT HEATH, TX 75032 RESIDENT 909 ROCKWALL PKWY ROCKWALL, TX 75032 LANCE A HOLLAND FAMILY TRUST SAUNDRA G HOLLAND TRUSTEE 909 CULLINS ROAD ROCKWALL, TX 75032

RESIDENT 913 N HUNTERS GLEN ROCKWALL, TX 75032 MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

RESIDENT 920 ROCKWALL PKWY ROCKWALL, TX 75032 WARREN LARRY RAY AND BEVERLY JOAN 921 HUNTERS GLEN ROCKWALL, TX 75032 TEAFF DAVID J & KAREN L 922 HUNTERS GLN ROCKWALL, TX 75032

B AND V SMITH LIVING TRUST VONDA K SMITH - TRUSTEE 922 KEY COLONY DR GARLAND, TX 75043

LEAL JAIME & LORI DEANN GILLILAN 929 HUNTERS GLEN ROCKWALL, TX 75032 CLARKE VANCE M & PAMELA L 930 HUNTERS GLN ROCKWALL, TX 75032

RESIDENT 930 W RALPH HALL PKWY ROCKWALL, TX 75032 RESIDENT 935 W RALPH HALL ROCKWALL, TX 75032 RESIDENT 935 W RALPH HALL ROCKWALL, TX 75032

RESIDENT 938 HUNTERS GLEN ROCKWALL, TX 75032 ALLECO LLC 941 W RALPH HALL PARKWAY SUITE 101 ROCKWALL, TX 75032 RESIDENT 947 W RALPH HALL ROCKWALL, TX 75032

RH REALTY HOLDINGS LLC 947 W RALPH HALL PKWY SUITE 103 ROCKWALL, TX 75032 GAIL HERVEY FAMILY TRUST GAIL H HERVEY - TRUSTEE 948 HUNTERS GLN ROCKWALL, TX 75032

RESIDENT 955 W RALPH HALL ROCKWALL, TX 75032

M&K REAL ESTATE DEV LLC 959 W RALPH HALL PKWY STE 101 ROCKWALL, TX 75032 CHRISMER LANE LTD 960 W RALPH HALL PKWY ROCKWALL, TX 75032 SCRITCHFIELD RICHARD AND JANE 9605 WATERVIEW PKWY ROWLETT, TX 75089

RESIDENT 965 W RALPH HALL ROCKWALL, TX 75032 965 RHP 103 LLC ATTN: GARON R HORTON 965 W RALPH HALL PKWY SUITE 103 ROCKWALL, TX 75032

H4HIM LEGACY LLC-SUITE 105 SERIES 965 W RALPH HALL PKWY ROCKWALL, TX 75032

SIMPSON BLAKE JORDAN AND JESSICA MARIE 973 BENTON WOODS DRIVE ROCKWALL, TX 75032 RESIDENT 990 W RALPH HALL PKWY ROCKWALL, TX 75032 HUDSON SFR PROPERTY HOLDINGS II LLC C/O HUDSON HOME MANAGEMENT LLC ATTN: HEATHER HAWKINS 2711 N HASKELL, SUITE 2100 DALLAS, TX 75204

TENET EQUITY FUNDING SPE I, LLC ATTN: MIKE ZIEG 7332 E BUTHERUS DRIVE, SUITE 100 SCOTTSDALE, AZ 85260 ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO , SUITE 300
CALABASAS, CA 91302

GLEN HILLS CEMETERY C/O INEZ GIBSON 512 COOL MEADOW COURT DESOTO, TX 75115 750 HALL PARKWAY LLC NTW LLC C/O MARVIN F POER & COMPANY PO BOX 52427 ATLANTA, GA 30355

FHS ROCKWALL, L.P.
C/O MGR ASSETS INC 3160 CROW CANYON
PLACE, SUITE 135
SAN RAMON, CA 94583

2021 B N CARROLL REVOCABLE TRUST BENJAMIN THOMAS CARROLL AND NICOLE CAMILLE (LIUDAHL) CARROL- TRUSTEES 1169 SKYLAR DRIVE ROCKWALL, TX 75087

ARMSTRONG RALPH HALL LP
C/O ARMSTRONG DEVELOPMENT PROPERTIES
INC
ONE ARMSTRONG PLACE
BUTLER, PA 16004

P O BOX 1784 ROCKWALL, TX 75087 NORTH TEXAS MUNICIPAL WATER DIST P O BOX 2408 WYLIE, TX 75098

PAIGE RYAN PROPERTIES LLC P. O. BOX 853 WYLIE, TX 75098 PAIGE RYAN PROPERTIES LLC P. O. BOX 853 WYLIE, TX 75098 PARKHILL GAIL C &
PHILIP W CLIFFORD & ROY MCGAHEE
PO BOX 100
PARIS, TX 75461

GIST JESSE JR AND JANAE E BARNES PO BOX 1381 ROCKWALL, TX 75087

PO BOX 1499 PROSPER, TX 75078 ZOBECK TED M AND VIRGINIA F PO BOX 2045 ROCKWALL, TX 75087

NORTH TEXAS MUNICIPAL WATER DIST PO BOX 2408 WYLIE, TX 75098 FOX CHASE DEVELOPMENT CORP PO BOX 369 ROCKWALL, TX 75087 FOX CHASE DEVELOPMENT CORP PO BOX 369 ROCKWALL, TX 75087

AMERICAN NATIONAL BANK THE PO BOX 40 TERRELL, TX 75160 PROGRESS RESIDENTIAL BORROWER 3, LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

YAMASA CO LTD., A JAPANESE CORPORATION PO BOX 4090 SCOTTSDALE, AZ 85261

PROGRESS RESIDENTIAL BORROWER 3, LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

YANDELL TRUE & DAVID PO BOX 477 ROCKWALL, TX 75087 W & R PROPERTIES INC PO BOX 657 KAUFMAN, TX 75142

HOUZZ ROCK, LLC PO BOX 670 ROCKWALL, TX 75087 2930 S RIDGE ROAD ROCKWALL, LLC PO BOX 741209 HOUSTON, TX 77274 2930 S RIDGE ROAD ROCKWALL, LLC PO BOX 741209 HOUSTON, TX 77274

STOKES RICHARD & JULIE PO BOX 8 ROCKWALL, TX 75087 HAMILTON DIRECT LLC PO BOX 849 ROCKWALL, TX 75087 GRUBBS DAVID G PO BOX 852 ROCKWALL, TX 75087

WAGON RANCH LLC 1010 W RALPH HALL PKWY STE 100 ROCKWALL, TX 75032



November 18, 2024

TO:

The Property Owners and/or Residents Located within Planned Development District 9 (PD-9)

FROM:

Bethany Ross

City of Rockwall Planning and Zoning Department

385 S. Goliad Street Rockwall, Texas 75087

SUBJECT:

Case No. Z2024-054; Amendment to Planned Development District 9 (PD-9)

Property Owners and/or Residents Located within Planned Development District 9 (PD-9),

The City of Rockwall has initiated an amendment to Planned Development District 9 (PD-9) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 9 (PD-9) -- which regulates the Fox Chase Subdivision, the Shadydale Estates Subdivision, -the Rainbow Lake Estates Subdivision, and various other commercial and residential properties -- consists of over 65 pages of regulations within ten (10) regulating ordinances, and over 205 development cases. The proposed amendment does not change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents, developers, and contractors looking to do work on properties situated within this area, and for City staff when reviewing permits.

WHY AM I GETTING THIS NOTICE?

The Local Government Code for the State of Texas requires notices to be sent to all property owners and occupants effected by a zoning change. The City of Rockwall establishes a 500-foot notification buffer around the subject property as the notice area. This means that you are receiving this notice because you either live within the boundaries of Planned Development District 9 (PD-9) or within 500-feet of its boundaries. The attached map is a visual representation of the subject property and the 500-foot notification buffer surrounding the zoning area.

DOES THIS CHANGE MY PROPERTY'S ZONING?

<u>NO</u>. The proposed amendment to Planned Development District 9 (PD-9) will <u>not</u> change your zoning or any development requirements associated with your property or any other properties located within the subject property. It will <u>only</u> make it easier to find the development requirements associated with property for property owners, developers, contractors, and city staff. Any property that is located within the 500-foot notification area -- but is not situated within Planned Development District 9 (PD-9) -- will <u>not</u> be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?

The Planning and Zoning Commission will hold a *PUBLIC HEARING* on Tuesday, <u>December 10, 2024</u> at 6:00 PM, and the City Council will hold a *PUBLIC HEARING* on Monday, <u>December 16, 2024</u> at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live and via recording after the meeting through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6488 or email planning@rockwall.com.

Sincerely.

Bethany Ross

Planner

City of Rockwall Planning and Zoning Department

Showskow

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-054: Zoning Change Amending PD-9

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a <u>Zoning Change</u> amending Planned Development District 9 (PD-9) [Ordinance No.'s 73-49, 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43] for the purpose of consolidating the regulating ordinances for a 307.57-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9), generally located south of Horizon Road [FM-3097], east of Ridge Road, and north of the southern corporate limits of the City of Rockwall, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM
se No. Z2024-054: Zoning Change Amending PD-9
ease place a check mark on the appropriate line below:
I am in favor of the request for the reasons listed below.
I am opposed to the request for the reasons listed below.
Name:
ddress:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ORDINANCE NO. 73-49

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO GIVE THE FOLLOWING-DESCRIBED TRACTS OF LAND A "PD" PLANNED DEVELOPMENT DISTRICT CLASSIFICATION ZONING FOR A COMBINATION OF SINGLE-FAMILY, MULTIPLE-FAMILY AND SHOPPING CENTER USES, TO BE DESIGNATED AS PLANNED DEVELOPMENT DISTRICT NUMBER 9, SAID PLANNED DEVELOPMENT DISTRICT BEING DESCRIBED ON THE PLAT ATTACHED HERETO; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, the governing body, in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be, and the same is hereby, amended by amending the Zoning Map of the City of Rockwall so as to give the following-described property the zoning classification hereinafter set out, to-wit:

SECTION 2. The granting of the Planned Development District Number 9 to the above-described property is subject to the following Special Conditions:

- (1) Planned Development District Number 9 shall be developed generally in accordance with the site plan for said area, which is attached to and made a part hereof as Exhibit "A."
- (2) That all development of property covered by this ordinance shall be in accordance with the approved site plan, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for change and amendments to the Comprehensive Zoning Ordinance.
- (3) Prior to the issuance of any building permit in Planned Development District Number 9, a Comprehensive Site Plan of the Development shall be filed with the City Council of the City and shall be approved by them and filed as a part of this ordinance. Such required detailed plan shall set forth the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the thoroughfare plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council to create a reasonable transition to and protection of the adjacent property. Such approval by the City Council of the detailed site plan shall be considered as an amendment to this ordinance and shall be applicable to the property involved.

TRACT I.

BEING a tract or parcel of land situated in Rockwall County, Texas, out of the E. Teal Survey, Abstract No. 207 and being a part of a tract of land conveyed to Kirby Albright from J. L. Parker by Deed, dated August 11, 1967, and recorded in Vol. 80, Pg. 7, Rockwall County Deed Records and further being part of a tract of land conveyed to Kirby Albright, et al by Deed recorded in Vol. 81, Pg. 33, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the Point of Intersection of the present Southeast City Limit Line with the South R.O.W. line of F.M. Road 3097; THENCE: Following said South R.O.W. line South 44° 37' East, 467.6 feet; South 43° 01' 32" East, 900.35 feet; South 44° 37' East 1,000 feet; South 51° 44' 30" East, 201.56 feet and South 44° 37' East, 53.06 feet to the Westerly line of a County road; Following said Westerly line South 46° 19' 31" West, 1525.63 feet; South 65° 38' 39" West, 76.35 feet; South 40° 53' 25" West, 100.9 feet; South 30° 48' 15" West, 125.28 feet and South 32° 49' 05" West a distance of 900 feet more or less to the present North City Limit Line of the City of Heath; THENCE: Following said North City Limit Line, West a distance of 445 feet to a point for corner; THENCE: North 01° 40' 02" East a distance of 1560 feet more or less to the South line of a 50' wide access road easement (known as Shadydale Lane); THENCE: With said South line, North 84° 32' 49" West a distance of 642.85 feet to a point for a corner; THENCE: Crossing said easement, North 06° 00' 11" East 50 feet to a point for a corner on the North line of said easement; THENCE: With said North line, North 84° 32' 49" West a distance of 526.33 feet to a point for a corner, same being the Southwest corner of Lot 1, Block "B" of Highland Acres Addition; THENCE: Following said addition line North 7° 24' West a distance of 678.54 feet to a point for a corner at the Southeast corner of Lot 5, Block B of said addition; THENCE: South 82° 36' West along the lot line between Lots 4 and 5 of said addition a distance of 350 feet to a point for a corner in the Easterly R.O.W. line of F.M. Road 740; THENCE: Following said Easterly R.O.W. line, North 7° 24' West a distance of 319.06 feet, along a curve to the left an arc distance of 40 feet more or less to the present City Limit Line of the City of Rockwall; THENCE: Following said existing City Limit Line, South 80° 20' East a distance of 918 feet and North 32° 30' East a distance of 1680 feet more or less to the PLACE OF BEGINNING and containing 138.5 acres of land more or less.

TRACT II.

BEING a tract or parcel of land situated in Rockwall County, Texas, out of the E. Teal Survey, Abstract No. 207, and being a part of a tract of land conveyed to Ralph M. Hall by Mrs. J. A. Wilkerson, et al, by Deed, dated December 24, 1964, and recorded in Vol. 71, Pg. 474, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

```
BEGINNING at a point on the South R.O.W. line of F.M. 3097, said
point being located South 44° 37' East, 467.6 feet; South 43°
01' 32" East, 900.35 feet; South 44° 37' East, 1,000 feet; South 51° 44' 30" East, 201.56 feet and South 44° 37' East, 53.06 feet from the Point of Intersection of the City Limit Line (as extended
March 6, 1961) with said South R.O.W. line;
THENCE: Along said South R.O.W. line South 44° 37' 38" East a
distance of 339.63 feet; along the arc of a curve 218.56 feet and South 46° 47' 38" East a distance of 823.15 feet to a point for
a corner;
THENCE:
           South 58° 33' 35" West 55.88 feet to a point for a corner;
THENCE:
            In a Southerly direction along the meanders of Buffalo
Creek as follows:
                         22' 03" East 116.17 feet;
            South 13°
            South 18° 26' 06" East 47.43 feet;
            South 14° 02' 10" West 123.69 feet;
            South 20° 13' 29" East 101.24 feet;
            South 10° 18' 17" East 55.90 feet;
South 36° 26' 40" East 404.01 feet;
                             34" West 176.91 feet;
            South 42° 42'
            South 33° 41' 24" West 108.16 feet;
            North 77° 54 19" West 71.58 feet;
            South 61° 41' 57"-West-73.82 feet;
            South 84° 17' 22" West 50.24 feet;
South 62° 06' 10" West 96.17 feet;
                                                           and South 60 feet more
or less to the existing North City Limits of the City of Heath;
           West along said existing North City Limit Line 960 feet
more or less to a point in Rainbow Lake;
            North 44° 45' East 224.00 feet;
North 09° 30' East 87.00 feet;
THENCE:
            North 52° 15' West 130.00 feet;
            South 32° 05! West 126.00 feet;
            South 09° 00' East 109.00 feet;
            South 76° 00' West 59.00 feet;
North 23° 45' West 125.00 feet;
            North 53° 45' West 107.00 feet;
            North 00° 15' West 107.00 feet;
            North 72° 45' East 88.00 feet;
            North 06° 45' West 218.00 feet;
North 89° 45' East 126.00 feet;
            North 06° 30' East 43.00 feet;
            North 47° 00' West 92.00 feet;
            North 43° 00' East 180.00 feet;
            North 07° 30' West 118.00 feet;
North 75° 30' West 250.00 feet;
            North 19° 15' West 103.00 feet;
            North 75° 00' East 211.00 feet;
            North 43° 00' West 146.00 feet;
            North 04° 45' East 195.00 feet;
North 70° 00' West 122.00 feet;
```

North 01° 30' East 220.00 feet to a point in the Westerly line of a public road;

THENCE: North 46° 19' 31" East a distance of 510.0 feet more or less to the PLACE OF BEGINNING and containing 53.6 acres of land more or less.

(4) Planned Development District Number 9 shall be limited to the following uses, with acreage of each, number of dwelling units and density as noted:

	AREA	PERCENTAGE OF ACREAGE	DWELLING UNITS	DWELLING UNITS PER ACRE
Shopping Center Uses – Under General Retail Zoning	26.5 <u>+</u> *	10.2%	-0-	-0-
Garden Apartments Under Multiple- Family Zoning	25.7 <u>+</u> *	9.8 %	360	14.0
Town Homes - Under Multiple- Family Zoning	47.6+*	17.9 %	381	8.0
Under Multiple-	42.0+*	15.8 %	168	4.0
Single-Family Units - Under Single-Family Zoning	95.7 <u>+</u> *	36.0 %	163	1.5
TOTAL DWELLING UNITS:		· 	- 1,072	
TOTAL NUMBER OF DWELLING UNITS PER ACRE: -				4.0

TOTAL ACREAGE: --- 265.7±*

^{(*} plus or minus, more or less)

SECTION 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That the above-described tract of land shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended herein, by the granting of this zoning change.

SECTION 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. Whereas, it appears that the above-described property requires classification as a Planned Development District in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, such requirement creates an urgency and an emergency in the preservation of the public welfare and requires that this ordinance take effect immediately from and after its passage and the publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 12th day of November, 1973.

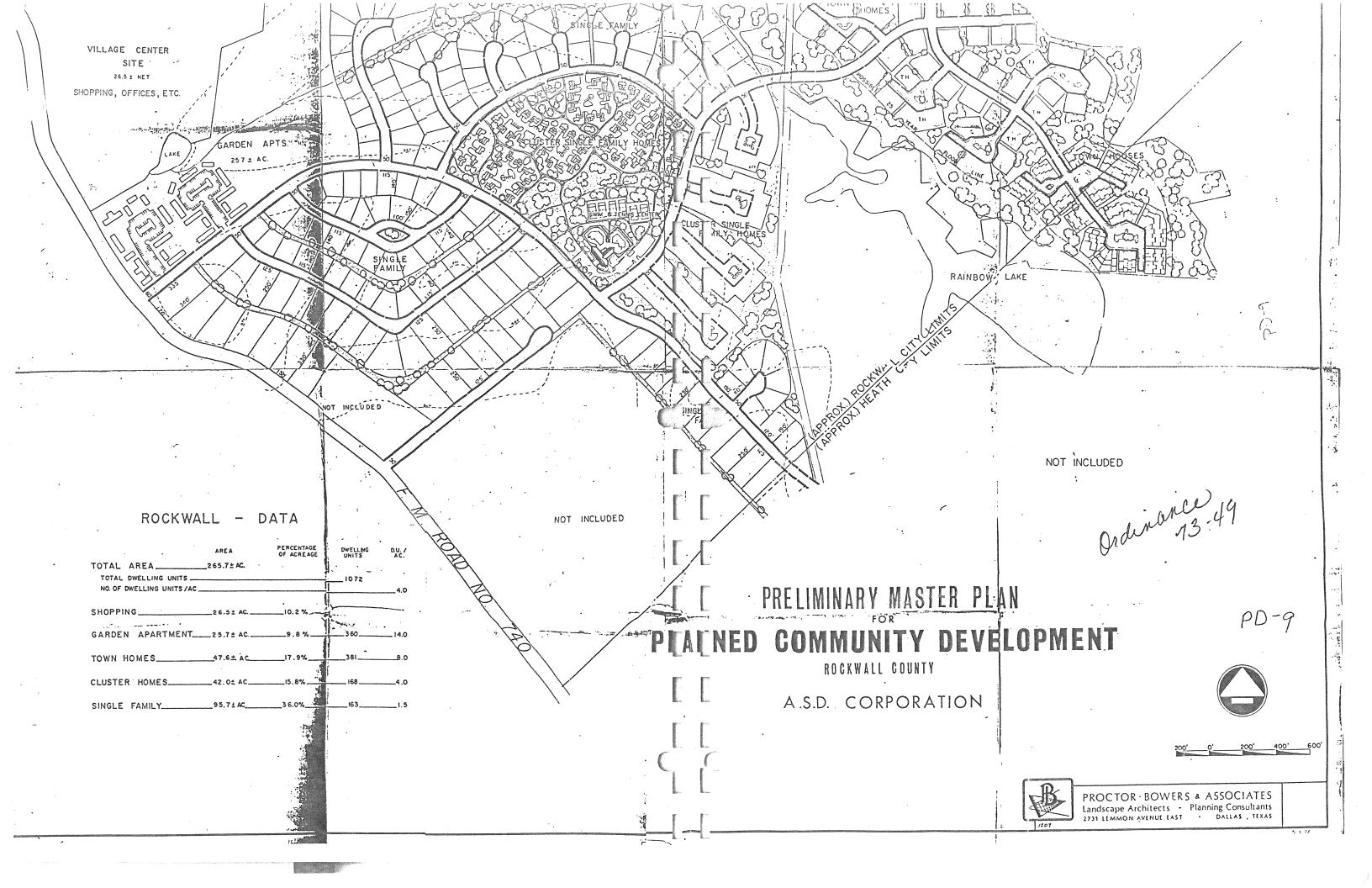
APPROVED:

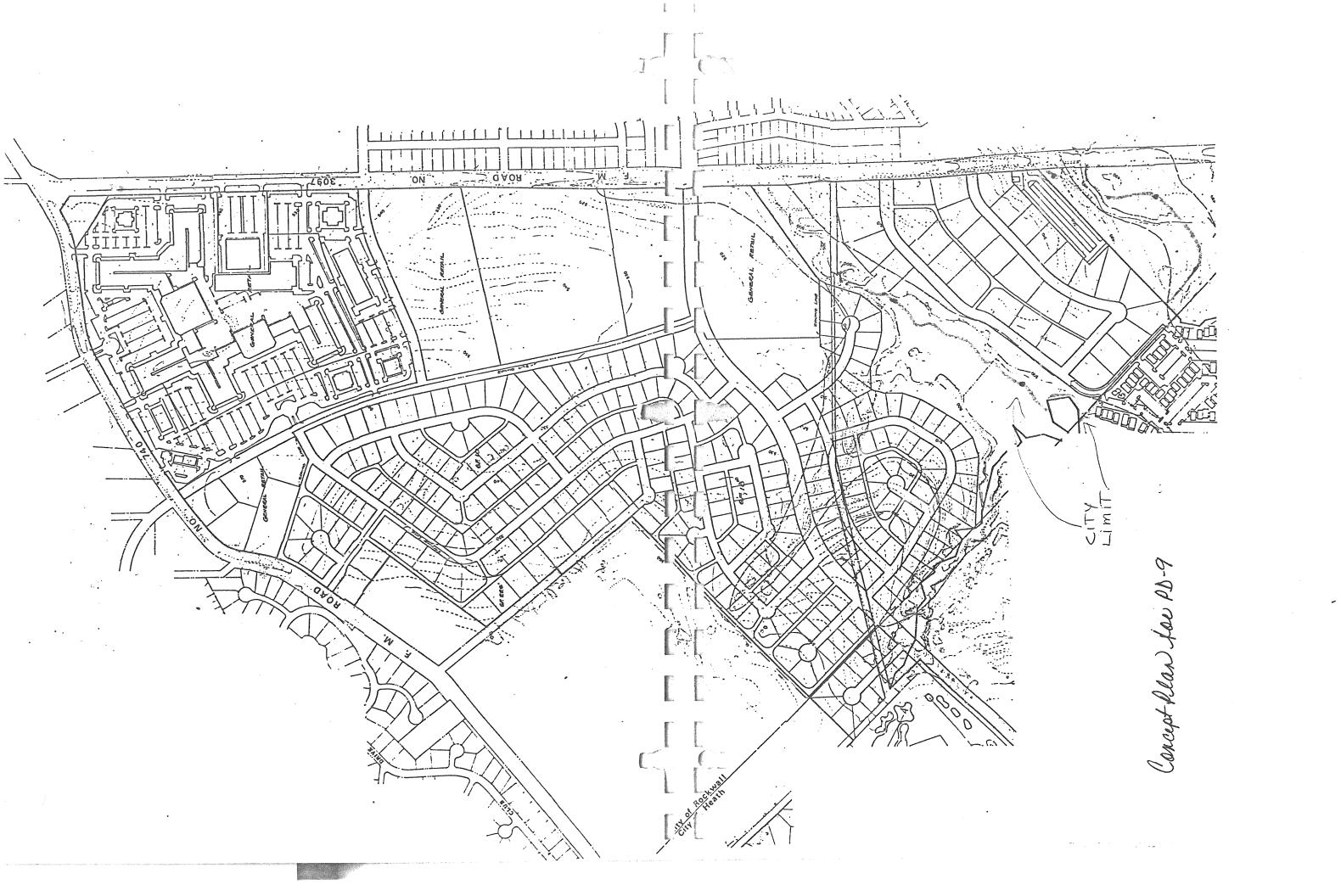
ATTEST:

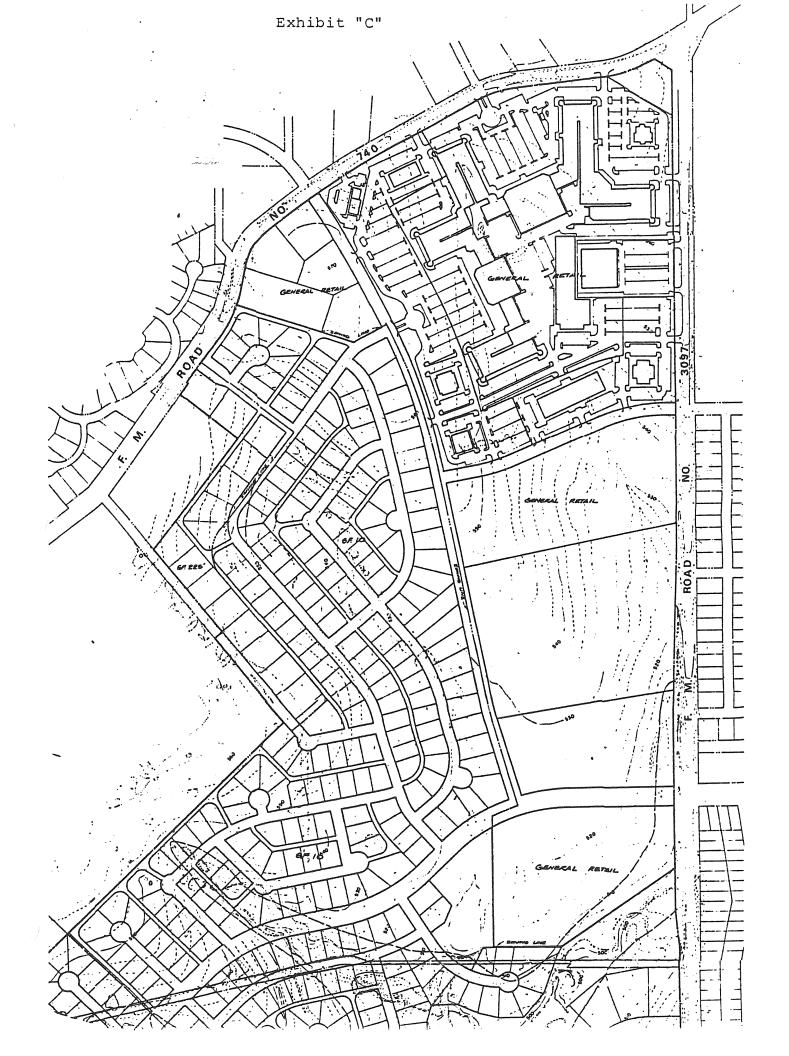
CITY SECRETARY

PROVED AS TO FORM:

CITY ATTORNEY







ROCKWALL, TEXAS OF THE CITY OF AN ORDINANCE

THENCE: South 820 36' West

ORDINANCE NUMBER 73-49

ATTACHED HERETO, SAID BEING DESCRIBED ON THE PLAT LARLY DESCRIBED AS FOLLOWS: TRACTS BEING MORE PARTICU-NED DEVELOPMENT DISTRICT TRICT NUMBER 9, SAID PLAN-PLANNED DEVELOPMENT DIS-USES, TO BE DESIGNATED AS FAMILY AND SHOPPING CENTER OF SINGLE-FAMILY, MULTIPLE-ZONING FOR A COMBINATION DISTRICT CLASSIFICATION "PD" PLANNED DEVELOPMENT SCRIBED TRACTS OF LAND A GIVE THE FOLLOWING-DE-FORE AMENDED, SO AS TO ING ORDINANCE, AS HERETO-ING THE COMPREHENSIVE ZON-OF ROCKWALL, TEXAS, AMEND-AN ORDINANCE OF THE CITY

particularly described as follows: County, Texas, and being more by Deed recorded in Vol. 81, Pg. 33, Deed Records, Rockwall veyed to Kirby Albright, et al being part of a tract of land con-County Deed Records and further in Vol. 80, Pg. 7, Rockwall August 11, 1967, and recorded conveyed to Kirby Albright from J. L. Parker by Deed, dated vey, Abstract No. 207 and being a part of a tract of land Texas, out of the E. Teal Sursituated in Rockwall County, BEING a tract or parcel of land

Intersection of the present BEGINNING at the Point of

of F.M. Road 3097; East, 467.6 feet; South 430 R.O. W. line Sol THENCE: Follow with the South R.O. W. line Southeast City Limit Line ±40 37' said South

> and containing 138.5 acres of to the PLACE OF BEGINNING tance of 1680 feet more or less and North 32° 30' East a dising City Limit Line, South 80° of the City of Rockwall; a curve to the left an arc disa distance of 319.06 feet, along land more or less. 20' East a distance of 918 feet THENCE: Following said existto the present City Limit Line tance of 40 feet more or less R.O.W. line, North 7º 24' West THENCE: Following said Easterly line of F.M. Road 740; a corner in the Easterly R.O.W. tance of 350 feet to a point for 4 and 5 of said addition a disalong the lot line between Lots

TRACT II

more particularly described as wall County, Texas, and being Pg. 474, Deed Records, Rocktollows: 1964, and recorded in Vol. 71 Deed, dated December 24, conveyed to Ralph M. Hall by being a part of a tract of land vey, Abstract No. 207, and situated in Rockwall County, Mrs. J.A. Wilkerson, et al by Texas, out of the E. Teal Sur-BEING a tract or parcel of land

BEGINNING at a point on the South R.O. W. line of F.M.

of Intersection of the City Limit 1961) with said South R.O. W. Line (as extended March 6, East, 53.06 feet from the Point 201.56 feet and South 440 37 feet: South 510 44'30" East, feet: South 440 37' East, 1,000 3097, said point being located South 43° 01' 32" East, 900, 35 South 440 37' East, 467.6 feet:

a distance of 823.15 feet to a point for a corner; a distance of 339.63 feet; along the arc of a curve 218.56 feet and South 46° 47' 38" East W. line South 440 37'38" East THENCE: Along said South R.O

West 55.88 feet to a point for THENCE: South 580 33' 35"

Buffalo Creek as follows: tion along the meanders of THENCE: In a Southerly direc-

feet; South 13° 22' 03" East 116.17

feet; South 180 26'06" East 47.43

teet; South 14º 02' 10" West 123.69

South 20° 13' 29" East 101.24

South 100 18'17" East 55.90

South 36° 26' 40" East 404,01

feet; South 42° 42' 34" West 176.91

South 33° 41' 24" West 108.16

of a public road;

South 61° 41' 57" West 73,82 North 77º 54' 19" West 71.58

South 840 17' 22" West 50, 24

South 62° 06' 10" West 96, 17

Rainbow Lake; feet more or less to a point in ing North City Limit Line 960 THENCE: West along said exist-Limits of the City of Heath: less to the existing North City feet; and South 60 feet more or

THENCE: North 440 45' East 224.

to a point in the Westerly line North 70° 00' West 122.00 feet; North 01° 30' East 220.00 feet North 43° 00' West 146.00 feet; North 04° 45' East 195.00 feet; 00 feet; North 750 00' East 211.00 feet; North 190 15' West 103,00 feet; North 75° 30' West 250.00 feet; North 07º 30' West 118.00 feet; North 43° 00' East 180.00 feet; North 470 North 89° North:060 30' East 43.00 feet; North 06° North 720 North 000 North 530 North 230 South 090 00' East 109.00 feet; South 32° 05' West 126.00 feet: South 76° North 520 15' West 130,00 feet: North 09° 30' East 87.00 feet; 00' West 92.00 feet: 45 East 126,00 feet; 45' West 218,00 feet; 45' East 88,00 feet; 45' West 107.00 feet; 00' West 59.00 feet; 15' West 107,00 feet; 45' West 125.00 feet;

> of land more or less. ING and containing 53.6 acres less to the PLACE OF BEGINNa distance of 510.0 feet more or THENCE: North 460 19'31" East

PENALTY OF FINE NOT TO EX-ING AN ENIERGENCY. EACH OFFENSE; AND DECLAR-DRED DOLLARS (\$200.00) FOR CEED THE SUM OF TWO HUN-DITIONS; PROVIDING FOR A PROVIDING FOR SPECIAL CON-

vember, 1973. Texas, on the 12th day of No-Council of the City of Rockwall, DULY PASSED by the City

APPROVED:

ATTEST:

Harry F. Myers, Mayor

Galen Williams, City Secretary

of a County road; tance of 678.54 feet to a point cance of 642.85 feet to a point known as Shadydale Lane); West, 76.35 feet; South 40° 53° 25" West, 100.9 feet; South 30° South 51° 44' 30" East, 201.56 corner of Lot 5, Block B of said for a corner at the Southeast ine North 7º 24' West a dis-"B" of Highland Acres Addition; Southwest corner of Lot 1, Block for a corner, same being the tance of 526,33 feet to a point North 840 32' 49" West a dis-THENCE: Crossing said easement, or a corner; North 84° 32' 49" West a dis-THENCE: With said South line, vide access road easement ess to the South line of a 50' THENCE: North 01º 40' 02" East of 445 feet to a point for corner; City Limit Line, West a distance ine of the City of Heath; THENCE: Following said North o the present North City Limit South 32^o 49' 05" West a dis-ance of 900 feet more or less [HENCE: Following said Westerly ine South 46° 19' 31" West, 1525.63 feet; South 65° 38' 39" 3.06 feet to the Westerly line eet and South 44° 37' East, South 44° 37' East 1,000 feet; East, 467.6 feet; South 430. THENCE: Following said addition North line of said easement; to a point for a corner on the North 06° 00' 11" East 50 feet distance of 1560 feet more or 18'15" West, 125.28 feet and 'HENCE: With said North line,

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMEND-ING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND THE PRELIMINARY PLAN FOR "PD-9" MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; REPEALING ORDINANCE NO. 73-49; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to approve a zoning change and change in the preliminary plan for "PD" Planned Development District Number 9 on the property described in Exhibit "A".

Section 2. That Planned Development District Number 9 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended

and as amended hereby, provided that the granting of Planned Development District No. 9 to the above described tract of land is subject to the following special conditions:

- Prior to issuance of any building permit in Planned Development District No. 9 a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "B" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the Thoroughfare Plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.
- B. All development of property covered by Planned Development District No. 9 shall be in accordance with the
 provisions of this ordinance and the finally approved
 comprehensive development plan and list of approved uses,
 and no substantial change in the development shall be
 permitted except after obtaining approval of the changes
 and amendments to the Comprehensive Zoning Ordinance.
- C. Development of Planned Development No. 9 shall be in conformance with the approved preliminary plan shown on Exhibit "B" and shall be regulated by the area requirements in Exhibit "C". Area requirements not specifically addressed in this ordinance shall be regulated by the requirements set forth in the "GR", "SF-10", and "O" classifications as applicable to the land uses approved under this ordinance.

Section 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance

or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 5. That ordinance No. 73-49 and all other ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 16thday of June, 1986.

APPROVED:

Mayor

ATTEST:

BY: Junger & Janet

lst reading 6-9-86

2nd reading 6-16-86

SINGLE FAMILY

SF-10

STATE OF TEXAS COUNTY OF ROCKWALL

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tracts 5 and 6, and being part of Tracts 3 and 7, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a concrete highway right-of-way marker found for the Easterly Southeast corner of the intersection of Farm to Market Road 740 and F.M. 3097, same being the most Northerly corner of the herein described tract;

THENCE: Along the Southwesterly line of Farm to Market Road 3097 as follows: South 45° 35' 20" East a distance of 2225.71 feet to a concrete highway monument; South 44° 03' 08" East a distance of 900.21 feet to a concrete highway monument; South 45° 31' 22" East a distance of 802.41 feet to the Point of Beginning;

THENCE: Continuing along said Southwesterly line as follows: South 45° 31' 22" East a distance of 196.87 feet to a point for a corner; and South 52° 42' 43" East a distance of 134.10 feet to a point for a corner;

THENCE: South 6° 24' 04" West a distance of 1811.29 feet to a point for a corner in a branch and on the Southerly line of Tract 7;

THENCE: Along said branch and the Southerly line of Tract 7 as follows: South 18° 44' West a distance of 170.0 feet; South 89° 43' West a distance of 208.3 feet; South 59° 32' West a distance of 274.4 feet; and South 45° 25' West a distance of 32.8 feet to said City Limits line;

THENCE: Westerly a distance of 71.3 feet along said City Limits line to its intersection with said branch;

THENCE: Along said branch and the Southerly line of Tract 7 as follows: North 50° 49' West a distance of 102.5 feet; South 7° 11' West a distance of 63.9 feet; and South 67° 56' West a distance of 5.4 feet to said City Limits line;

THENCE: Westerly a distance of 172.0 feet along said City Limits line to its intersection with said branch;

THENCE: Along said branch and the Southerly line of Tract 7 as follows: North 65° 38' West a distance of 27.6 feet; South 81° 29' West a distance of 37.9 feet; South 10° 13' West a distance of 6.2 feet to said City Limits line;

THENCE: Westerly a distance of 96.5 feet along said City Limits line to its intersection with said branch;

THENCE: Along said branch and the Southerly line of Tract 7 as follows: North 82° 45' West a distance of 7.5 feet; and South 28° 34' West a distance of 1.1 feet to said City Limits line;

THENCE: Westerly a distance of 912.5 feet along said City Limits line to a point for a corner on the West line of said Tract 6;

THENCE: North 0° 41' 42" East a distance of 1482.21 feet along said West line to a point for a corner;

THENCE: Traversing said Tract 5 & 6 as follows: South 85° 31' 09" East a distance of 50.00 feet to a point for a corner; North 4° 28' 51" East a distance of 220.00 feet to a point for a corner; North 85° 31' 09" West a distance of 787.79 feet to the point of curvature of a circular curve to the right having a central angle of 77° 08' 49" and a radius of 175.00 feet; Along said curve an arc distance of 235.63 feet to a point for a corner; North 8° 22' 20" West a distance of 604.10 feet to a point for a corner; and South 81° 37' 40" West a distance of 546.19 feet to a point for a corner on the Easterly line of F.M. 740;

THENCE: Along the Easterly line of F.M. 740 as follows: North 8° 22' 20" West a distance of 119.80 feet to the point of curvature of a circular curve to the left having a central angle of 19° 01' 57" and a radius of 613.99 feet; and Along said curve an arc distance of 203.95 feet;

THENCE: Traversing said tracts as follows: North 62° 35' 43" East a distance of 588.16 feet to a point for a corner; North 18° 25' 30" East a distance of 10.00 feet to the point of curvature of a circular curve to the right having a central angle of 15° 09' 27", a radius of 2614.27 feet, and a chord that bears South 63° 59' 47" East a distance of 689.59 feet; Along said curve an arc distance of 691.60 feet to a point for a corner; South 56° 25' 03" East a distance of 1149.08 feet to the point of curvature of a circular curve to the left having a central angle of 6° 10' 17" and a radius of 1035.00 feet; Along said curve an arc distance of 111.48 feet to a point for a corner; South 62° 35' 20" East a distance of 296.89 feet to a point for a corner; South 77° 45' 55" East a distance of 173.73 feet to a point for a corner; South 45° 31' 22" East a distance of 638.11 feet to a point for a corner; North 44° 24' 40" East a distance of 334.49 feet to a point for a corner; and North 10° 28' 38" East a distance of 662.77 feet to the Point of Beginning and Containing 112.786 Acres of Land.

SF-12.5

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tract 5, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a point on the Easterly line of F.M. 740 at the most Northerly Southwest corner of said Tract 5;

THENCE: North 8° 22' 20" West a distance of 314.80 feet along said Easterly line to the point of curvature of a circular curve to the left having a central angle of 19° 01' 57" and a radius of 613.99 feet;

THENCE: Along said curve and said Easterly line an arc distance of 203.95 feet to a point for a corner;

THENCE: Leaving said Easterly line and traversing said Tract 5 as follows: North 62° 35' 43" East a distance of 588.16 feet; and North 18° 25' 30" East a distance of 10.00 feet to the Point of Beginning;

THENCE: Continuing to traverse said Tract 5 as follows: North 18° 25' 30" East a distance of 180.00 feet to a point for a corner on a circular curve to the right having a central angle of 15° 09' 27", a radius of 2794.27 feet, and a chord that bears South 63° 59' 47" East a distance of 737.07 feet; Along said curve an arc distance of 739.22 feet to a point for a corner; South 56° 25' 03" East a distance of 1149.08 feet to the point of curvature of a circular curve to the left having a central angle of 6° 10' 17", and a radius of 855.00 feet; Along said curve an arc distance of 92.09 feet to a point for a corner; South 62° 35' 20" East a distance of 453.91 feet to a point for a corner on a circular curve to the left having a central angle of 9° 03' 08", a radius of 855.00 feet, and a chord that bears South 22° 53' 06" West a distance of 134.94 feet; Along said curve an arc distance of 135.08 feet to a point for a corner; North 77° 45' 55" West a distance of 173.73 feet to a point for a corner; North 62° 35' 20" West a distance of 296.89 feet to the point of curvature of a circular curve to the right having a central angle of 6° 10' 17" and a radius of 1035.00 feet; Along said curve an arc distance of 111.48 feet to a point for a corner; North 56° 25' 03" West a distance of 1149.08 feet to the point of curvature of a circular curve to the left having a central angle of 15° 09' 27" and a radius of 2614.27 feet; Along said curve an arc distance of 691.60 feet to the Point of Beginning and Containing 9.935 Acres of Land.

SINGLE FAMILY

SF-22.5

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tract 5 as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point on the Easterly line of F.M. 740 at the most Northerly Southwest corner of said Tract 5;

THENCE: North 8° 22' 20" West a distance of 195.00 feet to a point for a corner; THENCE: Leaving said Easterly line and traversing said Tracts 5 and 6 as follows: North 81° 37' 40" East a distance of 546.19 feet to a point for a corner; South 8° 22' 20" East a distance of 604.10 feet to the point of curvature of a circular curve to the left having a central angle of 77° 08' 49" and a radius of 175.00 feet; Along said curve an arc distance of 235.63 feet to a point for a corner; South 85° 31' 09" East a distance of 787.79 feet to a point for a corner; South 4° 28' 51" West a distance of 220.00 feet to a point for a corner; and North 85° 31' 09" West a distance of 50.00 feet to a point for a corner at the North corner of Tract 6 as described in the above mentioned deed;

THENCE: Along the Southerly lines and Westerly lines of said Tract 5 as follows: North 85° 31' 09" West a distance of 515.68 feet to a point for a corner; North 5° 01' 51" East a distance of 50.00 feet to a point for a corner; North 85° 31' 09" West a distance of 523.38 feet to a point for a corner; and North 8° 22' 20" West a distance of 678.54 feet to a point for a corner; and South 81° 37' 40" West a distance of 351.19 feet to the Point of Beginning and Containing 9.862 Acres of Land.

GENERAL RETAIL

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tract 5, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a concrete highway right-of-way marker found for the Easterly Southeast corner of the intersection of Farm to Market Road 740 and F.M. 3097, said being the most Northerly corner of the herein described tract; THENCE: Along the Southwesterly right-of-way of Farm to Market Road 3097 as follows: South 45° 35' 20" East a distance of 2225.71 feet to a concrete highway monument; South 44° 03' 08" East a distance of 900.21 feet to a concrete highway monument; South 45° 31' 22" East a distance of 802.41 feet to a point for a corner; THENCE: Leaving said line of F.M. 3097 and traversing said tract as follows: South 10° 28' 38" West a distance of 662.77 feet to a point for a corner; South 44° 24' 40" West a distance of 334.49 feet to a point for a corner; South 45° 31' 22" West a distance of 638.11 feet to the point of curvature of a circular curve to the right having a central angle of 9° 03° 08", a radius of 855.00 feet and a chord that bears North 22° 53' 06" East a distance of 134.94 feet; Along said curve an arc distance of 135.08 feet to a point for a corner; North 62° 351 20" West a distance of 453.91 feet to the point of curvature of a circular curve to the right having a central angle of 6° 10' 17" and a radius of 855.00 feet; Along said curve an arc distance of 92.09 feet to a point for a corner; North 56° 25' 03" West a distance of 1149.08 feet to the point of curvature of a circular curve to the left having a central angle of 15° 09' 27" and a radius of 2794.27 feet; Along said curve an arc distance of 739.22 feet to a point for a corner; South 18° 25' 30" West a distance of 190.00 feet to a point for a corner; and South 62° 35' 43" West a distance of 588.16 feet to a point for a corner on the Easterly line of F.M. 740, said point being on a circular curve to the left having a central angle of 5° 09' 03", a radius of 613.99 feet, and a chord that bears North 29° 58' 48" West a distance of 55.18 feet:

THENCE: Along the Easterly line of F.M. 740 as follows: Along said curve an arc distance of 55.20 feet to a point for a corner; North 32° 33' 20" West a distance of 165.29 feet to the point of curvature of a circular curve to the right having a central angle of 38° 47' 00" and a radius of 247.93 feet; Along said curve an arc distance of 167.82 feet to a point for a corner; North 6° 13' 40" East a distance of 199.88 feet to the point of curvature of a circular curve to the right having a central angle of 9° 33' 00" and a radius of 3780.17 feet; Along said curve an arc distance of 630.07 feet to a point for a corner; North 15° 46' 40" East a distance of 394.23 feet to the point of curvature of a circular curve to the right having a central angle of 21° 50' 00" and a radius of 533.69 feet; Along said curve an arc distance of 203.37 feet to a point for a corner; North 37° 36' 40" East a distance of 408.71 feet to the point of curvature of a circular curve to the left having a central angle of 19° 16' 00" and a radius of 613.69 feet; Along said curve an arc distance of 206.36 feet to a point for a corner; North 18° 20' 40" East a distance of 69.72 feet to a point for a corner; North 18° 20' 40" East a distance of 69.72 feet to a point for a corner; and North 74° 40' 57" East a distance of 103.42 feet to the Point of Beginning and Containing 115.228 Acres of Land.

OFFICE/WAREHOUSE

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tracts 3 and 7, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a concrete highway right-of-way marker found for the Easterly Southeast corner of the intersection of Farm to Market Road 740 and F.M. 3097; THENCE: Along the Southwesterly line of Farm to Market Road 3097 as follows: South 45° 35' 20" East a distance of 2225.71 feet to a concrete highway monument; South 44° 03' 08" East a distance of 900.21 feet to a concrete highway monument; South 45° 31' 22" East a distance of 999.27 feet to a concrete highway monument; and South 52° 42' 43" East a distance of 134.10 feet to the Point of Beginning; THENCE: Continuing along said Southwesterly line as follows: South 52° 42" 43" East a distance of 67.16 feet to a point for a corner; South 45° 38' 43" East a distance of 391.20 feet to the point of curvature of a circular curve to the left having a central angle of 2° 10' 00" and a radius of 5779.58 feet; Along said curve an arc distance of 218.56 feet to a point for a corner; and South 47° 48' 43" East a distance of 643.15 feet to the East corner of said Tract 3; THENCE: South 2° 18' 48" West a distance of 1158.04 feet along the East line of said Tract 3 to a point for a corner on the Southerly City Limits line of the City of Rockwall;

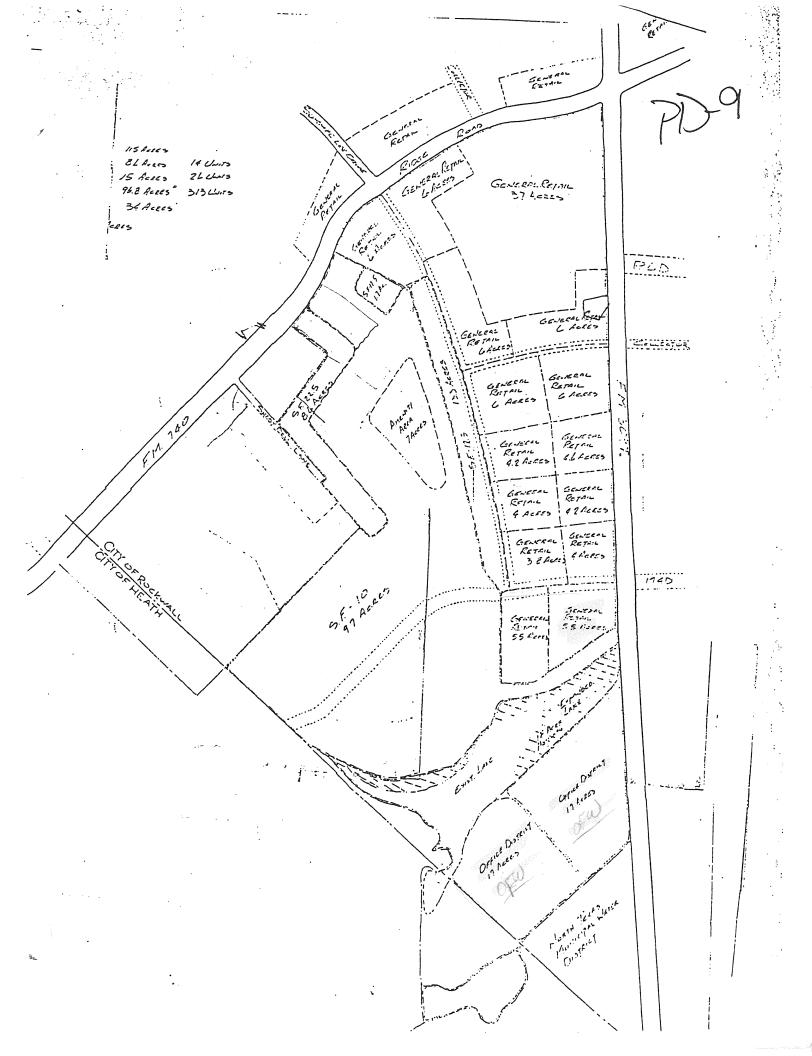
THENCE: Westerly along said City Limits line a distance of 829.06 feet, more or less to a point for corner in a branch;

THENCE: Along said branch and the Southerly lines of said Tract 3 as follows: North 43° 44' East a distance of 60.1 feet; North 8° 29' East a distance of 87.0 feet; North 53° 16' West a distance of 130.0 feet; North 31° 04' West a distance of 126.0 feet; and South 10° 01' East a distance of 101.5 feet to said City Limits line:

THENCE: Westerly a distance of 65.9 feet along said City Limits line to its intersection with said branch;

THENCE: Along said branch and the Southerly lines of said Tract 3 and Tract 7 as follows: South 24° 46' West a distance of 100.6 feet; North 54° 46' West a distance of 107.0 feet; North 1° 16' West a distance of 107.0 feet;

THENCE: North 6° 24' 04" East a distance of 1811.29 feet leaving said branch to the Point of Beginning and Containing 39.592 Acres of Land.



Permitted Uses:

- 1. All those as defined in the Rockwall Comprehensive Zoning Ordinance under Office District, Ordinance #83-23, adopted May 16, 1983.
- 2. In addition to those defined, include the following:
 - a) Light Assembly with or without front showroom and with or without warehouse storage within the same building. Maximum area restricted to 10,000 square feet.
 - b) Furniture Store with front showroom and warehouse storage within the same building or similar business.
 - c) Hardware Store with showroom and warehouse storage within the same building or similar business.
 - d) Pastery Shop with cooking facilities within the same building or similar business.
 - e) Warehouse and Office Combination for terminal establishment and distribution point. Maximum area up to 25,000 square feet area increases considered under conditional use permit or similar business.
 - f) Wholesale Trade or Accessory Outlets with or without showroom and with or without warehouse storage within the same building or similar business.
 - g) Small Business Office with or without showroom, with or without warehouse storage within the same building.
- 3. Other uses similar related to any within item 1 or 2 and those which may be included in special use permit.

EXHIBIT "C"

P.D. 9 - WHITTLE DEVELOPMENT AREA REQUIREMENTS

Product: (S.F.-10) Single Family Residential District Minimum 10,000 Square Feet.

- 1. Minimum lot area 10,000 square feet
- 2. Maximum number of single family detached units per lot 1 each
- 3. Minimum square footage per dwelling unit 1,500 square feet
- 4. Minimum lot frontage on a public street 60 feet
- 5. Minimum lot depth 100 feet
- 6. Minimum depth of front setback 20 feet
- 7. Minimum depth of rear setback 10 feet
- 8. Minimum width of side setback
 - a) Internal lot 6 feet
 - b) Side yard abutting street 15 feet
 - c) Abutting an arterial 20 feet
- 9. Minimum distance between separate buildings on the same parcel of land or lot 10 feet
- 10. Minimum length of driveway pavement from the public right-of-way for rear and side yard 18 feet
- 11. Maximum building coverage as a percent of lot area 35 percent
- 12. Maximum height of structures 36 feet
- 13. Minimum number of off-street parking spaces (excluding garage) 2 each

EXHIBIT "C"

P.D. 9 - WHITTLE DEVELOPMENT AREA REQUIREMENTS

Product: (S.F. - 12.5) Single Family Residential District Minimum 12,500 Square Feet.

- 1. Minimum lot area 12,500 square feet
- 2. Maximum number of single family detached units per lot 1 each
- 3. Minimum square footage per dwelling unit 1,500 square feet
- 4. Minimum lot frontage on a public street 60 feet
- 5. Minimum lot depth 100 feet
- 6. Minimum depth of front setback 20 feet
- 7. Minimum depth of rear setback 10 feet
- 8. Minimum width of side setback
 - a) Internal lot 6 feet
 - b) Side yard abutting street 15 feet
 - c) Abutting an arterial 20 feet
- 9. Minimum distance between separate buildings on the same parcel of land or lot 10 feet
- 10. Minimum length of driveway pavement from the public right-of-way for rear and side yard 18 feet
- 11. Maximum building coverage as a percent of lot area 35 percent
- 12. Maximum height of structures 36 feet
- 13. Minimum number of off-street parking spaces (excluding garage) 2 each

P.D. 9 - WHITTLE DEVELOPMENT AREA REQUIREMENTS

Product: (S.F.-22.5) Single Family Residential District Minimum 22,500 Square Feet.

- 1. Minimum lot area 22,500 square feet
- 2. Maximum number of single family detached units per lot 1 each
- 3. Minimum square footage per dwelling unit 1,800 square feet
- 4. Minimum lot frontage on a public street 80 feet
- 5. Minimum lot depth 100 feet
- 6. Minimum depth of front setback 25 feet
- 7. Minimum depth of rear setback 10 feet
- 8. Minimum width of side setback
 - a) Internal lot 8 feet
 - b) Side yard abutting street 15 feet
 - c) Abutting an arterial 20 feet
- 9. Minimum distance between separate buildings on the same parcel of land or lot 10 feet
- 10. Minimum length of driveway pavement from public right-of-way for rear and side yard 20 feet
- 11. Maximum building coverage as a percentage of area 35 percent
- 12. Maximum height of structures 36 feet
- 13. Maximum number of paved off-street parking spaces (excluding garage) 2 each

EXHIBIT "C"

P.D. 9 - WHITTLE DEVELOPMENT AREA REQUIREMENTS

Product: General Retail District

- 1. Minimum site size 6,000 square feet
- 2. Minimum site frontage 60 feet
- 3. Minimum site depth 100 feet
- 4. Minimum depth of front setback 20 feet
- 5. Minimum width of side setback
 - a) Without fire wall 15 feet
 - b) With fire wall 0 feet
 - c) Abutting residential 20 feet
 - d) Abutting an arterial 20 feet
 - e) Abutting other streets 15 feet
- 6. Minimum depth of rear setback
 - a) Abutting non-residential with fire wall 0 feet
 - b) Abutting residential without fire wall 20 feet
- 7. Minimum distance between detached buildings on same parcel of land or lot
 - a) Without fire wall 15 feet
 - b) With fire wall 0 feet
- 8. Minimum requirement for construction materials
 - a) Structures non-combustible 100 percent
 - b) Exterior building facing masonry 90 percent
- 9. Maximum building coverage percent of lot 40 percent
- 10. Maximum amount of impervious coverage 90 percent
- 11. Minimum amount of landscape by lot area 10 percent

~ B

- 12. Maximum floor area ratio 2:1
- 13. Maximum height of structures 120 feet -
- 14. Maximum number of entrances
 - a) Arterial 1 per 200 feet
 - b) Collector 1 per 100 feet
 - c) Local 1 per 50 feet

EXHIBIT "C"

P.D. 9 - WHITTLE DEVELOPMENT AREA REQUIREMENTS

Product: Office Warehouse (OFW) - (39.555 Acres)

- 1. <u>Minimum site size</u> 6,000 square feet
- 2. Minimum site frontage 50 feet
- 3. Minimum site depth 100 feet
- 4. Minimum depth of front setback 25 feet
- 5. Minimum width of side setback
 - a) Without fire retardant wall 6 feet
 - b) With fire retardant wall 0 feet
 - c) Abutting residential zoned property 20 feet
 - d) Abutting arterial from right-of-way 25 feet
 - e) Abutting other streets 20 feet
- 6. Minimum depth of rear setback
 - a) Abutting non-residential property with fire wall 0 feet
 - b) Without fire retardant wall 20 feet
- 7. Minimum distance between detached buildings on the same parcel of land or lot
 - a) Without fire wall 15 feet
 - b) With fire wall 0 feet
- 8. Minimum requirement for construction materials
 - a) Structures non-combustible 100 feet
 - b) Exterior buildings facing masonry 90 percent
- 10. Maximum amount of impervious coverage 80 percent
- 11. Minimum amount of landscaping 20 percent
- 12. Maximum floor area ratio 2:1
- 13. Maximum height of structures 60 feet
- 14. Maximum number of entrances
 - a) On arterial (street frontage) 1 per 200 feet
 - b) On collector (street frontage) 1 per 100 feet
 - c) On local street frontage 1 per 50 feet

ORDINANCE NO 87-30

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND ORDINANCE 86-55, SO AS TO AMEND THE LAND USES AND AREA REQUIREMENTS APPROVED IN THE PRELIMINARY PLAN FOR "PD-9" PLANNED DEVELOPMENT DISTRICT NO. 9; ATTACHING THE APPROVED REVISIONS AS EXHIBIT "B"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows, NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and Ordinance 86-55 as heretofore amended, be, and the same is hereby amended by amending the approved land uses and approved development criteria for the Office/Warehouse tract as described in Exhibit "A". That said amended land uses and development criteria are attached hereto as Exhibit "B" and made a part hereof for all purposes.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That Planned Development District No. 9 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the amendment of the approved preliminary plan for Planned Development District No. 9 shall affect only the property shown thereon and said property shall be limited to the uses, density, area, setback and

other requirements set forth thereon, subject to the following special conditions:

- That the amended and approved land uses development criteria attached hereto as Exhibit "B", and made a part hereof shall control the development of Planned Development District No. 9 and any and all such development shall be in strict accordance with such development criteria.
- b. No substantial change in development of "PD-9" shall be permitted except after obtaining approval of the change of such development through amendment of this site plan or other changes in the Comprehensive Zoning Ordinance applicable to Planned Development District No. 9 in the manner required for changes or amendments to Comprehensive Zoning Ordinance.
- All other area requirements for each use not specifically covered in the Development Criteria attached Exhibit "B" shall be as required in the least restrictive zoning district in the Comprehensive Zoning Ordinance in which such use is allowed.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a fine not to exceed the sum of One Thousand Dollars (\$1,000.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This ordinance shall become effective from and after its passage and the publication of the caption as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 1st day of June, 1987.

ATTEST:

APPROVED

1st reading 5/18/87

Milie Conse

2nd reading 6/1/87

PERMITTED USES:

- 1. All those as defined in the Rockwall Comprehensive Zoning Ordinance under Office District, Ordinance #83-23, adopted May 16,1983.
- 2. In addition to those defined, include the following:
 - a) Light Assembly with without front showroom and with or without warehouse storage within the same building. Maximum area restricted to 30,000 square feet.
 - b) Furniture Store with front showroom and warehouse storage within the same building or similar business.
 - c) Hardware Store with showroom and warehouse storage within the same building or similar business.
 - d) Pastery Shop with cooking facilities within the same building or similar business.
 - e) Warehouse and Office Combination for terminal establishment and distribution point. Maximum area up to 25,000 square feet area increases considered under conditional use permit or similar business.
 - f) Wholesale Trade or Accessory Outlets with or without showroom and with or without warehouse storage within the same building or similar business.
 - g) Small Business Office with or without showroom, with or without warehouse storage within the same building.
 - h) Manufacturer and assembly of electrical wiring harnesses for irrigation systems with or without accessory warehouse storage.
- 3. Other uses similarly related to any within item 1 or 2 and those which may be included in special use permit.

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EXHIBIT	"A"	Ordinance	No.	
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OFFICE/WAREHOUSE

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tracts 3 and 7, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a concrete highway right-of-way marker found for the Easterly Southeast corner of the intersection of Farm to Market Road 740 and F.M. 3097; THENCE: Along the Southwesterly line of Farm to Market Road 3097 as follows: South 45° 35' 20" East a distance of 2225.71 feet to a concrete highway monument; South 44° 03' 08" East a distance of 900.21 feet to a concrete highway monument; South 45° 31' 22" East a distance of 999.27 feet to a concrete highway monument; and South 52° 42' 43" East a distance of 134.10 feet to the Point of Beginning; THENCE: Continuing along said Southwesterly line as follows: South 52° 42' 43" East a distance of 67.16 feet to a point for a corner; South 45° 38' 43" East a distance of 391.20 feet to the point of curvature of a circular curve to the left having a central angle of 2° 10' 00" and a radius of 5779.58 feet; Along said curve an arc distance of 218.56 feet to a point for a corner; and South 47° 48' THENCE: South 2° 18' 48" West a distance of 1158.04 feet along the East line of said Tract 3 to a point for a corner on the Southerly City Limits line of the City of Rockwall:

THENCE: Westerly along said City Limits line a distance of 829.06 feet, more or less to a point for corner in a branch;

THENCE: Along said branch and the Southerly lines of said Tract 3 as follows: North 43° 44' East a distance of 60.1 feet; North 8° 29' East a distance of 87.0 feet; North 53° 16' West a distance of 130.0 feet; North 31° 04' West a distance of 126.0 feet; and South 10° 01' East a distance of 101.5 feet to said City Limits line;

THENCE: Westerly a distance of 65.9 feet along said City Limits line to its intersection with said branch;

THENCE: Along said branch and the Southerly lines of said Tract 3 and Tract 7 as follows: South 24° 46' West a distance of 100.6 feet; North 54° 46' West a distance of 107.0 feet; North 1° 16' West a distance of 107.0 feet; THENCE: North 6° 24' 04" East a distance of 1811.29 feet leaving said branch to the Point of Beginning and Containing 39.592 Acres of Land.

TRACT A

(Shall include the following described property less the acreage described in tract B)

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tracts 3 and 7, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a concrete highway right-of-way marker found for the Easterly Southeast corner of the Intersection of Farm to Market Road 740 and F.M. 3097; THENCE: Along the Southwesterly line of Farm to Market Road 3097 as follows: South 45° 35' 20" East a distance of 2225.71 feet to a concrete highway monument; South 44° 03' 08" East a distance of 900.21 feet to a concrete highway monument; South 45° 31' 22" East a distance of 999.27 feet to a concrete highway monument; and South 52° 42' 43" East a distance of 134.10 feet to the Point of Beginning; THENCE: Continuing along said Southwesterly line as follows: South 52° 42' 43" East a distance of 67.16 feet to a point for a corner; South 45° 38' 43" East a distance of 391.20 feet to the point of curvature of a circular curve to the left having a central angle of 2° 10' 00" and a radius of 5779.58 feet; Along said curve an arc distance of 218.56 feet to a point for a corner; and South 47° 48' 43" East a distance of 643.15 feet to the East corner of said Tract 3; THENCE: South 2° 18' 48" West a distance of 1158.04 feet along the East line of said Tract 3 to a point for a corner on the Southerly City Limits line of the City of Rockwall;

THENCE: Westerly along said City Limits line a distance of 029.06 feet, more or less to a point for corner in a branch;

THENCE: Along said branch and the Southerly lines of said Tract 3 as follows: North 43° 44' East a distance of 60.1 feet; North 8° 29' East a distance of 87.0 feet; North 53° 16' West a distance of 130.0 feet; North 31° 04' West a distance of 126.0 feet; and South 10° 01' East a distance of 101.5 feet to said City Limits line;

THENCE: Westerly a distance of 65.9 feet along said City Limits line to its intersection with said branch:

THENCE: Along said branch and the Southerly lines of said Tract 3 and Tract 7 as follows: South 24° 46' West a distance of 100.6 feet; North 54° 46' West a distance of 107.0 feet; North 1° 16' West a distance of 107.0 feet; THENCE: North 6° 24' 04" East a distance of 1011.29 feet leaving said branch to the Point of Beginning and Containing 39.592 Acres of Land.

TRACT B

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being a part of that certain tract of land described as Tract 3 in deed recorded in Volume 184, Page 490, Desc Records, Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at the intersection of the Southeast line of a County Road with the Southwest line of F.M. 3097, a variable width right-of-way, and at the North corner of said Tract 3; THENCE: South 45° 38' 43" East a distance of 111.49 feet with the Southwest line of F.M. 3097 to an iron rod set at the Point of Beginning; THENCE: South 45° 38' 43" East a distance of 188.14 feet continuing with said Southwest line to an iron rod set at the point of curvature of a circular curve to the left having a central angle of 0° 36' 48", a radius of 5779.58 feet, and a chord that bears South 45° 57' 07" East a distance of 61.86 feet to an iron rod set for a corner on an intersecting circular curve to the left having a central angle of 52° 49' 33", a radius of 250.09 feet, and a chord that bears South 18° 01' 04" West a distance of 272.47 feet;
THENCE: Along said curve an arc distance of 230.50 feet to an iron rod set for a corner;
THENCE: South 8° 23' 43" East a distance of 575.93 feet to an iron rod set for a corner;
THENCE: South 8° 23' 43" West a distance of 575.93 feet to an iron rod set for a corner;
THENCE: North 8° 23' 43" West a distance of 575.93 feet to an iron rod set for a corner;
THENCE: North 8° 23' 43" West a distance of 575.93 feet to an iron rod set for a corner;

500.00 feet, and a chord that bears North 17° 58° 47" East a distance of 444.24 feet; THENCE: Along said curve an arc distance of 460.33 feet to the Point of Beginning and Containing 217,800 Square Feet or 5.0000 Acres of Land.

PD-9 - WHITTLE DEVELOPMENT AREA REQUIREMENTS

PRODUCT: OFFICE WAREHOUSE (OFW) - 39.555 Acres

- 1. Minimum site size 6,000 square feet
- 2. Minimum site frontage 50 feet
- 3. Minimum site depth 100 feet
- 4. Minimum depth of front setback 25 feet
- 5. Minimum width of side setback
 - a) without fire retardant wall 6 feet
 b) with fire retardant wall 0 feet
 c) abutting residential zoned property 20 feet
 d) abutting arterial from right-of-way 25 feet
 e) abutting other streets 20 feet
- 6. Minimum depth of rear setback
 - a) abutting non residential property with fire wall 0 feet
 - b) without fire retardant wall 20 feet
- 7. Minimum distance between detached buildings on the same parcel of land or lot
 - a) without fire wall 15 feet
 - b) with fire wall O feet
- 8. Minimum requirement for construction materials
 - a) structures non-combustible 100%
 - b) exterior buildings facing masonry 90%
- 9. Maximum amount of impervious coverage 95%
- 10. Minimum amount of landscaping TRACT A- (Described in attachment A-20% TRACT B- (Described in Attachment A-12.9% In Addition to the minimum % required in tract B, all adjacent street parkway shall be permanently landscaped.
- 11. Maximum floor area ratio 2:1
- 12. Maximum height of structures 60 feet
- 13. Maximum number of entrances
 - a) on arterial (street frontage) 1 per 200 feet
 - b) on collector (street frontage) 1 per 100 feet
 - c) on local street frontage 1 per 50 feet

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED AND ORDINANCE 86-55 TO INCLUDE GARDEN CENTERS AS APPROVED USES UNDER "PD-9" PLANNED DEVELOPMENT DISTRICT NO. 9; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notice by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, and the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows, NOW, THEREFORE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending Exhibit "C" of Ordinance 86-55 as follows: (wording in " " indicates additions):

Exhibit "C"

Product: General Retail District "including garden centers as approved uses".

Section 2. That the above described tract of land shall be used only in the manner and for the purpose authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, by including garden center uses as approved uses under "PD-9" Planned Development District No. 9.

Section 3. Any person, firm, or corporation violating the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended and as amended hereby, and upon conviction shall be punished by fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication

shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance shall remain in full force and effect.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 2nd day of May, 1988

APPROVED:

Mayor

ATTEST:-

lst Reading 4/18/88 2nd Reading 5/2/88

ORDINANCE NO. 88-20

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, TEXAS AS HERETOFORE AMENDED AND ORDINANCE 86-55 TO AMEND THE PRELIMINARY PLAN FOR "PD-9" PLANNED DEVELOPMENT DISTRICT NO.9; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, a change in the preliminary plan for "PD-9" has been requested by Whittle Development to change the land use from "SF-12.5" TO "SF-10" on the property described in Exhibit "A" and relocate the amenities from the property described in Exhibit "B" to the property described in Exhibit "D"attached hereto; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

- Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending Exhibit "B" of Ordinance 86-55 as follows:
 - a. Changing the zoning designation from "SF-12.5" to "SF-10" on the 1.7 acre tract of land as shown on Exhibit "B" and further described in Exhibit "A"
 - b. Removing the 7 acre amenities area as shown on Exhibit "B", and
 - c. Locating a 3.5 acre public park as shown on the revised concept plan attached hereto as Exhibit "C" and as further described on Exhibit "D"
- Section 2. That the above described tracts of land shall be used on in the manner and for the purpose authorized by the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended and as amended hereby, by relocating the amenities area and changing the zoning designation from "SF-12.5" to "SF-10" on the tract of land described in Exhibit "A".
- Section 3. Any person, firm, or corporation violating the provisions of this ordinance shall be subject to the same penalty as provided for in the

Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended and as amended hereby, and upon conviction shall be punished by fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,,000) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance shall remain in full force and effect.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed,, and all other ordinances of the City of Rockwall no in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED THIS __6th_ DAY OF __june, 1988

APPROVED:

The RMiller Mayor

ATTEST;

1st reading 5/16/88 2nd reading 6/6/88 STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tract 5 as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a point on the Easterly line of F.M. 740 at the most Northerly Southwest corner of said Tract 5;

THENCE: North 8° 22' 20" West a distance of 314.80 feet along said Easterly line to the beginning of a circular curve to the left;

THENCE: Along said curve having a central angle of 19° 01' 57", a radius of 613.99 feet, a tangent length of 102.93 feet, for an arc length of 203.95 feet;

THENCE: North 62° 35' 43" East a distance of 300.00 feet to the Point of Beginning;

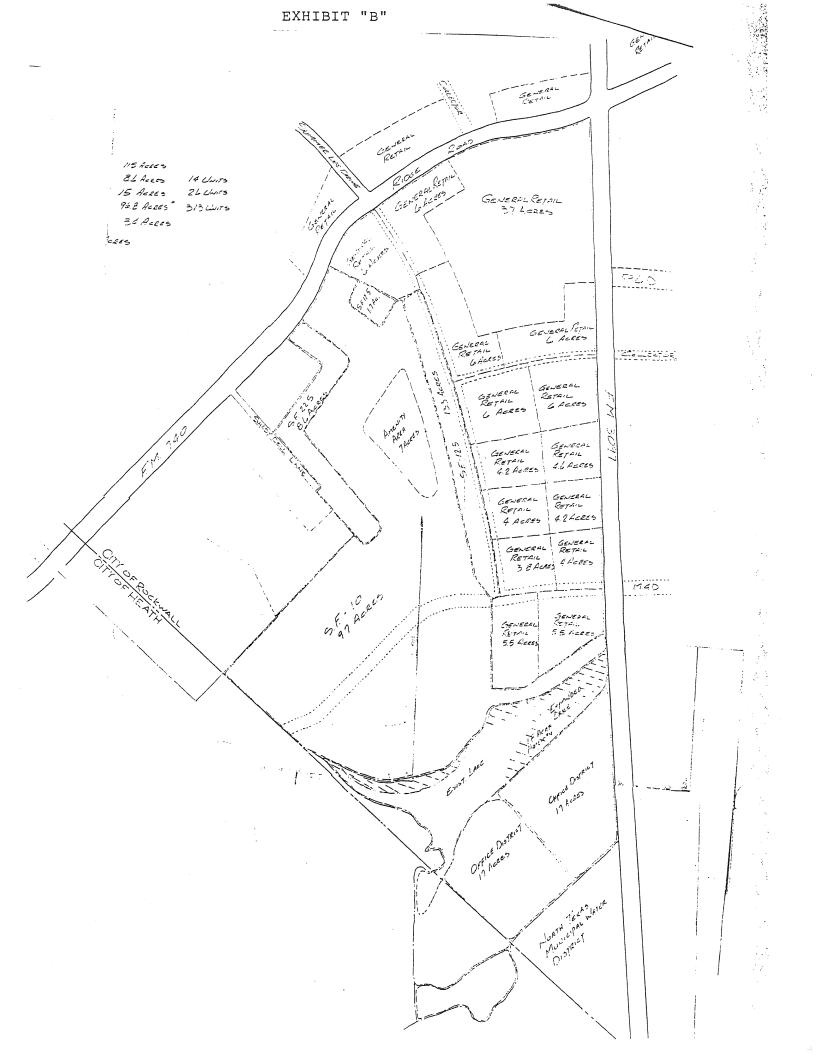
THENCE: North 62° 35' 43' East a distance of 299.60 feet to a point for a corner;

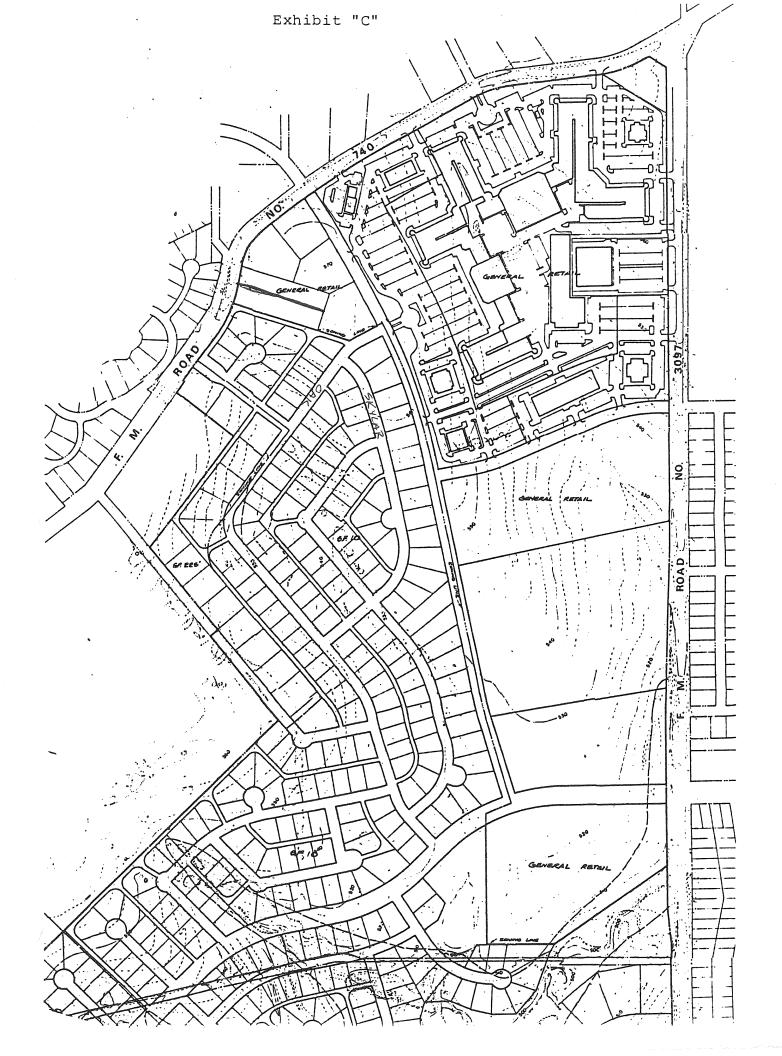
THENCE: South 27° 24' 17" East a distance of 247.17 feet to a point for a corner;

THENCE: South 62° 35' 43" West a distance of 299.60 feet to a point for a corner; THENCE: North 27° 24' 17" West a distance of 247.17 feet to the Point of Beginning

and Containing 1.700 Acres of Land.

area designated as SF-12.5 to be amended to SF-10





STATE OF TEXAS
COUNTY OF ROCKWALL

EXHIBIT "D"

BEING a tract of land situated in Rockwall County, Texas, part of the E. Teal Survey, Abstract No. 207, being part of Tract 5 and 7, as recorded in Volume 184, Page 490, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a concrete highway right-of-way marker found for the Easterly Southeast corner of the intersection of Farm to Market Road 740 and F.M. 3097, same being the most Northerly corner of the herein described tract; THENCE: Along the Southwesterly line of Farm to Market Road 3097 as follows: South 45° 35' 20" East a distance of 2225.71 feet to a concrete highway monument; South 44° 03' 08" East a distance of 900.21 feet to a concrete highway monument; South 45° 31' 22" East a distance of 802.41 feet to a point for a corner; THENCE: Leaving said Southwesterly line as follows: South 10° 28' 38" West a distance of 662.77 feet to a point for a corner; and South 44° 24' 40" West a distance of 334.49 feet to the Point of Beginning; THENCE: South 44° 24' 40" West a distance of 47.00 feet to a point for a corner; THENCE: South 20° 02' 12" East a distance of 126.71 feet to the point of curvature of a circular curve to the right having a central angle of 32° 17' 34", a radius of 375.00 feet, and a chord that bears South 84° 30' 18" West a distance of 208.57 feet; THENCE: Along said curve an arc distance of 211.36 feet to a point for a corner: THENCE: North 79° 20' 55" West a distance of 264.95 feet to the point of curvature of a circular curve to the left having a central angle of 6° 24' 51", a radius of 955.00 feet, and a chord that bears North 4° 37' 05" East a distance of 106.85 feet: THENCE: Along said curve an arc distance of 106.91 feet to a point for a corner; THENCE: North 1° 24' 40" East a distance of 214.65 feet to the point of curvature of a circular curve to the right having a central angle of 15° 00' 00', a radius of 800.00 feet, and a chord that bears North 8° 54' 40" East a distance of 208.84 feet: THENCE: Along said curve an arc distance of 209.44 feet to a point for a corner; THENCE: South 45° 31' 22" East a distance of 576.34 feet to the Point of Beginning and Containing 164,371 Square Feet or 3.7734 Acres of Land.

area to be designated as park

ORDINANCE NO. 95-17

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 86-55 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO CHANGE THE AREA REQUIREMENTS IN PLANNED DEVELOPMENT 9, SHOWN AS PART OF EXHIBIT "C", ; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Exhibit "C" of Ordinance 86-55 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Exhibit "C" of Ordinance No. 86-55 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve an amendment to the area requirements of PD-9 Exhibit "C" as follows:

- 8. Minimum requirements for construction materials
 - a. All structural materials for new buildings greater than 5,000 square feet in floor area, or additions of more than 40% of the existing floor area or exceeding 5,000 square feet, shall consist of 100% non-combustible materials.
 - b. All structural materials for new buildings 5,000 square feet or less in floor area, and any additions to existing buildings 40% or less than the existing floor area and 5,000 square feet or less may consist of combustible materials rated a minimum of one-hour fire resistive on all walls, floors and ceilings.

c. <u>Exterior walls</u> - Each exterior wall shall consist of 90% masonry materials as defined in the comprehensive zoning ordinance.

Section 2. That Planned Development District No. 9, shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of these changes to Planned Development District No. 9 and are subject to the following special conditions:

A. All development of property covered by Planned Development District No. 9, shall be in accordance with the provisions of this ordinance and the finally approved site plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

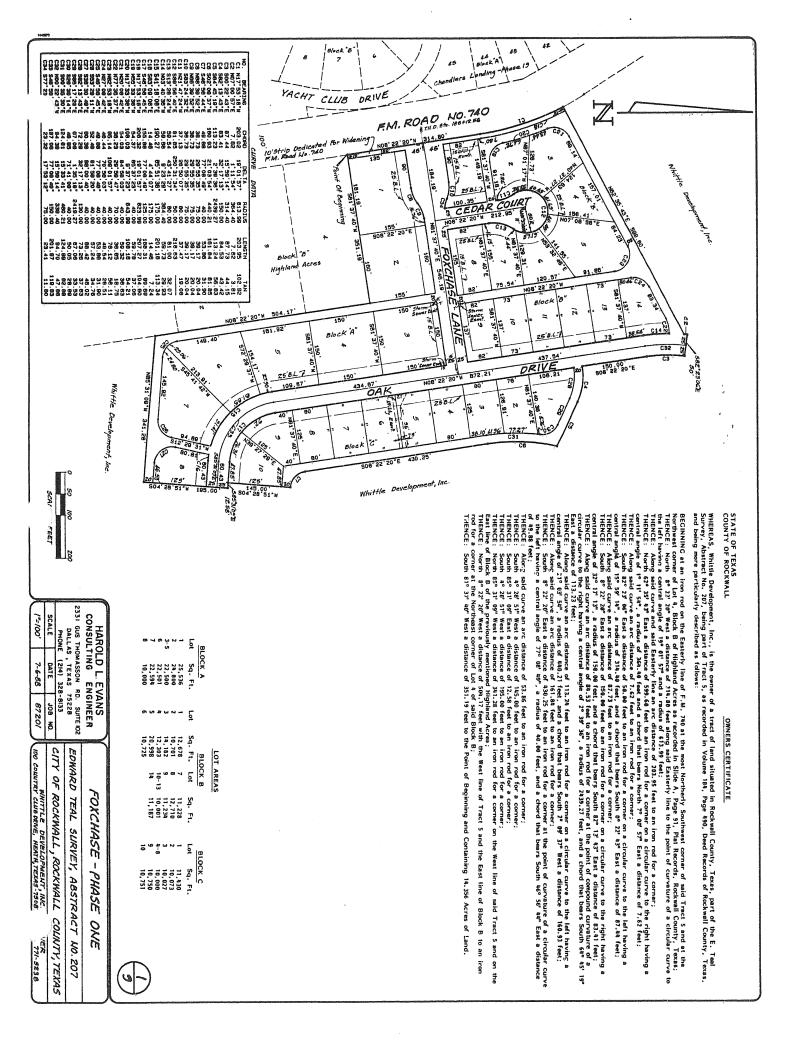
Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

	DULY PASSED AND APPROVED this <u>5th</u> day of <u>June</u> , 1995.
15	APPROVED:
	Den Later Mayor
	ATTEST: George R. Hatfield
	By: Stacey Robbins, City Secretary 1st reading 5/15/95 2nd reading 6/5/95

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ORDINANCE NO. 01-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE (ORD. NO. 83-23) OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED AND ORDINANCE NO. 86-55, TO PERMIT A FOUR-PUMP GASOLINE CONVENIENCE STORE AS AN ACCESSORY TO A RETAIL GROCERY FACILITY AS AN APPROVED USE UNDER "PD-9", PLANNED DEVELOPMENT DISTRICT NO. 9; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall Comprehensive Zoning Ordinance has been requested by the Regency Realty Corporation to provide for the general provision and requirements for an amendment to Ordinance No. 86-55 so as to approve the use of a four-pump gasoline convenience store as an accessory to a retail grocery facility on property described on Exhibit A attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance, as heretofore amended, be and the same is hereby amended by the approval of an amendment to the planned development to allow a four-pump gasoline convenience store as an accessory to a retail grocery facility in the "PD-9", Planned Development District, on property as described on Exhibit A attached hereto and made a part hereof.

Section 2. That the tract of land described on Exhibit "A" shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall has herefore amended, as amended herein by granting of this approval shall affect only the property as heretofore described and said property shall be limited to the uses, density, area, setback and other requirements set forth herein.

Section 3. That development on property described on Exhibit "A" shall include the use 2001-12-Z/PD Gasoline sales facility FM 740 and FM 3097

of a four-pump gasoline convenience store as an accessory to a grocery retail facility with the following conditions:

- 1. That the area requirements conform to the PD-9, Planned Development District (Ordinance No. 86-55).
- **2.** That the fuel center be limited to four pumps.
- 3. That no free standing pole sign be allowed.
- 4. That no incidental display be allowed, including vending machines.
- 5. That the building materials conform to Exhibit "B".
- **6.** That the fuel center be manned at all times during operating hours. The fuel center shall not operate unmanned.
- 7. Additional road work to be performed on FM 3097 and FM 740 to conform to Exhibit "C". Construction for road work will start within 45 days after the following conditions have been met:
 - a. Filing of the plat.
 - b. Relocation of utilities by the local provider.
 - c. Approval of construction drawings by TXDOT and other governmental authorities.
 - d. Issuance of TXDOT permit for construction of the roadwork.

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 17th day of September

	Terres Paulton
	APPROYED
Cheud austic	Terry Raulston, Mayor Pro Tem
ATTEST, Cheryl Austin	
City Secretary	
1st Reading9/4/01	
2nd Reading 9/17/01	WHITE OCK WALLE



2001.

EXHIBIT "A"

ZONING EXHIBIT 0.861ACRE TRACT ROCKWALL, TEXAS

Being a 0.861 acre tract situated in the City of Rockwall, Rockwall County, Texas, being out of the E. Teal Survey, Abstract No. 207, said tract being more particularly described as follows:

COMMENCING at a ½-inch iron road found for corner of the southwest line of said F.M. Road No. 3097, a 100 foot right-of-way at this point, said point being at the southeasterly corner of a 7.5 foot strip of land dedicated for widening of said F.M. Road No. 3097 as shown by plat of Lot 1, Block A, of Mr. M. Addition, an addition of the City of Rockwall, according to the map thereof dated October 9, 1987 and recorded in Cabinet C, Page 24, of the Plat Records of Rockwall County, Texas;

THENCE along the southwest line of said F.M. Road 3097 the following:

South 45°37'17" East, a distance of 374.66 feet to a point found for corner, same point being the *POINT OF BEGINNING*;

South 45°37'17" East, a distance of 268.00 feet to a point found for corner;

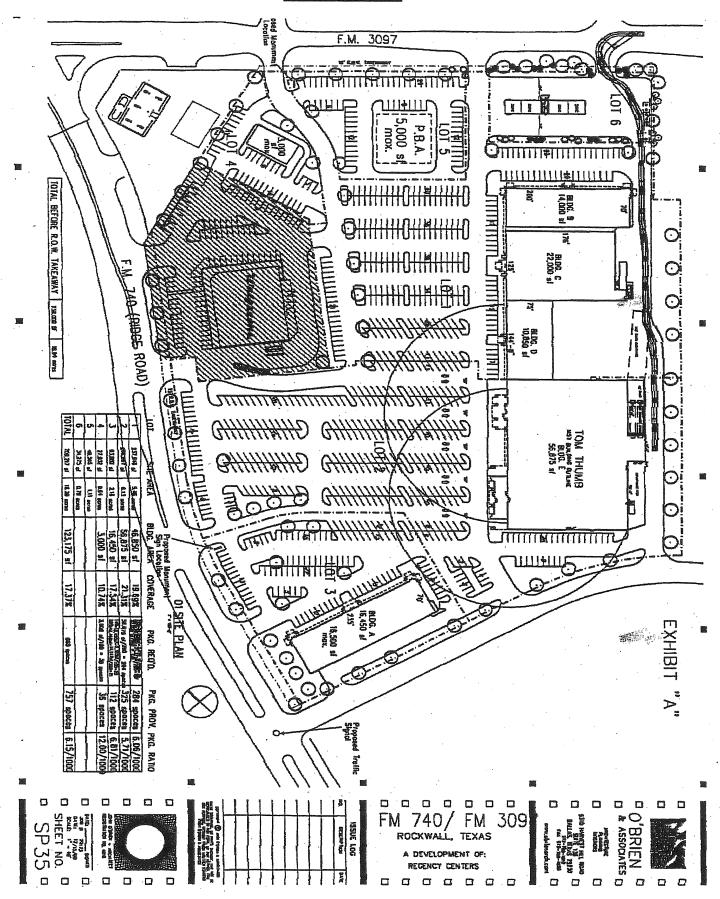
THENCE South 44°22'43" West, a distance of 140.00 feet to a point found for corner;

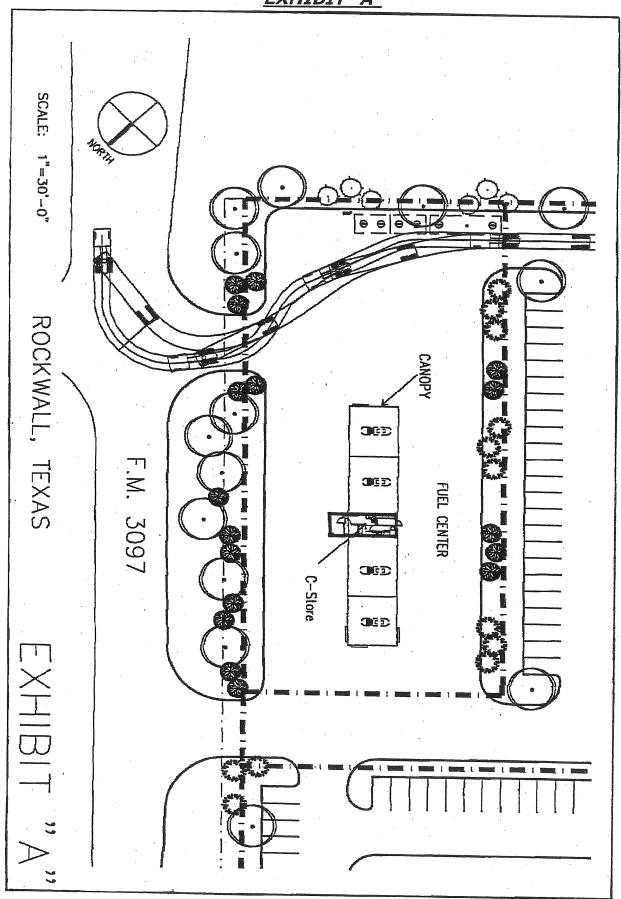
THENCE North 45°37'17" West, a distance of 268.00 feet to a point found for corner;

THENCE North 44°22'43" East, a distance of 140.00 feet to the **POINT OF BEGINNING**:

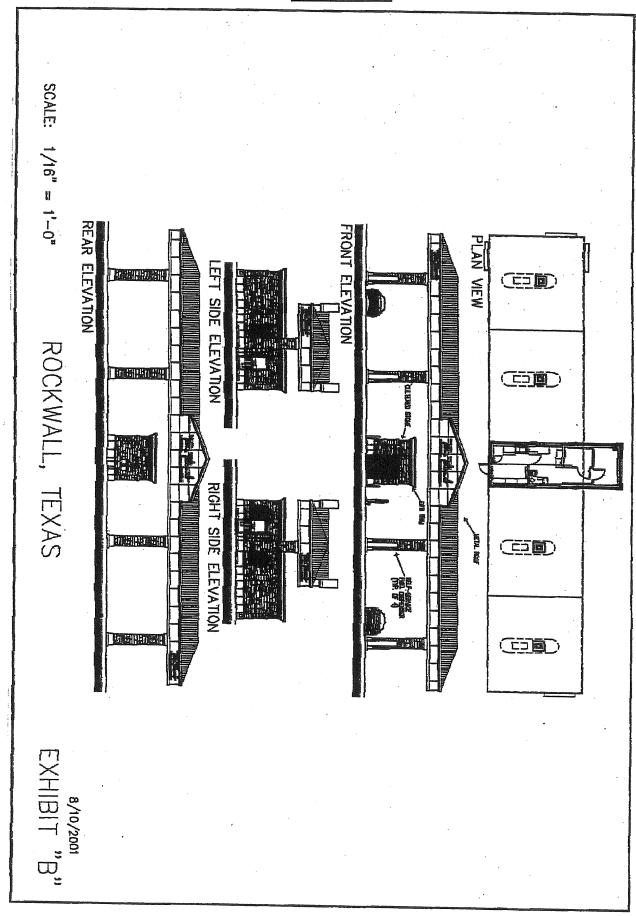
CONTAINING a computed are of 37,520 square feet or 0.861 acres of land.

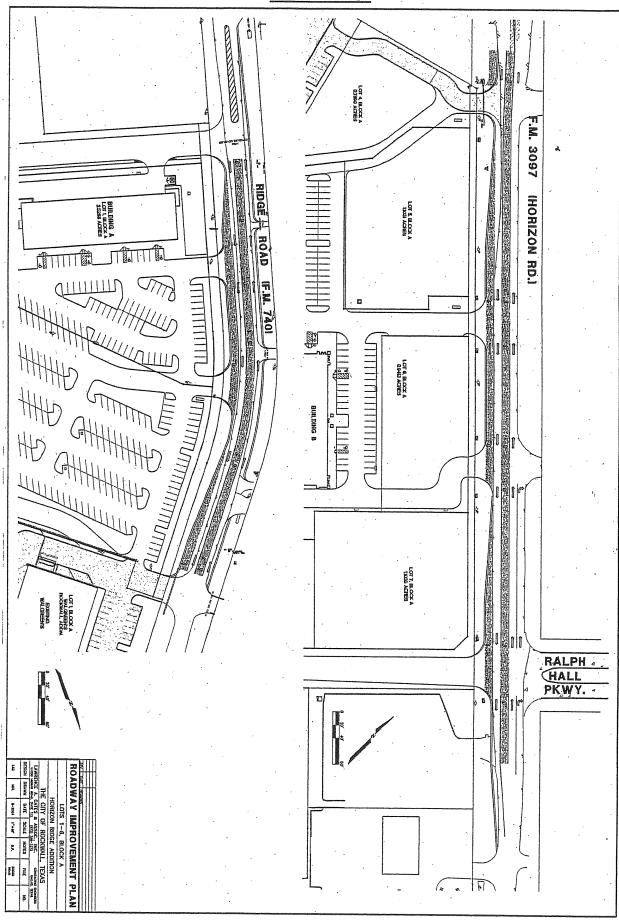
EXHIBIT "A"





01-12- PD-9 - Amendment to allow gas station

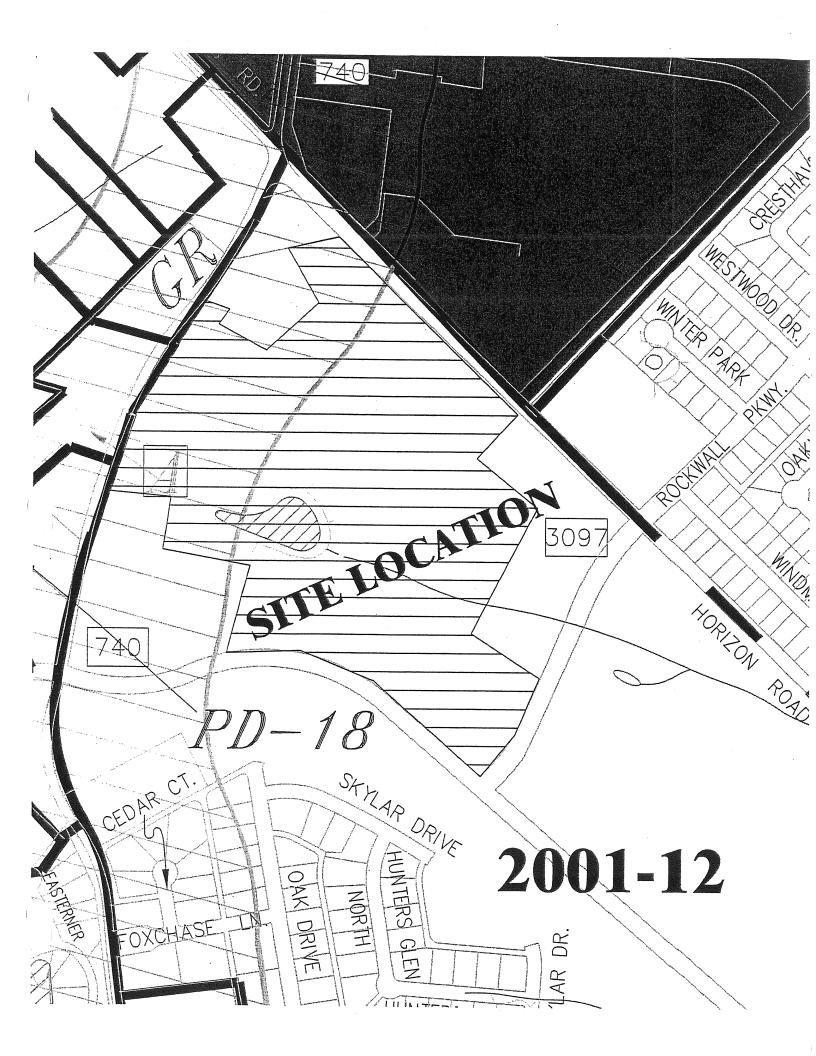




01-12- PD-9 - Amendment to allow gas station

(1 of 1)

EXHIBIT "C"



CITY OF ROCKWALL

ORDINANCE NO. <u>04-02</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM "A", AGRICULTURAL TO "PD-9", PLANNED DEVELOPMENT NO. 9 DISTRICT, FOR A 36.5427-ACRE TRACT BEING A PORTION OF THE RAINBOW LAKE ESTATES ADDITION AND ALL OF TRACTS 4-1 AND 4-3, ABSTRACT 207, AND MORE FULLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

- **Section 1.** That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning for a tract of land containing 36.5427-acres being a portion of the Rainbow Lake Estates Addition and Tracts 4-1 and 4-3 of the E. Teal Survey, Abstract 207, and more fully described herein as Exhibit "A", City of Rockwall, Rockwall County, Texas, from "A", Agricultural District to "PD-9", Planned Development No. 9 District, and;
- **Section 2.** That the property described herein shall be used only in the manner and for the purposes provided for in §2.3 (SF-10) SINGLE FAMILY RESIDENTIAL DISTRICT of the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and the following conditions shall apply:
 - 1. Development of vacant land south of Foxchase Phase 6 and Rainbow Lake Estates shall include a 5-ft landscape buffer and screening element along the Tubbs Road extension and White Road.
- **Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

- **Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Subdivision Regulations of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.
- **Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.
- **Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY	THE CITY	COUNCIL	OF THE	CITY O	F ROCKWA	ALL,
TEXAS, this 5 th day of January, 2004.			$X \setminus$			
		1/		10.		

ATTEST:

Dorothy Brooks, City Secretary

APPROVED AS TO FORM:

Pete Eckert, City Attorney

1st Reading: December 15, 2003

2nd Reading: <u>January 5, 2004</u>

SEAL SEAL

Exhibit "A" Legal Description

STATE OF TEXAS COUNTY OF ROCKWALL

Being a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, including a part of an addition known as Rainbow Lake Estates recorded in Cabinet D, Slide 344; a part of Tract 7, as described in Deed recorded in Volume 184, Page 490, Deed Records, Rockwall County, Texas; and a 1.8652 acre tract described in Deed to Whittle Development, recorded in Volume 269, Page 45; and being more particularly described by metes and bounds as follows:

BEGINNING at a point in the center of Rainbow Road, a County road, at a corner of the City Limits of the City of Rockwall and at the North corner of said Tract 7;

THENCE, With the meanders of Brockway Branch a tributary of Buffalo Creek), the East lines of said Tract 7, and said City Limits line as follows:

South 00°06' 21" East a distance of 183.00 feet;

South 71°36' 01" East a distance of 122.00 feet;

South 03°08' 59" West a distance of 195.00 feet;

South 44°36' 01" East a distance of 146.00 feet;

South 73°23' 59" West a distance of 211.00 feet;

South 20°51' 01" East a distance of 103.00 feet:

South 77°06' 01" East a distance of 250.00 feet;

South 9°06' 01" East a distance of 118.00 feet;

South 41°23' 59" West a distance of 180.00 feet;

South 48°36' 01" East a distance of 92.00 feet;

South 04°53' 59" West a distance of 43.00 feet;

South 88°08' 59" West a distance of 126.00 feet;

South 08°21' 01" East a distance of 218.00 feet; and

South 71°08' 59" West a distance of 87.98 feet to the North corner of a tract of land conveyed to Thomas W. Jones et al by Deed recorded in Volume 166, Page 410, Deed Records, Rockwall County, Texas;

THENCE, Along the Northeast lines of said Jones Tract and continuing along said City Limits Line as follows:

South 01°25' 42" East a distance of 107.53 feet;

South 54°55' 42" East a distance of 106.99 feet; and

South 24°55′ 42" East a distance of 100.58 feet to a point on the common City Limits line of the City of Rockwall and the City of Heath;

THENCE, South 89°25' 57" West a distance of 634.45 feet along said Heath City Limit line to a point in a dry wash and on the Southerly lines of said Tract 7;

THENCE, In a Westerly direction with the meanders of said dry wash and the Southerly lines of said Tract 7 as follows:

South 45°15' 18" West a distance of 22.28 feet;

North 83°12' 42" West a distance of 43.70 feet; and

North 50°58' 42" West a distance of 15.58 feet to a point on the previously mentioned Heath City Limits line;

THENCE, South 89°25' 57" West a distance of 92.46 feet, leaving said dry wash and said Southerly lines of Tract 7, along said Heath City Limits line to a point in said dry wash and said southerly lines;

Exhibit "A" Legal Description

- THENCE, With the meanders of said dry wash and the Southerly lines of said Tract 7 as follows: South 67°46' 18" West a distance of 99.50 feet; and North 65°47' 42" West a distance of 87.65 feet to a point on said Heath City Limits line;
- THENCE, South 89°25' 57" West a distance of 63.51 feet, leaving said dry wash and said Southerly lines of Tract 7, along said Heath City Limit line to a point in said dry wash and said Southerly Lines:
- THENCE, With the meanders of said dry wash and the Southerly lines of said Tract 7 as follows: South 10°03' 18" West a distance of 12.88 feet; and North 82°54' 42" West a distance of 94.99 feet to a point on said Heath City Limits Line;
- THENCE, South 89°25' 57" West a distance of 325.59 feet, leaving said dry wash and said Southerly lines of Tract 7, along said Heath City Limit line to a point on the projected line of the original West line of White Road;
- THENCE, South 00°22' 56" East a distance of 353.97 feet along said projected line of the original White Road to a point at the Eastward projection of the South right-of-way line of White Road;
- THENCE, North 89°33' 15" West a distance of 583.26 feet along the south right-of-way line of White Road, to a point being a projection of the west line of said Whittle Development tract;
- THENCE, North 00°02' 30" West a distance of 343.69 feet to a point being the southwest corner of an addition known as Foxchase Phase Six recorded in Cabinet D, Slides 335-336;
- THENCE, North 89°25' 57" East a distance of 525.72 feet to a point within the right-of-way of Tubbs Road, also being a point on the existing Rockwall City Limits line and within the original Rainbow Road;
- THENCE, North 31°41' 03" East a distance of 955.02 feet, along Rockwall City Limits line within the said Rainbow Lake Estates Addition to a point for a corner;
- THENCE, North 45°08' 44" East a distance of 1131.97 feet continuing with said Rockwall City Limits line to the Point of Beginning and containing approximately 36.5427 acres (1,591,800.58 sf) of land.

CITY OF ROCKWALL

ORDINANCE NO. <u>11-31</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO AMEND (PD-9) PLANNED DEVELOPMENT NO. 9 DISTRICT, SPECIFICALLY TO ALLOW FOR A PROPOSED FUEL CENTER IN CONJUNCTION WITH THE EXISTING KROGER STORE LOCATED ON LOT 18, BLOCK A, HORIZON RIDGE ADDITION, BEING 7.1779-ACRES AND LOCATED AT 2935 RIDGE ROAD, AND MORE SPECIFICALLY SHOWN IN EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to (PD-9) Planned Development No. 9 District has been requested by Christina Konrad of Kroger Texas LP, specifically to allow for a proposed fuel center in conjunction with the existing Kroger store located on Lot 18, Block A, Horizon Ridge Addition, being 7.1779-acres and located at 2935 Ridge Road, City and County of Rockwall, Texas, and more specifically shown in Exhibit "A"; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended by approval of an amendment to (PD-9) Planned Development No. 9 District to allow for a proposed fuel center in conjunction with the existing Kroger store located on Lot 18, Block A, Horizon Ridge Addition, being 7.1779-acres and located at 2935 Ridge Road, City and County of Rockwall, Texas, and more specifically shown in Exhibit "A"; and

Section 2. That the tract of land described in the attached Exhibit "A" shall be used only in the manner and for the purposes provided for in the Unified Development Code (Ord. No. 04-38) of the City of Rockwall and to the conditions set forth in (PD-9) Planned Development No. 9 District, as heretofore amended, and as amended herein by granting of this approval, and shall be subject to the following conditions:

- 1. The development shall strictly adhere to the approved concept plan (Exhibit A), landscape plan (Exhibit B) and building elevations (Exhibit C).
- 2. The construction of the "Right-in/Right-out" raised median as shown on concept plan (Exhibit A) shall commence within twelve (12) months of the issuance of building permit for the fuel center.

- 3. No outside display of merchandise shall be permitted within or around the proposed fuel center, except for the ice machine as shown on the concept plan and elevations, which shall be painted to match the exterior materials of the adjacent kiosk. However, the grocery store shall continue to display merchandise as permitted under the City's "incidental display" requirements of the Unified Development Code.
- 4. No seasonal sales of merchandise or other special event (e.g. Christmas tree sales, Valentine's Day tent sale) that would result in a further reduction of the required parking spaces shall be allowed on the property, unless specifically permitted on a case-by-case basis by the City Council.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code No. 04-38 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 5th day of July, 2011.

David Sweet, Mayor

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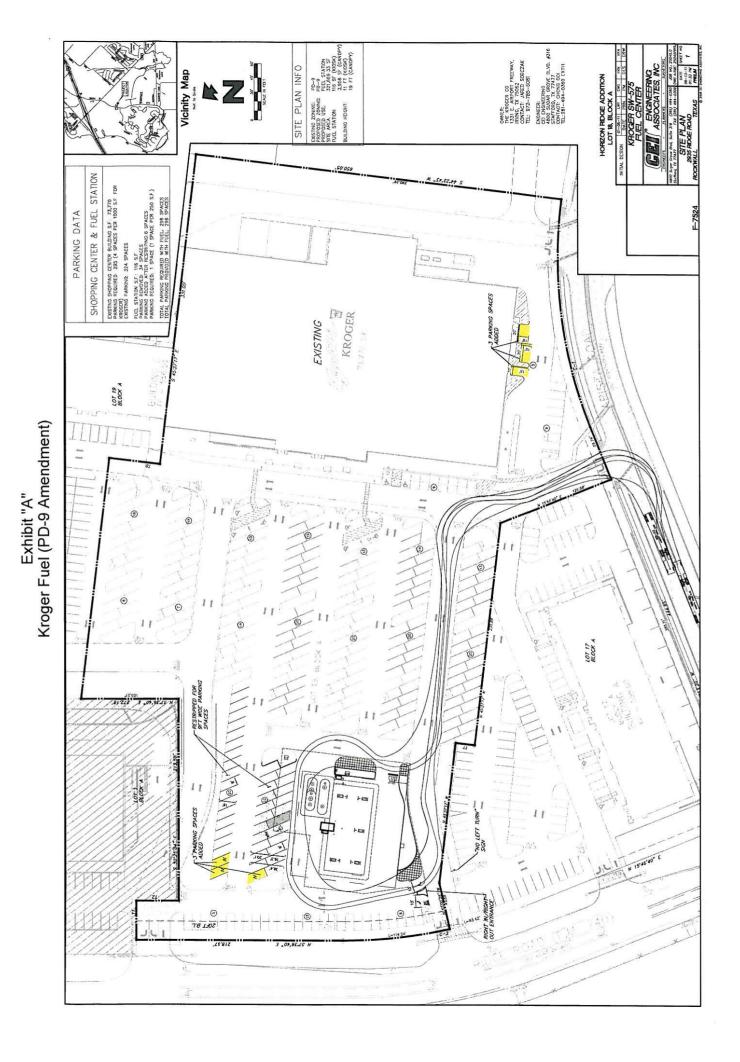
ATTEST:

Kristy Ashberry, City Secretary

APPROYED AS TO FORM:

Pete Eckert, City Attorney

1st Reading: <u>06-20-11</u> 2nd Reading: <u>07-05-11</u>



HORIZON RIDGE ADDITION LOT 18, BLOCK A HOOT STE RELABES HOW ALL ALLE A POWN HAN FELL ALLE ALLE AND THE PROP COMMISSION GRATE INLET
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(William and March Committee of the March Com I LANDSCAPE DETAIL 0 INCH CALIPER ENGNEERS CD ENGNEERS 460 SUGAR GROVE BLVD 4316 STAFFORD, TX TXTA CNTACT: GIGHS DOI TEL 281-494-0340 EXT11 DWNER.
THE KROSER CO.
1,31 E. AIRPORT FREEWAY,
IRANG, TX 75.052
CONTACT. JARED SOBCZAK
TEL: 972-785-6081 STATUS REMOVE F 1-47 Averations

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Francis March Thomas THE PLANT CHARTON PLAN TREE PLANTING EXISTING TREES WITHIN AREA OF DISTURBANCE BALD CPRESS/Tenedium distribum BALD CPRESS/Tenedium distribum BALD CPRESS/Tenedium distribum BALD CPRESS/Tenedium distribum BALD CYPRESS/Taxodium distichum NOTE. PROPOSED TREES TO BE PLANTED AT LEAST 55T AWAY FROM WATER, SEWER AND STORM SEWER LINES, SPECIE N 45'37'17" 11 11 11 N 37.36'40" E 272.18' 11 00 00000 11 |- |=| 11 0 1-1 I . 1. 52.25'04"

Exhibit "B" Kroger Fuel (PD-9 Amendment)

Exhibit "C" Kroger Fuel (PD-9 Amendment)

CITY OF ROCKWALL

ORDINANCE NO. 13-43

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (ORD. 04-38) OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO AMEND (PD-9) PLANNED DEVELOPMENT NO. 9 DISTRICT AND ORDINANCE 86-55, SO AS TO AMEND THE RESIDENTIAL STANDARDS AND CHANGE THE ZONING FROM (SF-22.5) SINGLE FAMILY RESIDENTIAL DISTRICT TO (SF-12.5) SINGLE FAMILY RESIDENTIAL DISTRICT FOR A 4.96-ACRE PORTION OF (PD-9) PLANNED DEVELOPMENT DISTRICT NO. 9, AND BEING IDENTIFIED AS TRACTS 4-13 & 4-14, EDWARD TEAL SURVEY, ABSTRACT 207 AND LOCATED EAST OF THE INTERSECTION OF RIDGE ROAD AND SHADY DALE LANE, AND MORE SPECIFICALLY SHOWN AS EXHIBIT "B" (BOUNDARY SURVEY); PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to (PD-9) Planned Development No. 9 District has been requested by John P. Allender of Architexas and on behalf of Greener City Group, Inc., to amend the residential standards and change the zoning from (SF-22.5) Single Family Residential District to (SF-12.5) Single Family Residential District for a 4.96-acre portion of (PD-9) Planned Development District No. 9, and being identified as tracts 4-13 &4-14 of the Edward Teal Survey, Abstract 207 and located east of the intersection of Ridge Road and Shady Dale Lane, City and County of Rockwall, Texas, and more specifically shown in Exhibit "B" (Boundary Survey) of this ordinance, which hereinafter shall be referred to as the Subject Property and incorporated by reference herein; and;

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

- **Section 1.** That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended by approval of an amendment to (PD-9) Planned Development No. 9 District so as to change the zoning from a (SF-22.5) Single Family Residential District to a (SF-12.5) Single Family Residential District for the *Subject Property*; and:
- **Section 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in the Unified Development Code (Ord. No. 04-38) of the City of Rockwall and to the (SF-12.5) Single Family Residential District standards set forth in (PD-9) Planned

Development No. 9 District, as heretofore amended, and as amended herein by granting of this zoning change, and as may be amended in the future, and;

- That the development shall strictly adhere to the standards as established in the (SF-12.5) Single Family Residential District referred to as the P.D. 9 – Shady Dale Lane Development Area Requirements attached hereto as Exhibit "A".
- **Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **Section 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **Section 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **Section 6.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code No. 04-38 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE	CITY COUNC	CIL OF TI	HE CITY	OF ROCKWALL
TEXAS, this <u>4th</u> day of <u>November</u> , <u>2013</u> .	/,	///	//	

David Sweet, Mayor

TO DE COMMUNICATION OF THE PARTY OF THE PART

ATTEST:

Kristy Ashberry, City Secretary

APPROVED AS TO FORM:

Frank Garza, City Attorney

1st Reading: October 21, 2013

2nd Reading: November 4, 2013

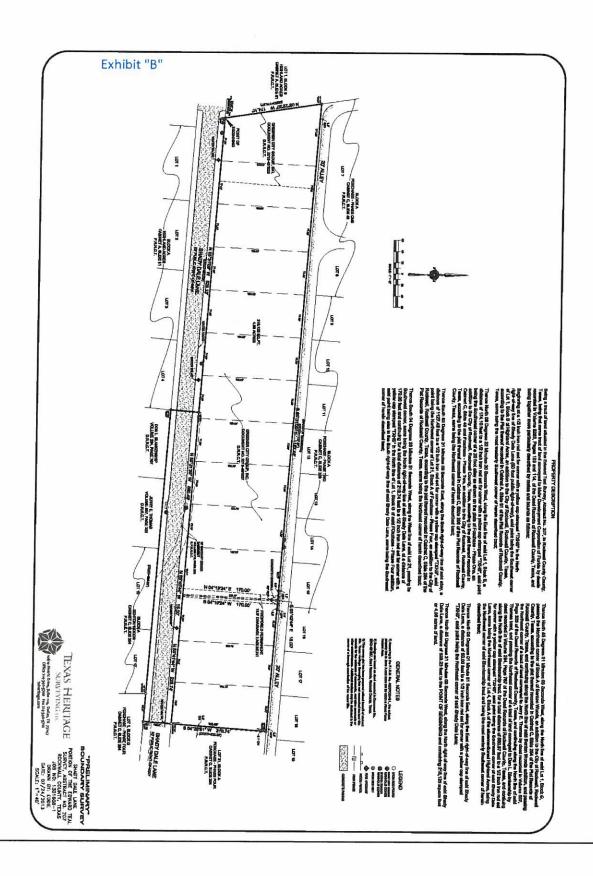
EXHIBIT "A"

P.D. 9 – SHADY DALE LANE DEVELOPMENT AREA REQUIREMENTS

Product:

(S.F.-12.5) Single Family Residential District Minimum 12,500 Square Feet.

- 1. Minimum lot area 12,500 square feet
- 2. Maximum number of single family detached units per lot 1 each
- 3. Minimum square footage per dwelling unit 2,000 square feet
- 4. Minimum lot frontage on public street 75 feet
- 5. Minimum lot depth 160 feet
- 6. Minimum depth of front setback 20 feet
- 7. Minimum depth of rear setback 10 feet
- 8. Minimum width of side setback
 - a) Internal lot 6 feet
 - b) Side yard abutting street 15 feet
 - c) Abutting an arterial 20 feet
- 9. Minimum distance between separate buildings on the parcel of land or lot 10 feet
- 10. Minimum length of driveway pavement from the public right-of-way for rear and side yard 18 feet
- 11. Maximum building coverage as percent of lot area 35 percent
- 12. Maximum height of structures 36 feet
- 13. Minimum number of off-street parking spaces (excluding garage) 2 each



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL. TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CONSOLIDATE THE REGULATING ORDINANCES OF THE PLANNED DEVELOPMENT DISTRICT, BEING A 307.57-ACRE TRACT OF LAND SITUATED WITHIN THE E TEAL SURVEY, ABSTRACT NO. 207, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY **EXHIBIT 'B': PROVIDING FOR SPECIAL CONDITIONS: PROVIDING** FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has initiated an amendment to the Planned Development District 9 (PD-9) for the purpose of consolidating the regulating ordinances [*Ordinance No.'s* 73-49, 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43].

WHEREAS, Planned Development District 9 (PD-9) is a 307.57-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and which is more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 9 (PD-9) [Ordinance No.'s 73-49, 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.'s* 73-49, 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the Subject Property;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. The Homeowner's Association (HOA) shall be responsible for the maintenance of all common areas, screening walls and features, landscape areas, deed restriction enforcement, and all other functions required to maintain the quality of the development.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JANUARY, 2024.

ATTEST:	Trace Johannesen, <i>Mayor</i>
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza. Citv Attornev	

1st Reading: December 16, 2024 2nd Reading: January 6, 2024

Page 3

City of Rockwall, Texas

Z2024-0<mark>XX</mark>: Amendment to PD-9 Ordinance No. 24-XX; PD-9

Legal Description

BEING 307.57 acres of land situated in Abstract 207, E. Teal Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING in the center of the intersection of Horizon Rd (FM3097) and Ridge Rd, (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,591,264.736, N 7,013,506.983 Feet);

- 1 THENCE South 42°-42'-40" East, along the center of Horizon Road, a distance of 796.38 feet to a point;
- THENCE South 45°-17'-46" East, continuing along said centerline, a distance of 1067.835 feet to a point;
- THENCE South 44°-34'-21" East, a distance of 1870.922 feet to a point;
- THENCE South 44°-49'-17" East, a distance of 1399.251 feet to a point;
- 5 **THENCE** South 46°-51'-8" East, a distance of 481.716 feet to a point;
- 6 **THENCE** South 46°-42'-30" East, a distance of 258.877 feet for a corner;
- 7 THENCE South 57°-1'-39" West, a distance of 111.082 feet to a point;
- THENCE South 3°-49'-47" West, a distance of 337.364 feet to a point;
 THENCE South 80°-0'-50" West, a distance of 32.893 feet to a point;
- THENCE South 40°-15'-7" East, a distance of 532.823 feet to a point;
- 11 **THENCE** South 60°-15'-43" West, a distance of 620.808 feet for a corner;
- 12 **THENCE** North 88°-24'-50" West, along the Southern City Limits line of the City of Rockwall, a distance of
- 13 **THENCE** North 89°-38'-21" West, continuing along said City Limits line, a distance of 1438.136 for a corner;
- 14 **THENCE** South 0°-17'-52" West, a distance of 0.253 feet to a point;

842.312 feet to a point;

- 15 **THENCE** South 0°-15'-51" West, a distance of 227.577 feet to a point;
- 16 **THENCE** South 0°-47'-17" West, a distance of 123.607 feet for a corner:
- 17 **THENCE** North 88°-31'-26" West, a distance of 598.278 feet for a corner;
- 18 **THENCE** North 0°-44'-41" East, along the West line of the Foxchase Addition, a distance of 348.465 feet to a point;
- 19 **THENCE** North 1°-2'-26" East, a distance of 351.601 feet to a point;
- 20 **THENCE** North 1°-20'-59" East, a distance of 1122.141 for a corner:
- 21 **THENCE** North 84°-24'-12" West, a distance of 513.729 feet for a corner;
- 22 **THENCE** North 6°-36'-59" East, a distance of 48.053 feet for a corner;
- 23 **THENCE** North 84°-19'-46" West, a distance of 528.673 feet for a corner;
- 24 **THENCE** North 7°-8'-19" West, a distance of 680.962 feet for a corner;
- 25 **THENCE** South 81°-59'-27" West, a distance of 392.733 feet for a corner;
- THENCE North 5°-54'-11" West, generally following the Centerline of Ridge Rd, a distance of 252.075 feet to the beginning of a curve;
- THENCE along said curve to the left having an angle of 27°-0'-51" and a radius of 759.035 feet with a chord distance of 354.568 feet and a chord bearing of North 19°-11'-18" West, to the beginning of a curve;
- THENCE along said curve to the left having an angle of 3°-50'-26" and a radius of 974.115 feet with a chord distance of 65.281 feet and a chord bearing of North 33°-37'-15" West, to the beginning of a curve:
- THENCE along said curve to the right having an angle of 36°-52'-27" and a radius of 438.264 feet with a chord distance of 277.213 feet and a chord bearing of North 13°-29'-36" West, to the beginning of a curve;
- THENCE along said curve to the right having an angle of 3°-29'-57" and a radius of 4,089.283 feet with a chord distance of 249.711 feet and a chord bearing of North 6°-45'-24" East, to a point;
- 31 **THENCE** North 11°-48'-52" East, a distance of 245.242 feet to a point;
- 32 **THENCE** North 13°-45'-2" East, a distance of 282.517 feet to a point;
- THENCE North 17°-1'-45" East, a distance of 347.78 feet to the beginning of a curve;
- 34 **THENCE** along said curve to the right having an angle of 22°-5'-10" and a radius of 792.43 feet with a chord distance of 303.575 feet and a chord bearing of North 26°-26'-2" East, to a point;
- 35 **THENCE** North 38°-42'-35" East, a distance of 116.194 feet to a point;
- 36 **THENCE** North 37°-33'-44" East, a distance of 226.689 feet to the beginning of a curve;
- 37 **THENCE** along said curve to the left having an angle of 16°-48'-35" and a radius of 1687.504 feet with a chord distance of 493.314 feet and a chord bearing of North 24°-11'-9" East, to the POINT OF BEGINNING AND CONTAINING 307.57 acres of land (13,397,751.98 square feet) more or less.

Exhibit 'B': Survey

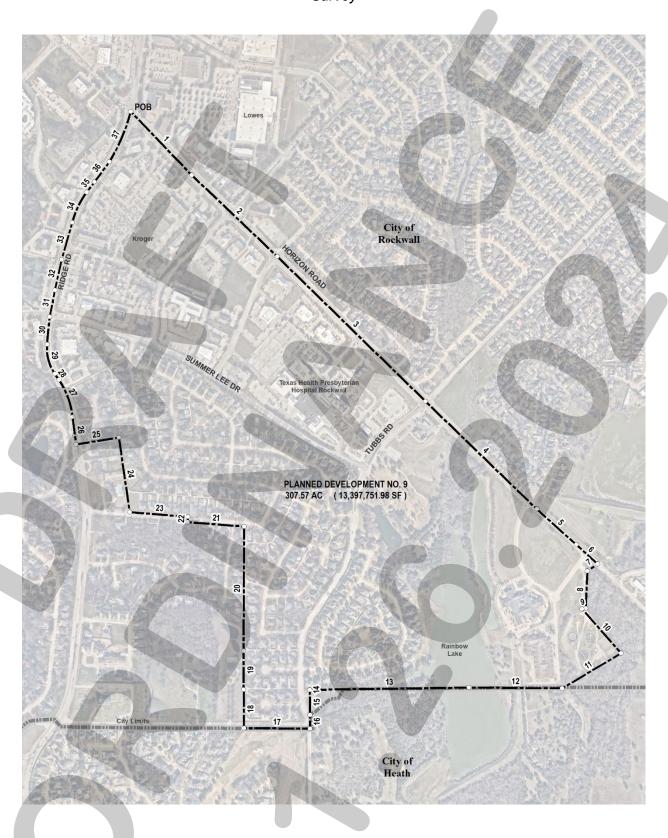
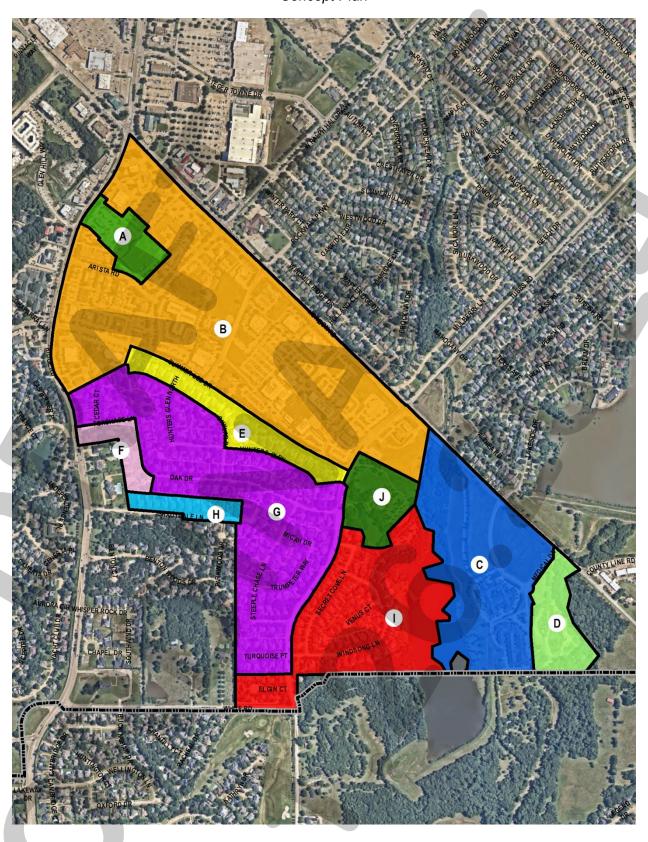


Exhibit 'C':
Concept Plan



Density and Development Standards

(1) TRACT A. [Ordinance 11-31]

(A) Concept Plan. All development of Tract A shall conform with the Concept Plan depicted in Figure 1.





- (A) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, <u>Tract A -- as depicted in Exhibit 'C' of this ordinance --</u> shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the <u>Permissible Use Charts</u> contained in Article 04, <u>Permissible Uses</u>, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following additional land uses shall be permitted <u>by-right</u>:
 - ☑ RETAIL STORE WITH GASOLINE SALES THAT HAS TWO (2) OR LESS DISPENSERS (I.E. A MAXIMUM OF FOUR [4] VEHICLES) (1) & (2)

NOTES:

- (1) NO OUTSIDE DISPLAY OF MERCHANDISE SHALL BE PERMITTED WITHIN OR AROUND THE PROPOSED FUEL CENTER, EXCEPT FOR THE ICE MACHINE AS SHOWN IN *EXHIBIT 'E'* OF THIS ORDINANCE, WHICH SHALL BE PAINTED TO MATCH THE EXTERIOR MATERIALS OF THE ADJACENT KIOSK; HOWEVER, THE GROCERY STORE SHALL CONTINUE TO DISPLAY MERCHANDISE AS PERMITTED UNDER THE CITY'S INCIDENTAL DISPLAY REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC).
- (2) NO SEASONAL SALES OF MERCHANDISE OR OTHER SPECIAL EVENT (E.G. CHRISTMAS TREE SALES, VALENTINE'S DAY TENT SALE) THAT WOULD RESULT IN A FURTHER REDUCTION OF THE REQUIRED PARKING SPACES SHALL BE ALLOWED ON THE PROPERTY, UNLESS SPECIFICALLY PERMITTED ON A CASE-BY-CASE BASIS THROUGH THE SEASONAL OUTDOOR DISPLAY POLICIES OF THE CITY OF ROCKWALL OR BY THE CITY COUNCIL.

Density and Development Standards

(B) <u>Density and Development Standards</u>. The development of *Tract A -- as depicted in Exhibits 'C' & 'E' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, *Tract A* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT FRONTAGE	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK WITHOUT A FIRE WALL	15'
MINIMUM SIDE YARD SETBACK WITH A FIRE WALL	0'
MINIMUM SIDE YARD SETBACK ABUTTING RESIDENTIAL	20'
MINIMUM SIDE YARD SETBACK ABUTTING AN ARTERIAL	20'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	15'
MINIMUM REAR YARD SETBACK ABUTTING NON-RESIDENTIAL WITH A FIRE WALL	0'
MINIMUM REAR YARD SETBACK ABUTTING RESIDENTIAL WITHOUT A FIRE WALL	20'
MINIMUM BUILDING SEPERATION WITHOUT A FIRE WALL	15'
MINIMUM BUILDING SEPERATION WITH A FIRE WALL	0'
MINIMUM PERCENTAGE OF NON-COMBUSTIBLE MATERIALS	100%
MINIMUM PERCENTAGE OF MASONRY MATERIALS OF EACH BULIIDNG FAÇADE	90%
MAXIMUM BUILDING COVERAGE	40%
MAXIMUM IMPERVIOUS COVERAGE	90%
MINIMUM AMOUNT OF LANDSCAPED AREAS	10%
MAXIMUM FLOOR AREA RATIO	2:1
MAXIMUM HEIGHT OF STRUCTURES	120'
MAXIMUM NUMBER OF ENTRANCES (ARTERIAL)	1/200'
MAXIMUM NUMBER OF ENTRANCES (COLLECTOR)	1/100'
MAXIMUM NUMBER OF ENTRANCES (LOCAL)	1/50'

Density and Development Standards

(2) TRACT B. [Ordinance 86-55]

(A) Concept Plan. All development of Tract B shall conform with the Concept Plan depicted in Figure 2.

FIGURE 2. CONCEPT PLAN FOR TRACT B



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract B -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (C) <u>Density and Development Standards</u>. The development of *Tract B -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, *Tract B* shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT FRONTAGE	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK WITHOUT A FIRE WALL	15'
MINIMUM SIDE YARD SETBACK WITH A FIRE WALL	0'

Exhibit 'D': Density and Development Standards

MINIMUM SIDE YARD SETBACK ABUTTING RESIDENTIAL	20'
MINIMUM SIDE YARD SETBACK ABUTTING AN ARTERIAL	20'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	15'
MINIMUM REAR YARD SETBACK ABUTTING NON-RESIDENTIAL WITH A FIRE WALL	0'
MINIMUM REAR YARD SETBACK ABUTTING RESIDENTIAL WITHOUT A FIRE WALL	20'
MINIMUM BUILDING SEPERATION WITHOUT A FIRE WALL	15'
MINIMUM BUILDING SEPERATION WITH A FIRE WALL	0'
MINIMUM PERCENTAGE OF NON-COMBUSTIBLE MATERIALS	100%
MINIMUM PERCENTAGE OF MASONRY MATERIALS OF EACH BULIIDNG FAÇADE	90%
MAXIMUM BUILDING COVERAGE	40%
MAXIMUM IMPERVIOUS COVERAGE	90%
MINIMUM AMOUNT OF LANDSCAPED AREAS	10%
MAXIMUM FLOOR AREA RATIO	2:1
MAXIMUM HEIGHT OF STRUCTURES	120'
MAXIMUM NUMBER OF ENTRANCES (ARTERIAL)	1/200'
MAXIMUM NUMBER OF ENTRANCES (COLLECTOR)	1/100'
MAXIMUM NUMBER OF ENTRANCES (LOCAL)	1/50'

Density and Development Standards

(3) TRACT C. [Ordinance 87-30]

(A) Concept Plan. All development of Tract C shall conform with the Concept Plan depicted in Figure 3.

FIGURE 3. CONCEPT PLAN FOR TRACT C



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, <u>Tract C -- as depicted in Exhibit 'C' of this ordinance --</u> shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the <u>Permissible Use Charts</u> contained in Article 04, <u>Permissible Uses</u>, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following additional land uses shall be permitted <u>by-right</u>:
 - ☑ LIGHT ASSEMBLY WITH OR WITHOUT FRONT SHOWROOM AND WITH OR WITHOUT WAREHOUSE STORAGE WITHIN THE SAME BUILDING. THE MAXIMUM BUILDING SHALL BE RESTRICTED TO 30,000 SF.
 - ☑ FURNITURE STORE WITH FRONT SHOWROOM AND WAREHOUSE STORAGE WITHIN THE SAME BUILDING OR SIMILAR BUSINESS.
 - $oxdit{\square}$ HARDWARE STORE WITH SHOWROOM AND WAREHOUSE STORAGE WITHIN THE SAME BUILDING OR SIMILAR BUSINESS.
 - ☑ PASTRY SHOP WITH COOKING FACILITIES WITHIN IN THE SAME BUILDING OR SIMILAR BUSINESS.
 - ☑ OFFICE WITH WAREHOUSE/DISTRIBUTION CENTER. THE MAXIMUM BUILDING AREA SHALL BE 25,000 SF. A SPECIFIC USE PERMIT (SUP) MAY BE APPROVED FOR INCREASED BUILDING AREA OR TO ALLOW A SIMILAR LAND USE.
 - WHOLESALE TRADE OR ACCESSORY OUTLETS WITH OR WITHOUT SHOWROOM AND WITH OR WITHOUT WAREHOUSE STORAGE WITHIN THE SAME BUILDING.

- ☑ SMALL BUSINESS OFFICE WITH OR WITHOUT SHOWROOM, WITH OR WITHOUT WAREHOUSE STORAGE WITHIN THE SAME BUILDING.
- MANUFACTURER AND ASSEMBLY OF ELECTRICAL WIRING HARNESSES FOR IRRIGATION SYSTEMS WITH OR WITHOUT ACCESSORY WAREHOUSE STORAGE.
- (C) <u>Density and Development Standards</u>. The development of *Tract C -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, *Tract C* shall conform to the standards depicted in *Table 3*, which are as follows:

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA		6,000 SF
MINIMUM LOT FRONTAGE		50'
MINIMUM LOT DEPTH		100'
MINIMUM FRONT YARD SETBACK		25'
MINIMUM SIDE YARD SETBACK WITHOUT FIRE WALL		6'
MINIMUM SIDE YARD SETBACK WITH A FIRE WALL		0,
MINIMUM SIDE YARD SETBACK ABBUTTING RESIDENTIAL		20'
MINIMUM SIDE YARD SETBACK ABUTTING AN ARTERIAL		25'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET		20'
MINIMUM REAR YARD SETBACK ABUTTING NON-RESIDENTIAL WITH A FIRE WALL		0'
MINIMUM REAR YARD SETBACK WITHOUT A FIRE WALL		20'
MINIMUM BUILDING SEPARATION WITHOUT A FIRE WALL		15'
MINIMUM BUILDING SEPERATION WITH A FIRE WALL		0,
MINIMUM PERCENTAGE OF NON-COMBUSTIBLE MATERIALS		100%
MINIMUM PERCENTAGE OF MASONRY MATERIALS OF EACH BULIIDNG FAÇADE		90%
MAXIMUM IMPERVIOUS COVERAGE		95%
MINIMUM AMOUNT OF LANDSCAPED AREAS		20%
MAXIMUM FLOOR AREA RATIO		2:1
MAXIMUM HEIGHT OF STRUCTURES	Y	60'
MAXIMUM NUMBER OF ENTRANCES ON ARTERIAL		1/200'
MAXIMUM NUMBER OF ENTRANCES ON COLLECTOR		1/100'
MAXIMUM NUMBER OF ENTRANCES ON LOCAL STREET		1/50'

- (4) TRACT D. [Ordinance No. 73-49]
 - (A) <u>Concept Plan</u>. All development of *Tract D* shall conform with the <u>Concept Plan</u> depicted in <u>Figure 4</u>.

FIGURE 4. CONCEPT PLAN FOR TRACT D



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract D -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following additional land uses shall be permitted *by-right*:
 - MUNICIPALLY OWNED OR CONTROLLED FACILITIES, UTILITIES, AND USES (INCLUDES UTILITIES WITH A FRANCHISE UTILITY AGREEMENT WITH THE CITY OF ROCKWALL)
- (C) <u>Density and Development Standards</u>. The development of *Tract D -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future.

- (5) TRACT E. [Ordinance No. 86-55]
 - (A) Concept Plan. All development of Tract E shall conform with the Concept Plan depicted in Figure 5.

FIGURE 5. CONCEPT PLAN FOR TRACT E



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract E -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (C) <u>Density and Development Standards</u>. The development of *Tract E -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, *Tract E* shall conform to the standards depicted in *Table 4*, which are as follows:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	12,500 SF
MAXIMUM NUMBER OF DWELLING UNITS PER LOT	1
MINIMUM DWELLING UNIT (SF)	1,500 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK ON AN INTERNAL LOT	6'
MINIMUM SIDE YARD SETBACK ON A SIDE YARD ABUTTING A STREET	15'
MINIMUM REAR YARD SETBACK ABUTTING AN ARTERIAL	20'

Exhibit 'D': Density and Development Standards

MINIMUM BUILDING SEPARATION	10'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT (1)	18'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM HEIGHT OF STRUCTURES	36'
MAXIMUM NUMBER OF PAVED OFF-STREET PARKING (2)	2

NOTES:

- (1) MEASURED FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD.(2) EXCLUDING GARAGE.

Density and Development Standards

- (6) TRACT F. [Ordinance No. 86-55]
 - (A) <u>Concept Plan</u>. All development of *Tract F* shall conform with the *Concept Plan* depicted in *Figure 6*.

FIGURE 6. CONCEPT PLAN FOR TRACT F



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract F -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (C) <u>Density and Development Standards</u>. The development of *Tract F* -- as depicted in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, Tract F shall conform to the standards depicted in Table 5, which are as follows:

TABLE 5: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	22,500 SF
MAXIMUM NUMBER OF DWELLING UNITS PER LOT	1
MINIMUM DWELLING UNIT (SF)	1,800 SF

Exhibit 'D': Density and Development Standards

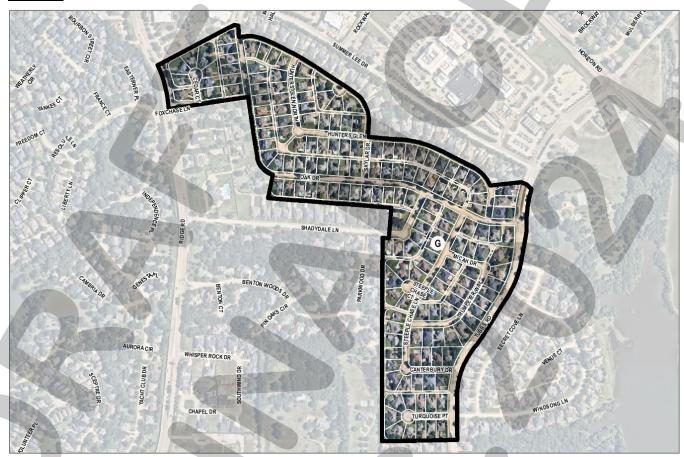
MINIMUM LOT WIDTH	80'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	25'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK ON AN INTERNAL LOT	8'
MINIMUM SIDE YARD SETBACK ON A SIDE YARD ABUTTING A STREET	15'
MINIMUM REAR YARD SETBACK ABUTTING AN ARTERIAL	20'
MINIMUM BUILDING SEPARATION	10'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT (1)	20'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM HEIGHT OF STRUCTURES	36'
MAXIMUM NUMBER OF PAVED OFF-STREET PARKING (2)	2

NOTES:

- (1) MEASURED FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD.(2) EXCLUDING GARAGE.

- (7) TRACT G. [Ordinance No. 86-55]
 - (A) Concept Plan. All development of Tract G shall conform with the Concept Plan depicted in Figure 7.

FIGURE 7. CONCEPT PLAN FOR TRACT G



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract G -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (C) <u>Density and Development Standards</u>. The development of *Tract G -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, Tract G shall conform to the standards depicted in Table 6, which are as follows:

TABLE 6: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MAXIMUM NUMBER OF DWELLING UNITS PER LOT	1
MINIMUM DWELLING UNIT (SF)	1,500 SF
MINIMUM LOT WIDTH	60'

Exhibit 'D': Density and Development Standards

MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK ON AN INTERNAL LOT	6'
MINIMUM SIDE YARD SETBACK ON A SIDE YARD ABUTTING A STREET	15'
MINIMUM REAR YARD SETBACK ABUTTING AN ARTERIAL	20'
MINIMUM BUILDING SEPARATION	10'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT (1)	18'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM HEIGHT OF STRUCTURES	36'
MAXIMUM NUMBER OF PAVED OFF-STREET PARKING (2)	2

NOTES:

- (1) MEASURED FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD. (2) EXCLUDING GARAGE.

Density and Development Standards

- (8) TRACT H. [Ordinance No. 13-43]
 - (A) Concept Plan. All development of Tract H shall conform with the Concept Plan depicted in Figure 8.

FIGURE 8. CONCEPT PLAN FOR TRACT H



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, <u>Tract H -- as depicted in Exhibit 'C' of this ordinance --</u> shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the <u>Permissible Use Charts</u> contained in Article 04, <u>Permissible Uses</u>, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (C) <u>Density and Development Standards</u>. The development of *Tract H* -- as depicted in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future; however, Tract H shall conform to the standards depicted in Table 7, which are as follows:

TABLE 7: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	12,500 SF
MAXIMUM NUMBER OF DWELLING UNITS PER LOT	1
MINIMUM DWELLING UNIT (SF)	2,000 SF
MINIMUM LOT WIDTH	75'
MINIMUM LOT DEPTH	160'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK ON AN INTERNAL LOT	6'
MINIMUM SIDE YARD SETBACK ON A SIDE YARD ABUTTING A STREET	15'
MINIMUM REAR YARD SETBACK ABUTTING AN ARTERIAL	20'
MINIMUM BUILDING SEPARATION	10'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT (1)	18'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM HEIGHT OF STRUCTURES	36'
MAXIMUM NUMBER OF PAVED OFF-STREET PARKING (2)	2

NOTES:

- (1) MEASURED FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD.
- (2) EXCLUDING GARAGE.

Density and Development Standards

- (9) TRACT I. [Ordinance No. 04-02]
 - (A) <u>Concept Plan</u>. All development of *Tract I* shall conform with the *Concept Plan* depicted in *Figure 9*.

FIGURE 9. CONCEPT PLAN FOR TRACT I



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract I -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (C) <u>Density and Development Standards</u>. The development of *Tract I -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future.
- (D) <u>Landscaping Buffer Requirements</u>. The development of vacant land -- south of Phase 6 of the Foxchase and Rainbow Lake Estates Subdivision -- shall include a five (5) foot landscape buffer and screening elements along Tubbs Road and White Road.

Exhibit 'D':

Density and Development Standards

(10) TRACT J. [Ordinance No. 88-20]

(A) Concept Plan. All development of Tract J shall conform with the Concept Plan depicted in Figure 10.

FIGURE 10. CONCEPT PLAN FOR TRACT J



- (B) <u>Permitted Land Uses</u>. Unless specifically provided by this Planned Development District ordinance, *Tract J -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be the only permitted *by-right* land use:
 - ☑ PUBLIC PARK
- (C) <u>Density and Development Standards</u>. The development of *Tract J* -- as depicted in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, and as amended herein by granting this zoning change, and as maybe amended in the future.

Exhibit 'E':
Tract 'A' Concept Plan

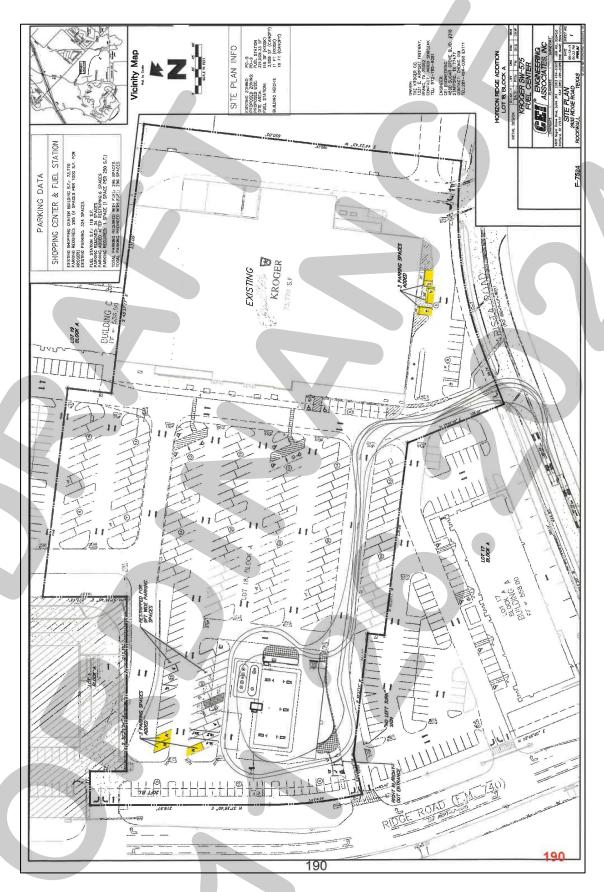


Exhibit 'E':
Tract 'A' Concept Plan

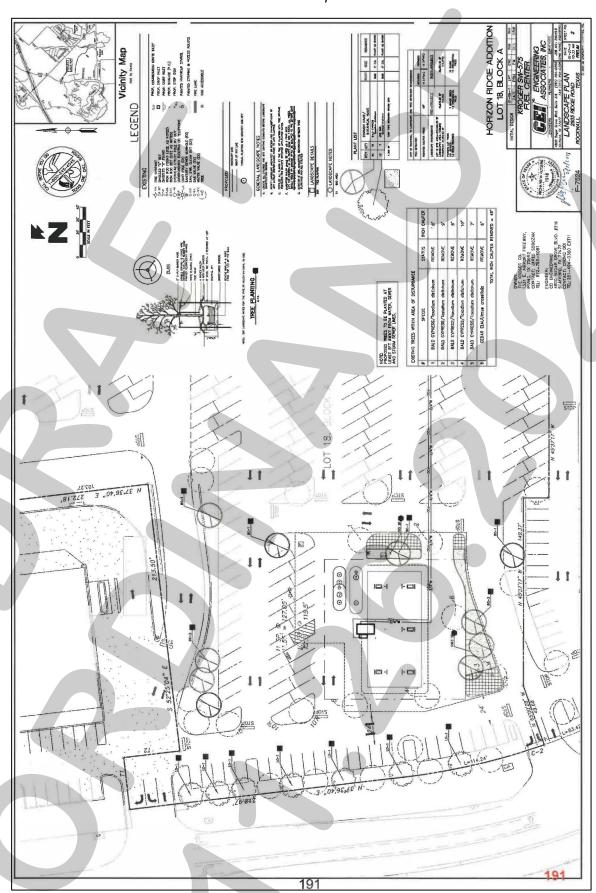
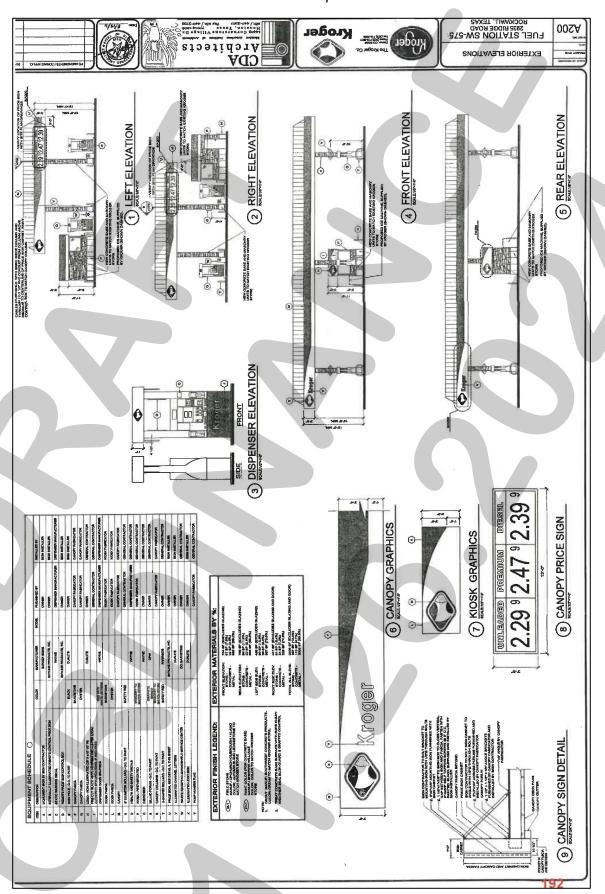
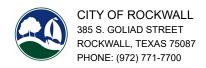


Exhibit 'E':
Tract 'A' Concept Plan



PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: Z2024-055

PROJECT NAME: SUP for 2348 Saddlebrook Lane SITE ADDRESS/LOCATIONS: 2348 SADDLEBROOK LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a

Detached Garage on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall,

Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action

necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Bethany Ross	11/21/2024	Approved w/ Comments	

11/21/2024: Z2024-055; Specific Use Permit (SUP) for a Detached Garage at 2348 Saddlebrook Lane Please address the following comments (M= Mandatory Comments; I = Informational Comments)

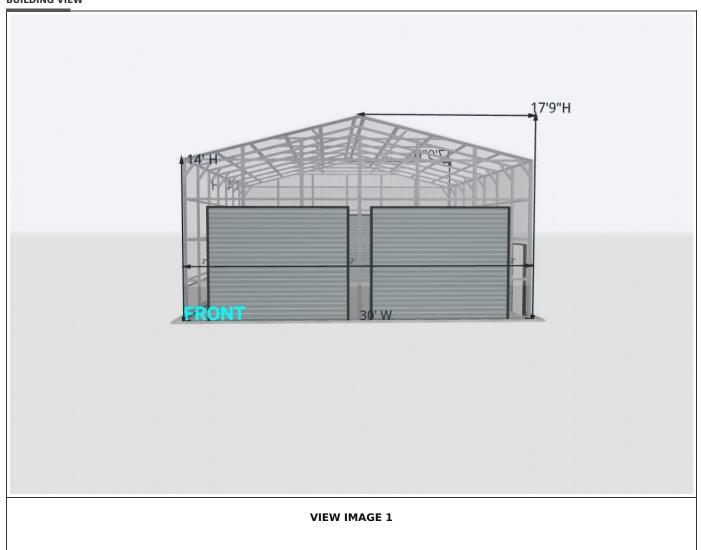
- I.1 This is a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a Detached Garage on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, and addressed as 2348 Saddlebrook Lane.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (Z2024-055) in the lower right-hand corner of all pages on future submittals.
- I.4 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Detached Garage requires a Specific Use Permit (SUP) in a Single-Family 16 (SF-16) District.
- 1.5 The Conditional Land Use Standards for a Detached Garage are as follows:
- Detached Garage:
- (a) One (1) Detached Garage is permitted per property.
- (b) The Detached Garage can be 625 SF.
- (c) The Detached Garage must be accessed by a concrete drive.
- M.6 The property also has two (2) accessory structures existing on the property. An 11' x 30' Pergola constructed in 2008 and an unpermitted accessory structure constructed in 2016. Staff has added a condition of approval that the existing accessory structure be permitted after the issuance of the Specific Use Permit (SUP). Based on the provided application, the addition of the proposed Detached Garage will exceed the allowable number of accessory structures permitted on a property (i.e. the UDC allows two [2] accessory structures per property). This aspect of this case will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- I.7 The proposed Detached Garage will be 30-feet by 35-feet and have a building footprint of 1050 SF. This is 425 SF over the maximum size for a Detached Garage.

- 1.8 The height of the proposed accessory structure is 16-feet. The maximum height permitted for accessory structures in a Single-Family 16 (SF-16) District is 15-feet.
- 1.9 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:
- (1) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a Detached Garage on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
- (3) The Detached Garage shall not exceed a maximum size of 1,100 SF.
- (4) A building permit shall be obtained for the existing unpermitted accessory structure.
- (5) The maximum height of the Detached Garage shall not exceed a total height of 16-feet as measured to midpoint of the pitched roof.
- (6) The Detached Garage shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- M.10 Provide a site plan that shows the spacing of the building from all the property lines and any other structures.
- M.11 The shed south of the lot was not permitted. A permit will be required as a condition of approval of this Specific Use Permit (SUP).
- M.12 A concrete approach is required off of The Rock. Update the site plan to indicate this.
- M.13 Please review the attached Draft Ordinance prior to the November 26, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 3, 2024. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.
- I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 26, 2024.
- I.15 The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments	
11/19/2024: 1. Variance needs	ed for second driveway.			
2. Driveway connection to The	Rock must be concrete, and meet City's size re	equirements.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved w/ Comments	
11/20/2024: If approved, they	will need to submit for a building permit			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	

No Comments



Driveway connection to The Rock must be concrete, and meet City's size requirements.

Need to engineer a culvert for driveway. Min 18" RCP with sloped safety concrete headwalls.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	PLANNING & ZONING CASE NO.
	<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
l	DIRECTOR OF PLANNING:

Rockwall, Texas 75087 CITY ENGINEER: PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX): PLATTING APPLICATION FEES: **ZONING APPLICATION FEES:** ■ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹ X SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 82 ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 ☐ REPLAT (\$300.00 + \$20.00 ACRE) 1 OTHER APPLICATION FEES: ☐ AMENDING OR MINOR PLAT (\$150.00) □ TREE REMOVAL (\$75.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00) □ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² SITE PLAN APPLICATION FEES: NOTES. IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) 1 PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. \$ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00) INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PROPERTY INFORMATION [PLEASE PRINT] **ADDRESS** SUBDIVISION LOT BLOCK **GENERAL LOCATION** ZONING, SITE PLAN AND PLATTING INFORMATION IPLEASE PRINT! Residential **CURRENT ZONING CURRENT USE** PROPOSED ZONING PROPOSED USE ACREAGE LOTS [CURRENT] LOTS [PROPOSED] SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE. OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] **☑** OWNER □ APPLICANT CONTACT PERSON CONTACT PERSON CAROLEDOUK IN **ADDRESS ADDRESS** 75087 CITY, STATE & ZIP CITY, STATE & ZIP PHONE PHONE E-MAIL E-MAIL NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF , TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE Tober , 20🌠 . BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUES KAREN-PORTER-Notary ID #133883341 GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE My Commission Expires July 28, 2026 OWNER'S SIGNATURE

MY COMMISSION EXPIRES

07/28/2026





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

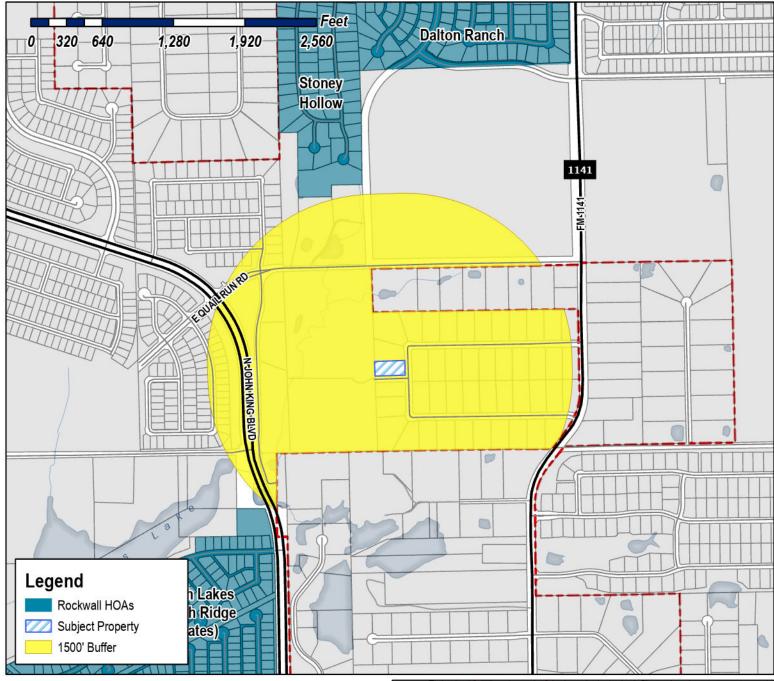
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-055

Case Name: SUP for a Detached Garage

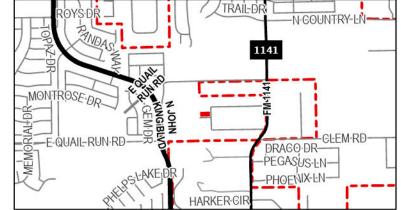
Case Type: Zoning

Zoning: Single-Family 16 (SF-16) District

Case Address: 2348 Saddlebrook Lane

Date Saved: 11/19/2024

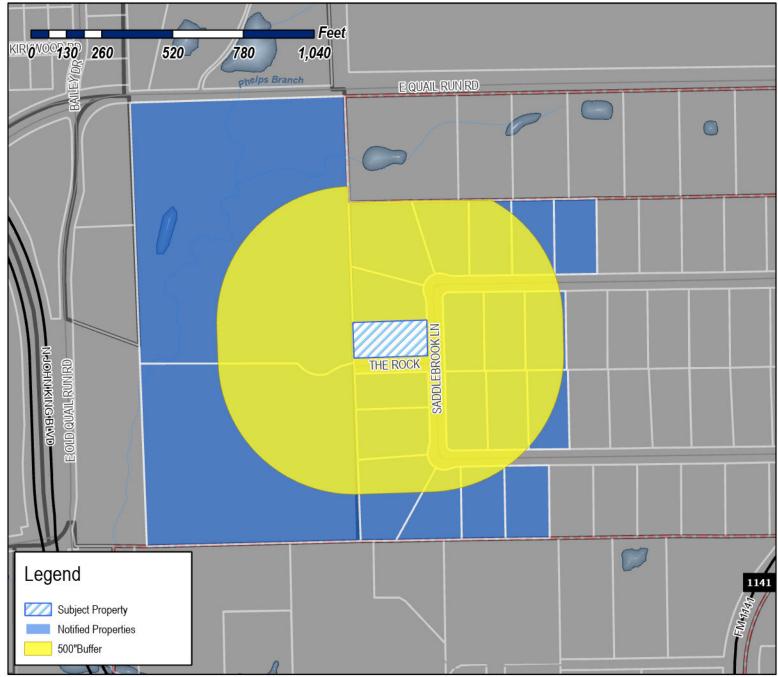
For Questions on this Case Call (972) 771-7745





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Case Number: Z2024-055

Case Name: SUP for a Detached Garage

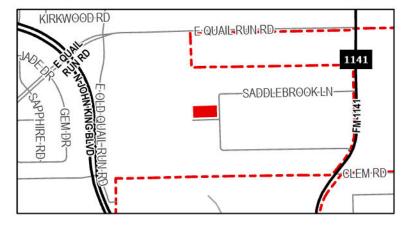
Case Type: Zoning

Zoning: Single-Family 16 (SF-16) District

Case Address: 2348 Saddlebrook Lane

Date Saved: 11/19/2024

For Questions on this Case Call: (972) 771-7745



TYLER WILLIAM L AND VANITA RAE 1501 THE ROCK ROCKWALL, TX 75087 RESIDENT 1800 E QUAIL RUN RD ROCKWALL, TX 75087 FLANNERY SHEILA S & WILLIAM J III JOINT TENANTS W/RIGHT SURVIVORSHIP 2095 E QUAIL RUN RD ROCKWALL, TX 75087

FREDERICK CURTIS 2181 E QUAIL RUN RD ROCKWALL, TX 75087 CONFIDENTIAL 2325 SADDLEBROOK LANE ROCKWALL, TX 75087 BROWN CHRISTOPHER & SHELLEY 2329 SADDLEBROOK LN ROCKWALL, TX 75087

WHITE JOHN C & PAMELA E 2332 SADDLEBROOK LN ROCKWALL, TX 75087

MACK SUSAN M AND TIMOTHY S 2333 SADDLEBROOK LN ROCKWALL, TX 75087 FISK JENNIFER 2336 SADDLEBROOK LN ROCKWALL, TX 75087

THOMAS WILLARD L AND PEGGY J 2337 SADDLEBROOK LANE ROCKWALL, TX 75087 WRIGHT MARTY ALLEN & DEBRA KAY 2340 SADDLEBROOK LN ROCKWALL, TX 75087 TROISE GUTHRIE CHASE 2341 SADDLEBROOK LN ROCKWALL, TX 75087

SCHALE WILLIAM AND CORTNEY 2345 SADDLEBROOK LN ROCKWALL, TX 75087 COOK HEIDI AND BRYAN 2348 SADDLEBRROK LN ROCKWALL, TX 75087 JONES BRADLEY K AND SUSAN M 2352 SADDLEBROOK LANE ROCKWALL, TX 75087

COX ROBERT & BEVERLY 2356 SADDLEBROOK LN ROCKWALL, TX 75087 OROZCO ARTHUR 2360 SADDLEBROOK LANE ROCKWALL, TX 75087 HARVEY LEE L AND MARIA J PEREIRA 2361 SADDLEBROOK LANE ROCKWALL, TX 75087

BERGER KEVIN M & DEBBIE R 2364 SADDLEBROOK LN ROCKWALL, TX 75087 PROCTOR CAROLYN 2365 SADDLEBROOK LN ROCKWALL, TX 75087 STELZER WADE L & MISTY M 2368 SADDLEBROOK LN ROCKWALL, TX 75087

GILKINSON DOYLE D & LORA A 2369 SADDLEBROOK LN ROCKWALL, TX 75087 TRUITT PAMELA MARIE & ROBERT EDWIN 2372 SADDLEBROOK LN ROCKWALL, TX 75087 COX GERALD GLEN AND ROSALBA CARRASCO 815 T.L. TOWNSEND SUITE 101 ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-055: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a Detached Garage on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely.

Ryan Miller, AICP Director of Planning & Zoning USE THIS OR CODE TO GO DIRECTLY TO THE WEBSITE



MODE INFORMATION ON THIS CASE CAN BE FOUND AT between the

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwailplanning/development-development-cases
PLEASE RETURN THE BELOW FORM
Case No. Z2024-055: SUP for a Detached Garage
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Rockwall

1 0 1 2 T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT TONS)

OHER AS A	PPROPRIATE FOR COMMERCIAL TRANSACTIONS)
Date:	GF No.
Name of Affiant(s):Stephen John Griff	in and Richard Allen James
Name of Arnani(s) Supplies	A CONTRACTOR OF THE CONTRACTOR
Address of Affiant: 2348 Saddlebrook	
Description of Property:2348 Saddlehr	ook Lane, Rockwall, 1x 75057
County Rockwall	, Texas
upon the statements contained nerelli-	Title Insurance Company whose policy of title insurance is ussued in reliance the State of Texas , personally appeared Affiant(s) who after by
Before me, the undersigned notary for	the State of Lexas , persentary appeared

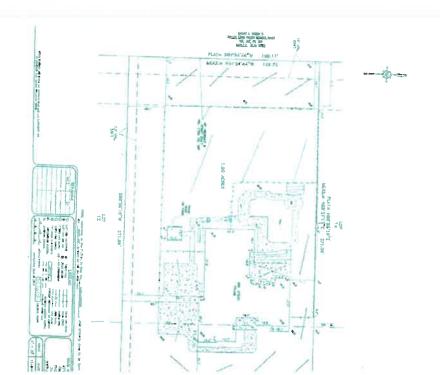
- me being sworn, stated We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
 - We are familiar with the property and the improvements located on the Property.
 - We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(tes) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance types coverage of the property. Title Insurance upon payment of the promulgated premium.
 - To the best of our actual knowledge and belief, since _
 - construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - changes in the location of boundary fences or boundary walls;
 - construction projects on immediately adjoining property(ies) which encroach on the Property;
 - conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

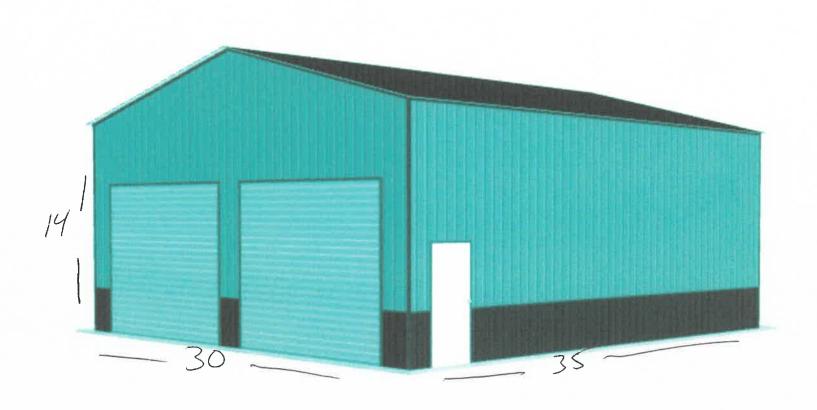
EXCEPT for the following (If None, fasert "None" Below:) Add a personal party of the fast and beload pool Schools of tends per of the days of the days of the statements made in this affided in to

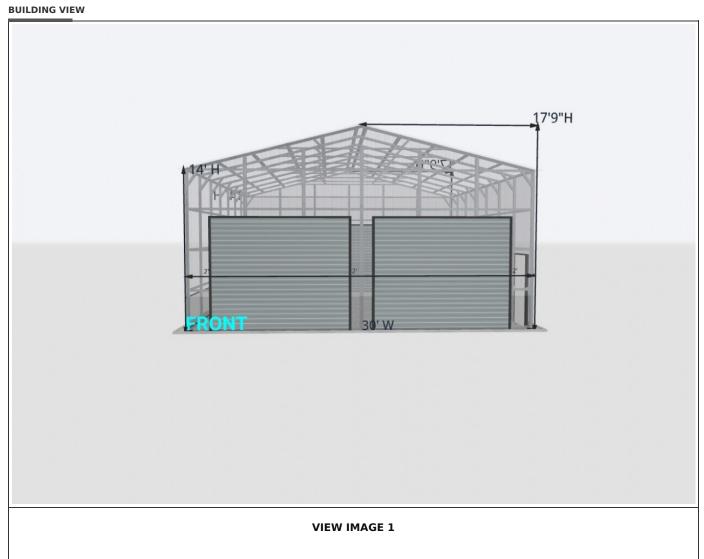
- provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
- We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

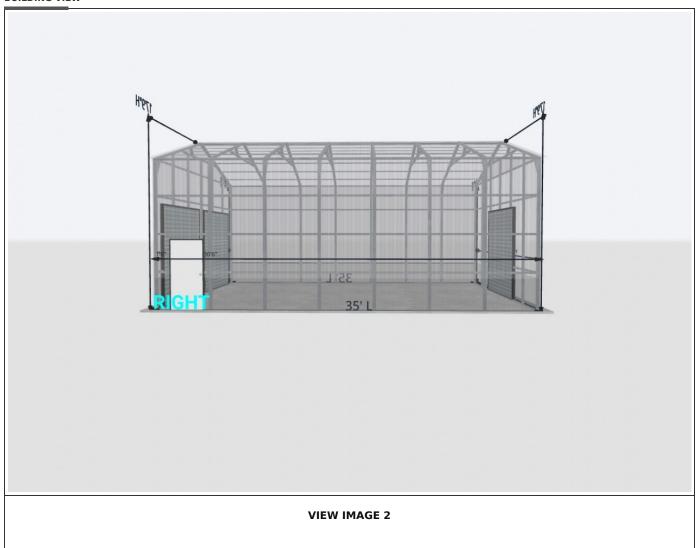
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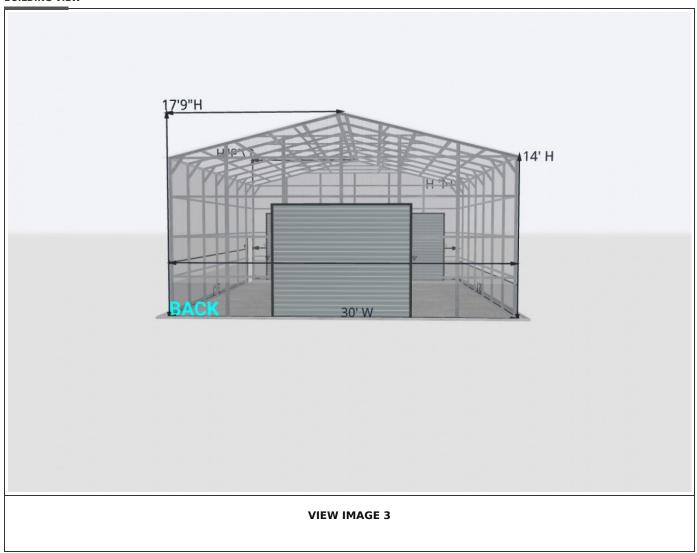
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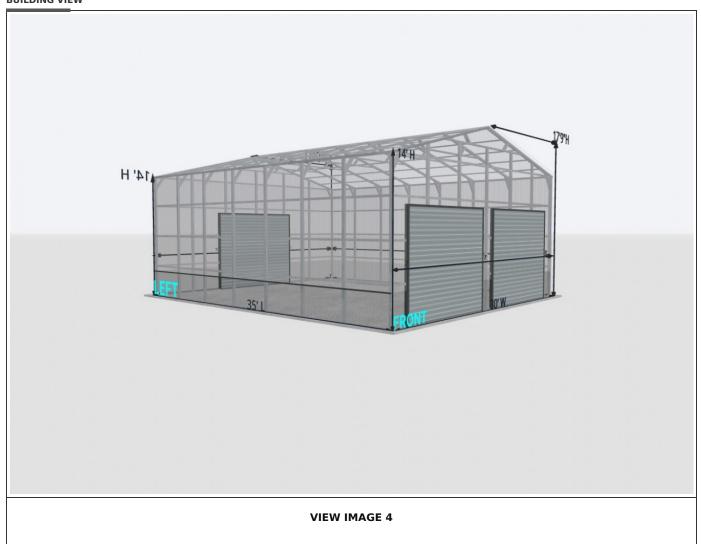


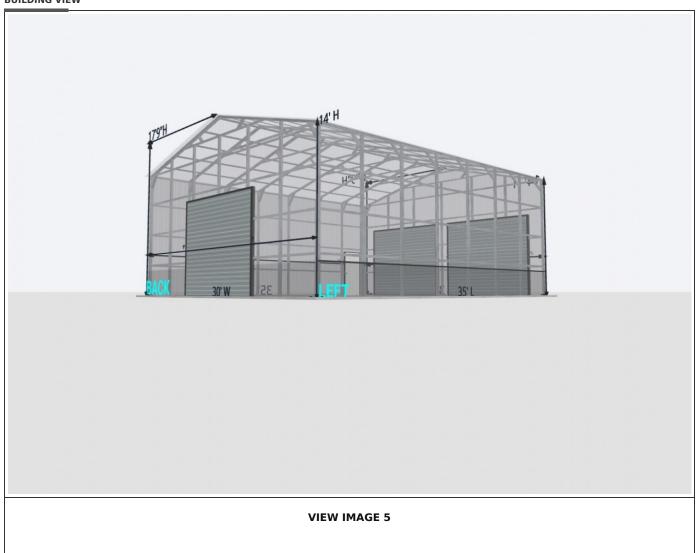




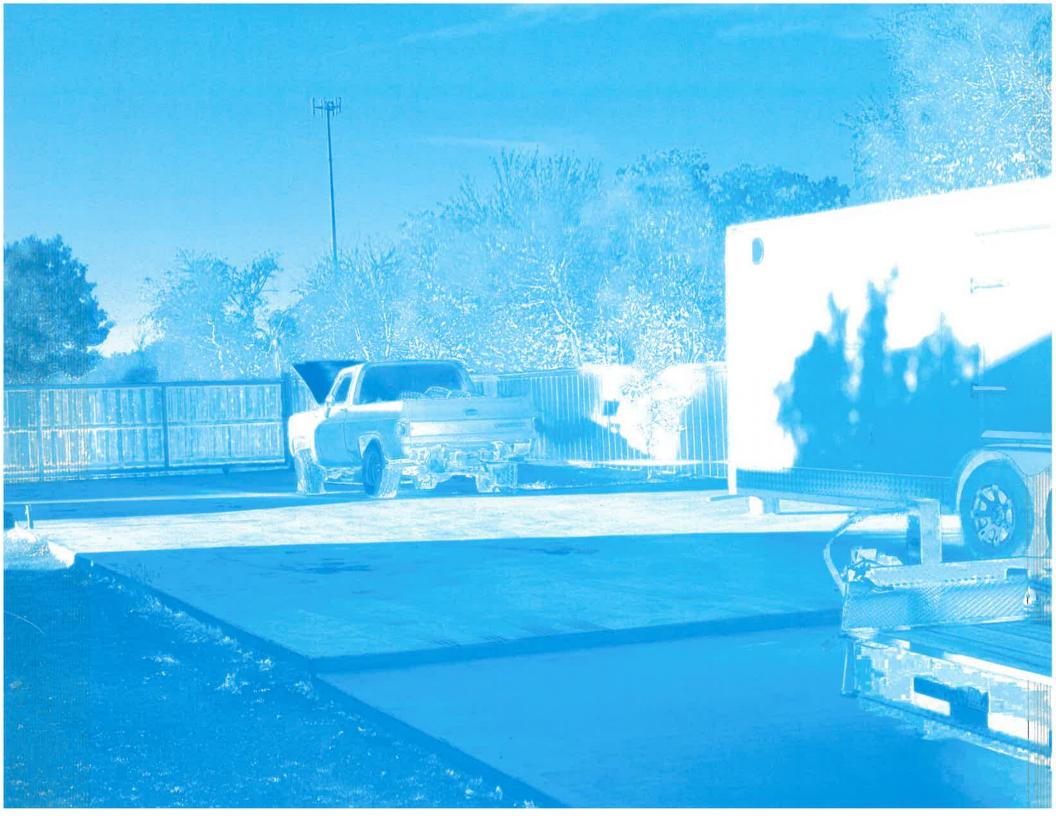












CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. <u>S-3XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A DETACHED GARAGE ON A ONE (1) ACRE PARCEL OF LAND **IDENTIFIED AS LOT 13, BLOCK A, SADDLEBROOK ESTATES #2** ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ZONED SINGLE-FAMILY 16 (SF-16) DISTRICT, ADDRESSED AS 2348 SADDLEBROOK LANE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)FOR EACH OFFENSE; **PROVIDING** SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Bryan Cook for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a one (1) acre parcel of land being identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Detached Garage* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*; Subsection 03.06, *Single-Family 16 (SF-16) District*; and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the <u>Site Plan</u> as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- 2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- 3) The Detached Garage shall not exceed a maximum size of 1,100 SF.
- 4) The applicant will be required to obtain a building permit for the existing accessory building prior to the issuance of a building permit for the *Detached Garage*.
- 5) The maximum height of the *Detached Garage* shall not exceed a total height of 16-feet as measured to midpoint of the pitched roof.
- 6) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor or property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6^{TH} DAY OF JANUARY, 2025.

	Trace Johannesen, <i>Mayor</i>	
ATTEST:		
Kristy Teague, City Secretary		V
APPROVED AS TO FORM:		
Frank J. Garza, City Attorney		
1st Reading: December 16, 2024		

2nd Reading: January 6, 2025

Exhibit 'A' Location Map and Legal Description

<u>Address:</u> 2348 Saddlebrook Lane <u>Legal Description:</u> Lot 13, Block A, Saddlebrook Estates #2 Addition



Z2024-055: SUP for a *Detached Garage* at 2348 Saddlebrook Lane Ordinance No. 25-XX; SUP # S-3XX

Exhibit 'B':
Site Plan

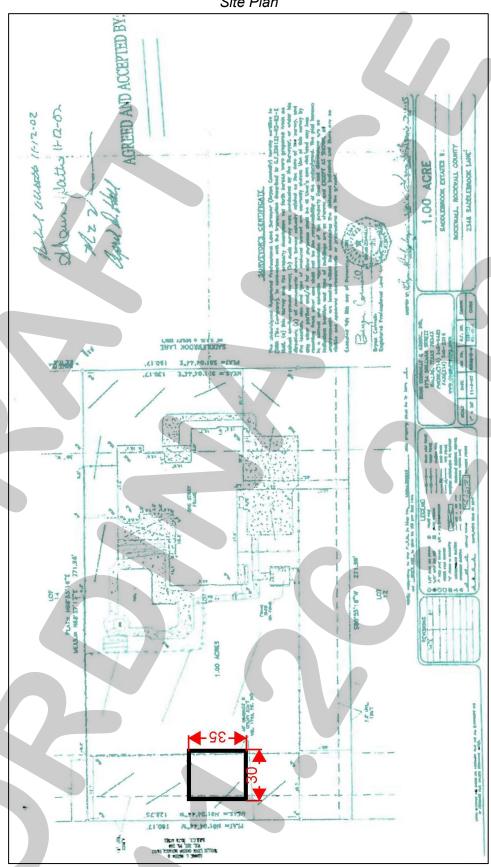
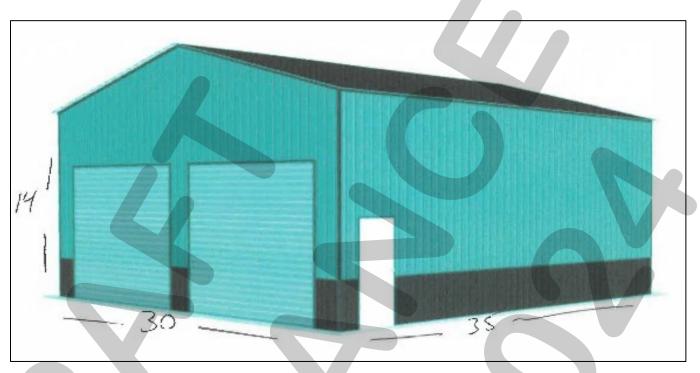


Exhibit 'C':
Building Elevations



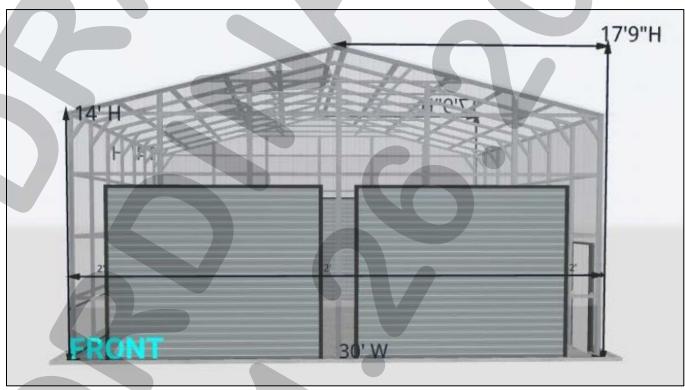
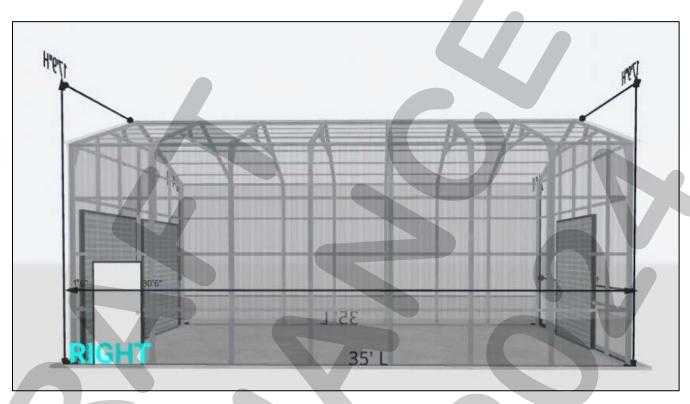
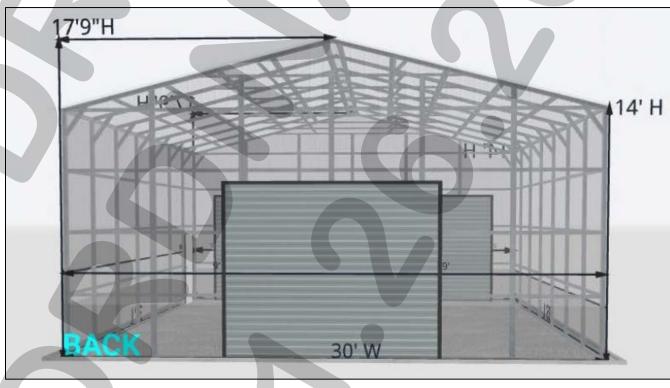
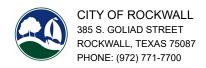


Exhibit 'C':
Building Elevations





PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: Z2024-056

PROJECT NAME: Zoning Change AG to PD for Erwin Farms

SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the

Estate of Karl W. Erwin for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country

Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Bethany Ross	11/21/2024	Approved w/ Comments	

11/21/2024: Z2024-056; Zoning Change (AG to PD) Erwin Farms

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141.
- 1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (Z2024-056) in the lower right-hand corner of all pages on future submittals.
- I.4 Unified Development Code (UDC). Based on the submitted draft ordinance the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:
- (1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the Standards of Design and Construction Manual]
- (2) Garage Configuration. Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a J-Swing [or traditional swing] garage where the garage door is perpendicular to the street."

Staff Response: The proposed garage configurations do NOT conform to the Engineering Standards of Design and Construction and the Unified Development Code (UDC). This will require the discretionary approval of the City Council pending a recommendation from the Planning and Zoning Commission.

(3) Parking. No parking space or parking area shall be designed so as to require a vehicle to back into a public street or across a public sidewalk, except in the case of one (1)

and two (2) family dwelling units. (Section 2.20(B), The City of Rockwall Engineering Standards of Design and Construction)

Staff Response: Please update your parking area for the amenity area to reflect this.

(1) 1.5 Future Land Use Map. According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Northeast Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential land uses. The proposed zoning request does generally conform to this designation at 2.07 units per acre. According to the OURHometown Vision 2040 Comprehensive Plan, "(t)he Low Density Residential land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses." According to Chapter 08, Residential, Section 2.03, Single Family/Suburban Residential, Goal #1, Unique and Distinctive Neighborhoods, Policy #6, "(i)ncreased amenities in this case refers to developments that provide some of the following: (1) open space beyond the required 20%, (2) a golf course and/or other comparable recreational facilities, (3) amenity/recreation center, (4) school site integration, (5) dedication or development of park land beyond the required park land dedication, (6) additional development of trails, (7) other amenities deemed appropriate by the City Council." The proposed increase in density above two (2) units per acre will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Staff Suggestion: Develop an amenity center that features both indoor and outdoor community gathering spaces (e.g. indoor gathering space, swimming pool, and/or sports courts), prioritizing high-quality amenities over basic features like benches and grills. This will help with justifying the increase density.

- I.6 Northeast Residential District. The following are the pertinent District Strategies of the Northeast Residential District and how the proposed concept plan conforms to these strategies:
- (1) Suburban Residential. Any new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing Suburban Residential in this district.

Staff Response: The concept plan does not show a mix of larger to mid-sized lots. It does appear to match the lot sizes used on the development north of the subject property (i.e. Nelson Lakes Subdivision), but does not have enough lots similar to the subdivisions south of the subject property (i.e. Winding Creek Subdivision and Northgate Subdivision) to be considered conforming to this goal. Staff suggests incorporating a higher number of larger to mid-sized lots mixed within the development especially in the southern portions of the proposed development to provide a better transition. This could help the proposed plan better conform to this aspect of the Comprehensive Plan.

- I.7 Residential Design Guidelines. The OURHometown Vision 2040 Comprehensive Plan stipulates various goals and design guidelines for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's Comprehensive Plan, and could be revised -- per staff's recommendations below -- to bring the project closer to conformance with these goals:
- (2) CH. 1; Section 2.01; Goal #1 | Policy #8 (Page 1-2). Ensure there is ample recreation and parkland amenities for residents.

Staff's Response: Develop an amenity center that features both indoor and outdoor community gathering spaces (e.g. indoor gathering space, swimming pool, and/or sports courts), prioritizing high-quality amenities over basic features like benches and grills. This will also help better justify the proposed density.

(3) CH. 1; Section 2.02; Goal #2 | Policy #4 (Page 1-2). At a minimum, new residential development should be equal to or of a higher quality than the existing surrounding residential development.

Staff's Response: The development should use similar architectural styles (i.e. Traditional Neighborhood Design principles, modern tutor, craftsman or farmhouse architectural styles/material mixes, etc.) and lot sizes as the adjacent Nelson Lakes, Northgate, and Winding Creek Subdivisions to create a consistent development theme throughout the area. Staff has made changes to the Planned Development District ordinance that can better conform to these developments; however, the applicant should consider incorporating larger more comparable lot sizes on the southside of the development.

(4) CH. 8; Section 2.03; Goal #1 | Policy #6 (Page 8-3). Only allow increased densities (i.e. up to 2½ units per gross acre for properties identified as Low Density Residential [LDR]) for Planned Development Districts that are in conformance with all applicable residential requirements, incorporate a mixture of land uses, and provide increased

amenities. Increased amenities in this case refers to developments that provide some of the following: (1) open space beyond the required 20%, (2) a golf course and/or other comparable recreational facilities, (3) amenity/recreation center, (4) school site integration, (5) dedication or development of park land beyond the required park land dedication, (6) additional development of trails, (7) other amenities deemed appropriate by the City Council.

Staff's Response: Develop an amenity center that features both indoor and outdoor community gathering spaces (e.g. indoor gathering space, swimming pool, and/or sports courts), prioritizing high-quality amenities over basic features like benches and grills. This will also help better justify the proposed density.

- I.9 PD Ordinance. Based on the above information staff has made the following changes to the proposed PD Standards in the draft PD Ordinance:
- (1) Revised the underlying zoning designation from Single-Family 8.4 (SF-8.4) District to Single-Family 10 (SF-10) District, as the City of Rockwall does not have a Single-Family 8.4 (SF-8.4) District.
- (2) Updated the ordinance to specify a density of 2.07 units per acre, with a maximum allowance of 210 units.
- (3) Erik Erwin's lot will be classified as legally non-conforming upon the enactment of this zoning change.
- (4) Revised "Amenity Center" to "Amenities" to reflect the absence of a dedicated amenity center in the current proposal.
- (5) Increased the masonry percentage to 100.00% to be in conformance with currently adopted Planned Development Districts.
- (6) Added language to address Keystone Lots.
- (7) Included residential lot landscaping provisions to address the removal of trees on the subject property. The proposed landscaping will help mitigate the impact of the tree removal.
- (8) Incorporated language specifying that the landscape buffers will generally align with the provided concept plan.
- (9) Included provisions addressing the placement of fences within easements.
- (10) Incorporated a note for side setback requirements for Keystone lots.
- M.10 Based on the submitted plans, please make the following corrections or provide the requested information by December 3, 2024:
- (1) Provide an exhibit showing that all lots less than 12,000 SF are located within 800-feet of a public or private open space.
- (2) Show the open space calculation (i.e. ½ floodplain + parks + open space) on the concept plan.
- (3) The parking for the amenity center cannot back onto a public street. Revise the parking area on the Concept Plan to show conformance to the Engineering Standards of Design.
- M.11 In addition to the above required changes, staff is recommending the following:
- (1) Develop an amenity center that features both indoor and outdoor community gathering spaces (e.g. indoor gathering space, swimming pool, and/or sports courts), prioritizing high-quality amenities over basic features like benches and grills. This will also help better justify the proposed density.
- (2) Incorporate a higher number of larger to mid-sized lots mixed within the development in addition to existing along the perimeter. This is specifically important in the southern portions of the proposed subdivision.
- M.12 Please review the attached draft ordinance prior to the November 26, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by December 3, 2024. Please carefully read through this document as staff has incorporated changes from what was originally submitted.
- I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning and Zoning Commission Public Hearing Meeting.
- I.14 The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

11/19/2024: General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Additional comments may be provided at time of Site Plan.

Streets/Paving:

- TIA is required.
- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City driveway spacing requirements must be met.
- Any medians must be curbed, and streets draining away from medians.
- Must construct all roadways on the current Master Thoroughfare Plan
- A Major Collector, Undivided 4-Lane Roadway (M4U), with a 65' ROW dedication will be required for N. Country Lane (must build 24' min. on the section adjacent to development if accessing). A minimum 5' sidewalk will be required on both sides of the roadway if building the full width. If not accessing, 1/2 of the ROW must be dedicated.
- A Minor Collector, Undivided 2-Lane Roadway (MC), with a 60' ROW will be required for Clem Road (must build 24' min. on the section adjacent to development if accessing). A minimum 5' sidewalk will be required on both sides of the roadways if building the full width. If not accessing, 1/2 of the ROW must be dedicated.
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

Water and Wastewater Items:

- An Infrastructure study will be required. Review fees apply.
- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have 8" sewer line minimum through the property.
- Must install 12" water main per City master plans. Dedicate easements.
- Must install a 8" and 10" sewer main per City master plans. Dedicate easements.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- Water not served by the City. This property is located within the Mount Zion WSC CCN.
- May pursue opting out of the Mount Zion WSC. If not, must have flow reports that verify fire flow and TCEQ min. standards are met.
- Possible pro-ratas to be paid

Drainage/Floodplain/Lakes:

- Existing flow patterns must be maintained.
- Flood Study is required
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention ponds must be in a drainage easement located at the freeboard elevations to be maintained by the property owner/HOA.

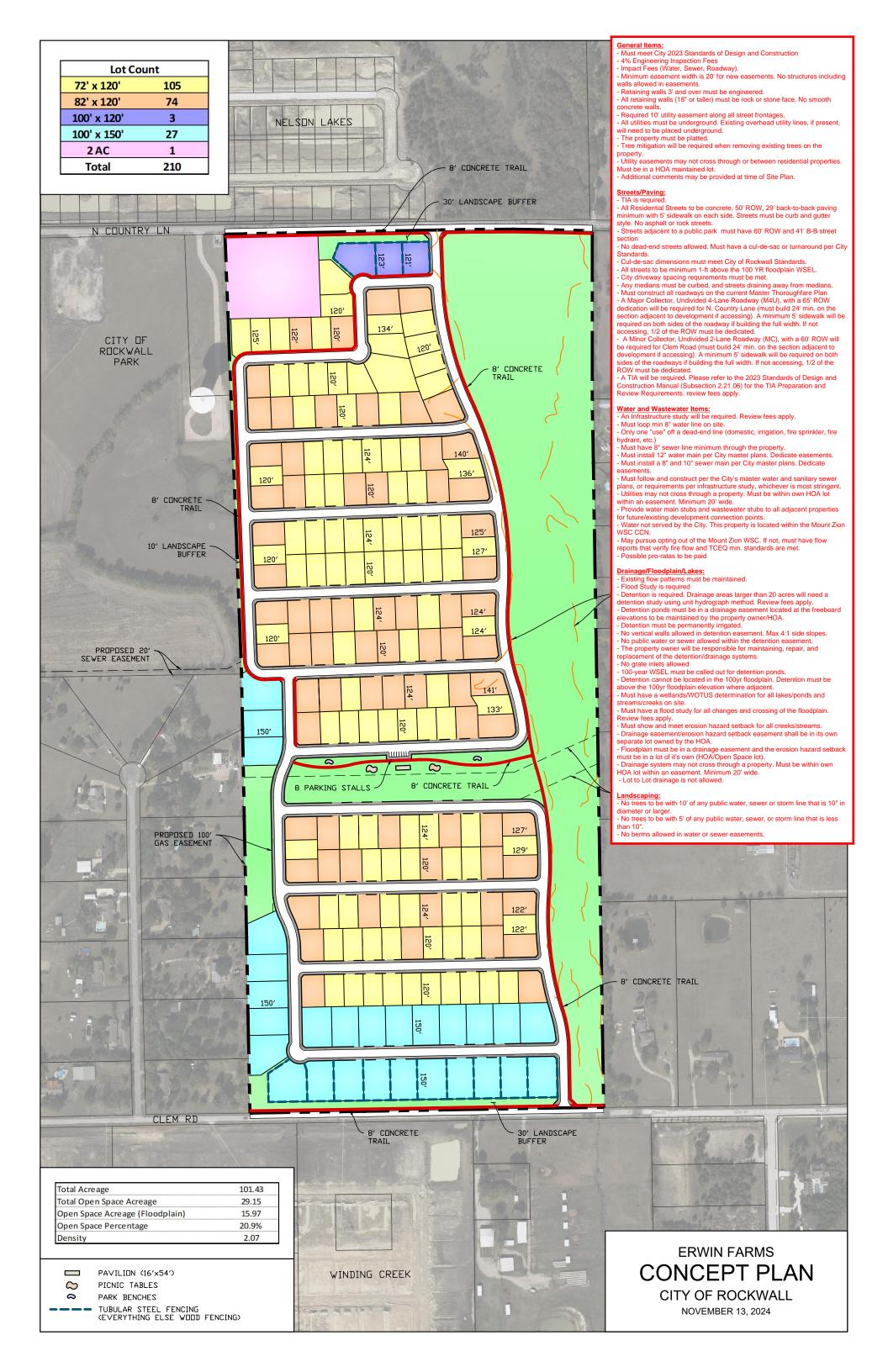
- Detention must be permanently irrigated.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- Detention cannot be located in the 100yr floodplain. Detention must be above the 100yr floodplain elevation where adjacent.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
- Floodplain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot).
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Lot to Lot drainage is not allowed.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No berms allowed in water or sewer easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	

No Comments



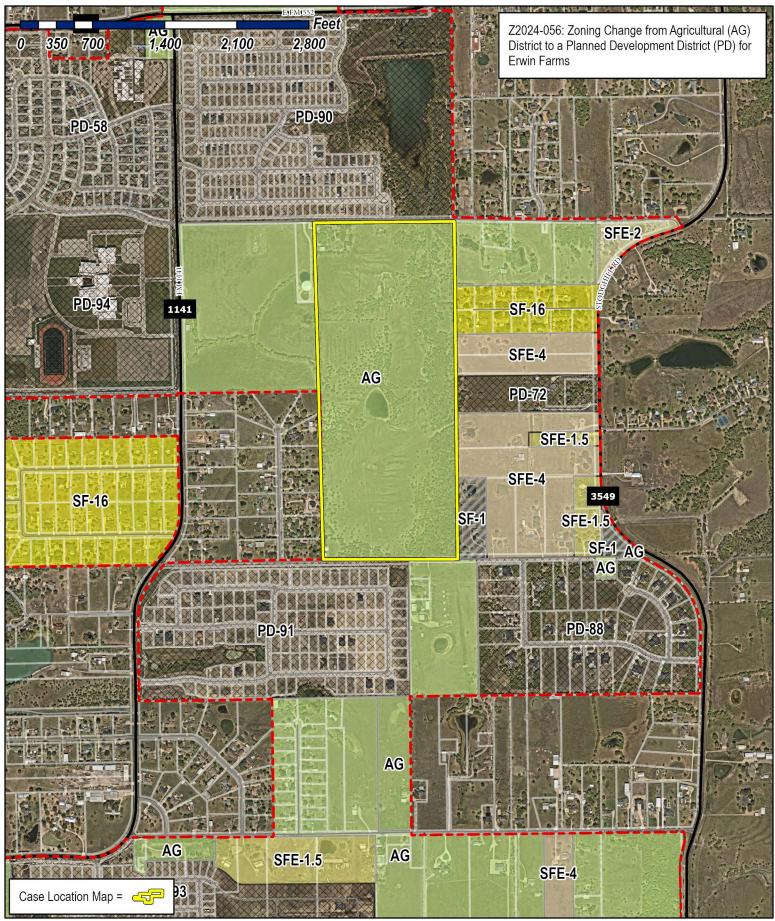


DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department

PLANNING & ZONING CASE	≣ NO.
NOTE: THE APPLICATION IS CITY UNTIL THE PLANNING SIGNED BELOW.	S NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

	385 S. Goliad Street Rockwall, Texas 75087			DIRECTOR OF PLANNING: CITY ENGINEER:			
DI SADE QUEON THE	PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:						
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DE PLATTING APPLICATION FEES: MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) 1 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NOTES: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 3: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.				
PROPERTY INFO	RMATION [PLEASE PRINT]	Name of the last o	do mario de	NEWSTRANDS AND A TIME			
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PROPOSED ZONING Planned Development (SF-8.4)		PROPOS	ED USE	Single Family Residential			
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☐ OWNER		▼ APPL	ICANT	Skorburg	Company	y	
CONTACT PERSON	Dr. Karl Erwin, Executor	CONTACT PE	RSON	Adam Buc	The second secon		
ADDRESS	2030 Crosswood Ln	ADI	RESS	THE PERSON NAMED IN	Westchester Dr		
				Suite 900			
CITY, STATE & ZIP	Irving, Tx 75063	CITY, STATE		Dallas, Tx 75225			
PHONE	(469) 877-4307	20	HONE	(214) 522-4945 abuczek@skorburgcompany.com			v com
E-MAIL kderwindpa@live.com E-MAIL abuczek@skorburgcompany.com				out II			
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City of Rockwall Planning & Zoning Department 385 S. Goliad Street

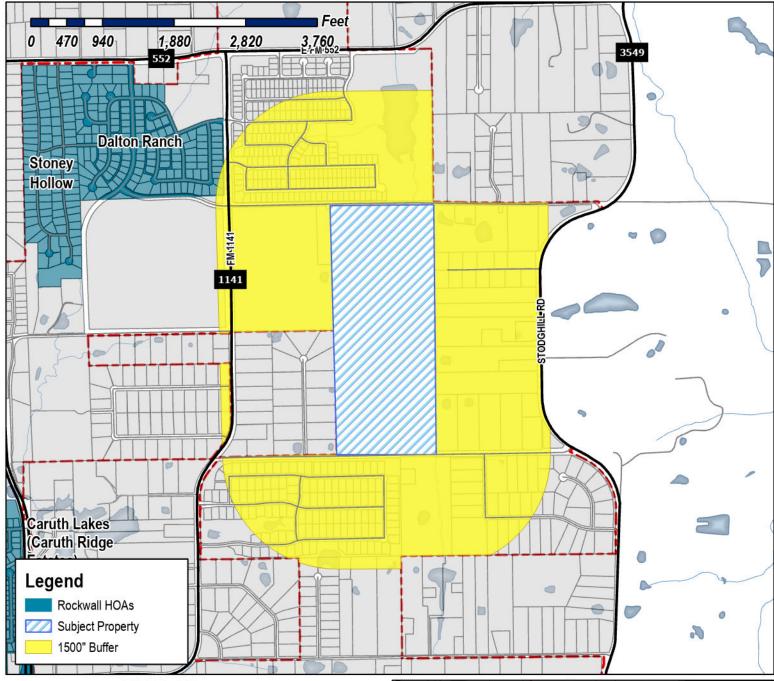
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-056

Case Name: Zoning Change from Agricultural (AG)

District to a Planned Development

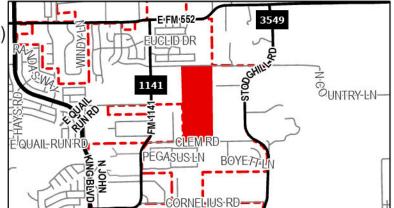
District (PD)

Case Type: Zoning

Zoning: Agricultural (AG) District **Case Address:** 379 N. Country Lane

Date Saved: 11/15/2024

For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie

Sent: Wednesday, November 20, 2024 2:01 PM

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

Subject: Neighborhood Notification Program [Z2024-56]

Attachments: HOA Map (11.15.2024).pdf; Public Notice (11.18.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, November 22, 2024</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2024-056: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

Thank you,

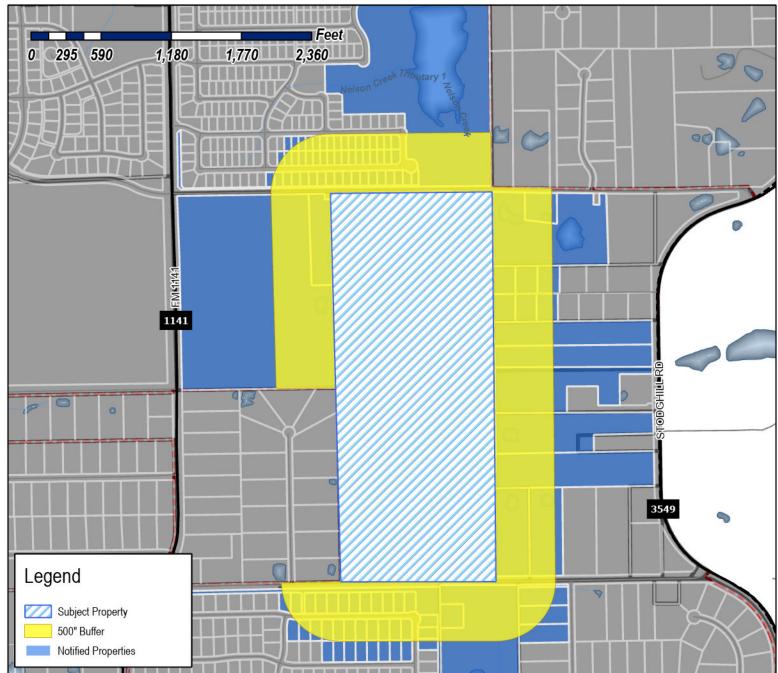
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall 972-771-7745 Ext. 6568



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Case Number: Z2024-056

Case Name: Zoning Change from Agricultural (AG)

District to a Planned Development

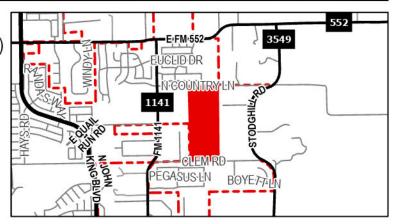
District (PD)

Case Type: Zoning

Zoning: Agricultural (AG) District **Case Address:** 379 N. Country Lane

Date Saved: 11/21/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT 10 CRESTVIEW CIR ROCKWALL, TX 75087 WALKER MICHAEL D & JANICE E 100 ORCHARD LN ROCKWALL, TX 75087 ERBERT STEPHEN RICHARD & PATRICIA ERBERT 1004 CEDAR GLEN TRL ROCKWALL, TX 75032

ERBERT STEPHEN RICHARD & PATRICIA ERBERT 1004 CEDAR GLEN TRL ROCKWALL, TX 75032 NORTHGATE ROCKWALL HOMEOWNERS
ASSOCIATIONS INC
1189 WATERS EDGE DRIVE
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC 14400 THE LAKES BLVD BUILDING C, SUITE 200 AUSTIN, TX 78660

PACESETTER HOMES LLC 14400 THE LAKES BLVD BUILDING C SUITE 200 PFLUGERVILLE, TX 78660 RESIDENT 1506 QUASAR DR ROCKWALL, TX 75087 RESIDENT 1510 QUASAR DR ROCKWALL, TX 75087

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CITY OF ROCKWALL 205 W RUSK ST ROCKWALL, TX 75087

RESIDENT 2105 WICKERSHAM RD ROCKWALL, TX 75087 RESIDENT 2109 CLAIRMOUNT DR ROCKWALL, TX 75087 RESIDENT 2109 WICKERSHAM RD ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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RESIDENT 2318 DRACO DR ROCKWALL, TX 75087

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RESIDENT 2322 DRACO DR ROCKWALL, TX 75087 RESIDENT 2324 PEGASUS LN ROCKWALL, TX 75087 SHADDOCK HOMES LTD 2400 DALLAS PKWY STE 560 PLANO, TX 75093

GAIL PROPERTIES LLC 2422 BROOKSIDE DR ROWLETT, TX 75088 OWNBY MITCH AND SANDRA 255 COUNTRY CLUB DR HEATH, TX 75032 RESIDENT
2652 FM3549 STODGHILL RD
ROCKWALL, TX 75087

CONNER KEVIN AND AMY 2652 N FM 3549 ROCKWALL, TX 75087 VALK JAMES WILLIAM JR & RENEE LUCILLE BURNS TRUSTEES OF JAMES WILLIMA VALK JR LIVING TRUST 2730 FM 3549 STODGHILL RD ROCKWALL, TX 75087

WATSON STANLEY & PATRICIA 2826 FM 3549 STODGHILL RD ROCKWALL, TX 75087

RESIDENT 325 N COUNTRY LN ROCKWALL, TX 75087 RESIDENT KARL W ERWIN ESTATE 379 N COUNTRY LN ROCKWALL, TX 75087

CITY OF ROCKWALL 385 S GOLIAD ST ROCKWALL, TX 75087

ROCKWELL TX LLC 4250 W LOVERS LN STE 150 DALLAS, TX 75209 HANKS MICHAEL JOEL AND BATINA L 5 CRESTVIEW CIR ROCKWALL, TX 75087 WINDSOR HOMES CUMBERLAND LLC 5310 HARVEST HILL RD SUITE 162 DALLAS, TX 75230

ANTHONY BRANDON M & STEFANIE E 556 N COUNTRY LN ROCKWALL, TX 75087 LENZI LEWIS B AND MARY K 6 CRESTVIEW CIRCLE ROCKWALL, TX 75087 RESIDENT 611 CLEM RD ROCKWALL, TX 75087

RESIDENT
BRIAN S & NICOLE DEJARNETT
656 N COUNTRY LN
ROCKWALL, TX 75087

GIPSON ANTHONY D & JOYCE E 7 CRESTVIEW CIR ROCKWALL, TX 75087 AUTRY DIANE K 70 ORCHARD LANE ROCKWALL, TX 75087 AUTRY DIANE K 70 ORCHARD LANE ROCKWALL, TX 75087 CANAVAN JOHN P & RITA 714 CLEM RD ROCKWALL, TX 75087 CARRINGTON CHRISTOPHER & DIANE 720 N COUNTRY LN ROCKWALL, TX 75087

PEARCE CAROL ALLEY 721 N COUNTRY LN ROCKWALL, TX 75087 PEARCE CAROL ALLEY &
BRIAN S & NICOLE DEJARNETT
721 N COUNTRY LN
ROCKWALL, TX 75087

BELL SALLY REDDICK 768 CLEM RD ROCKWALL, TX 75087

PRITCHARD BRIAN E AND JENNIFER L 8 CRESTVIEW CIR ROCKWALL, TX 75087 FALCON PLACE SF LTD 8214 WESTCHESTER DRIVE SUITE 900 DALLAS, TX 75225 BUTLER ZACHARY AND COURTNEY
9 CRESTVIEW CIR
ROCKWALL, TX 75087

BENEDETTO MATTHEW & STEPHANIE 914 IVY LN ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-056: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases
- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2024-056: Zoning Change from AG to PD
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Skorburg Company 8214 Westchester Dr., Ste. 900

Dallas, TX 75225 Phone: 214/522-4945 Fax: 214/522-7244

November 13, 2024

City of Rockwall Attn: Ryan Miller, AICP 385 S Goliad St Rockwall, TX 75087

Dear Mr. Miller,

Skorburg Company respectfully requests that our project be taken to the November 26, 2024 Planning and Zoning Meeting for a work session as the first step in the zoning change request process. This project is for the proposed development of the ±101.4 acres identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas located between North Country Lane and Clem Road east of FM 1141 and west of N. Stodghill Road (referred to as "Erwin Farms").

The property is currently zoned AG. We are proposing a development for Single-Family Residential homes on lots ranging from 8,640 SF to 87,120 SF minimum (with a weighted average lot size of $\pm 10,300$ SF, which is greater than the typical $82' \times 120'$ sized lot). This community will feature high quality homes as featured in other nearby Skorburg communities such as Stone Creek Estates, Breezy Hill Estates, Nelson Lakes, Winding Creek and Gideon Grove.

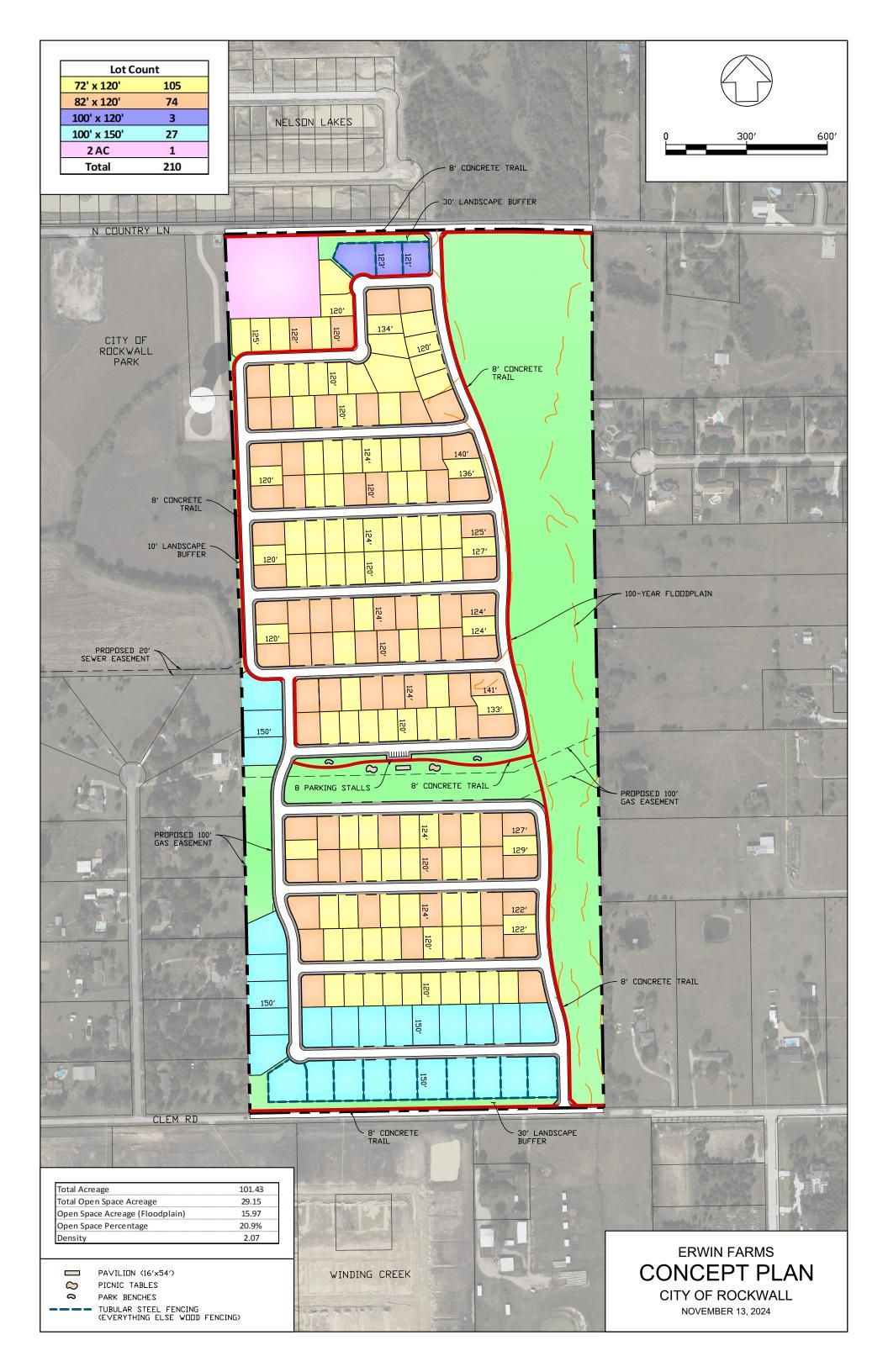
Within the property boundary for this development, we have incorporated extensive 8' wide hike and bike trails and a centralized, linear open space with other amenities for residents to enjoy that will complement the eventual City public park to the adjacent west of the site.

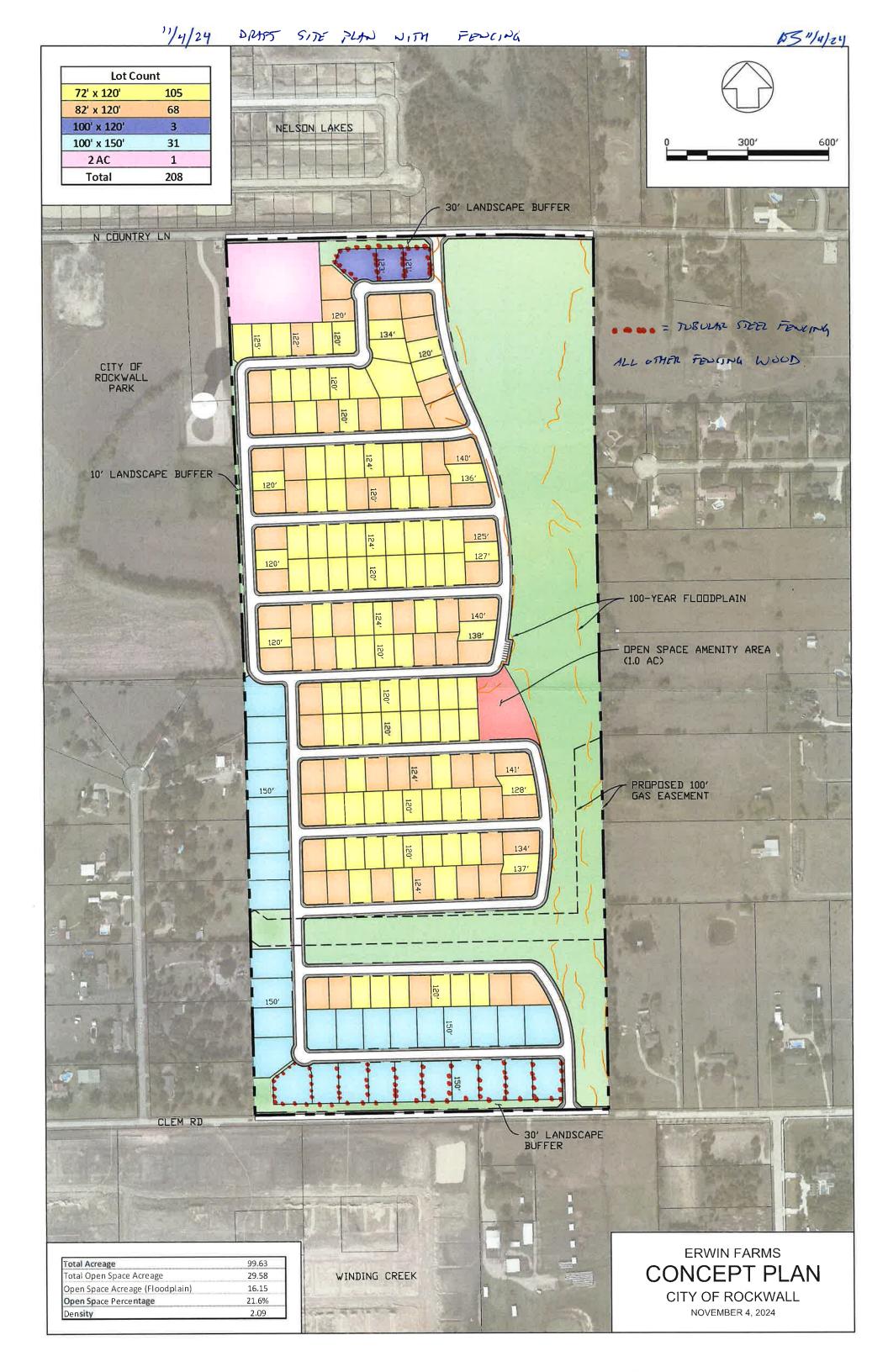
We look forward to working with the City to bring this high-quality community to fruition.

Sincerely,

Skorburg Company

Adam J. Buczek, President





Erwin Farms Lot Matrix

Lot Type	# of lots	% of lots	Min Lot size (SF)
72's	105	50.0%	8,640
82's	74	35.2%	9,840
100 x 120	3	1.4%	12,000
100' x 150	27	12.9%	15,000
2-acre	1	0.5%	87,120
Total / Avg	210	100.0%	10,302

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 101.43-ACRE TRACT OF LAND IDENTIFIED AS TRACT 6 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2.000.00) FOR EACH OFFENSE: PROVIDING SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Adam Buczek of the Skorburg Company on behalf of Karl Daniel Erwin, Trustee of Sub-Trust A of the Karl W. Erwin Family Trust for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses, on a 101.428-acre tract of land identified as being part of the John M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached

hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [including Subsections 5(b) through 5(g) below], shall be the exclusive procedures applicable to the subdivision and platting of the Subject Property.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for a Master Parks and Open Space Plan in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) Master Parks and Open Space Plan. A Master Parks and Open Space Plan for the Subject Property, as depicted in Exhibit 'C' of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) Master Plat. A Master Plat for the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A Master Plat application may be processed by the City concurrently with a Master Parks and Open Space Plan application for the development.
- (e) Preliminary Plat. A Preliminary Plat for each phase of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted in accordance with the phasing plan established by the Master Plat and shall include a Treescape Plan for the phase being Preliminary Platted. A Preliminary Plat application may be processed by the City concurrently with a Master Plat and a Master Parks and Open Space Plan application for the development.
- (f) PD Site Plan. A PD Site Plan for each phase of the development of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A PD Site Plan application may be processed by the City concurrently with a Final Plat application for the development.

(g) Final Plat. Prior to the issuance of any building permits, a Final Plat, conforming to the Preliminary Plat, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

	ND APPROVED I DAY OF		DUNCIL OF THE CITY OF ROCKWAI 5.	_L, TEXA
ATTEST:			Trace Johannesen, <i>Mayor</i>	
Kristy Teag	ue, City Secretary	.		
APPROVE	AS TO FORM:			
Frank J. Ga	rza, City Attorney			
1 st Reading:	L	<u>, 202_1</u>		
2nd Reading:	ſ	202 1		

Exhibit 'A': Legal Description

101.428 +/- acres

TRACT 1:

All that certain lot, tract, or parcel of land lying and being situated in the County of Rockwall, State of Texas, Located about 3 1/2 miles Northeast of the town of Rockwall, being part of the John M. Gass Survey, Abst. No. 88 and more particularly described by metes and bounds as follows, to-wit:

BEGINNING at an iron pin in the Southeast corner of the John M. Gass Survey, being also the Southwest corner of the J. E. Sherwood Survey and said point located in the middle of a public road:

THENCE SOUTH 89 deg. 45' West 1318 feet distance with survey line and the middle of the road to an iron pin insaid road, said point being also the Southeast corner of the Jess Peoples tract;

THENCE NORTH 0 deg. 35' West 3310 feet iron fence being set back about 18 inches East of the Peoples East line continuing on with the Rochell line to an iron pin in a county road;

THENCE EAST 1356.5 feet along middle of road to an iron pin in road;

THENCE SOUTH 835 feet to an iron pin for a corner;

THENCE NORTH 89 deg. 00' West 669 feet with fence line to an original Bois d'Arc stake for a corner;

THENCE SOUTH 00 deg. 15' East 821 feet to an iron pin for a corner;

THENCE SOUTH 89 deg. 45' East 665 feet with a line of old fence post fence line meanders on and off line, corners 10' East of fence post;

THENCE SOUTH 1658' with old hedge row, fence line meanders on and off line to the East and to the West, to the place of beginning containing 89.04 acres as surveyed R.E.L. Halford, County Surveyor by Survey dated July 21, 1962; and being the same land that conveyed by Thomas B. Corrie and wife, Maxine J. Corrie to D.L. Hairston by deed dated August 8, 1962 and of record in Vol. 65 Page 647 of the Deed Records of Rockwall County, Texas,

SAVE AND EXCEPT:

.08 acre tract located in the Southwest corner of said 89.04 acre tract being more particularly described as follows:

BEGINNING at an iron pin at the Southwest Corner of said 89.04 acre tract in the middle of a country road, said pin also being Southeast corner of said Peoples tract;

THENCE North 0 deg. 35' West a distance of 90.0 ft. to an iron pin for a corner;

THENCE North 89 deg. 45' East a distance of 40.0 ft. to an iron pin for a corner;

THENCE South 0 deg. 35' East for 89 deg. 45' West along said South line and center of public road for a distance of 40.0 ft. to the place of beginning and containing 3600 sq. ft. or .08 acres

Exhibit 'A': Legal Description

of land, more or less.

SAVE AND EXCEPT that portion thereof conveyed from Karl W. Erwin and wife, Lenore E. Erwin to Mt. Zion Water Supply Corporation filed April 24, 1968 and recorded in Volume 82, Page 280, Real Property Records, Dallas County, Texas.

SAVE AND EXCEPT that portion thereof conveyed from Karl W. Erwin and wife, Lenore E. Erwin to Mt. Zion Water Supply Corp. filed February 18, 2000 and recorded in Volume 1810, Page 34, Real Property Records, Dallas County, Texas.

TRACT 2:

All that certain tract or parcel of land situated in Rockwall County, Texas, and being a part of the J.M. GASS SURVEY, Abstract No. 44 located approximately four miles Northeast of the City of Rockwall, Texas, and being a part of the same tract conveyed by Deed to Earl W. Meridith from T.H. Meridith dated December 15, 1928, and recorded in Vol. 39, page 233, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING: at an iron pin that is 829.88 feet S 00 03' E from an iron pin set in the center of a County Road, said pin in County road being Northwest corner of a 116.71 acre tract as surveyed by R.E.L. Halford, Rockwall County Surveyor, April 25, 1959.

THENCE SOUTH: 0° 25' E a distance of 803.07 feet to a point for a corner;

THENCE SOUTH: 88° 10' W a distance of 667.34 feet to a point for a corner;

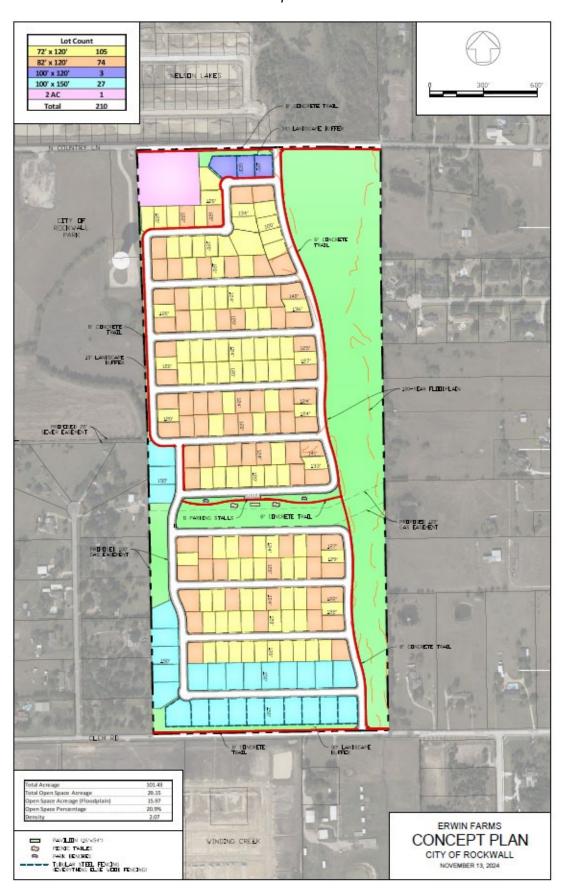
THENCE NORTH: 10° 08' W a distance of 824.36 feet to a point for a corner;

THENCE SOUTH: 89° 19' E a distance of 667.74 feet to the place of beginning and containing 12.468 acres of land more or less.

Exhibit 'B': Property Depiction



Exhibit 'C':
Concept Plan



Density and Development Standards

Density and Development Standards.

- (1) <u>Permitted Uses</u>. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) <u>Lot Composition and Layout</u>. The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'C' and stated in Table 1, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
Α	72' x 120'	8,640 SF	105	50.00%
В	82' x 120'	9,840 SF	74	35.23%
С	100' x 120'	12,000 SF	3	01.43%
D	100' x 150'	15,000 SF	27	12.86%
E	2-acres	87,120 SF	1	00.48%

Maximum Permitted Units: 210 100.00%

(3) <u>Density and Dimensional Requirements</u>. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 8.4 (SF-8.4) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed <u>2.05</u> dwelling units per gross acre of land; however, in no case should the proposed development exceed <u>208</u> units. All lots shall conform to the standards depicted in *Table* 2, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	Α	В	С	D	E
Minimum Lot Width (1)	72'	82'	100'	100'	250'
Minimum Lot Depth	120'	120'	120'	150'	250'
Minimum Lot Area	8,640 SF	9,840 SF	12,000 SF	15,000 SF	87,120 SF
Minimum Front Yard Setback (2), (5) & (6)	20'	20'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) (2) & (5)	20'	20'	20'	20'	20'
Minimum Length of Driveway Pavement	25'	25'	25'	25'	25'
Maximum Height ⁽³⁾	36'	36'	36'	36'	36'
Minimum Rear Yard Setback (4)	10'	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space] (7)	2,700 SF	2,800 SF	2,800 SF	2,800 SF	2,800 SF
Maximum Lot Coverage	65%	65%	65%	65%	65%

General Notes: [RYAN – For Erik Erwin's retained 2-acre lot, I want to make sure his existing home and existing improvements remain grandfathered. Do we need any language to that affect in this ordinance?]

^{1:} Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.

^{2:} The location of the Front Yard Building Setback as measured from the front property line.

^{3:} The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.

Density and Development Standards

- 4: The location of the Rear Yard Building Setback as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: Type 'A' Lots that incorporate a flat-front entry garage configuration shall be required to have a minimum setback of 25-feet. No more than 20% of the Type 'A' Lots (21 lots) may have a flat-front entry only garage configuration.
- 7: No more than 20% of the *Type 'A' Lots* (21 lots) may have a dwelling unit size between 2,700 SF and 2,799 SF.
- (4) Building Standards. All development shall adhere to the following building standards:
 - (a) <u>Masonry Requirement</u>. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (excluding dormers and walls over roof areas); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. HardiBoard or Hardy Plank) in a horizontal lap-siding, board-and-batten siding, or a decorative pattern (see examples below) may be used for up to 50% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitous fiberboard in excess of 50% of the masonry requirement.

Examples of Cementitious Fiberboard





- (b) <u>Roof Pitch</u>. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) <u>Garage Orientation and Garage Doors</u>. This development shall adhere to the following garage design and orientation requirements
 - (1) <u>Type 'A' Lots</u>. The Type 'A' Lots (i.e. the yellow lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration. A maximum of 20% of these lots (i.e. 21 Lots

Density and Development Standards

or 10.0% of the total lots) shall be permitted to be oriented in a flat-front entry configuration -- allowing the garage to be flush with the front façade of the primary structure -- pending the front yard setback is increased to a minimum setback of 25-feet.

- (2) Type 'B', 'C', 'D' & 'E" Lots. The Type 'B', 'C', 'D' and 'E' Lots (i.e. orange, purple, light blue and pink lots, respectively, as depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
- (3) All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, Parking and Loading, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see Figures 1 – 3 for examples of the aforementioned garage and driveway features].





FIGURE 2: EXAMPLES OF UPGRADED OR ENHANCED FINISHES



DIVIDED BAYS









ORNAMENTAL PAVING

Exhibit 'D':Density and Development Standards

FIGURE 3: EXAMPLES OF UPGRADED GARAGES









(5) <u>Anti-Monotony Restrictions</u>. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see Figures 3 & 4 below*).

Table 3: Anti-Monotony Matrix

Lot Type	Minimum Lot Size	Elevation Features
Α	72' x 120'	(1), (2), (3), (4)
В	82' x 120'	(1), (2), (3), (4)
С	100' x 120'	(1), (2), (3), (4)
D	100' x 150'	(1), (2), (3), (4)
E	2-acre	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or Clem Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (1) Number of Stories

Density and Development Standards

- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (3-Tab Roofing Shingles are prohibited).

Figure 3: Properties line up on the opposite side of the street. Where RED is the subject property.

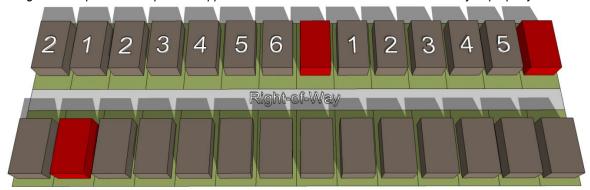
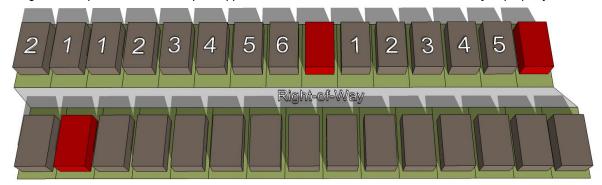


Figure 4: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) <u>Fencing Standards</u>. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) <u>Wood Fences</u>. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or

Density and Development Standards

stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) <u>Wrought Iron/Tubular Steel</u>. Lots located along the perimeter of roadways (i.e. North Country Lane and Clem Road), abutting open space contiguous to perimeter roads, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height. See Exhibit 'C' for the location of wrought iron / tubular steel fencing as depicted on the Concept Plan.
- (d) <u>Corner Lots</u>. Corner lots fences (i.e. adjacent to the street) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid board-on-board panel fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) <u>Solid Fences (including Wood Fences)</u>. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(7) Landscape and Hardscape Standards.

- (a) <u>Landscape</u>. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) <u>Landscape Buffers</u>. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) <u>Landscape Buffer and Sidewalks (North Country Lane)</u>. A minimum of a 30-foot landscape buffer shall be provided along North Country Lane (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.

Density and Development Standards

- (2) <u>Landscape Buffer and Sidewalks (Clem Road)</u>. A minimum of a 30-foot landscape buffer shall be provided along Clem Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
- (c) <u>Street Trees</u>. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) <u>Irrigation Requirements</u>. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) <u>Hardscape</u>. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) <u>Street</u>. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) <u>Lighting</u>. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) <u>Sidewalks</u>. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width. Notwithstanding the foregoing, the sections of sidewalk as depicted on *Exhibit 'C'* as being eight (8) feet in width shall be permitted to extend up to two (2) feet outside the right-of-way (inside the lot). [Ryan please check this paragraph for the modified language for the section of 8' trail that runs in front of SF lots.]
- (11) <u>Buried Utilities</u>. New distribution power-lines required to serve the <u>Subject Property</u> shall be placed underground, whether such lines are located internally or along the perimeter of the <u>Subject Property</u>, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the <u>Subject Property</u> to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) <u>Open Space</u>. The development shall consist of a minimum of 20% open space (or a minimum of 20.286-acres -- as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the Concept Plan contained in Exhibit

11 NORTHEAST RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The Northeast Residential District is characterized by its established lowdensity residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The Northeast Residential District being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- Estate and Rural Residential. The maintenance of the Estate and Rural Residential housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- Suburban Residential. Any new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing Suburban Residential in this district.
- Infill Development. Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 Neighborhood/Convenience Centers. The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.

POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home

LAND USE PALETTES

- Current Land Use
- Future Land Use











DISTRICT (PAGE

RESIDENTIAL





↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

C

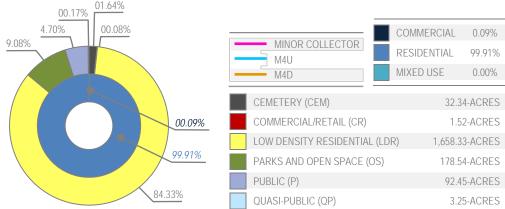
Future Suburban Residential



1 Current Rural Residential

E

CENTRAL DISTRICT (PAGE 1-13) ◆



05 FUTURE LAND USE PLAN 01 LAND USE PLAN DESIGNATIONS

01.01 RESIDENTIAL O









LOW DENSITY RESIDENTIAL (LDR)

The Low Density Residential land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

DESIGNATION CHARACTERISTICS

- Primary Land Uses: Suburban, Estate and Rural Residential (i.e. Single-Family Detached Homes)
- Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

EXISTING LAND USE EXAMPLES

- Breezy Hill Subdivision
- Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

RESIDENTIAL DENSITY CHART





MEDIUM DENSITY RESIDENTIAL (MDR)

The Medium Density Residential land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (31/2) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

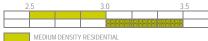
DESIGNATION CHARACTERISTICS

- Primary Land Uses: Suburban Residential (i.e. Single-Family Detached Homes)
- Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

EXISTING LAND USE EXAMPLES

- Caruth Lakes Subdivision
- 2 Lago VistaSubdivision
- Park Place Subdivision

RESIDENTIAL DENSITY CHART



MEDIUM DENSITY RESIDENTIAL WITH INCREASED AMENITY



HIGH DENSITY RESIDENTIAL (HDR)

The High Density Residential land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

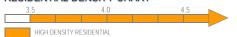
DESIGNATION CHARACTERISTICS

- Primary Land Uses: Suburban and Urban Residential (i.e. Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments)
- Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- Sixteen50 @ Lake Ray Hubbard Apartments
- Mission Rockwall Apartment Complex

RESIDENTIAL DENSITY CHART



NOTE: HIGH DENSITY RESIDENTIAL REQUIRES INCREASED AMENITY

















CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 101.428-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4 OF THE J. M. GASS SURVEY, ABSTRACT NO. 88, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2.000.00) FOR EACH PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl Erwin for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.428-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a

condition of approval of the amended zoning classification for the Subject Property;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [including Subsections 5(b) through 5(g) below], shall be the exclusive procedures applicable to the subdivision and platting of the Subject Property.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for a Master Parks and Open Space Plan in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) Master Parks and Open Space Plan. A Master Parks and Open Space Plan for the Subject Property, as depicted in Exhibit 'C' of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) Master Plat. A Master Plat for the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A Master Plat application may be processed by the City concurrently with a Master Parks and Open Space Plan application for the development.
- (e) Preliminary Plat. A Preliminary Plat for each phase of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted in accordance with the phasing plan established by the Master Plat and shall include a Treescape Plan for the phase being Preliminary Platted. A Preliminary Plat application may be processed by the City concurrently with a Master Plat and a Master Parks and Open Space Plan application for the development.
- (f) PD Site Plan. A PD Site Plan for each phase of the development of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A PD Site Plan application may be processed by the City concurrently with a Final Plat application for the development.

(g) Final Plat. Prior to the issuance of any building permits, a Final Plat, conforming to the Preliminary Plat, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable:

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JANURARY, 2025.

ATTEST:	Trace Johannesen, Mayor
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>December 16, 2024</u>	
2 nd Reading: January 6, 2025	

Exhibit 'A': Legal Description

TRACT 1.

All that certain lot, tract, or parcel of land lying and being situated in the County of Rockwall, State of Texas, located about 3 1/2 miles Northeast of the town of Rockwall, being part of the John M. Gass Survey, Abst. No. 88 and more particularly described by metes and bounds as follows, to-wit:

BEGINNING at an iron pin in the Southeast corner of the John M. Gass Survey, being also the Southwest corner of the J. E. Sherwood Survey and said point located in the middle of a public road;

THENCE SOUTH 89 deg. 45' West 1318 feet distance with survey line and the middle of the road to an iron pin in said road, said point being also the Southeast corner of the Jess Peoples tract;

THENCE NORTH 0 deg. 35' West 3310 feet iron fence being set back about 18 inches East of the Peoples East line continuing on with the Rochell line to an iron pin in a county road;

THENCE EAST 1356.5 feet along middle of road to an iron pin in road;

THENCE SOUTH 835 feet to an iron pin for a corner;

THENCE NORTH 89 deg. 00' West 669 feet with fence line to an original Bois d'Arc stake for a corner;

THENCE SOUTH 00 deg. 15' East 821 feet to an iron pin for a corner;

THENCE SOUTH 89 deg. 45' East 665 feet with a line of old fence post fence line meanders on and off line, corners 10' East of fence post;

THENCE SOUTH 1658' with old hedge row, fence line meanders on and off line to the East and to the West, to the place of beginning containing 89.04 acres as surveyed R.E.L. Halford, County Surveyor by Survey dated July 21, 1962; and being the same land that conveyed by Thomas B. Corrie and wife, Maxine J. Corrie to D.L. Hairston by deed dated August 8, 1962 and of record in Vol. 65 Page 647 of the Deed Records of Rockwall County, Texas,

SAVE AND EXCEPT.

0.08-acre tract located in the Southwest corner of said 89.04-acre tract being more particularly described as follows:

BEGINNING at an iron pin at the Southwest Corner of said 89.04-acre tract in the middle of a country road, said pin also being Southeast corner of said Peoples tract;

THENCE North 0 deg. 35' West a distance of 90.0 ft. to an iron pin for a corner;

THENCE North 89 deg. 45' East a distance of 40.0 ft. to an iron pin for a corner;

THENCE South 0 deg. 35' East for 89 deg. 45' West along said South line and center of public road for a distance of 40.0 ft. to the place of beginning and containing 3600 sq. ft. or .08 acres of land, more or less.

SAVE AND EXCEPT that portion thereof conveyed from Karl W. Erwin and wife, Lenore E. Erwin to Mt. Zion Water Supply Corporation filed April 24, 1968 and recorded in Volume 82, Page 280, Real Property Records, Dallas County, Texas.

SAVE AND EXCEPT that portion thereof conveyed from Karl W. Erwin and wife, Lenore E. Erwin to Mt. Zion Water Supply Corp. filed February 18, 2000 and recorded in Volume 1810, Page 34, Real Property Records, Dallas County,

Exhibit 'A': Legal Description

Texas.

TRACT 2.

All that certain tract or parcel of land situated in Rockwall County, Texas, and being a part of the J.M. GASS SURVEY, Abstract No. 44 located approximately four miles Northeast of the City of Rockwall, Texas, and being a part of the same tract conveyed by Deed to Earl W. Meridith from T.H. Meridith dated December 15, 1928, and recorded in Vol. 39, page 233, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron pin that is 829.88 feet S 00 03' E from an iron pin set in the center of a County Road, said pin in County road being Northwest corner of a 116.71-acre tract as surveyed by R.E.L. Halford, Rockwall County Surveyor, April 25, 1959.

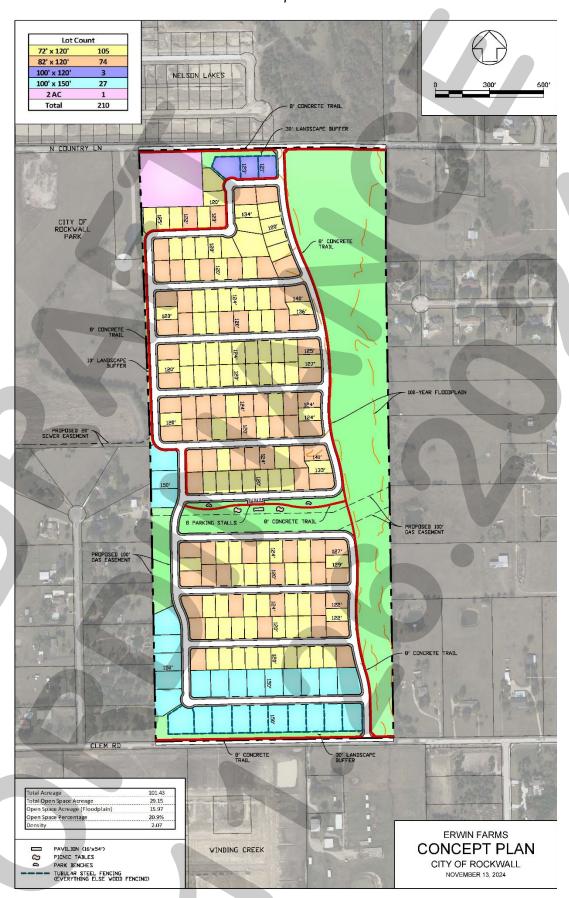
THENCE SOUTH: 0° 25' E a distance of 803.07 feet to a point for a corner;

THENCE SOUTH: 88° 10' W a distance of 667.34 feet to a point for a corner;

THENCE NORTH: 10° 08' W a distance of 824.36 feet to a point for a corner;

THENCE SOUTH: 89° 19' E a distance of 667.74 feet to the place of beginning and containing 12.468 acres of land more or less.

Exhibit 'B': Concept Plan



Density and Development Standards

Density and Development Standards.

- (1) <u>Permitted Uses</u>. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) <u>Lot Composition and Layout</u>. The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'C' and stated in Table 1, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (F	T) Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
Α	72' x 120'	8,640 SF	105	50.00%
В	82' x 120'	9,840 SF	74	35.24%
C	100' x 120'	12,000 SF	3	01.43%
D	100' x 150'	15,000 SF	27	12.86%
E	250' x 250'	87,120 SF	1	00.48%
	Λ	Maximum Permitted Units:	210	100.00%

<u>Density and Dimensional Requirements</u>. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed <u>2.07</u> dwelling units per gross acre of land; however, in no case should the proposed development to exceed <u>210</u> units. All lots shall conform to the standards depicted in *Table* 2, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	Α	В	C	D	E
Minimum Lot Width (1)	72'	82'	100'	100'	250'
Minimum Lot Depth	120'	120'	120'	150'	250'
Minimum Lot Area	8,640 SF	9,840 SF	12,000 SF	15,000 SF	87,120 SF
Minimum Front Yard Setback (2), (5) & (6)	20'	20'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'	6'
Minimum Side Yard Setback Adjacent to a Street (2), (5), & (7)	20'	20'	20'	20'	20'
Minimum Length of Driveway Pavement	25'	25'	25'	25'	25'
Maximum Height ⁽³⁾	36'	36'	36'	36'	36'
Minimum Rear Yard Setback (4)	10'	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) (8) & (9)	2,700 SF	2,800 SF	2,800 SF	2,800 SF	2,800 SF
Maximum Lot Coverage	65%	65%	65%	65%	65%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the Front Yard Building Setback as measured from the front property line.
- 3: The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home
- 4: The location of the Rear Yard Building Setback as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching

Density and Development Standards

faces.

- 6: Type 'A' Lots that incorporate a flat-front entry garage configuration shall be required to have a minimum setback of 25-feet. In addition, no more than 20.00% (i.e. 21 lots) of the Type 'A' Lots may have a flat-front entry garage configuration.
- 7: All Corner Lots that back to a lot that fronts onto the same street that the Corner Lot sides to (i.e. a Keystone Lot), shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.
- 8: Air-Conditioned Space.
- 9: No more than 20.00% (i.e. 21 lots) of the Type 'A' Lots may have a dwelling unit size between 2,700 SF and 2,799 SF.
- (3) Building Standards. All development shall adhere to the following building standards:
 - (a) <u>Masonry Requirement</u>. The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. HardiBoard or Hardy Plank) in a horizontal lap-siding, board-and-batten siding, or a decorative pattern (see examples below) may be used for up to 50.00% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitous fiberboard in excess of 50.00% of the masonry requirement.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



- (b) <u>Roof Pitch</u>. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) <u>Garage Orientation and Garage Doors</u>. This development shall adhere to the following garage design and orientation requirements
 - (1) <u>Type 'A' Lots</u>. The Type 'A' Lots (i.e. the yellow lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration. A maximum of 20.00% of these lots (i.e. 21 Lots or 10.09% of the total lots) shall be permitted to be oriented in a flat-front entry configuration -- allowing the garage to be flush with the front façade of the primary

Density and Development Standards

structure -- pending the front yard setback is increased to a minimum setback of 25-feet.

- (2) <u>Type 'B', 'C', 'D' & 'E' Lots</u>. The Type 'B', 'C', 'D' and 'E' Lots (i.e. orange, purple, light blue and pink lots, respectively, as depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
- (3) All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, [3] include one [1] of the upgraded or enhanced finishes from *Figure 3* below, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see *Figures 1 3 for examples of the aforementioned garage and driveway features*].

FIGURE 2. EXAMPLE OF COACH LIGHTING



FIGURE 3: EXAMPLES OF UPGRADED OR ENHANCED FINISHES







CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

Exhibit 'C':Density and Development Standards

FIGURE 4: EXAMPLES OF UPGRADED GARAGES









<u>Anti-Monotony Restrictions</u>. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see Figures 5 & 6 below).

TABLE 3: ANTI-MONOTONY MATRIX

Lot Type	Minimum Lot Size	Elevation Features
A	72' x 120'	(1), (2), (3), (4)
В	82' x 120'	(1), (2), (3), (4)
C	100' x 120'	(1), (2), (3), (4)
D	100' x 150'	(1), (2), (3), (4)
E	250' x 250'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6)

Density and Development Standards

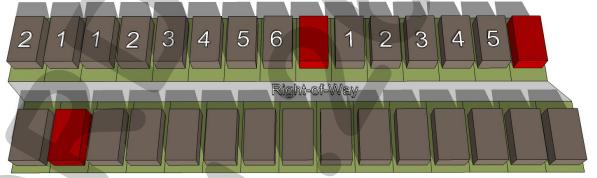
intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or Clem Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (1) Number of Stories
- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (c) Permitted encroachment (i.e. porches and sunroom) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (3-Tab Roofing Shingles are prohibited).

FIGURE 5: PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



<u>FIGURE 6</u>: PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE <u>RED</u> IS THE SUBJECT PROPERTY.



- (4) <u>Fencing Standards</u>. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) Front Yard Fences. Front yard fences shall be prohibited.

Density and Development Standards

- (b) <u>Wood Fences</u>. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- (c) <u>Wrought Iron/Tubular Steel</u>. Lots located along the perimeter of roadways (*i.e. North Country Lane and Clem Road*), abutting open space contiguous to perimeter roads, greenbelts and parks shall be required to install a wrought iron or tubular steel fence as depicted in the *Concept Plan* in *Exhibit 'B'* of this ordinance. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height and a minimum of four (4) feet in height.
- (d) <u>Corner Lots</u>. Corner lot fences (*i.e.* adjacent to the street) shall provide masonry columns evenly spaced along the side and/or rear property line with columns not exceeding 45-foot centers that begin at the rear of the property line. A maximum of six (6) foot solid board-on-board panel fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. The property owner shall be required to maintain both sides of the fence.
- (e) <u>Solid Fences (including Wood Fences)</u>. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) <u>Fence in Easements</u>. No fencing shall be constructed in or across a franchise utility or the City of Rockwall's easements.
- (5) Landscape and Hardscape Standards.
 - (a) <u>Landscape</u>. Landscaping shall be reviewed and approved with the *PD Site Plan*. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (i.e. on the Homeowner's Associations' [HOAs'] property). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) <u>Landscape Buffers</u>. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA). All trail locations shall generally be in accordance with *Exhibit 'C'* of this ordinance.
 - (1) <u>Landscape Buffer and Sidewalks (North Country Lane)</u>. A minimum of a 30-foot landscape buffer shall be provided along North Country Lane (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms shall

Density and Development Standards

have a minimum height of 30-inches and a maximum height of 48-inches. No berms shall be allowed on water or sanitary sewer lines. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.

- (2) <u>Landscape Buffer and Sidewalks (Clem Road)</u>. A minimum of a 30-foot landscape buffer shall be provided along Clem Road (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 30-inches and a maximum height of 48-inches. No berms shall be allowed on water or sanitary sewer lines. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
- (c) <u>Street Trees</u>. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches in size, and ten (10) feet from public water, sanitary sewer, and storm lines that are ten (10) inches and greater. In addition, no street trees shall be allowed to be located within public right-of-way. All street trees shall be reviewed with the *PD Site Plan*.
- (d) <u>Residential Lot Landscaping</u>. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of one (1), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) <u>Irrigation Requirements</u>. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) <u>Hardscape</u>. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (6) <u>Street</u>. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (7) <u>Lighting</u>. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (8) <u>Sidewalks</u>. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width; however, trails adjacent to residential lots -- as depicted in Exhibit 'B' of this ordinance -- shall be eight (8) feet in width and shall

Density and Development Standards

be permitted to extend up to two (2) feet outside the right-of-way, inside the residential lot, in a pedestrian access easement.

- (9) <u>Buried Utilities</u>. New distribution power-lines required to serve the <u>Subject Property</u> shall be placed underground, whether such lines are located internally or along the perimeter of the <u>Subject Property</u>, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the <u>Subject Property</u> to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (10) <u>Open Space</u>. The development shall consist of a minimum of 20.00% open space (or a minimum of 20.286-acres -- as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the Concept Plan contained in Exhibit 'C' of this ordinance. All open space areas (including landscape buffers) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).
- (11) <u>Trails</u>. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (12) <u>Amenities</u>. Amenities shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenities shall be approved with the *PD Site Plan*; however, the proposed pavilion shall be of a quality that is better than or equal to the pavilion picture in *Figure 7* below. The amenities will feature at least one (1) pavilion, a multi-use court (e.g. pickle ball and basketball court), four (4) benches, two (2) grills.

FIGURE 4: PAVILION



Density and Development Standards

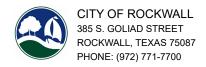
- (13) <u>Neighborhood Signage and Enhancements</u>. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (14) <u>Homeowner's Association (HOA)</u>. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (15) <u>Variances</u>. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

Density and Development Standards

'C' of this ordinance. All open space areas (*including landscape buffers*) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).

- (13) <u>Trails</u>. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (14) <u>Amenity Center</u>. Amenities shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenities shall be approved with the *PD Site Plan*. The amenities will feature 8' wide trails, one (1) pavilion, and at least two (2) benches and grills in the general location as depicted on *Exhibit 'C'*.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The developer shall provide enhanced landscaping areas at all entry points to the Subject Property. The final design of these areas shall be provided on the PD Site Plan.
- (16) <u>Homeowner's Association (HOA)</u>. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including drainage facilities), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the PD Site Plan.
- (17) <u>Variances</u>. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: Z2024-057

PROJECT NAME: SUP for 1915 Alpha Drive

SITE ADDRESS/LOCATIONS: 1915 ALPHA DR, 140, ROCKWALL, TX, 75087

CASE CAPTION: Hold a public hearing to discuss and consider a request by Michael Jaquette of CED Rockwall on behalf of QA Logistics Rockwall,

LP for the approval of a Specific Use Permit (SUP) for General Retail Store in conjunction with a Wholesale Showroom Facility on a portion of a larger 5.1292-acre parcel of land identified Lot 2, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County,

Texas, zoned Light Industrial (LI) District, addressed as 1915 Alpha Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	11/21/2024	Approved w/ Comments	

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for a General Retail Store in conjunction with a Wholesale Showroom Facility on a portion of a larger 5.1292-acre parcel of land identified Lot 2, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, and addressed as 1915 Alpha Drive.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2024-057) in the lower right-hand corner of all pages on future submittals.
- I.4 A General Retail Store is defined as a "...facility or area for the retail sale of general merchandise ... to the public for direct consumption and not for wholesale." In this case, the General Retail Store will be in conjunction with a Wholesale Showroom Facility, and will sell merchandise to contractors and the general public.
- I.5 The subject property is zoned Light Industrial (LI) District. In a Light Industrial (LI) District, a General Retail Store requires the approval of a Specific Use Permit (SUP). The SUP requirement is in place "... to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed General Retail Store in conjunction with a Wholesale Showroom Facility is compatible with the surrounding businesses.
- M.6 Please review the attached Draft Ordinance prior to the November 26, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 3, 2024. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2022, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 26, 2024.

1.8 The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/20/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/18/2024	Approved w/ Comments
11/18/2024: Will be Suite 140			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/19/2024	Approved



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STA	FF	USE	ONL	Y

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

CONNER APPLICATION FEES: CONNER APPLICATION	PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE O	DE DEVELOPMENT REC	OUEST ISELECT ONLY ONE BOXI:
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City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

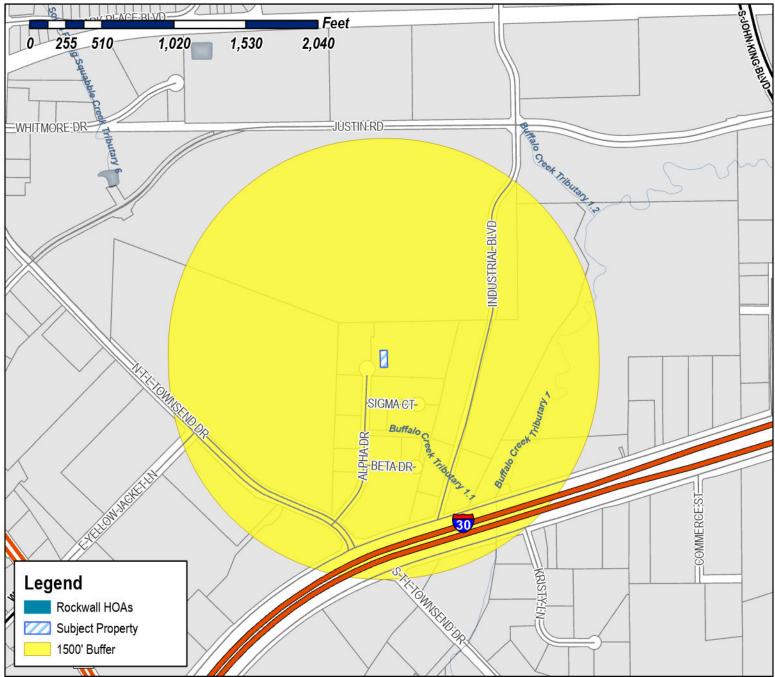
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-057

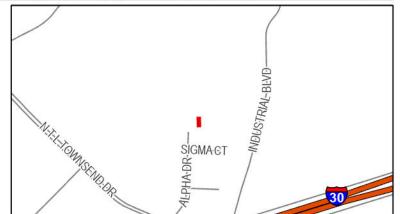
Case Name: SUP for a Warehouse/ Retail Store

Case Type: Zoning

Zoning: Light Industrial (LI) District
1915 Alpha Drive Suite 140

Date Saved: 11/19/2024

For Questions on this Case Call (972) 771-7745





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Case Number: Z2024-057

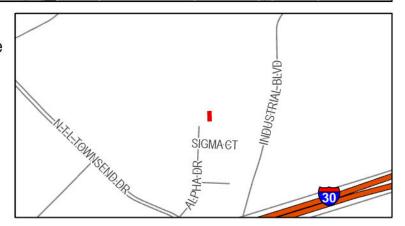
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Zoning: Light Industrial (LI) District
1915 Alpha Drive Suite 140

Date Saved: 11/19/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT 1197 T L TOWNSEND DR ROCKWALL, TX 75087 QA LOGISTICS ROCKWALL LP C/O ATCAP PARTNERS LLC 12001 N CENTRAL EXPY STE 200 DALLAS, TX 75243

RESIDENT 1203 BETA CT ROCKWALL, TX 75087

RESIDENT 1203 SIGMA CT ROCKWALL, TX 75087 MITCHELL II LTD 1208 SIGMA CT ROCKWALL, TX 75087 ELLIS RICHARD M III AND
DAVID M ELLIS AND JODY M ELLIS AND CHARLES
M ELLIS
1223 WATERSIDE CIR
DALLAS, TX 75218

SVEA INDUSTRIAL II LLC 12333 SOWDEN RD STE B HOUSTON, TX 77080 RESIDENT 1905 ALPHA CT ROCKWALL, TX 75087 CANINE PROPERTIES LLC 1920 ALPHA DR ROCKWALL, TX 75087

RESIDENT 1930 ALPHA DR ROCKWALL, TX 75087 RESIDENT 2005 INDUSTRIAL ROCKWALL, TX 75087

BASK INVESTMENTS LLC 401 COLUMBIA DR ROCKWALL TX 75032

ROCKWALL STEEL CO PO BOX 159 ROCKWALL, TX 75087 SPEC AERO PROPERTIES LP PO BOX 683 GREENVILLE, TX 75403 AMAZON.COM SERVICES LLC C/O AMAZON PROPERTY TAX PO BOX 80416 SEATLLE, WA 98108 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-057: SUP for General Retail Store

Hold a public hearing to discuss and consider a request by Michael Jaquette of CED Rockwall on behalf of QA Logistics Rockwall, LP for the approval of a <u>Specific Use Permit (SUP)</u> for General Retail Store in conjunction with a Wholesale Showroom Facility on a portion of a larger 5.1292-acre parcel of land identified Lot 2, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1915 Alpha Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

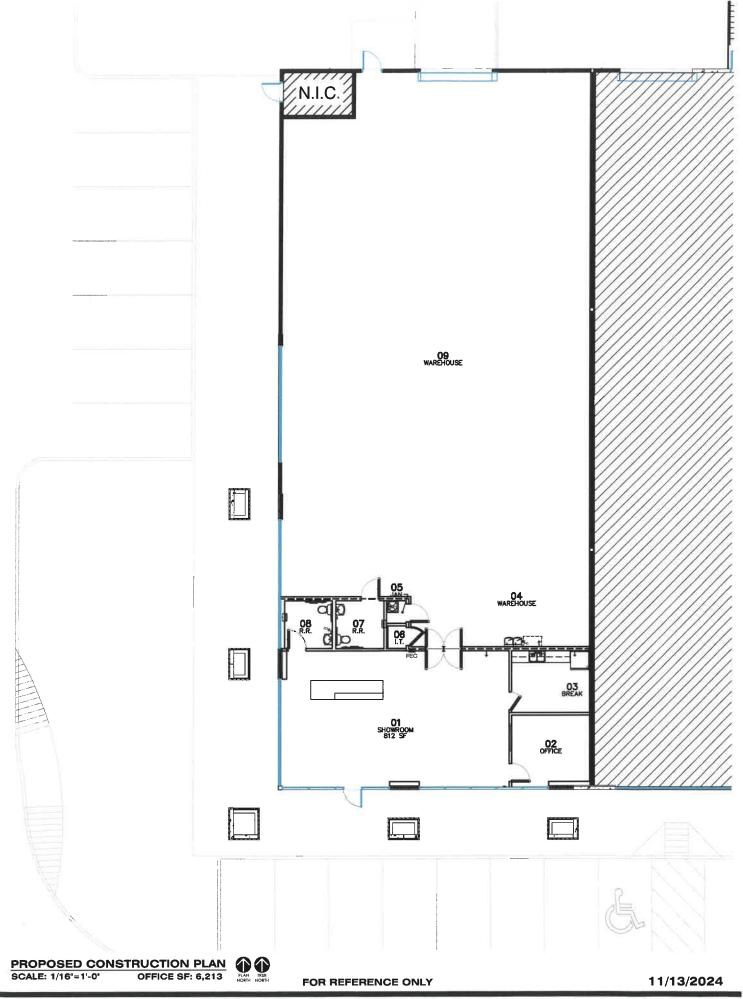




MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases
PLEASE RETURN THE BELOW FORM
Case No. Z2024-057: SUP for General Retail Store
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. <u>S-3XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A GENERAL RETAIL STORE ON A 5.1292-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK D, ELLIS CENTRE #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Michael Jaquette of CED Rockwall on behalf of QA Logistics Rockwall LP for the approval of a Specific Use Permit (SUP) to allow a *General Retail Store* on a 5.1292-acre parcel of land identified as Lot 2, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1915 Alpha Drive, and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a General Retail Store in accordance with Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.04, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *General Retail Store* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Floor Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The General Retail Store shall not occupy more 812 SF of the 6,213 SF Wholesale Showroom Facility.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JANUARY, 2025.

Trace Johannesen, Mayor	

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: <u>December 16, 2024</u>

2nd Reading: January 6, 2025

Exhibit 'A' Location Map

<u>Legal Description</u>: Lot 2, Block D, Ellis Centre #2 Addition <u>Address</u>: 1915 Alpha Drive

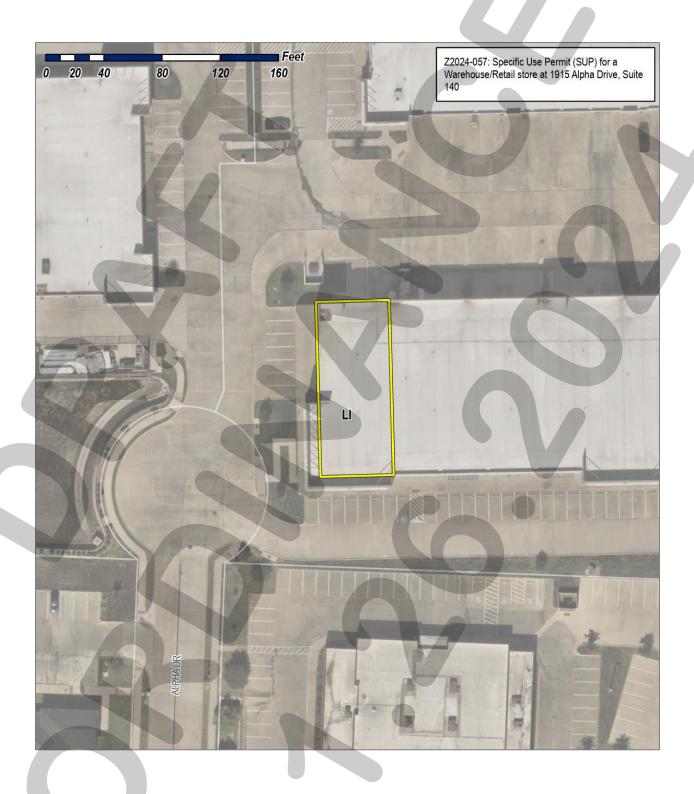
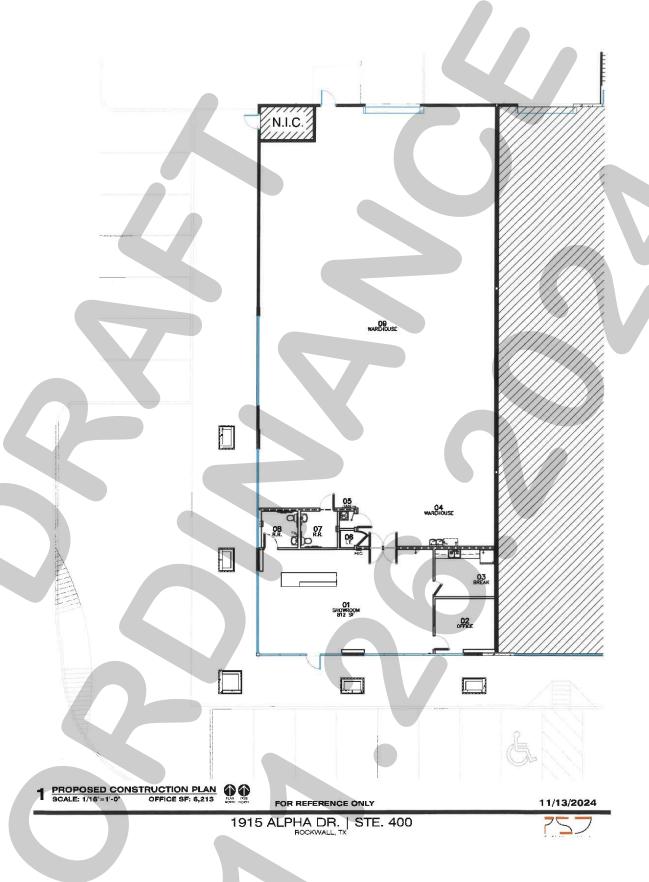
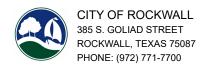


Exhibit 'B': Floor Plan



PROJECT COMMENTS



DATE: 11/20/2024

PROJECT NUMBER: Z2024-058

PROJECT NAME: SUP for Residential Infill SITE ADDRESS/LOCATIONS: 704 S ALAMO RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for

Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and take any action

necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Guevara	11/20/2024	Approved w/ Comments	

11/20/2024: Z2024-058; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road.
- 1.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (Z2024-058) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within the Highridge Estates Subdivision which has been in existence since June 1, 1972, consist 97 lots, and is considered to be 98.00% developed.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- M.6 Building Setbacks. Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in a Single-Family 10 (SF-10) District should have a minimum side setback of 6-feet. In this request, the proposed home has a side setback of 5-feet. This will need to be corrected on the site plan.
- M.7 Roof Pitch. According to Subsection 0301, General Residential District Standards, of the Unified Development Code (UDC, all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is proposing a 2:12 roof pitch in the front elevation of the home. This will need to be corrected.

- M.8 Ordinances. Please review the attached draft ordinance prior to the December 10, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by December 3, 2024.
- I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning and Zoning Commission Public Hearing Meeting.
- I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 26, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on December 10, 2024.
- I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2025 (2nd Reading).
- I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

- 11/19/2024: 1. Must have a grading plan approved with building permit
- 2. Must show A/C units to make sure that they are out of the setbacks and not blocking drainage
- 3. Sidewalk required along S. Alamo.
- 4. Home must be 1' above curb of Alamo.
- 5. Due to driveway curb returns, driveway will have to be 5' from property line. Curb returns may not extend past property line.

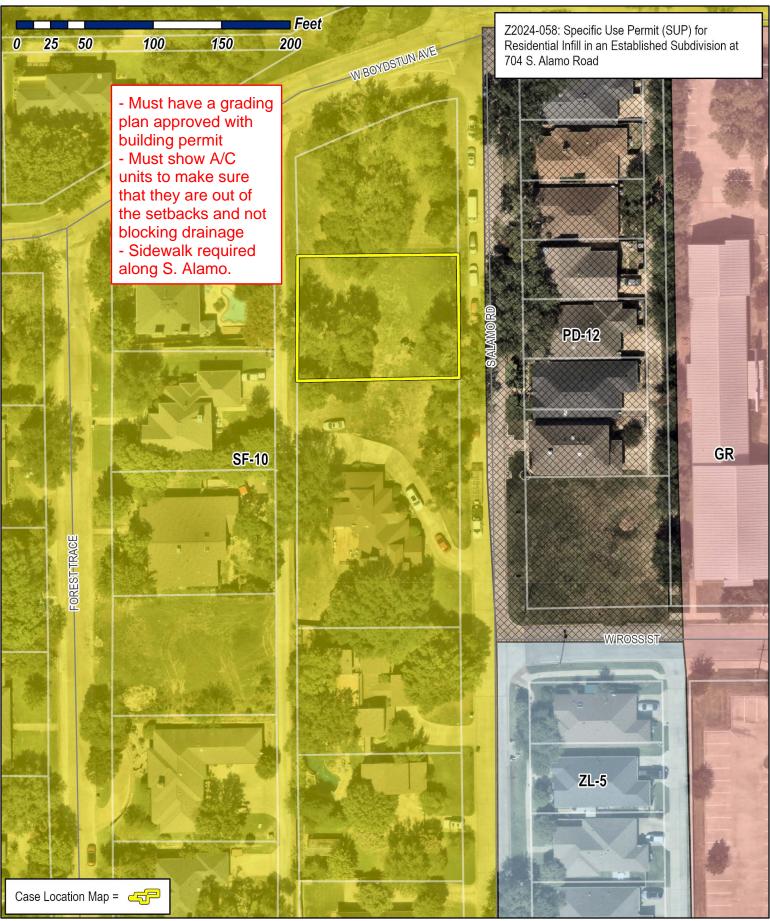
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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Needs Review	
11/20/2024: * SF-10 REQUIR	ES A MINIMUM OF 6 FEET ON SIDE SETBACK	S FROM THE PROPERTY		
* TYPICAL J-SWING DRIVEW	/AYS ARE 24 FEET (THIS ONE IS 17') IN WIDTH	TO ALLOW ENOUGH ROOM FOR TURN AROUN	D	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/19/2024	Approved

No Comments

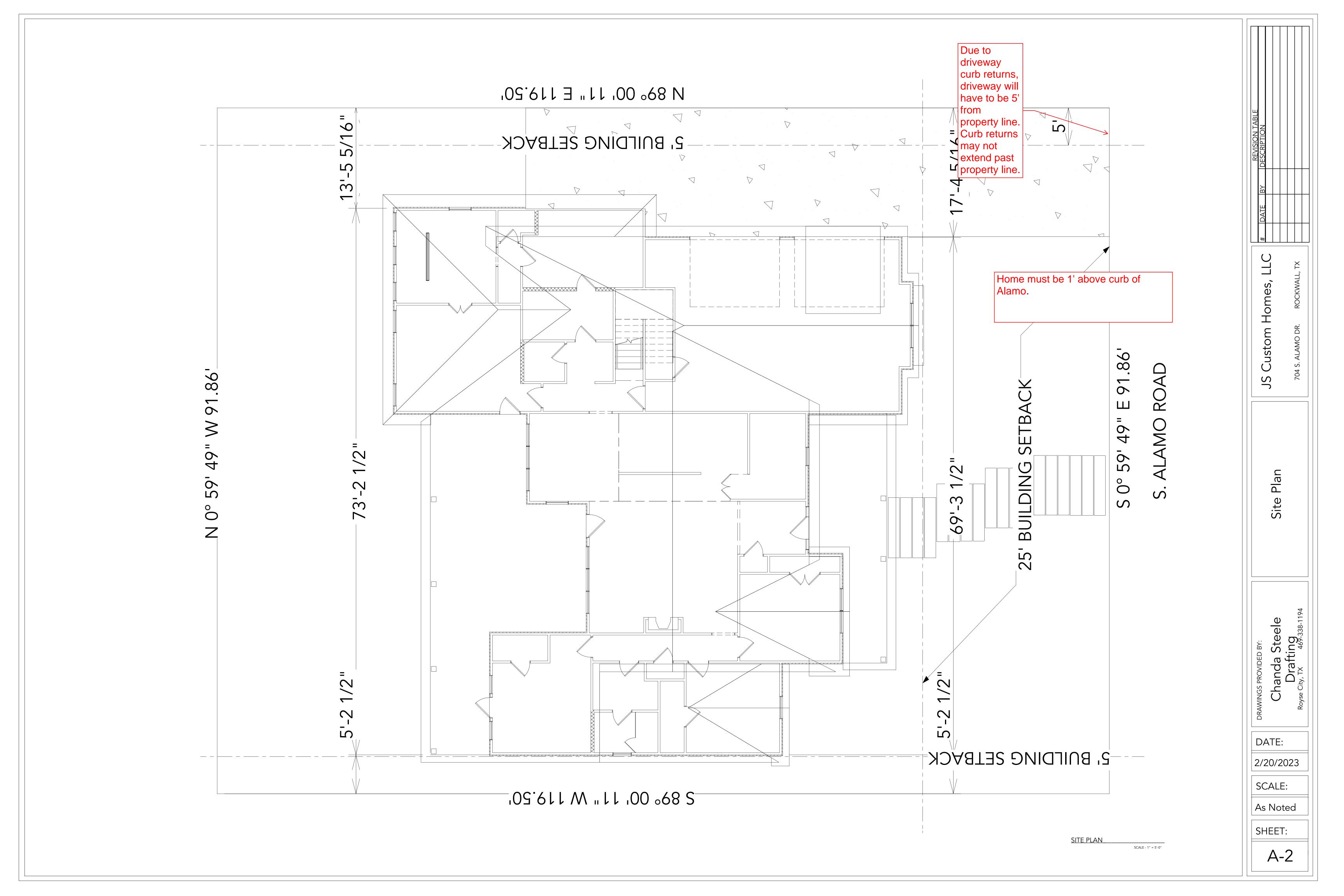




City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF	USE	ONLY	0)
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PLANNING & ZONING CASE NO.

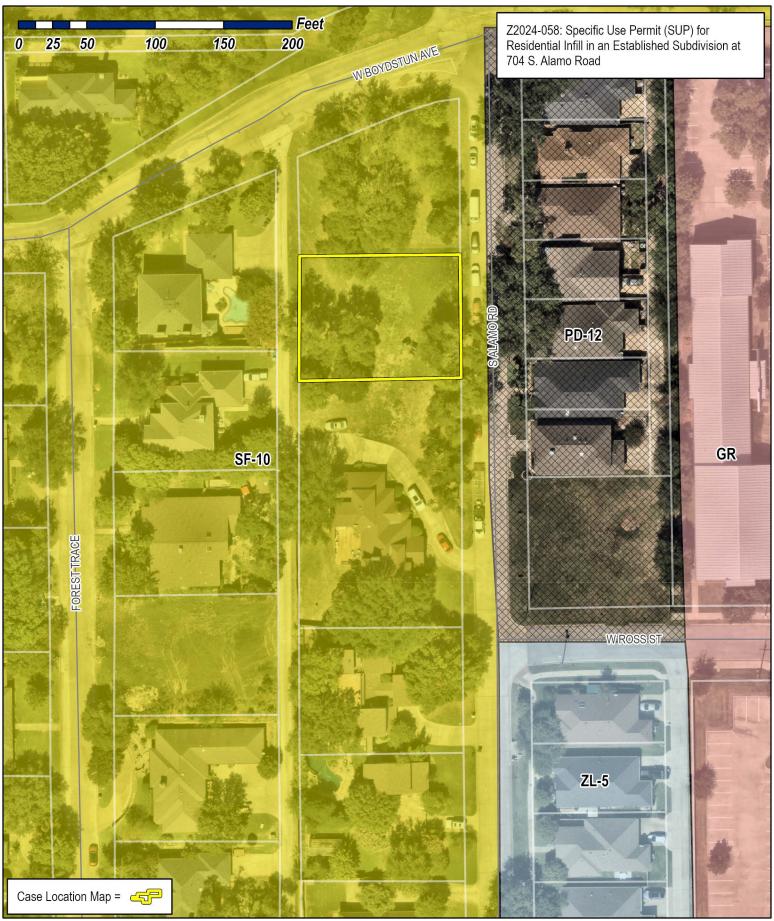
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE C	OF DEVELOPMENT REQU	JEST [SELECT ONLY ONE BOX]:
PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)		ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 2 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2	
SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) 1 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)		PER ACRE AMOUNT. FO 2: A \$1,000.00 FEE WII	FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE DR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. LL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT IN INFORMATION FOR MOTHER OF THE PROPERTY OF T
PROPERTY INFO	ORMATION [PLEASE PRINT]		
ADDRES	s 704 S. Alamo		
SUBDIVISIO			LOT 2 ВLОСК A
GENERAL LOCATIO	N Water Committee of the Committee of th		
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEAS	SE PRINT]	
CURRENT ZONIN	3 Vacant Lut	CURRENT USE	Vacant Lot
PROPOSED ZONIN		PROPOSED USE	Single Family Resident
ACREAG	E 0.1960 LOTS [CURRENT	1	LOTS [PROPOSED]
REGARD TO ITS	<u>D PLATS</u> : BY CHECKING THIS BOX YOU ACKNOWLEDGE T APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE.	THAT DUE TO THE PASSA STAFF'S COMMENTS BY 1	GE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITI THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WIL
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CF	ECK THE PRIMARY CONTA	ACT/ORIGINAL SIGNATURES ARE REQUIRED]
X OWNER	Jerret R. Smith	☐ APPLICANT	
CONTACT PERSON	Jerret R. Smith	CONTACT PERSON	
ADDRESS	9091 Fm 2723	ADDRESS	
CITY, STATE & ZIP	Terrell TX 75141	CITY, STATE & ZIP	
PHONE	214 317-0499	PHONE	
E-MAIL	JSCG Rockwall@yahw.com	E-MAIL	
BEFORE ME, THE UNDE	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE	D Jervet R. Si	Mith [OWNER] THE UNDERSIGNED, WHO
INFORMATION CONTAINE	TO COVER THE COST OF THIS APPLICATION, HA	AS BEEN PAID TO THE CITY (EE THAT THE CITY OF ROC S ALSO AUTHORIZED AND	KWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDI PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE 15th DAY OF No	vember, 20,24	
	OWNER'S SIGNATURE		APRIL DENISE MCKENZIE Notary Public
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	Workgraie	* State of Texas M EXPIRES# 13165069-4 My Comm. Expires 07-20-2026

DEVELOPMENT APPLICATION = CITY O ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

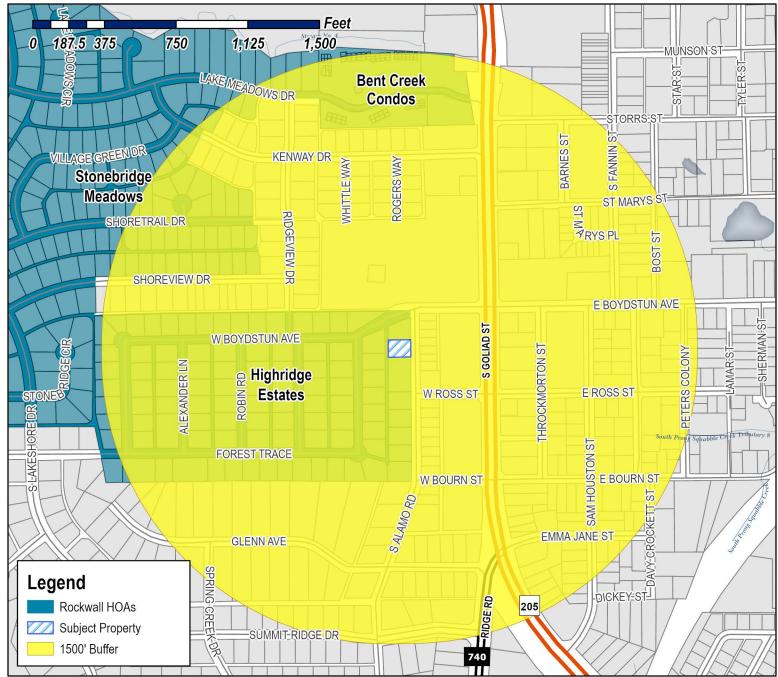
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-058

Case Name: Specific Use Permit (SUP) for

Residential Infill in an Established

Subdivision

Case Type: Zoning

Zoning: Single-Family 10 (SF-10) District

Case Address: 704 S. Alamo Road

Date Saved: 11/15/2024

For Questions on this Case Call (972) 771-7745



From: Zavala, Melanie

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

Subject:Neighborhood Notification Program [Z2024-058]Date:Wednesday, November 20, 2024 2:00:37 PM

Attachments: Public Notice (P&Z) (11.18.2024).pdf

HOA Map (11.15.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, November 22, 2024</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2024-058: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

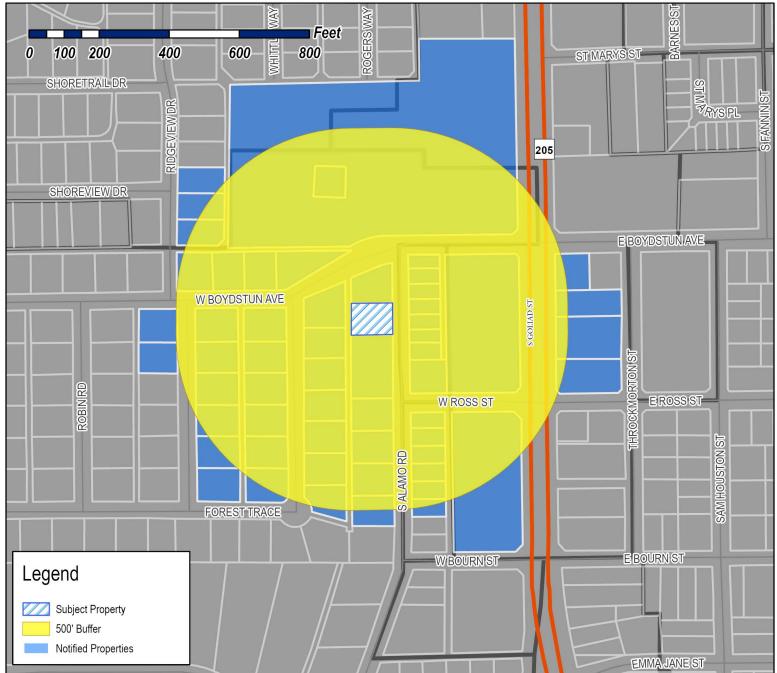
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 Planning & Zoning Rockwall 972-771-7745 Ext. 6568



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Case Number: Z2024-058

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Residential Infill in an Established

Subdivision

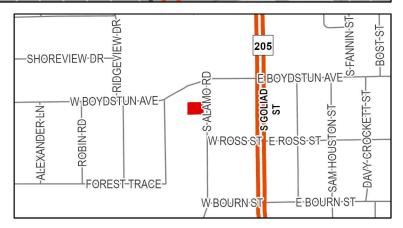
Case Type: Zoning

Zoning: Single-Family 10 (SF-10) District

Case Address: 704 S. Alamo Road

Date Saved: 11/15/2024

For Questions on this Case Call: (972) 771-7745



BAUMANN HARRY EDWARD 10 WATERS EDGE CT HEATH, TX 75032 FLEMING LINDA 1116 SQUAW VALLEY ROCKWALL, TX 75087 MCCAMPBELL CHARLES C & PATRICIA S 1203 WYNDEN CREEK DR HOUSTON, TX 77056

OTTO IRIS 1502 S 1ST ST STE 3 GARLAND, TX 75040 CRUSE ROBERT B JR AND MARGARET A 1510 SOUTH ALAMO ROCKWALL, TX 75087 TIJERINA MANUEL 1713 MISSION DR GARLAND, TX 75042

BARNHILL BARNEY M 202 DARTBROOK ROCKWALL, TX 75087 LAZY DALE PARTNERS LP 202 N SAN JACINTO ST ROCKWALL, TX 75087 RUESS JOHN CHARLES & KATHY LEA 202 W BOYDSTUN ST ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA 208 BOYDSTUN AVE ROCKWALL, TX 75087

BOYDSTON CEMETERY C/O JOHN R HANEY 308 S FANNIN ST ROCKWALL, TX 75087

HOGUE NEVA MAE 513 RIDGEVIEW DR ROCKWALL, TX 75087 RESIDENT 515 RIDGEVIEW DR ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON 517 RIDGEVIEW DR ROCKWALL, TX 75087 RESIDENT 602 S GOLIAD ROCKWALL, TX 75087 FIRST BAPTIST CHURCH OF ROCKWALL 610 S GOLIAD ST ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST 664 SORITA CIR HEATH, TX 75032 REED DARLENE 701 S ALAMO RD ROCKWALL, TX 75087 RESIDENT 702 S ALAMO DR ROCKWALL, TX 75087

CRESPO DENYS AND HALEY 703 FOREST TRACE ROCKWALL, TX 75087 JOHNSON ROBERT M AND CATHY 703 RIDGEVIEW DRIVE ROCKWALL, TX 75087 RESIDENT 703 S ALAMO ROCKWALL, TX 75087

RESIDENT 703 S GOLIAD ROCKWALL, TX 75087 FREED SARAH 704 FOREST TRACE ROCKWALL, TX 75087 PASSON BRETT A & LAURIE J 704 RIDGEVIEW DR ROCKWALL, TX 75087

SMITH JERRET R & ALICIA N 704 S ALAMO RD ROCKWALL, TX 75087 CULLINS JENNIFER L 705 FOREST TRACE ROCKWALL, TX 75087 SCHLUMPF REVOCABLE TRUST C/O ROBERT LOUIS AND 705 RIDGEVIEW DR ROCKWALL, TX 75087 RESIDENT 705 S ALAMO ROCKWALL, TX 75087 GREER JOSEPH CARLTON III AND CORI 705 SOUTH GOLIAD STREET ROCKWALL, TX 75087 FORD CLYDE G 706 FOREST TRACE ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S 706 RIDGEVIEW DRIVE ROCKWALL, TX 75087 MILLS CHARLES O 706 S ALAMO RD ROCKWALL, TX 75087 WRIGHT MELISSA ANN & DAVID SCOTT 707 FOREST TRCE ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE 707 RIDGEVIEW DR ROCKWALL, TX 75087

RESIDENT 707 S ALAMO ROCKWALL, TX 75087 KELEMEN ANNA V AND MATTHEW BURBRIDGE 708 FOREST TRACE ROCKWALL, TX 75087

RESIDENT 709 FOREST TRACE ROCKWALL, TX 75087 FALCON ANN L & LEONARD 709 RIDGEVIEW DR ROCKWALL, TX 75087 RESIDENT 709 S ALAMO ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY 710 FOREST TRACE ROCKWALL, TX 75087 BRYANT KRISTI & BRENT 710 S ALAMO ROAD ROCKWALL, TX 75087 BRYANT KRISTI & BRENT 710 S ALAMO ROAD ROCKWALL, TX 75087

RESIDENT 710 S GOLIAD ST ROCKWALL, TX 75087 SMITH MARY 711 FOREST TRACE ROCKWALL, TX 75087 CONWAY SCOTT A & DEIRDRE M 711 RIDGEVIEW ROCKWALL, TX 75087

POPP KATHLEEN 711 S ALAMO ROCKWALL, TX 75087 MILLER FRANK 711 S GOLIAD ST ROCKWALL, TX 75087 MILLER FRANK R 711 S GOLIAD ST ROCKWALL, TX 75087

GRAY JIM 712 FOREST TRACE ROCKWALL, TX 75087 HILLMAN DORIANN AND JOEL OTT 713 FOREST TRACE ROCKWALL, TX 75087

COHEN MARK A 713 RIDGEVIEW DR ROCKWALL, TX 75087

SHERA DEBORAH K 713 S ALAMO RD ROCKWALL, TX 75087 COLLETT CYNTHIA DAVISS 714 FOREST TRCE ROCKWALL, TX 75087 DELBOSQUE ROLOLFO & LORENA P 715 FOREST TRCE ROCKWALL, TX 75087

RESIDENT 715 S ALAMO RD ROCKWALL, TX 75087 WATSON RONNIE BILL AND BARBARA JEAN 801 S ALAMO ROAD ROCKWALL, TX 75087 RESIDENT 802 S GOLIAD ROCKWALL, TX 75087 TALLEY CRAIG J AND JAMIE S 803 S ALAMO RD ROCKWALL, TX 75087 RESIDENT 804 S ALAMO DR ROCKWALL, TX 75087 LOTT JOHN DOUGLAS AND CYNTHIA 805 S ALAMO RD ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST SHARON K FRENCH, TRUSTEE 806 SOUTH ALAMO ROAD ROCKWALL, TX 75087

RESIDENT 807 S ALAMO RD ROCKWALL, TX 75087 KELLY RYAN AND LACEY WALLACE 808 S ALAMO ROAD ROCKWALL, TX 75087

RESIDENT 809 ALAMO RD ROCKWALL, TX 75087 SHIELDS MIKE AND DEBBIE 811 S ALAMO RD ROCKWALL, TX 75087 CONFIDENTIAL PO BOX 1816 ROCKWALL, TX 75087 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-058: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning



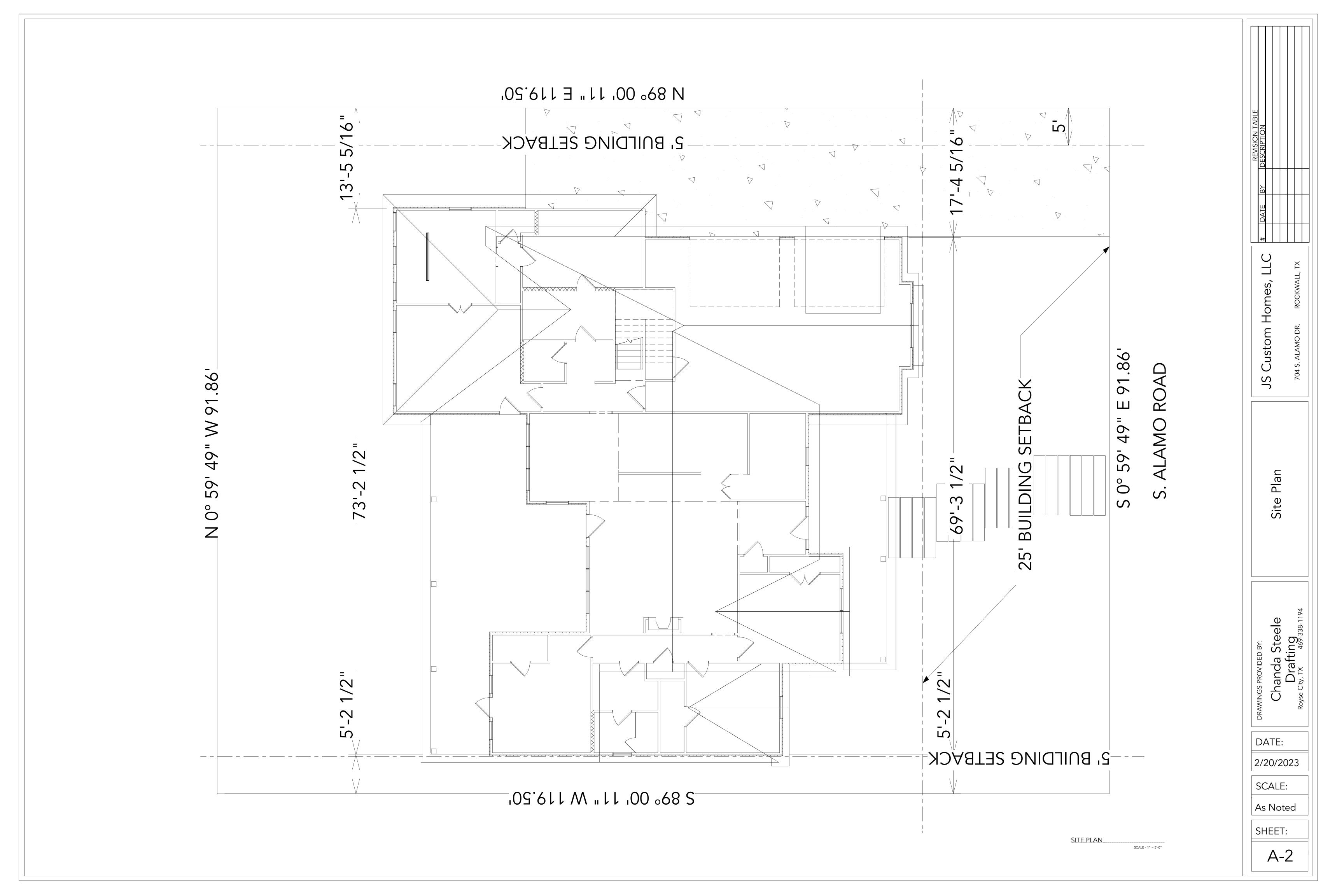


MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

MONE IN CHAINTIEN ON THE CONTROL OF
- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2024-058: SUP for Residential Infill
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





6/2 PTC-1

REAR ELEVATION

SCALE - 1/4" = 1'-0"

JS Custom Homes, LLC

Front & Rear Elevations

Chanda Steele
Drafting
Royse City, TX 469-338-1194

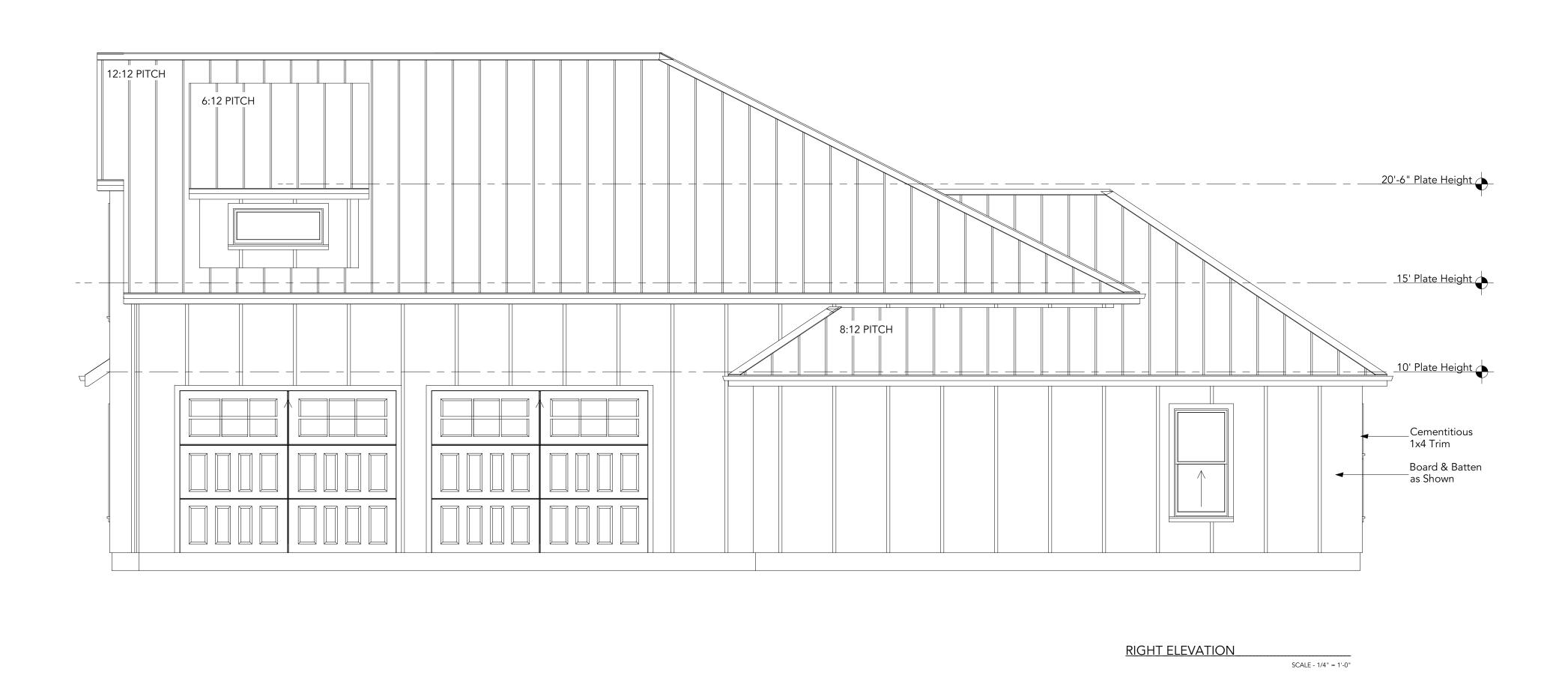
DATE:

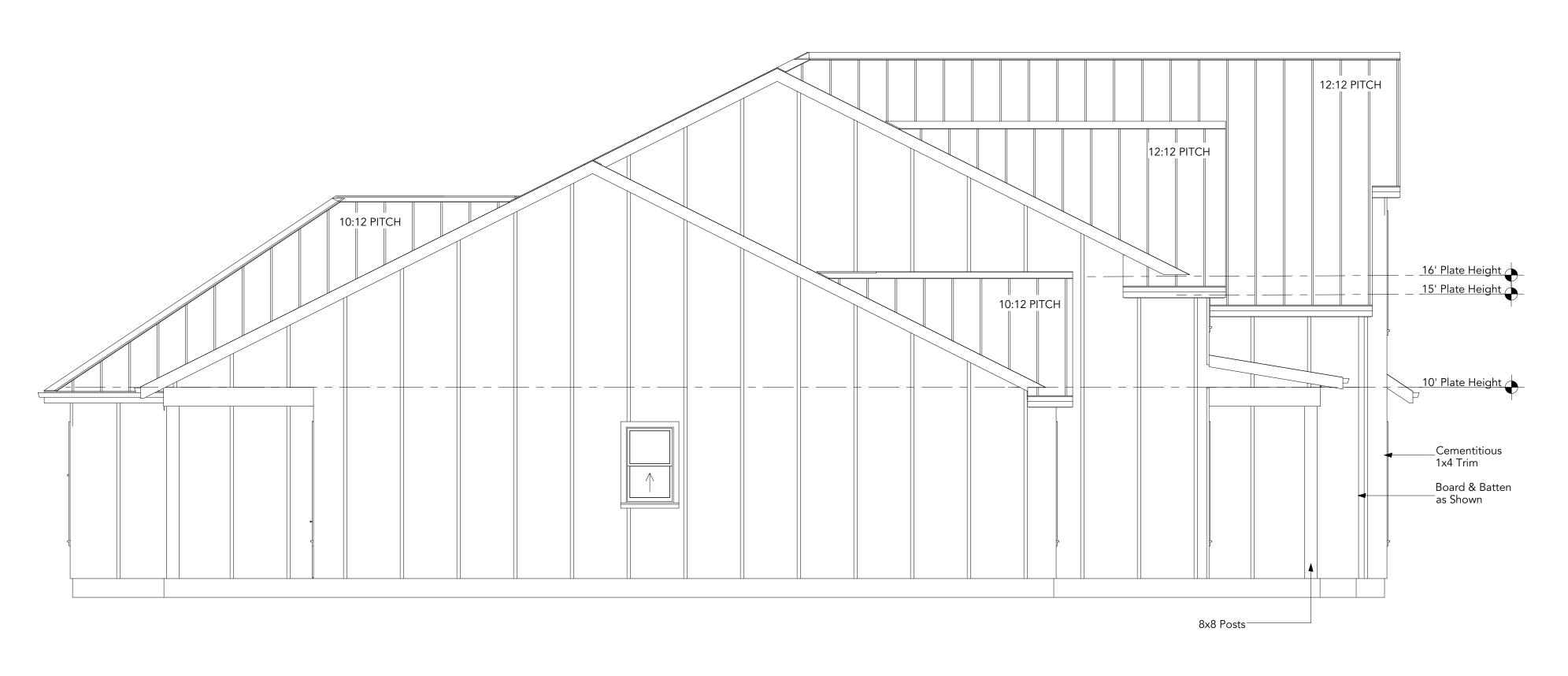
2/20/2023

SCALE:

As Noted

SHEET:
A-3





LEFT ELEVATION

SCALE - 1/4" = 1'-0"

JS Custom Homes, LLC # DA TOW S. ALAMO DR. ROCKWALL, TX

Right & Left Elevations

Chanda Steele
Drafting
Royse City, TX 469-338-1194

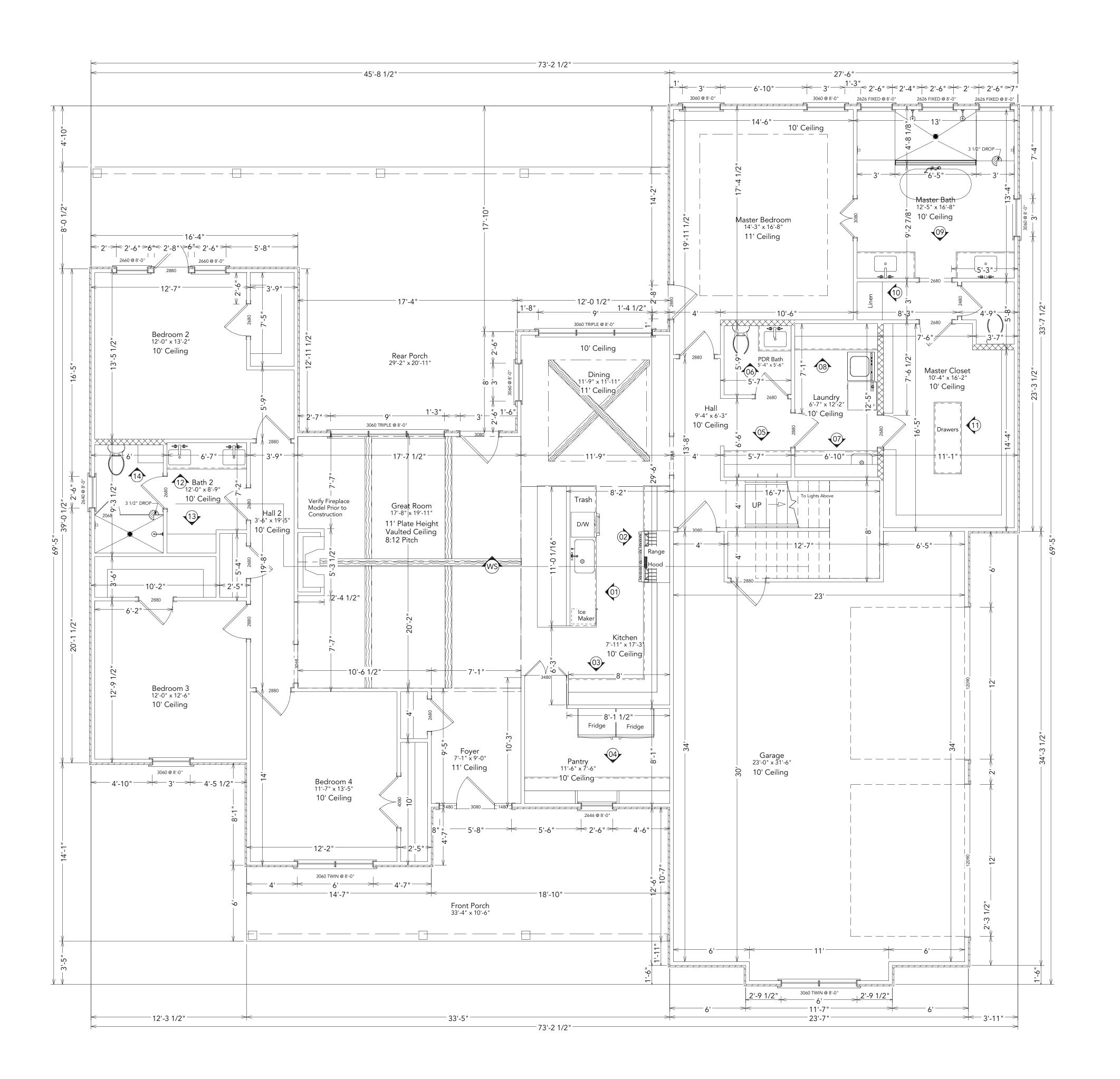
DATE:

2/20/2023

SCALE:

As Noted

SHEET:



DATE: 2/20/2023 SCALE:

Tabulations 2,665 s.f. 526 s.f. 290 s.f. 652 s.f. 160 s.f. 766 s.f. 1st Floor 2nd Floor Ft. Porch Bk Porch Mechanical Garage

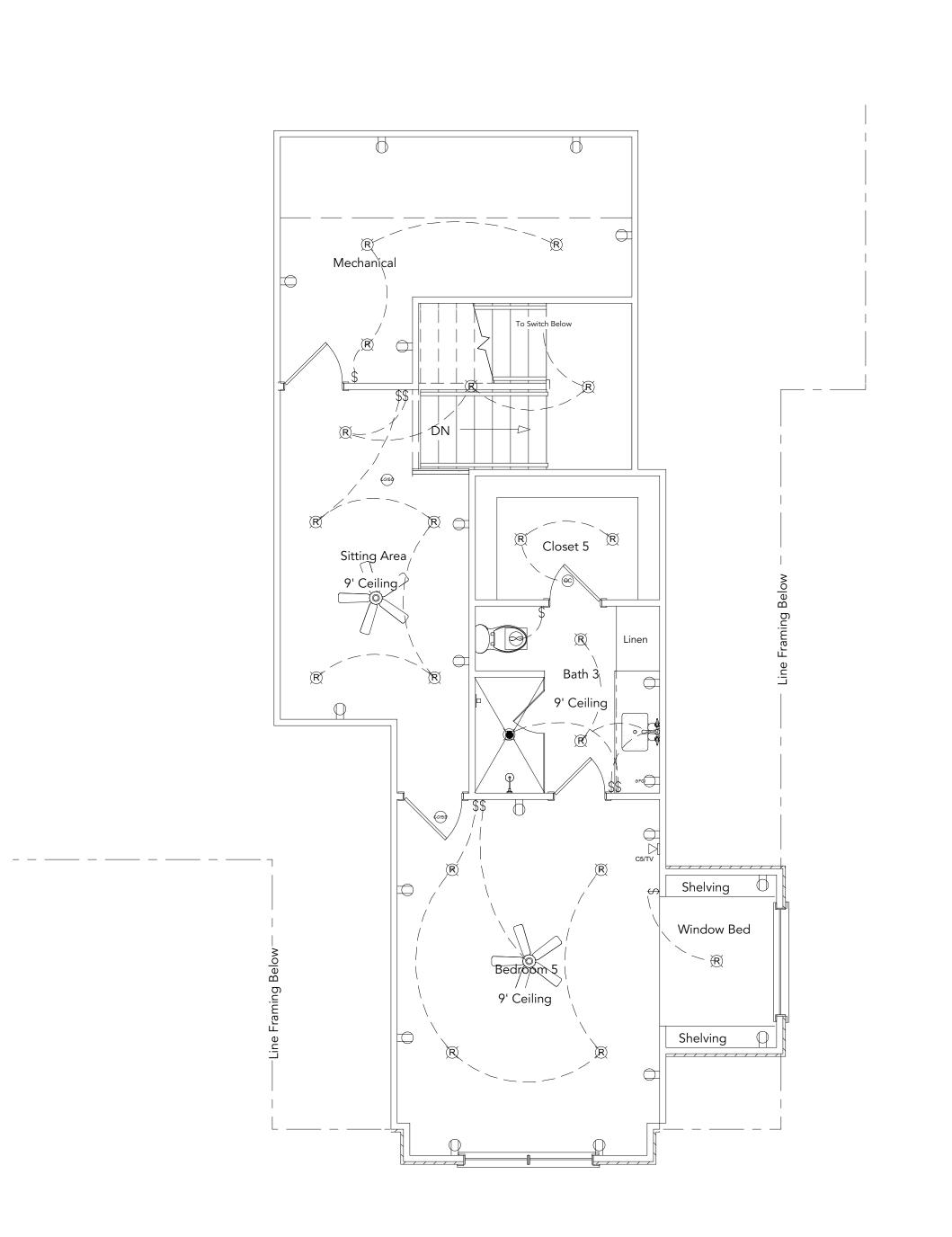
Total

1st FLOOR PLAN SCALE - 1/4" = 1'-0" 5,059 s.f.

<u>Р</u> Floor 1st

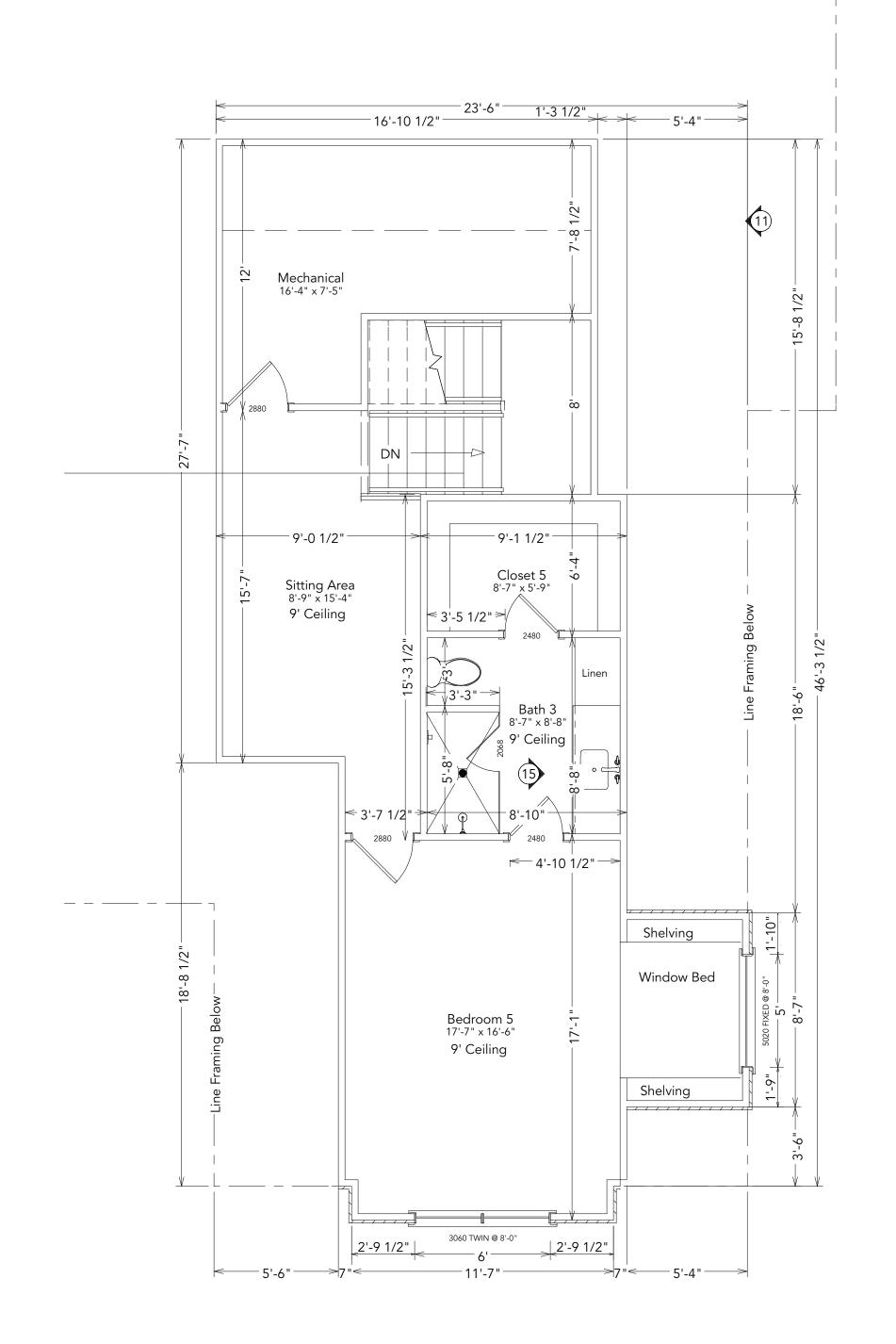
As Noted

SHEET:



2nd FLOOR ELECTRICAL

SCALE - 1/4" = 1'-0"



2nd FLOOR PLAN

SCALE - 1/4" = 1'-0"

_	2,665 s.f
_	526 s.f
-	290 s.f
-	652 s.f
-	160 s.f
-	766 s.f
	- - - - -

2nd Floor Plan/ 2nd Floor Electrical

Chanda Steele

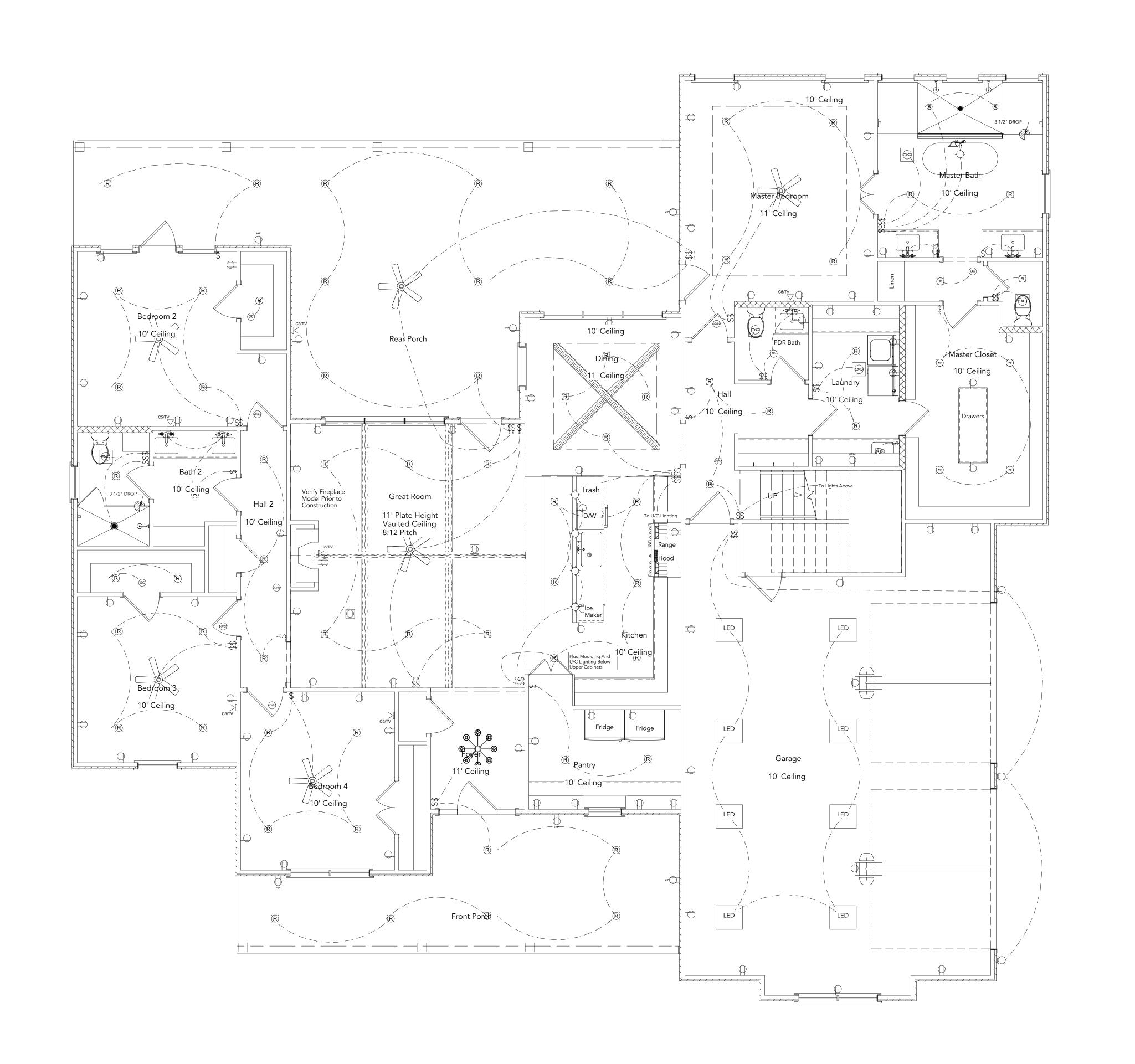
Drafting

DATE: 2/20/2023

2/20/202

SCALE:
As Noted

SHEET:



Electrical Notes:

Plugs for Christmas Lighting at All Front Eaves

Flood Lighting at Perimeter
Switch or Photocell TBD by Owner

3D Perspective	2D Symbol	ectrica Oty	Schedule Description
		95	Duplex
	GFCI	4	GFCI
	MP	6	Duplex Weatherproof
8		2	Duplex Ceiling Mounted
		2	Duplex Floor Mounted Receptacle
		2	220V
8	\$	45	Single Pole Switch
8	3	14	3-Way Switch
\bigcirc	OC	4	Occupancy Sensor
	C5/TV	7	CAT5 w/ TV
	COIST	8	CO/Smoke Detector
		6	Exhaust
	R	3	Recessed Down Light 4
	R	93	Recessed Down Light 6
		6	Vanity Sconce
•		4	Island Pendant
	\(\)	1	Majorca Pendant
	8 8 8 8	1	Dining Fixture
		8	Ceiling Fan
		8	24x24 LED
		3	Exterior Lantern 2

ELECTRICAL PLAN

SCALE - 1/4" = 1'-0"

DATE:

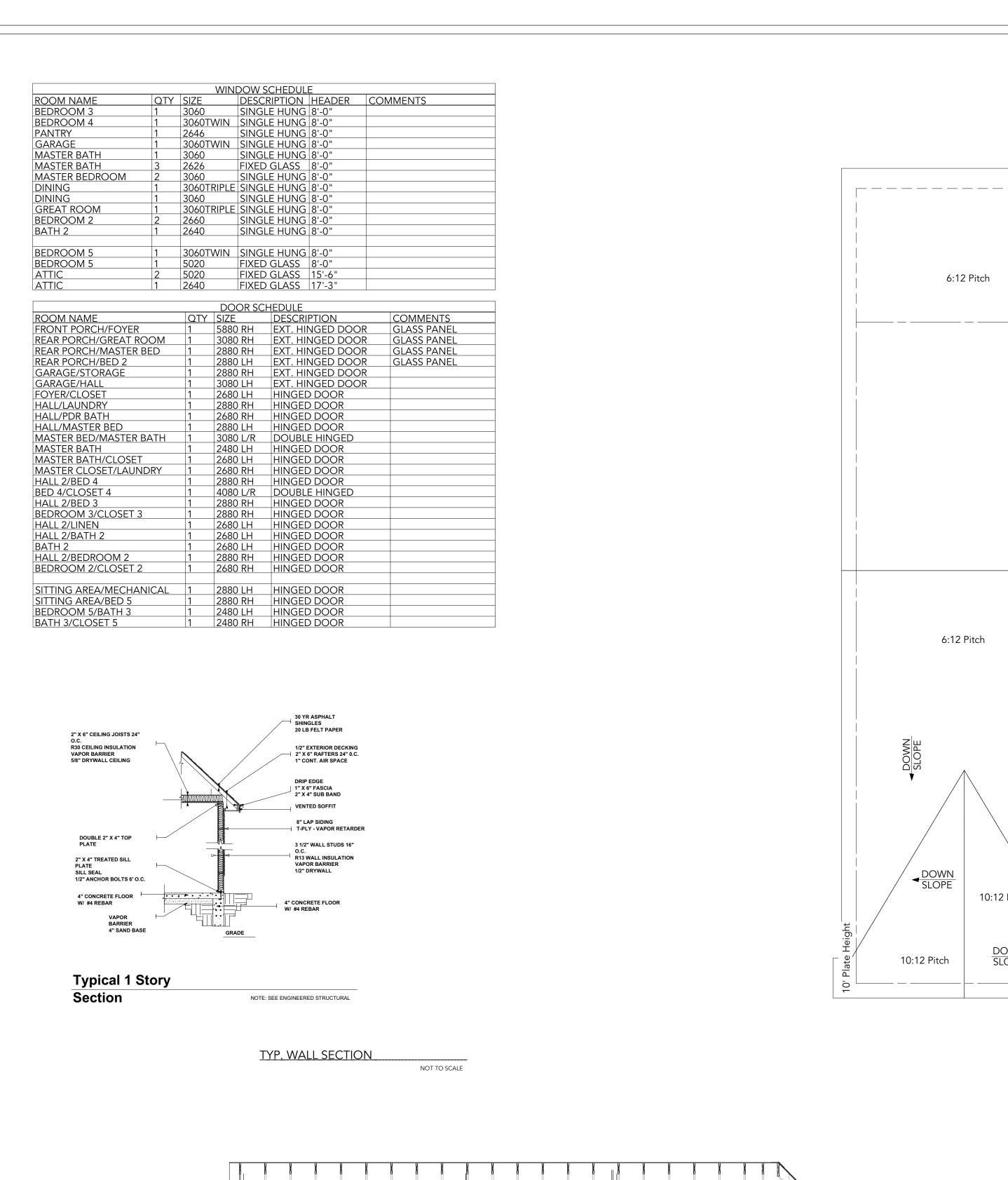
Custom Homes,

JS

2/20/2023

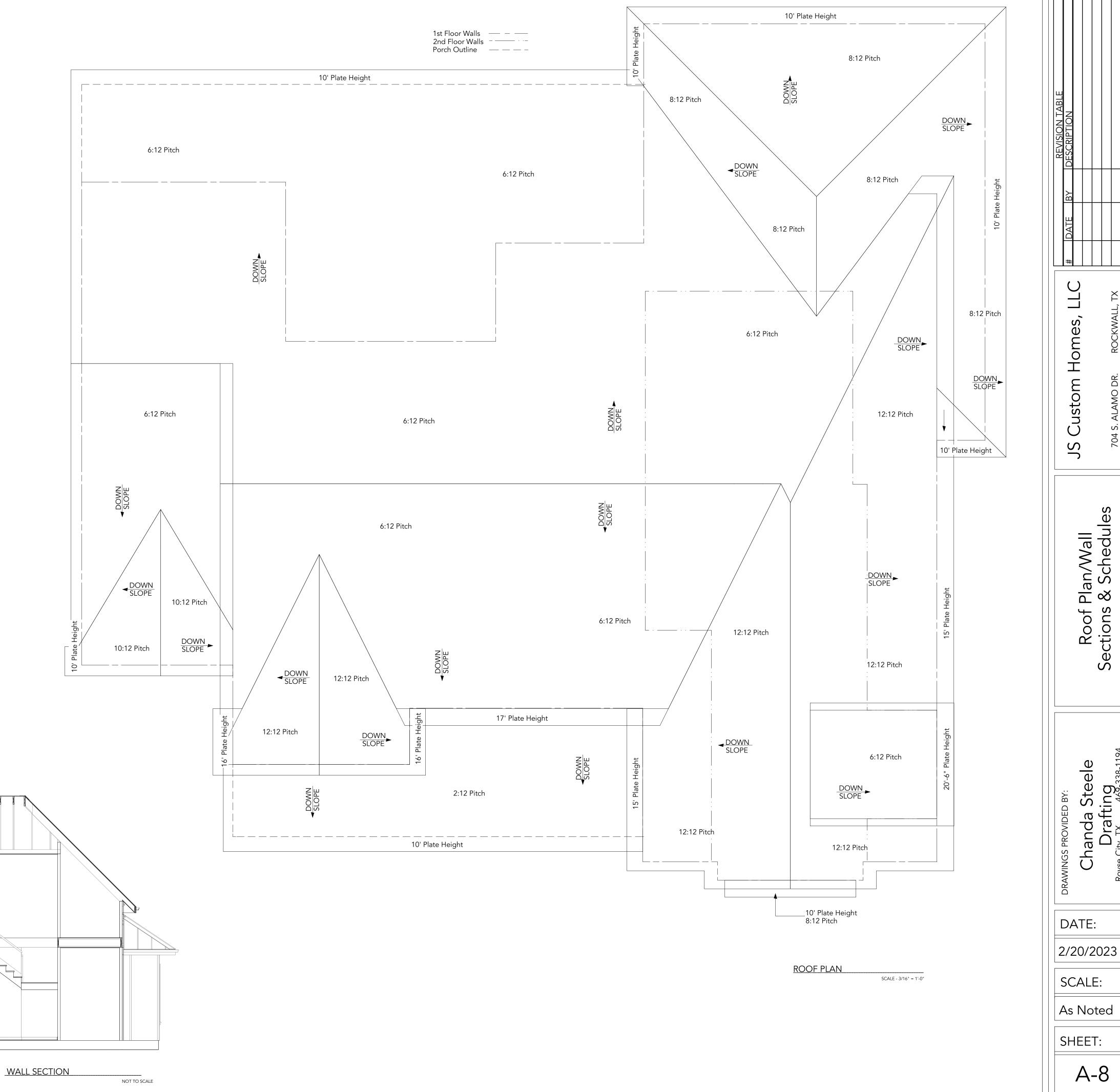
SCALE: As Noted

SHEET:



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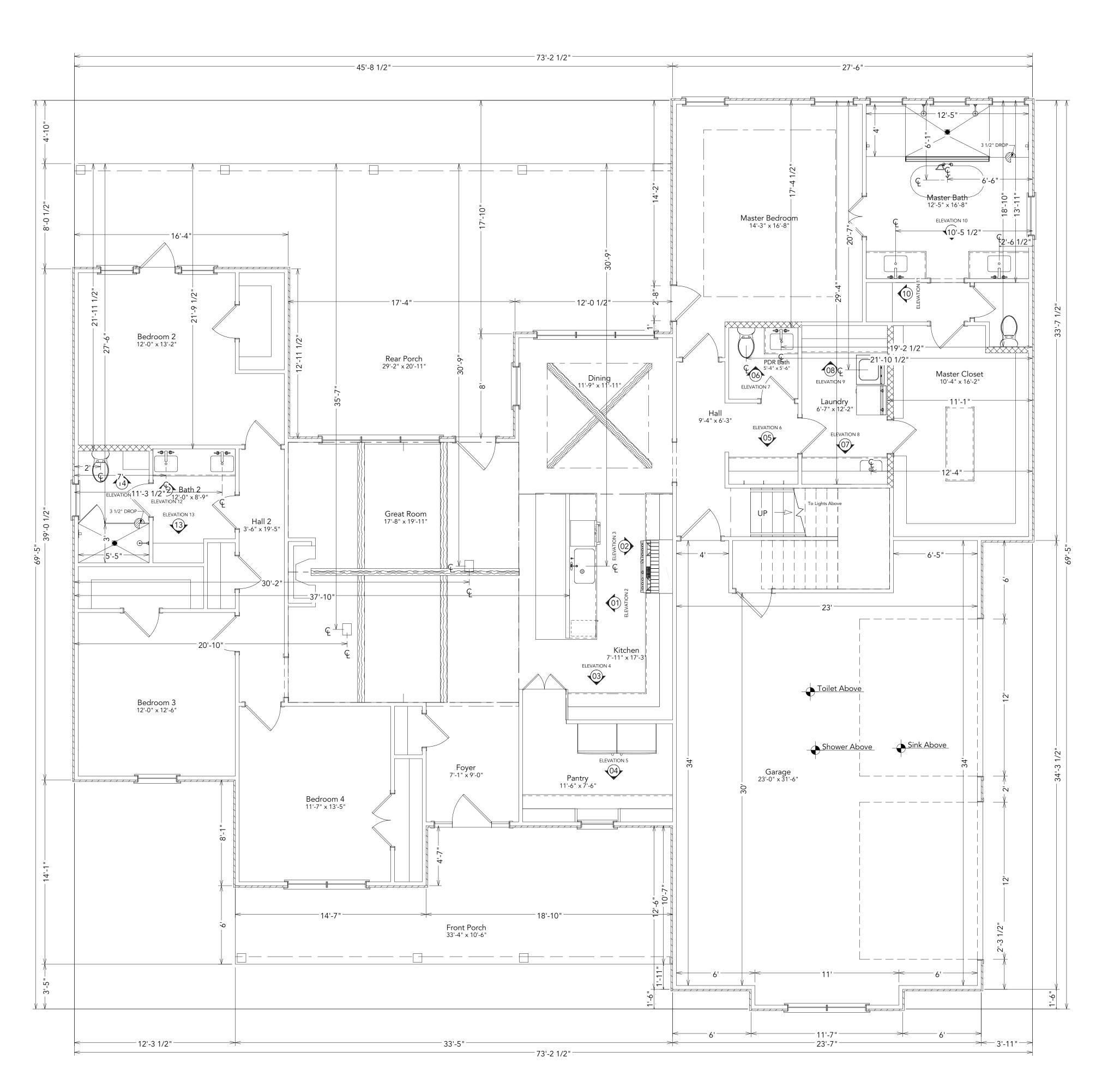
Bath 2



Φ

stom

Roof Plan/M Sections & Sche



Foundation/ Plumbing Plan

DATE:

2/20/2023

SCALE: As Noted

SHEET:

2,665 s.f. 526 s.f. 290 s.f. 652 s.f. 160 s.f. 766 s.f.

5,059 s.f.

Tabulations

1st Floor 2nd Floor Ft. Porch Bk Porch Mechanical Garage

Total

A-9

FOUNDATION/PLUMBING PLAN



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick

AVERAGES: 1991 4,074 90



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**



702 S. Alamo Road



704 S. Alamo



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**



706 S. Alamo Road



710 S. Alamo Road



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



804 S. Alamo Road



806 S. Alamo Road



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**



808 S. Alamo Road



703 Forest Trace



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**



705 Forest Trace



707 Forest Trace



HOUSING ANALYSIS FOR CASE NO. **Z2024-058**



709 Forest Trace



711 Forest Trace

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. <u>S-3XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS. **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jerret R.Smith for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.
- **SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JANUARY, 2025.

	Trace Johannesen, Mayor
ATTEST:	
Kristy Teague, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	

1st Reading: <u>December 16, 2024</u>

2nd Reading: January 6, 2025

Exhibit 'A': Location Map

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition



Exhibit 'B':Residential Plot Plan

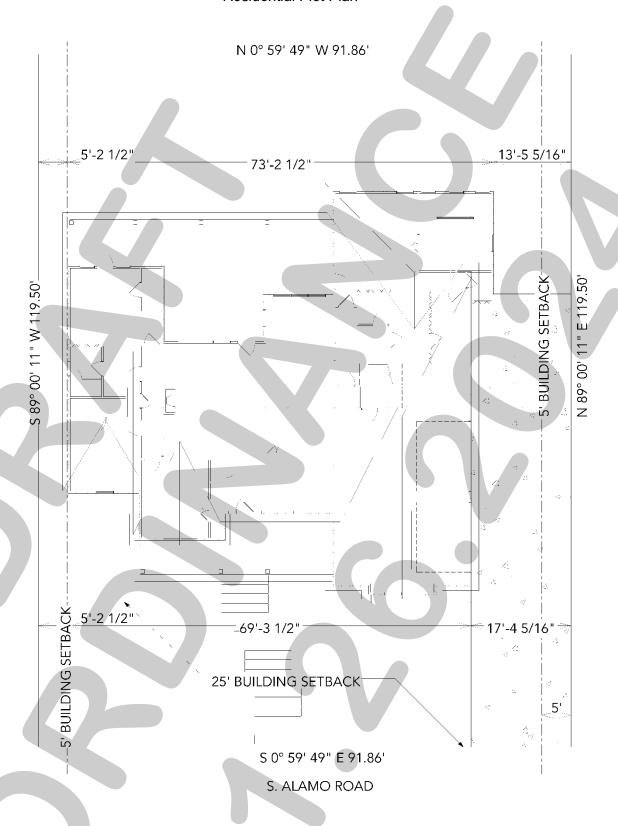


Exhibit 'C':
Building Elevations

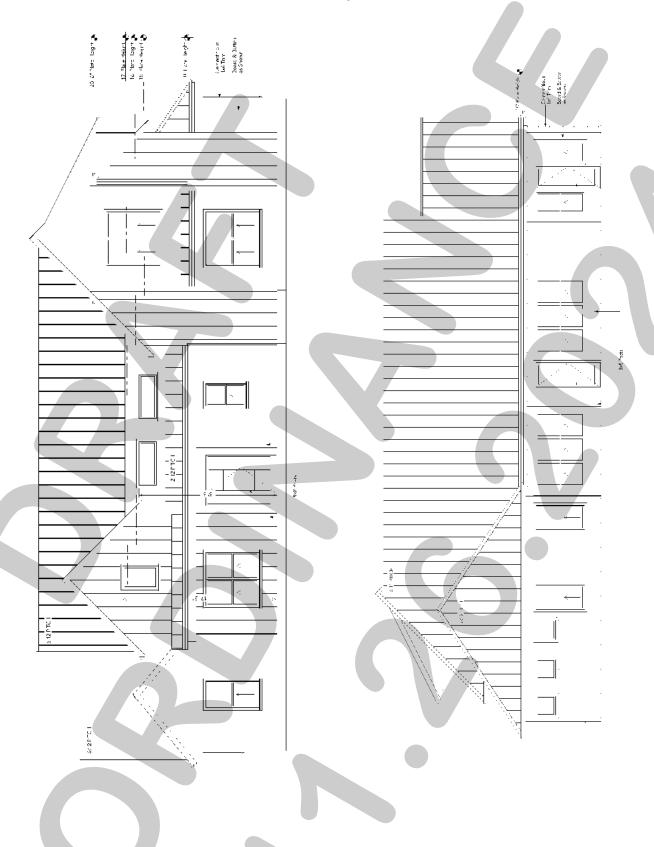
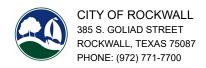


Exhibit 'C': Building Elevations



PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: Z2024-059

PROJECT NAME: SUP for a STR at 117 Lanshire

SITE ADDRESS/LOCATIONS: 117 LANSHIRE DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Daryl Schroeder for the approval of a Specific Use Permit (SUP) for

Short-Term Rental on a 0.1515-acre parcel of land identified as Lot 16, Block B, Lynden Park Estates, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), addressed as 117 Lanshire Drive, and take any action

necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Bethany Ross	11/21/2024	Approved w/ Comments	

11/21/2024: Z2024-059; Specific Use Permit (SUP) for a Short-Term Rental (STR) at 117 Lanshire Street Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for Short-Term Rental on a 0.1515-acre parcel of land identified as Lot 16, Block D, Lynden Park Estates, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), and addressed as 117 Lanshire Drive.
- 1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (Z2024-059) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), Short Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is defined as, "A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property."
- I.5 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the following conditional land use standards apply to the proposed use, [i.e. Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)]:
- (A) Short-Term Rentals that are Non-Owner-Occupied shall not be located within 1,000-feet of another Short-Term Rental that is Non-Owner Occupied; however, Short Term Rentals that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of Article 04, Permissible Uses, of the Unified Development Code (UDC), and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to July 1, 2024 shall be exempted from the proximity requirements.
- (B) Short-Term Rentals that are Non-Owner-Occupied that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a Short-Term Rental that is Non-Owner-Occupied the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing Short-Term Rentals on the adjacent residential properties and

their occupants.

- (C) The Short-Term Rental shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. Banquet Facility/Event Hall which includes meeting halls and wedding venues) as stipulated by the Permissible Use Charts contained within Article 04, Permissible Uses, of the Unified Development Code (UDC).
- (D) In order to establish and operate a Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.
- In accordance with item I.5(B) above, the Specific Use Permit (SUP) is required due to the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) being unable to meet item I.5(A) above. In this case, the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is 58.8-feet from an existing and permitted Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).
- M.7 Provide Color Photos of the home.
- M.8 Review the attached draft ordinance prior to the December 10, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by December 3, 2024.
- 1.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 26, 2024.
- I.10 The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/20/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/18/2024	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/19/2024	Approved
No Comments			



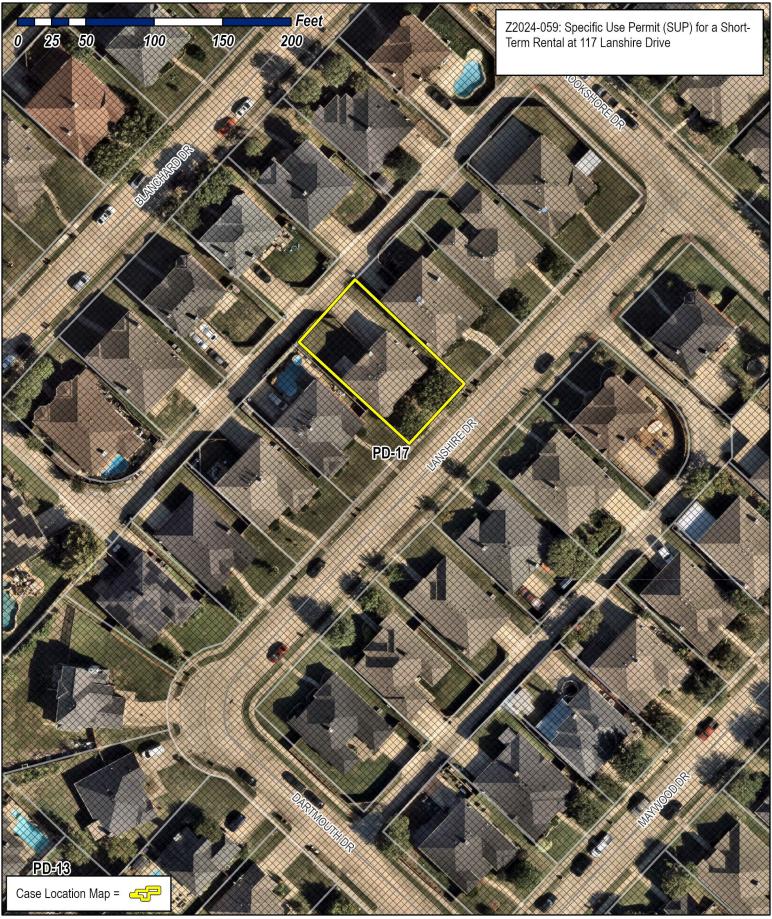
DEVEL MENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	TAFI ONLY
C	<u>OTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE ITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE IGNED BELOW.
D	IRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE A	PPROPRIATE BOX BELO	W TO INDICATE THE TYPE OF	F DEVELOPMENT REQU	EST (SELECT C	NLY ONE BOX]:
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	1.00 + \$20.00 ACRE) 1	DSCAPING PLAN (\$100.00)	PER ACRE AMOUNT. FO 2 A \$1,000.00 FEE WILL	R REQUESTS ON LES	SS THAN ONE ACRE, HE APPLICATION FE	E WHEN MULTIPLYING BY THE ROUND UP TO ONE (1) ACRE. EE FOR ANY REQUEST THAT TO AN APPROVED BUILDING
PROPERTY INFO	RMATION [PLEASE PR	INT]				
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GENERAL LOCATION		<u> </u>				
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ACREAGE		LOTS [CURRENT]		1000	[PROPOSED]	1
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OWNER/APPLICA	NT/AGENT INFOR	MATION ĮPLEASE PRINT/CHI	ECK THE PRIMARY CONTA	CT/ORIGINAL SIG	NATURES ARE	REQUIRED]
✓ OWNER	Daryl Sch	roeder	☐ APPLICANT			
CONTACT PERSON	Daryl Sch	roeder	CONTACT PERSON			
ADDRESS	1205 Lake	Glen Cir	ADDRESS			
CITY, STATE & ZIP	Rockwall 7	TX 75081	CITY, STATE & ZIP			
PHONE	425-931		PHONE			
E-MAIL	daryl. schroe	der Osmail.com	E-MAIL			
NOTARY VERIFIC BEFORE ME, THE UNDER	ATION [REQUIRED] SIGNED AUTHORITY, ON TH	IIS DAY PERSONALLY APPEARED O BE TRUE AND CERTIFIED THE	Daryl Sc FOLLOWING: SC	hroede	(OWNER)	THE UNDERSIGNED, WHO
S 15.00 INFORMATION CONTAINED	, TO COVER THE , 20 ,24 °. BY SIO WITHIN THIS APPLICATION	JRPOSE OF THIS APPLICATION; AL E COST OF THIS APPLICATION, HAS GNING THIS APPLICATION, I AGRE I TO THE PUBLIC. THE CITY IS IF SUCH REPRODUCTION IS ASSO	S BEEN PAID TO THE CITY O EE THAT THE CITY OF ROCK ALSO AUTHORIZED AND F	F ROCKWALL ON ' (WALL (I.E. "CITY") PERMITTED TO RE	THIS THE IS AUTHORIZED EPRODUCE ANY	DAY OF AND PERMITTED TO PROVIDE
GIVEN UNDER MY HAND A	AND SEAL OF OFFICE ON TH	HIS THE 15 DAY OF Nove	mber 2024		Nota My C	ary ID #133883341 commission Expires July 28, 2026
NOTARY PUBLIC IN AND I	OWNER'S SIGNATURE FOR THE STATE OF TEXAS	Jan Jon	tu	MY COMM	II SION EXPIRES	





City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

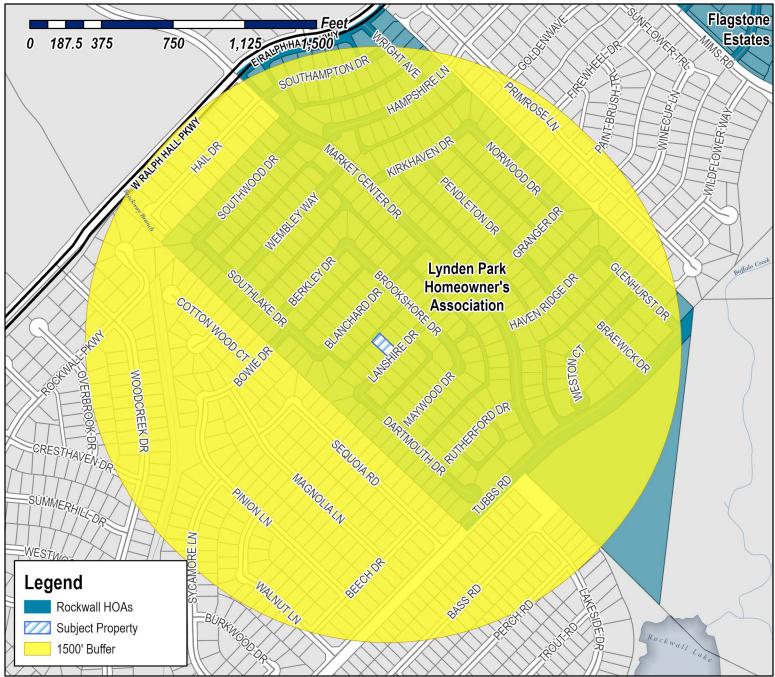
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-059

Case Name: Specific Use Permit (SUP) for a

Short-Term Rental

Case Type: Zoning

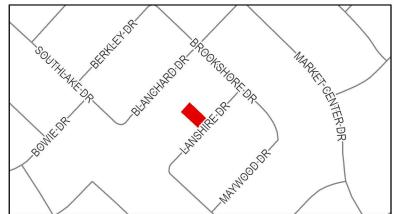
Zoning: Planned Development District 17

(PD-17)

Case Address: 117 Lanshire Drive

Date Saved: 11/15/2024

For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie

Sent: Wednesday, November 20, 2024 2:02 PM

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

Subject: Neighborhood Notification Program [Z2024-059]

Attachments: HOA Map (11.15.2024).pdf; Public Notice (P&Z) (11.18.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the <u>Neighborhood Notification Program</u>, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on <u>Friday, November 22, 2024</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2024-059: SUP for Short-Term Rental

Hold a public hearing to discuss and consider a request by Daryl Schroeder for the approval of a <u>Specific Use Permit (SUP)</u> for Short-Term Rental on a 0.1515-acre parcel of land identified as Lot 16, Block D, Lynden Park Estates, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), addressed as 117 Lanshire Drive, and take any action necessary.

Thank you,

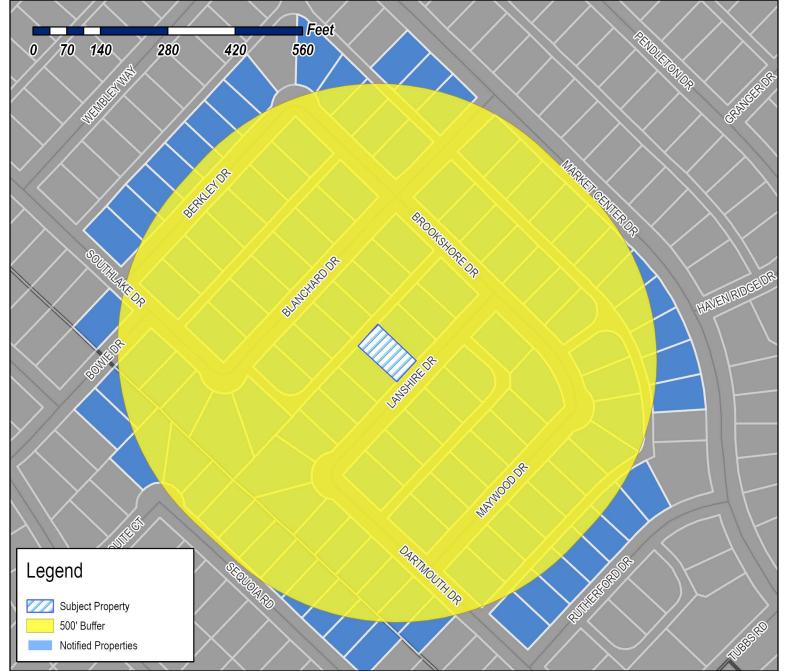
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall 972-771-7745 Ext. 6568



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Case Number: Z2024-059

Case Name: Specific Use Permit (SUP) for a

Short-Term Rental

Case Type: Zoning

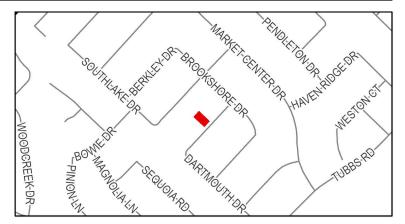
Zoning: Planned Development District 17

(PD-17)

Case Address: 117 Lanshire Drive

Date Saved: 11/15/2024

For Questions on this Case Call: (972) 771-7745



HOLLAND STEVEN & NAOM
100 BROOKSHORE DRIVE
ROCKWALL, TX 75032

PURCHASING FUND 2023-2, LLC 1001 S CAPITAL OF TEXAS HWY BLDG 1 STE 100 WEST LAKE HILLS, TX 78746

ISYA LIMITED PARTNERSHIP 1018 MOUNT AUBURN DALLAS, TX 75223

KFLETSION SIMON HADEGE
102 BROOKSHORE DR
ROCKWALL, TX 75032

BURGETT BRYAN DELL 104 BROOKSHORE DR ROCKWALL, TX 75032 CAMPBELL FLORENCE I 106 BROOKSHORE DR ROCKWALL, TX 75032

STARNES CHARLES O & LORRAINE K 108 BROOKSHORE DR ROCKWALL, TX 75032 RESIDENT 110 BROOKSHORE DR ROCKWALL, TX 75032 OFFILL ROBERT L & CRYSTAL J 110 LANSHIRE DR ROCKWALL, TX 75032

DELIZ CRYSTAL D 110 MAYWOOD DRIVE ROCKWALL, TX 75032 RESIDENT 111 LANSHIRE DR ROCKWALL, TX 75032 ENRIGHT THOMAS & ROXANNE 111 MAYWOOD DR ROCKWALL, TX 75032

MARCIA GAIL BROWN BORDERS LIVING TRUST 111 RUTHERFORD DR ROCKWALL, TX 75032 RESIDENT 112 MAYWOOD DR ROCKWALL, TX 75032 GUAJARDO RAUL E & JORDANNE MORROW 112 BROOKSHORE DRIVE ROCKWALL, TX 75032

RESIDENT 113 LANSHIRE DR ROCKWALL, TX 75032 RESIDENT 113 RUTHERFORD DR ROCKWALL, TX 75032 GONZALEZ VICTOR M 113 MAYWOOD ROCKWALL, TX 75032

CSH PROPERTY ONE, LLC 1131 W WARNER RD STE 102 TEMPE, AZ 85284 RESIDENT 114 MAYWOOD DR ROCKWALL, TX 75032 GALLOWAY STEPHEN J & GWENDOLYN R 114 BROOKSHORE DR ROCKWALL, TX 75032

LECLERC ANDRE 114 LANSHIRE DR ROCKWALL, TX 75032 RESIDENT 115 MAYWOOD DR ROCKWALL, TX 75032 BOYLE HEBRON VICTORIA 115 LANSHIRE DR ROCKWALL, TX 75032

LO CHAYRA & JUDY LAM 115 RUTHERFORD DR ROCKWALL, TX 75032 RESIDENT 116 MAYWOOD DR ROCKWALL, TX 75032 WAFER CHRISTOPHER D & WILANDA L 116 BROOKSHORE DR ROCKWALL, TX 75032

TRAN NGOC AND XUYEN HUYNH 116 LANSHIRE DR ROCKWALL, TX 75032 RESIDENT 117 LANSHIRE DR ROCKWALL, TX 75032 IGNACIO DAVID SCOTT A 117 BERKLEY DRIVE ROCKWALL, TX 75032 LIMON MARIA ARACELY AND NORBERTO 117 MAYWOOD ROCKWALL, TX 75032 CLARK ERIC DWAYNE & PATRICIA D 117 RUTHERFORD DR ROCKWALL, TX 75032 RESIDENT 118 BROOKSHORE DR ROCKWALL, TX 75032

RESIDENT 118 MAYWOOD DR ROCKWALL, TX 75032 VAN HEYST DAUAN N & RANDALL 118 LANSHIRE DR ROCKWALL, TX 75032 RESIDENT 119 SOUTHLAKE DR ROCKWALL, TX 75032

PAGADUAN KEVIN I & DEEJAY 119 LANDSHIRE DRIVE ROCKWALL, TX 75032 NUNEZ ARMANDO M & DELIA ANGUIANO 119 MAYWOOD ROCKWALL, TX 75032 SOUMIE NAHNAH P 119 RUTHERFORD DR ROCKWALL, TX 75032

RESIDENT 120 LANSHIRE DR ROCKWALL, TX 75032 SAMMIS FLEETWOOD & MELONIE 120 MAYWOOD ROCKWALL, TX 75032 WANI LLC 12048 S.E. 210TH STREET KENT, WA 98031

RESIDENT 121 RUTHERFORD DR ROCKWALL, TX 75032 CALAGUING MILA B 121 BERKLEY DR ROCKWALL, TX 75032 WILLIAMS LATONYA 121 BLANCHARD DRIVE ROCKWALL, TX 75032

UKPAI OGBEYALU 121 LANSHIRE DR ROCKWALL, TX 75032 SIMONS EKATERINA SMIRNOVA & CHRISTOPHER
CLARK
121 MAYWOOD
ROCKWALL, TX 75032

RESIDENT 122 BERKLEY DR ROCKWALL, TX 75032

MARROQUIN DOMINGO & CLAUDIA D 122 BLANCHARD DR ROCKWALL, TX 75032 HOUSER MICKEY AND JENNIFFER MALABOSA 122 LANSHIRE DRIVE ROCKWALL, TX 75032

CORUJO JAMES AND JANISS 122 MAYWOOD DR ROCKWALL, TX 75032

COZART MICHAEL 123 LANSHIRE DR ROCKWALL, TX 75032 MAREZ SARAH E AND MICHAEL E 123 MAYWOOD DRIVE ROCKWALL, TX 75032 JACKSON DALE E 123 RUTHERFORD DR ROCKWALL, TX 75032

MYLES BOBBY J JR 123 SOUTHLAKE DR ROCKWALL, TX 75032 BYERS JEFFREY 124 BROOKSHORE DR ROCKWALL, TX 75032 CUELLAR JOEL A & MARTHA C 124 LANSHIRE DR ROCKWALL, TX 75032

RODRIGUEZ RUBEN & LUCY 125 BERKLEY DR ROCKWALL, TX 75032 ELKINS THOMAS 125 BLANCHARD DR ROCKWALL, TX 75032 HUA THI THIEN HUONG 125 LANSHIRE DR ROCKWALL, TX 75032

NABI NABIULLAH AND SIMII
126 BERKLEY DRIVE
ROCKWALL, TX 75032

DUNN CLAYTON F AND JILLIAN 126 BLANCHARD ROCKWALL, TX 75087

RESIDENT 127 SOUTHLAKE DR ROCKWALL, TX 75032

FAY TERRENCE R & RENEE L 127 LANSHIRE DR ROCKWALL, TX 75032 MUCHILWA PHENIKE AND OLVER SAMUEL 128 BROOKSHORE DRIVE ROCKWALL, TX 75032

RESIDENT 129 BERKLEY DR ROCKWALL, TX 75032

AL BANNA WALID AHMAD 129 BLANCHARD DR ROCKWALL, TX 75032 SKYLES BRENDA RENEE AND RICHARD ERIC
HYATT
130 BERKLEY DR
ROCKWALL, TX 75032

PEMBERTON DAVID S & SABRINA 130 BLANCHARD DRIVE ROCKWALL, TX 75032

BANKS LIDIA ELIZABETH & DARREL JAMES 131 SOUTHLAKE DRIVE ROCKWALL, TX 75032 RESIDENT 132 BROOKSHORE DR ROCKWALL, TX 75032 COKELEZ KENAN 132 SEQUOIA ROAD ROCKWALL, TX 75032

PROPERTY RENAISSANCE INVESTMENTS LLC 1321 UPLAND DR UNIT 6293 HOUSTON, TX 77043 RESIDENT 133 BERKLEY DR ROCKWALL, TX 75032 UDOFIA UKO 133 BLANCHARD DR ROCKWALL, TX 75032

NAIDOO VINCENT PAUL & SCHENNEL PEREIRA &
PONAMAL NAIDOO
134 BERKLEY DR
ROCKWALL, TX 75032

BIRDSONG SERENA AND BILLY COCHARD 134 BLANCHARD DR ROCKWALL, TX 75032

RESIDENT 135 SOUTHLAKE DR ROCKWALL, TX 75032

RESIDENT 136 BROOKSHORE DR ROCKWALL, TX 75032 RESIDENT 136 SEQUOIA RD ROCKWALL, TX 75032 RESIDENT 137 BLANCHARD DR ROCKWALL, TX 75032

WESTERVELT BARBARA 137 BERKLEY DR ROCKWALL, TX 75032 RESIDENT 138 BERKLEY DR ROCKWALL, TX 75032 RESIDENT 138 BLANCHARD DR ROCKWALL, TX 75032

RESIDENT 140 SEQUOIA RD ROCKWALL, TX 75032 ROSARIO JUAN 140 BROOKSHORE DRIVE ROCKWALL, TX 75032 DEDNER WANDA G 141 BERKLEY DR ROCKWALL, TX 75032

MORGAN PAULA 141 BLANCHARD DR ROCKWALL, TX 75032 JOSEPH STEPHEN K & JESSY 142 BERKLEY DR ROCKWALL, TX 75032 CONFIDENTIAL 142 BLANCHARD DRIVE ROCKWALL, TX 75032

NGUYEN VINH AND GINA
14264 FAITH DR
FRISCO, TX 75035

SEDLAK AMANDA MARIE 144 SEQUOIA ROAD ROCKWALL, TX 75032 THOMAS MAKIA S 145 BERKLEY DR ROCKWALL, TX 75032

TATUM LANCE & APRIL
145 BLANCHARD DR
ROCKWALL, TX 75032

RESIDENT 146 BOWIE DR ROCKWALL, TX 75032 GONZALEZ GRACIELA & ROLANDO 146 BERKLEY DR ROCKWALL, TX 75032

MURPHY AUDREY LENEE ANDREWS 146 BLANCHARD DR ROCKWALL, TX 75032 RESIDENT 147 MESQUITE CT ROCKWALL, TX 75032

RESIDENT 148 SEQUOIA RD ROCKWALL, TX 75032

RESIDENT 150 BOWIE DR ROCKWALL, TX 75032 BOYD SONIA B AND MACEO R PRICE JR 150 BLANCHARD DRIVE ROCKWALL, TX 75032

TUNNELL DAVID AND PENNY 152 SEQUOIA ROAD ROCKWALL, TX 75032

ARGONAUT RENTALS SERIES B LLC 1521 FAIRFIELD DR PLANO, TX 75074 SHAH VIREN 156 SEQUOIA ROCKWALL, TX 75032 MENCHACA JENNIFER 160 SEQUOIA RD ROCKWALL, TX 75032

KAO GEN FANG 161 PINE DR PORT TOWNSEND, WA 98368 SUAREZ MARIA J & BETSY M 164 SEQUOIA RD ROCKWALL, TX 75032 RIVERA ERIK 168 SEQUOIA RD ROCKWALL, TX 75032

RIDGEWAY RYAN A & HARRIS H JORGENSEN 1935 WIND HILL RD ROCKWALL, TX 75087 PANG SUSAN JANG 2033 HUNTCLIFFE CT ALLEN, TX 75013 RESIDENT 225 DARTMOUTH DR ROCKWALL, TX 75032

ARELLANO-CRUZ PAULA M AND FELIX 227 DARTMOUTH DR ROCKWALL, TX 75032 TATE ANTHONY R 227 LUMSDEN CIR W APT 101 COLLIERVILLE, TN 38017 AUSTIN TAMIKA S 229 DARTMOUTH DR ROCKWALL, TX 75032

RODRIGUEZ ROGELIO 231 DARTMOUTH DR ROCKWALL, TX 75032 RESIDENT 233 DARTMOUTH DR ROCKWALL, TX 75032 RATHMELL DONNA SUE 235 DARTMOUTH DR ROCKWALL, TX 75032

SAGUM CHRISTOPHER AND MONICA 2351 BRITTAN AVE SAN CARLOS, CA 94070 MANDARI EMILIANA 237 DARTMOUTH DR ROCKWALL, TX 75032 AMH 2014-2 BORROWER LLC 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302 AMERICAN HOMES 4 RENT PROPERTIES EIGHT LLC 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302

AH4R PROPERTIES TWO LLC 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302 LU TIANSHI 2840 CLEAR CREEK DRIVE ROCKWALL, TX 75032

FALLS DAVID & TERRI 309 ROOKERY CT MARCO ISLAND, FL 34145 520 YFLK LLC 3105 CORNELL AVENUE DALLAS, TX 75205 RAMIREZ RAUL JR 3145 MARKET CENTER DR ROCKWALL, TX 75032

DASGUPTA MONOROMA & MALA DAS GUPTA 3149 MARKET CENTER DR ROCKWALL, TX 75032 DOWLATSHAHI MIRABOUTALEB S MOLLY D DOWLATSHAHI 3153 MARKET CENTER DR ROCKWALL, TX 75032 ALVARADO DEANDRA CHRISTINE AND DANIEL ALONSO 3159 MARKET CENTER DRIVE ROCKWALL, TX 75032

ABU JENABO 3163 MARKET CENTER DRIVE ROCKWALL, TX 75032 SANCHEZ RINA 3167 MARKET CENTER DR ROCKWALL, TX 75032 RESIDENT
3171 MARKET CENTER DR
ROCKWALL, TX 75032

FIGUEROA MARISELA L AND SUSAN L FIGUEROA 3175 MARKET CENTER DR ROCKWALL, TX 75032

GLENN JUDITH J 3179 MARKET CENTER DR ROCKWALL, TX 75032 PARKER EDDIE E 3181 MARKET CENTER DR ROCKWALL, TX 75032

HUYNH ANNIE 3183 MARKET CENTER DR ROCKWALL, TX 75032 IHNE FAMILY TRUST
WILLIAM F IHNE & HENRIETTA IHNE - TRUSTEES
3187 MARKET CENTER DR
ROCKWALL, TX 75032

NGUYEN JONATHAN L JR 3191 MARKET CENTER DR ROCKWALL, TX 75032

SMIETANKO MIECZYSLAW Z SZPYRKO AND MIROSLAWA AND MAGDALENA SMIETANKO 3193 MARKET CENTER DR ROCKWALL, TX 75032

LOZA FABIOLA ESTRADA 4518 CARMEL LN ROWLETT, TX 75088 CHEN QINGSHENG & YAN FENG 4715 147TH PL SE BELLEVUE, WA 98006

LIGHT JEFF 519 INTERSTATE 30 #140 ROCKWALL, TX 75032 YIP FRANCIS W AND MARGARET W 545 MOUNTAIN HOME DR SAN JOSE, CA 95136 GJD REAL ESTATE LLC- 121 RUTHERFORD SERIES 637 FOREST BEND DRIVE PLANO, TX 75025

ALSAMMAK PROPERTIES LLC- SERIES 3 7857 CR 542 NEVADA, TX 75173 ALSAMMAK AHMED AND BAN AL TAIE 7858 CR 542 NEVADA, TX 75173

HUTCHINS MATTHEW AND JULIE 9 LANTERN DRIVE HEATH, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC ATTN: PROPERTY TAX DEPARTMENT 23975 PARK SORRENTO, SUITE 300 CALABASAS, CA 91302 AMH 2014-3 BORROWER LLC ATTN: PROPERTY TAX DEPARTMENT 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302 ELLIS MARK AND DENISE HENRY M/R , TX RSB TOKEN INVESTMENTS LLC PO BOX 1664 ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC PO BOX 4090 SCOTTSDALE, AZ 85261

HENDERSON NORMA PO BOX 705 ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC PO BOX 786 WYLIE, TX 75098 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-059: SUP for Short Term Rental

Hold a public hearing to discuss and consider a request by Daryl Schroeder for the approval of a <u>Specific Use Permit (SUP)</u> for Short-Term Rental on a 0.1515-acre parcel of land identified as Lot 16, Block D, Lynden Park Estates, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), addressed as 117 Lanshire Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

	<u> </u>
	PLEASE RETURN THE BELOW FORM
Case No.	Z2024-059: SUP for Short Term Rental
Please pla	ace a check mark on the appropriate line below:
☐ I am in	favor of the request for the reasons listed below.
☐ I am o	pposed to the request for the reasons listed below.
Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

ACKNOWLEDGEMENTS	BY PROPERTY OWNER	IPLEASE INITIAL BY EACH STATEMENT

I acknowledge that a Short-Term Rental Permit granted by the City of Rockwall does not supersede any property specific restrictions against Short-Term Rentals that may exist under law, agreement, lease, covenant, or deed restriction.

Lacknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my Short-Term Rental Permit will be revoked and that I will not be eligible to apply for a new Short-Term Rental Permit for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.

Lacknowledge that a Short-Term Rental Permit and any non-conforming rights associated with a Short-Term Rental Permit are non-transferable to another property owner or operator, or address or location.

I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, Rental Housing, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my Short-Term Rental Permit.

I acknowledge that a Short-Term Rental Permit is valid for a period of three (3) years, and — as the owner of the subject property — it is my responsibility to apply for a renewal 30-days prior to the expiration of my Short-Term Rental Permit. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new ar plication that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

D	E	C	ıe	TD	۸.	ПС	M	T	/PF

New Registration |
Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? ☐ Yes | ▼ No

PROPERTY INFORMATION [PLEASE PRINT]

Address 117 Lanshire Dr Zoning Rusidential Al Subdivision Lynden Park Estates Phase 3 Lot 16 Block
General Location

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

Ш	SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-tamily home, townhome, or duplex — or portion
	thereof - in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during
	the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or
	secondary structure is rented, but the owner or operator resides on the property.

SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex -- or a portion thereof — in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit — or portion thereof — on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).

□ <u>SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)</u>. An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]} — or a portion thereof — in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Daryl	Schr	order		Phone	425 - 93	1 - 15	7/8		
Mailing Address	1205	Lake	Glen	circle	City	Rockwall	State	TX	Zip Code	75087
Email	dmssi	holding	as 10	g mail.com	w7					

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a Responsible Party is required for all Short-Term Rental Permit applications. A Responsible Party is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The Responsible Party must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner			
Name	Phone		
Mailing Address	City	State	Zip Code
Email			

SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall Neighborhood Improvement Services (NIS) Department 385 S. Goliad Street Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE. A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN. A site plan showing the location of the Short-Term Rental and the parking areas provided for the Short-Term Rental.
- PICTURES. Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures one (1) per each façade of a structure and any on-site amenities.
- COMMERCIAL INSURANCE. Each Short-Term Rental shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE. A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject properly currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING. All advertising for the Short-Term Rental including online or on a proprietary website, application, or other technology will include the Short-Term Rental Permit Number within the description or body of the advertisement for public reference.
- PARKING. The parking on the subject property currently conforms to the requirements of Table 5: Parking Requirement Schedule of Article 06, Parking and Loading, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN. [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- <u>TEMPORARY STRUCTURES</u>. There are <u>no</u> temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a Short-Term Rental.
- TRASH/RUBBISH/SOLID WASTE. There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste bagged or otherwise placed on the ground.
- SIGNAGE. No external signage shall be installed or constructed on the property indicating or advertising the property as a Short-Term Rental.
- FIRE EXTINGUISHER. A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the Short-Term Rental on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS. Operable smoke and carbon monoxide duectors have been installed in the Short-Term Rental in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS. All bedrooms in the Short-Term Rental have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS. There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the Short-Term Rental.
- TENANT NOTIFICATION. The following information has been posted in a visible and obvious location inside the Short-Term Rental: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the Responsible Party of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the Responsible Party as stipulated by Chapter 13, Rental Housing, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the responsible party of the property of the

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF November, 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

TART FORLIC IN AND FOR THE STATE OF TEAS.

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, Rental Housing, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the report of the repor

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF NO VEMBER

PROPERTY OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

on of his Notary ID #133883341

Notary ID #133883341

My Commission Expires

July 28, 2026

-- KAREN PORTER

Notary ID #133883341 My Commission Expires

-July 28, 2026

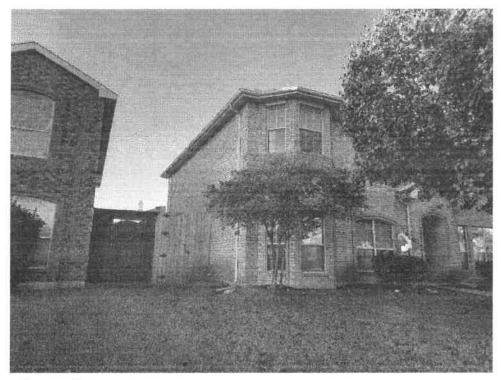


117 Lanshire Drive Rockwall Texas, 75087

- Photos



Front of House - Street View.

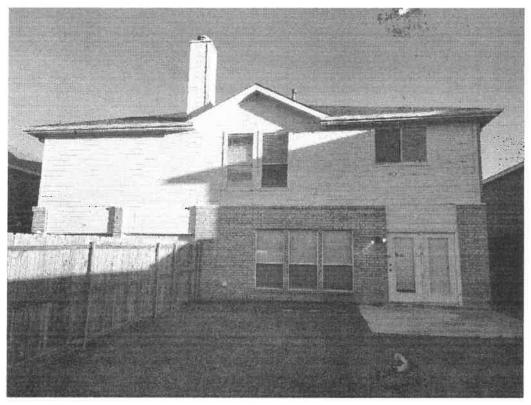


Left Front Side of House

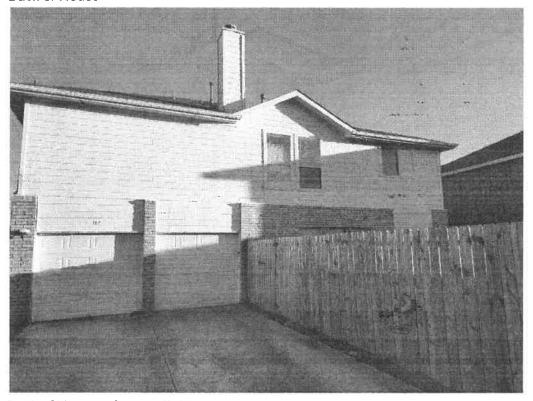


Left Back Side

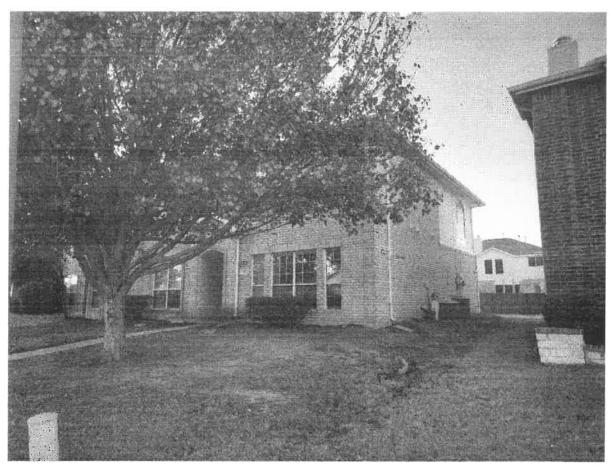
of House



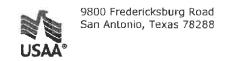
Back of House



Back of House - Garage Entry



Right Side of House



DARYL SCHROEDER 117 LANSHIRE DR ROCKWALL, TX 75032 November 12, 2024

Reference: Existing USAA Rental Property Insurance Policy Summary

We're writing to provide the following summary of the USAA rental property policy:

Effective date of policy:

Policy expiration date:

Policy location:

October 18, 2024 12:01 a.m. local time October 18, 2025 12:01 a.m. local time

117 LANSHIRE DR,

ROCKWALL, TX 75032 GIC 017729247 80A DARYL SCHROEDER

Policy number: Named Insured:

Description of coverage(s)

Dwelling coverage:
Home Protector:
Personal belongings:
Personal liability:
Medical payments:

Included \$5,000 \$500,000 \$5,000

\$559,000

Deductible(s)
All other perils:

\$2,000 2.00% (\$11,180)

Wind and hail:

Revised Annual Premium:

\$2,718.65

Mortgage clause:

SFMC, LP ISAOA/ATIMA

5408 W PLANO PARKWAY

PLANO, TX 75093

Loan number:

45001872529

Your Home Protector coverage, if included, provides you an additional 25% of dwelling coverage. Policy terms, conditions and exclusions apply.

Notification to Additional Interest Upon Cancellation

If this policy is canceled or not renewed, the mortgagee/lender will be properly notified at least 10 days before the date cancellation or nonrenewal takes effect.

017729247 - DM-04664 131780-0521

If you have questions about the changes to the policy, please call us at 210-531-USAA (8722), our mobile shortcut #8722 or 800-531-8722. As always, we appreciate the opportunity to serve you.

Thank you, USAA General Indemnity Company

017729247 - DM-04664 131780-0521

ACORD®

SAMPLE SHORT TERM RENTAL PROOF OF INSURANCE

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 06/04/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to

ODUCER			NAME:			
			PHONE DOG 7	77.0000	FAX	
Cinsurance Services, LLC			E-MAGL	77-0000	(A/C ,No): 800	0-777-0001
On My Way, Suite 100			ADDRESS:	sinfo@abc.com		-
mewhere, TX 75123		to Specificaci P AP			RDING COVERAGE	NAIC #
URED			INSURER A: ABC L	ocal Agents of	Texas LLC	
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23 North Side Street			INSURER D :		the second secon	79~
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SHORT-TERM RENTALS LIABLITY INSURANCE REQUIREMENTS

MUNICIPAL CODE OF ORDINANCES AND ARTICLE 04 AND 13 OF THE UDC ORDINANCE NO. 24-10:

7) Commercial Insurance. Each Short-Term Rental property shall be required to have general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00. The applicant for a Short-Term Rental shall provide a copy of the certificate of insurance which shows the name insured, any additional insureds, the location address, the effective date, the coverage limit and type. The owner must notify the City of Rockwall within 30 days if the insurance status changes and provide the City with the updated insurance information. The Short-Term Rental Permit shall be revoked in accordance with Section 13-29, Revocation or Suspension of a Short-Term Rental Permit, of this Article if updated insurance information is not provided.

Z2024- 006: CH. 13 of the Municipal Code of Ordinances and Art. 04 & Art. 13 of the UDC Page | 5 City of Rockwall, Texas Ordinance No. 24-10

How does Airbnb home insurance work?

For homeowners considering renting their property as a short-term rental via a website like Airbnb, you must know whether or not your <u>homeowners insurance</u> provides the proper coverage. Short-term rentals (STRs) most often require additional <u>endorsements</u> or a new type of coverage altogether. Below, you'll find out how a typical homeowners policy handles home sharing, as well as some short-term rental insurance options that can help ensure that you are properly covered.

Key Takeaways

- Hosts of short-term rentals like Airbnbs require additional insurance to fully protect you and your belongings
- Airbnb offers its own type of insurance, but there are gaps in coverage that lead hosts to other options
- Some insurers offer home-sharing insurance options as an endorsement

Does standard homeowners insurance cover Airbnb properties?

Homeowners insurance coverage was developed to offer protection in the event of <u>perils</u> (causes of loss) such as <u>fire</u>, lightning, and <u>wind</u>. Things quickly get murky when you operate a <u>business from your</u> home — and insurers typically consider home-sharing a business activity.

If you rent out your property regularly, a standard homeowners policy isn't likely to provide adequate coverage. Home insurance policies often exclude <u>liability coverage</u> — including <u>bodily injury</u> and <u>property damage</u> — <u>for any business activity run from the home</u>. If you are relying solely on your homeowners policy for protection, you may be at risk of being underinsured. Exception: Most homeowners insurance policies offer protection for the occasional rental, as long as you inform the company beforehand.

Coverage by Policy Type for Short Term Rental Hosts

Coverage type	What it covers	Standard homeowners insurance	Other homeshare- specific policies	Standard Iandlord policy	Airbnb Insurance
Loss of rent	Reimburses hosts for loss of rental income due to guest behavior	No	√*	√*	✓
Liability	Guest injuries and damages to property belonging to guests	Maybe**	✓	1	✓
Personal Property	Covers damage to property belonging to you such as furniture and electronics	Maybe**	✓	✓	✓
Dwelling coverage	Covers the building itself and any damage that may arise	Maybe**	1	✓	√

^{*}Coverage may be available but might require additional add-ons.

The risks of home-sharing

Opening your home to strangers comes with some risks. Should a guest damage your belongings or incur bodily injury while staying on your property, you could be exposed to risk if you don't carry the correct insurance. Have a look at some of the most common risks of home-sharing below:

^{**}Claims accepted at the discretion of the carrier (most insurers won't cover claims resulting from commercial activity on your property under a standard home policy).

- Vandalism
- Theft
- Property damage
- Personal liability

Landlords may be liable for the actions of tenants renting out their apartments. If a guest is injured, the landlord — as the owner of the property — could be held liable depending on the situation. This is one reason that many leasing agreements explicitly prohibit home-sharing.

What is home-sharing insurance?

Home-sharing insurance refers to the portion of insurance coverage necessary to protect your home as you operate an STR. Regular home-sharing is considered to be a business activity, rendering your standard homeowners policy nullified as it does not protect business activity on your property.

A standard home insurance policy provides liability coverage and property damage, typically extending to the *property's guests and their belongings*. Once you begin operating your home as an STR, this coverage suite may leave gaps.

In some cases, insurance companies offer protection for Airbnb or VRBO hosts with tenants who stay only occasionally. Bear in mind, however, the major differences between a one-off rental situation and the operation of a dedicated Airbnb business. To carry coverage in the latter case, you will need a homesharing endorsement or a separate commercial insurance policy.

Regular home-sharing is considered to be a business activity, and since standard homeowners policies do not cover this, you must add on an endorsement.

A short-term rental insurance <u>endorsement</u> may be available through your current insurance company. These cover theft and property damage. Certain endorsements may cover liability, theft, vandalism, as well as damage to guests' property.

However, if property rentals comprise a significant portion of your income, you may need to purchase a separate insurance policy. In many cases, a <u>landlord policy</u> may suffice. Landlord insurance covers the <u>primary dwelling</u>, <u>other structures</u> on the property, <u>personal property</u> inside the dwelling, lost rental income, and any liability claims filed against you.

Zebra tip: Consider specialized home-sharing insurance policies

Companies like Proper Insurance sell insurance products specifically tailored to Airbnb and the home-sharing industry. This is often known as **short-term rental insurance**. These policies cover issues such as accidental damage to property, infestations, and <u>mold</u>. They also increase your personal liability coverage substantially, even covering legal fees in the event claims are made against you.

Does Airbnb offer insurance?

Some home-sharing companies offer a form of coverage for hosts. For instance, **Airbnb offers protection through their own program called AirCover**, which is free for hosts and automatically included. AirCover is the name of the overall protection plan and comprises three programs: **Host Damage Protection**, Host Liability Insurance, and Experience Liability Insurance.

The majority of hosts on the Airbnb platform rent out their homes for standard lodging purposes. Airbnb Experiences differ in that they include in-person activities hosted by local experts, often offering activities like cooking classes, nature-based experiences and exercise. Because such experiences pose a unique level of risk, hosts who participate are covered by the Experience Liability insurance section of AirCover.

For everyone else, the other sections of AirCover protect you and your property. Let's take a deeper look at Host Damage Protection and Host Liability Insurance.



Host damage protection: Provides up to \$1 million in property damage coverage.

- What is covered: Damage caused by guests, unexpected cleaning costs due to the behavior of a
 guest, income lost if you are forced to cancel a booking due to damage caused by a guest.
- What's not covered: Damage from wear and tear, loss due to acts of nature, injury or property damage to guests



Host liability protection: Provides up to \$1 million in coverage for guests' property damage or bodily injury.

- What is covered: Bodily injury to a guest, damage or theft of guest property, damage caused by a
 guest in common areas.
- What is not covered: Intentional damage, damage to your personal property.

It's important to be aware of the gaps in Airbnb's insurance coverage. Airbnb Host Protection Insurance does not cover loss of income, intentional acts, or mold. It is not intended as a replacement for homeowners insurance, and should instead be treated as supplementary protection to your primary coverage. Also, be aware that the claims process can be tedious, as claims go through Airbnb directly and are not handled by your own insurance company.

Insurance for VRBO, HomeAway, FlipKey, onefinestay, and others

Sites like VRBO, Homeaway, FlipKey, and onefinestay offer guidance on recommended insurance coverage for hosts. VRBO suggests using a vacation rental policy. The company worked to help design the coverage to suit the needs of its users. It is designed to cover homes that rotate between being rented out, being owner-occupied, and sitting empty for long periods. VRBO insurance is offered via Proper Insurance.

HomeAway offers \$1 million in liability coverage for its users, while Onefinestay has a policy underwritten by a syndicate of Lloyd's of London, though the details on the coverage are vague. FlipKey suggests finding an insurance company that offers home-sharing coverage.

Research exactly what is covered by your home-sharing network and how it works with your current homeowners insurance. This can help you avoid gaps in coverage for whichever STR platform you choose to utilize.



Why you still need insurance even with Airbnb's damage policy

While the damage policy serves as one layer of protection, you still need the proper insurance policy to fill in the gaps. Airbnb's security deposits and Host Damage Protection plans offer coverage for damages made by the behavior of a guest, but damages caused by other perils will not be covered. This is where your home-sharing insurance policy kicks in. Airbnb recommends thinking of supplemental insurance as a must have, rather than a "nice-to-have."

Learn more about Airbnb statistics.

Does renters insurance cover Airbnb and home-sharing networks?

If you rent your home, it may still be possible to advertise it on a home-sharing site as a rental (referred to as rental arbitrage). The first thing you'll need to do, however, is to check with your landlord to verify that this is allowed. Many leases explicitly prohibit such activity, so it always pays to check. Some renters forgo getting permission from their landlord, which can lead to trouble if an insurance claim is necessary, potentially resulting in eviction.

After receiving your landlord's consent, the next step is to consult your <u>renters insurance</u> policy to check for any restrictions. Some insurers may not allow you to rent out your apartment for longer than a certain duration, while others might restrict how much money you're allowed to make via home rentals each year. Some renters insurance companies may not offer STR coverage at all.

As with homeowners insurance, it's always wise to check with your renters insurance company to explore your options.

The best insurance companies for Airbnb hosts

Not every <u>homeowners insurance company</u> looks kindly on home-sharing. The sharing economy has forced insurance companies to change how they provide coverage. As with <u>ride-sharing</u>, some insurers have responded with special short-term rental insurance options for home-sharing. Along with the limited liability insurance policy offered by most home-sharing companies, other insurance carriers offer options, including:

- Allstate HostAdvantage⁽⁶⁾: This program from Allstate protects against theft and damage to personal property up to \$10,000 per rental period.
- Erie Homeshare : Erie's product offers coverage for property damage, theft and liability claims, and is only available for the insured's primary residence.
- Proper Insurance^[8]: This home-sharing policy operates a bit differently than others in that these
 plans are written as business policies that are meant to replace your existing plan. Proper takes
 components of commercial, personal, tenant and unoccupied policies to create a custom
 coverage suite for hosts.

Does Airbnb offer insurance for guests?

Yes, coverage provided to hosts through Airbnb explicitly covers injuries and damages to your personal property. However, be aware that the claims process in these situations often goes through the host,

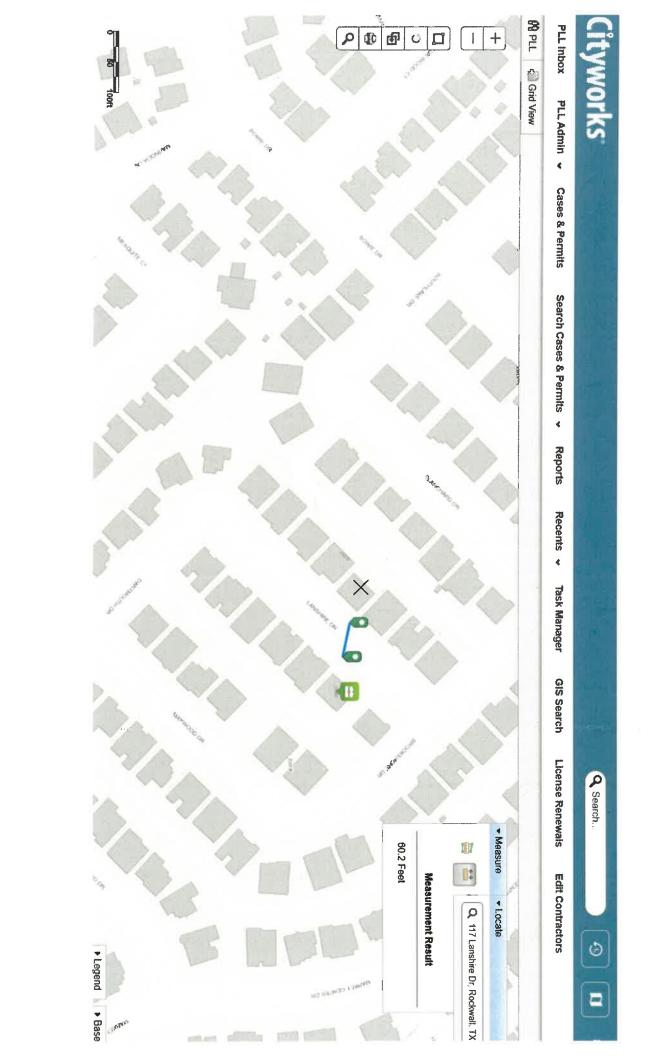
which could lead to challenges. Note that protections such as cancellation fees are not typically offered through home-share sites and refunds are typically at the discretion of the host.

In most cases, your homeowners or renters insurance policy will provide you with a fair amount of protection while you're traveling. Your personal belongings are covered against most losses, including theft or fire. Your personal property coverage for belongings outside your residence is 10% of coverage C (your total personal property amount) or up to \$1,000, whichever is greater. This is subject to a <u>deductible</u>. This may be limited to theft alone on certain policies, so you'll need to check with your insurance company. Travel insurance is also a great option to consider while staying in an Airbnb or similar short-term rental.

Zebra tip: Always inform your insurance company of home-sharing

One of the most important things you can do before becoming an STR host is to inform your insurance company. The company can then help you determine what's covered by your current homeowners policy, as well as whether you'll need an Airbnb endorsement or altogether different coverage. Without informing your provider, you risk having gaps in your coverage or potentially violating the terms of your policy if your insurer does not allow vacation rentals.

https://www.thezebra.com/homeowners-insurance/coverage/airbnb-insurance/#:~:text=Do%20you%20need%20commercial%20insurance,their%20home%20as%20an%20STR.





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CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 17 (PD-17) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A NON-OWNER-OCCUPIED SHORT-TERM RENTAL ON A 0.1515-ACRE PARCEL OF LAND IDENTIFIED AS LOT 16, BLOCK D, LYNDEN PARK ESTATES, PHASE 3, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Trenton Austin for the approval of a Specific Use Permit (SUP) for a Non-Owner Occupied Short-Term Rental on a 0.1515-acre parcel of land identified as Lot 16, Block D, Lynden Park Estates, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), addressed as 117 Lanshire Street, and being more specifically depicted and described in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 17 (PD-17) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 17 (PD-17) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a Non-Owner-Occupied Short-Term Rental as stipulated by Subsection 01.02, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 17 (PD-17); Subsection 02.03, Conditional Land Use Standards, of Article 04, Permissible Uses, and Subsection 03.01, General Residential Standards, of Article

Ordinance No. 25-XX; SUP # S-3XX

05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Article 02, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a Non-Owner-Occupied Short-Term Rental on the Subject Property and conformance to these conditions are required for continued operations:

- (1) The Subject Property shall conform to the information provided within the Short-Term Rental Permit Application depicted in Exhibits 'B' of this ordinance.
- (2) After the issuance of a Short-Term Rental Permit and Registration by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, Specific Use Permit (SUP), of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, Specific Use Permits (SUP), of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a Short-Term Rental Permit and Registration, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11. Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed quilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this

Ordinance No. 25-XX; SUP # S-3XX

ordinance shall remain in full force and effect.

1st Reading: <u>December 16, 2024</u>

2nd Reading: January 6, 2025

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JANUARY, 2025.

ATTEST:	Trace Johannesen, <i>Mayor</i>
Kristy Teague, <i>City Secretary</i>	
APPROVED AS TO FORM:	
Frank J. Garza, <i>City Attorney</i>	

Exhibit 'A' Legal Description

<u>Address:</u> 114 Lanshire Drive <u>Legal Description:</u> Lot 16, Block D, Lyden Park Estates, Phase 3

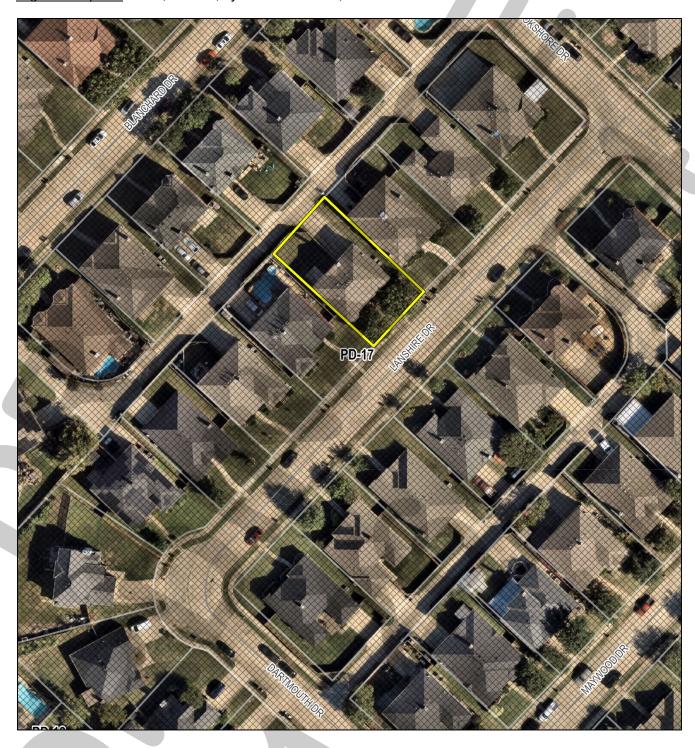


Exhibit 'B':

Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
RECEIVED BY:
DATE RECEIVED:
STR PERMIT NO.

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

I acknowledge that a Short-Term Rental Permit granted by the City of Rockwall does not supersede any property specific restrictions against Short-Term Rentals that may exist under law, agreement, lease, covenant, or deed restriction.

I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my Short-Term Rental Permit will be revoked and that I will not be eligible to apply for a new Short-Term Rental Permit for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.

I acknowledge that a Short-Term Rental Permit and any non-conforming rights associated with a Short-Term Rental Permit are non-transferable to another property owner or operator, or address or location.

I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, Rental Housing, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my Short-Term Rental Permit.

I acknowledge that a Short-Term Rental Permit is valid for a period of three (3) years, and — as the owner of the subject property—it is my responsibility to apply for a renewal 30-days prior to the expiration of my Short-Term Rental Permit. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new an dication that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

REGISTRATION TYPE

New Registration | Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? ☐ Yes | ☑ No

PROPERTY INFORMATION [PLEASE PRINT]

Address 117 Lanshire Dr Subdivision Lynden Park Estates Phase 3 Lot 16 Block
General location

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex or portion thereof in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex or a portion thereof in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit or portion thereof on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM). An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) or a portion thereof in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name Dary 1 Schroeder Phone 425-931-1578

Mailing Address 1205 Lake Glen Circle City Rockwell State TX Zip Code 75087

Email dmss holdings 1@gmail.com

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a Responsible Party is required for all Short-Term Rental Permit applications. A Responsible Party is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The Responsible Party must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner			
Name	Phone		
Mailing Address	City	State	Zip Code
Email			

SHORT-TERM RENTAL APPLICATION AND REGISTRATION CITY OF ROCKWALL 13R3 SOUTH COLIAD STREET - ROCKWALL, TX 75987 - JPJ (972) 771-7769

Z2024-059: SUP for a STR at 117 Lanshire Street Ordinance No. 25-XX; SUP # S-3XX

Exhibit 'B':

Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall Neighborhood Improvement Services (NIS) Department 385 S. Goliad Street Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- 🕱 REGISTRATION FEE. A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN. A site plan showing the location of the Short-Term Rental and the parking areas provided for the Short-Term Rental.
- PICTURES. Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures one (1) per each façade of a structure and any on-site amenities.
- COMMERCIAL INSURANCE. Each Short-Term Rental shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE. A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject properly currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING. All advertising for the Short-Term Rental including online or on a proprietary website, application, or other technology will include the Short-Term Rental Permit Number within the description or body of the advertisement for public reference.
- PARKING. The parking on the subject property currently conforms to the requirements of Table 5: Parking Requirement Schedule of Article 06, Parking and Loading, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN. [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR; An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES. There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a Short-Term Rental.
- TRASH/RUBBISH/SOLID WASTE. There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste bagged or otherwise placed on the ground.
- 🕱 SIGNAGE. No external signage shall be installed or constructed on the property indicating or advertising the property as a Short-Term Rental.
- FIRE EXTINGUISHER. A standard five (5) pound fire extinguisher (i.e. 2A:16B:C) has been properly mounted within 75-feet of all portions of the Short-Term Rental on each floor.
- MONOXIDE DETECTORS. Operable smoke and carbon monoxide duectors have been installed in the Short-Term Rental in accordance with all applicable City of Rockwall codes.
- MINGRESS/EGRESS. All bedrooms in the Short-Term Rental have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS. There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the Short-Term Regital.
- TENANT NOTIFICATION. The following information has been posted in a visible and obvious location inside the Short-Term Rental: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trast/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the Responsible Party of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the Responsible Party as stipulated by Chapter 13, Rental Housing, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead be the registration of this Short-term terms in minimum.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15. DAY OF NOVEMBER 2024.

Notary ID #133883341

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF NOVEMber 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

AND COMMISSION EXPIRES

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

AND COMMISSION EXPIRES

A

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, Rental Housing, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the runs of the compliance with the compliance with the runs of the compliance with the runs of the runs of

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF No wember, 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS JOHN FORTH MY COI

SHORT-TERM RENTAL APPLICATION AND REGISTRATION + LITY OF NOCKMALL + 365 SOUTH GOLIAD STREET + ROCKMALL TX 78087 + [P] (872) 774-7709

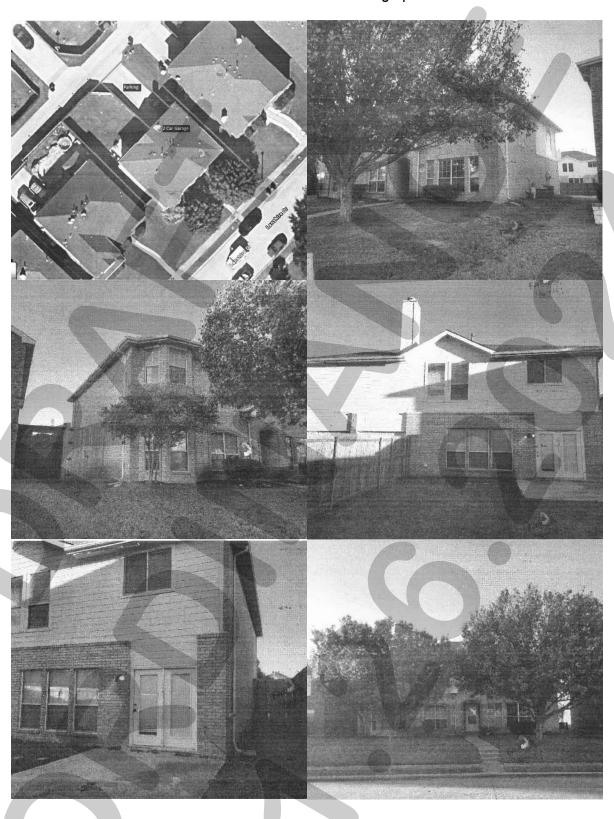
Z2024-059: SUP for a STR at 117 Lanshire Street Ordinance No. 25-XX; SUP # S-3XX

Notary ID #133883341

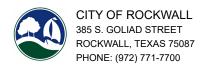
My Commission Expires

July 28, 2026

Exhibit 'C'Short-Term Rental Photographs



PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: Z2024-060

PROJECT NAME: Zoning Change (AG to PD)

SITE ADDRESS/LOCATIONS:

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Ryan Miller	11/19/2024	Approved w/ Comments	

11/19/2024: Z2024-060; Zoning Change (AG to PD) for the Lofland Tract Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, and generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205].
- 1.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2024-060) in the lower right-hand corner of all pages on future submittals.
- I.4 Unified Development Code (UDC). Based on the submitted draft ordinance the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:
- (1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the Standards of Design and Construction Manual]
- (2) Garage Configuration. Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a J-Swing [or traditional swing] garage where the garage door is perpendicular to the street."

Staff Response: The proposed garage configurations do NOT conform to the Engineering Department's Standards of Design and Construction Manual and the Unified Development Code (UDC). This will require the discretionary approval of the City Council pending a recommendation from the Planning and Zoning Commission.

(3) Open Space. According to Subsection 02.02, Minimum Standards for Residential Planned Development Districts, of Article 10, Planned Development Regulations, of the Unified Development Code (UDC), "In a residential Planned Development (PD) Districts, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. public or private). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Staff Response: Please provide an exhibit showing conformance to this requirement of the Unified Development Code (UDC).

- I.5 Future Land Use Map. According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the South Central Residential District and the Southwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential and Commercial/Retail land uses. The proposed zoning request does GENERALLY conform to these designations; HOWEVER, there are areas on the concept plan that show revisions will need to be made to the Future Land Use Plan. This aspect of this request will be discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.
- I.6 South Central Residential District. The following are the pertinent District Strategies of the South Central Residential District and how the proposed concept plan conforms to these strategies:
- (1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.

Staff Response: The submitted PD Standards include language that could incorporate Traditional Neighborhood Design (TND) principles; however, the ordinance does not require this. This is an important aspect of the District Strategies and was implemented in the adjacent development (i.e. the Somerset Park Subdivision). In addition, the proposed 62' x 125' and 72' x 125' lots -- which are the predominate lot types at 58.275% of all lots -- are not considered to be a mix of "larger to mid-sized lots". Based on this the proposed concept plan is not in conformance with this District Strategy.

(2) Commercial Land Uses. Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.

Staff Response: The concept plan provided by the applicant does show changes to how the Commercial/Retail areas are laid out in the Future Land Use Map; however, the changes appear to be nominal in nature.

(3) John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'A' of this Comprehensive Plan.

Staff Response: The District Strategies Map for the South Central Residential District shows that a Rest Stop/Trailblazer Pylon element is designated for the southeast corner of the future intersection of Mercers Colony Avenue and John King Boulevard. The Layout Plan show that two (2) Trail Stops/Rest Stops will be provided. Based on the location and elevations for the Trail Heads and the size and location of the proposed trails, the applicant's request is in conformance with this District Strategy.

- I.7 Southwest Residential District. The following are the pertinent District Strategies of the Southwest Residential District and how the proposed concept plan conforms to these strategies:
- (1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

Staff Response: In this case, the Oaks of Buffalo Way Subdivision is composed of larger lots that are a minimum of 1½-acres in size. The proposed transition provided by the applicant shows a comparable 1½-acre lot product adjacent to the Oaks of Buffalo Way, followed by a one (1) acre lot product, followed by a ¾-acre lot product. Based on this, the

applicant's request is in conformance with this District Strategy.

- I.8 Master Thoroughfare Plan. The proposed plan does appear to conform to the Master Thoroughfare Plan (MTP) contained in the OURHometown Vision 2040 Comprehensive Plan; however, the applicant is request to change Lofland Circle to a R2U (i.e. a residential, two [2] lane, undivided roadway) and add an additional Minor Collector directly not of this roadway. This change does not change the connectivity desired in this area by the Master Thoroughfare Plan (MTP), and based on this the plan is considered to be in conformance; however, this change is considered to be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- I.9 Residential Design Guidelines. The OURHometown Vision 2040 Comprehensive Plan stipulates various goals and design guidelines for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's Comprehensive Plan, and could be revised -- per staff's recommendations below -- to bring the project closer to conformance with these goals:
- (1) CH. 1; Section 2.02; Goal #2 | Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.

Staff's Response: The lots in the Oaks of Buffalo Way Subdivision are approximately 1½-acres in size. The proposed lots adjacent to the Oaks of Buffalo Way Subdivision will be 1½-acre and be separated by the existing Lofland Circle. Based on this, the plan appears to conform to this goal.

(2) CH. 1; Section 2.02; Goal #2 | Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. lot size, architectural style, public improvements, etc.) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.

Staff's Response: The proposed concept plan appears to generally conform to the existing development patterns north of John King Boulevard and adjacent to the Lake Rockwall Estates Subdivision; however, better requirements for Traditional Neighborhood Design (TND) housing product could be incorporated north of John King Boulevard to match the style of the homes established in the Somerset Park Subdivision. Otherwise, the applicant's plan appears to conform to this goal of the Comprehensive Plan.

(3) CH. 1; Section 2.02; Goal #2 | Policy #4 (Page 1-2). At a minimum, new residential development should be equal to or of a higher quality than the existing surrounding residential development.

Staff's Response: The development should use similar architectural styles (i.e. Traditional Neighborhood Design principles, gingerbread or farmhouse architectural styles/material mixes, etc.) as the adjacent Somerset Park Subdivision to create a consistent development theme throughout the area north of John King Boulevard.

(4) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff's Response: Homes adjacent to open spaces should face onto the open space -- instead of being oriented so that the side or rear yard faces the open space --, and be accessible by a single-loaded street. Currently, the plan could do a better job of facing homes onto open spaces as opposed to siding the homes towards these open spaces; however, the applicant has changed the plan since the last submittal to add more lots that conform to this goal.

(5) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff's Response: The larger 100' x 150' lots should be located adjacent to John King Boulevard, SH-205, and FM-549. This should specifically be applied along FM-549, where the 80' x 120' lots could be flipped with the 100' x 150' lots.

(6) CH. 8; Section 2.03; Goal #3 | Policy #3 (Page 8-4). In cases where flat front entry garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20.00% should be incorporated into the development. In addition, flat front entry garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff's Response: In this case, the applicant has built in a five (5) foot recess for front entry garages; however, this does not conform to the requirements of the Engineering Department's Standards of Design and Construction, Unified Development Code (UDC) or Comprehensive Plan. While the applicant has limited the number of forward-facing garages to less than 20.00% it may only be appropriate to incorporate this type of product in the areas north of John King Boulevard, as this is similar as to what was permitted in the Somerset Park Subdivision. To lessen the impact of this request, staff has included language in the PD ordinance that would incorporate a 25-foot front yard building line for all forward-facing garages. This is consistent with the Comprehensive Plan.

- M.10 Please provide an exhibit showing the lot breakout and percentages for each phase of the proposed development.
- M.11 Please review the attached draft ordinance prior to the November 26, 2024 Planning & Zoning Commission Work Session Meeting, and provide staff with your markups by December 3, 2024. Please carefully read through this document as staff has incorporated changes from what was originally submitted.
- I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning and Zoning Commission Public Hearing Meeting.
- I.13 The projected City Council meeting dates for this case will be December 16, 2024 (1st Reading) and January 6, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

11/19/2024: 1. Revised site plan, engineering plan, and replat required for Peachtree subdivision to connect to proposed subdivision.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Additional comments may be provided at time of Site Plan.
- Utility easements may not cross through residential properties. Must be in a HOA maintained lot.
- Gas Line/Easement crosses site Letter of Permission to cross/build over.
- Need approval from NRCS/SCS for any construction in their easement

Streets/Paving:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City (and TXDOT) driveway spacing requirements must be met. Driveway/street spacing requirements must be met along John King Blvd, future and ex. SH 205, and all streets/driveways.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Mercers Colony Avenue to the proposed P6D at John King Blvd. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Stableglen Drive to the future Stableglen Drive for RISD High School. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW that traverses east to west from John King/SH 205 to the proposed 65' ROW collector roadway. A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.

- Must construct all roadways on the current Master Thoroughfare Plan
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- Any medians must be curbed, and streets draining away from medians.
- Future John King Extension (south of SH 205) is a 65' ROW with a 45' b-b street section

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Must install min. 8" and 12" sewer mains per City master plans. Dedicate easements.
- Must install 12" water mains per City master plans. Dedicate easements.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have 8" sewer line minimum through the property.
- An Infrastructural Study will be required. Review fees apply.
- Infrastructure called out to be required by study must be installed.
- City is in the design of extending sanitary sewer from south property line to the corner of John King and Goliad.
- Must follow and construct per the City's master water and sanitary sewer plans, and requirements per infrastructure study, whichever is most stringent.
- Depending on infrastructure study, certain number of lots may be built without elevated water storage tank being built and functioning.
- Property is divided by two separate water pressure plains. May not interconnect plains.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
- Sewer Pro-rata will be assessed per acre which must be paid prior to construction.
- Provide corridor for City of Heath 24-inch water transmission line that run north-south along Lofland Circle. No fencing, structures, trees, etc over line and easement. Will need to get with City of Heath on required separation distances and easement size they require.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.

Drainage/Floodplain/Lakes:

- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the 100yr floodplain elevation where adjacent.
- Detention will be out of floodplain.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
- Flood plain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot)
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
- Lot to Lot drainage is not allowed.

Landscaping:

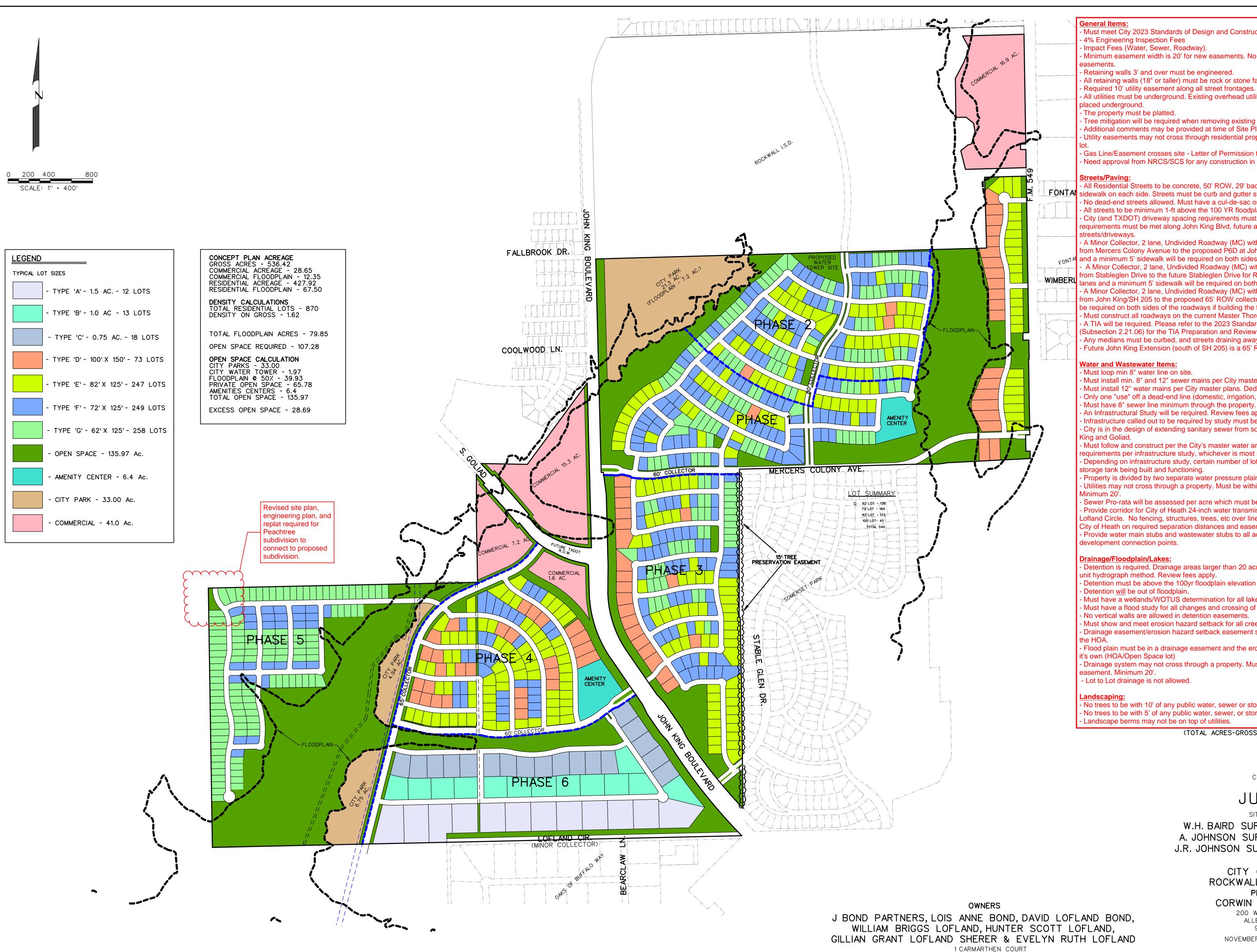
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of utilities.

<u>DEPARTMENT</u>	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				_
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				_
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	

No Comments



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- Additional comments may be provided at time of Site Plan.

- Utility easements may not cross through residential properties. Must be in a HOA maintained

- Gas Line/Easement crosses site - Letter of Permission to cross/build over. Need approval from NRCS/SCS for any construction in their easement

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DALLAS, TEXAS 75225

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- Detention must be above the 100yr floodplain elevation where adjacent.

Detention will be out of floodplain.

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 No vertical walls are allowed in detention easements. - Must show and meet erosion hazard setback for all creeks/streams.

- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by

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(TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN OF

JUNIPER

SITUATED IN THE

W.H. BAIRD SURVEY, ABSTRACT NO. 25 A. JOHNSON SURVEY, ABSTRACT NO. 123 J.R. JOHNSON SURVEY, ABSTRACT NO. 128

IN THE CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS PREPARED BY CORWIN ENGINEERING, INC. 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013

972-396-1200 NOVEMBER 2024 SCALE 1" = 400"

CASE NO. Z2024-048



DEVELOP NT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall Texas 75087

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DI	ANNING &	

.NG CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

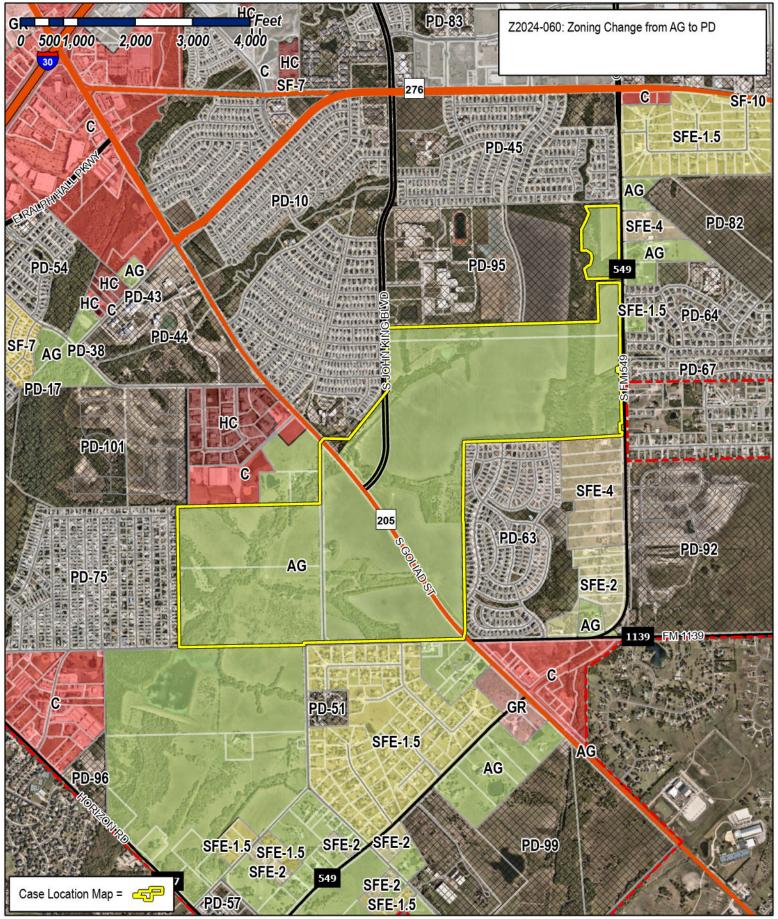
Comm. Expires 04-16-2025

DIRECTOR OF PLANNING:

	1 Contrain, 1 Orac 1 Cool	Cit	Y ENGINEER:
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE O	OF DEVELOPMENT RE	EQUEST [SELECT ONLY ONE BOX]:
☐ PRELIMINARY ☐ FINAL PLAT (\$: ☐ REPLAT (\$300. ☐ AMENDING OF ☐ PLAT REINSTA SITE PLAN APPLI ☐ SITE PLAN (\$25	'(\$100.00 + \$15.00 ACRE) PLAT (\$200.00 + \$15.00 ACRE) 300.00 + \$20.00 ACRE) 00 + \$20.00 ACRE) R MINOR PLAT (\$150.00) ITEMENT REQUEST (\$100.00)	✓ ZONING CH SPECIFIC L PD DEVELO OTHER APPLIC TREE REMO VARIANCE NOTES: IN DETERMINING PER ACRE AMOUNT A \$1,000.00 FEE	
PROPERTY INFO	ORMATION [PLEASE PRINT]		
ADDRES	s FM 205, TX		
SUBDIVISIO	N W.H. Baird Survey, Ab. No. 25; A. Johnson Survey,	Ab No. 123; J.R. Joh	inson Sun <mark>k∳</mark> , Ab No. 128 BLOCK
GENERAL LOCATIO	N At Intersection of Goliad & S. John	King Blvd.	
	LAN AND PLATTING INFORMATION (PLEAS		
CURRENT ZONING	G Agricultural	CURRENT USE	Agricultural
PROPOSED ZONING		PROPOSED USE	Single Family, Commercial
ACREAG	E 536.42 LOTS [CURRENT	1	LOTS [PROPOSED]
REGARD TO ITS	D PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE T APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE.	THAT DUE TO THE PAS STAFF'S COMMENTS B	SAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITI Y THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WIL
OWNER/APPLIC	ANT/AGENT INFORMATION (PLEASE PRINT/CH	HECK THE PRIMARY CO	NTACT/ORIGINAL SIGNATURES ARE REQUIRED]
☐ OWNER	William Lofland	☑ APPLICANT	Michael Joyce Properties
CONTACT PERSON		CONTACT PERSON	Ryan Joyce
ADDRESS	105 E. Kaufman Street	ADDRESS	767 Justin Road
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE			512-965-6280
E-MAIL		E-MAIL	ryan@michaeljoyceproperties.com
EFORE ME, THE UNDE	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE		[OWNER] THE UNDERSIGNED, WHO
8246.30 Nove M bec	TO COVER THE COST OF THIS APPLICATION, HA	AS BEEN PAID TO THE CIT EE THAT THE CITY OF RI S ALSO AUTHORIZED AN	OCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ID PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
	O AND SEAL OF OFFICE ON THIS THE 12 DAY OF	radb 203	CARLY LEWIS Notary Public State of Texas

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

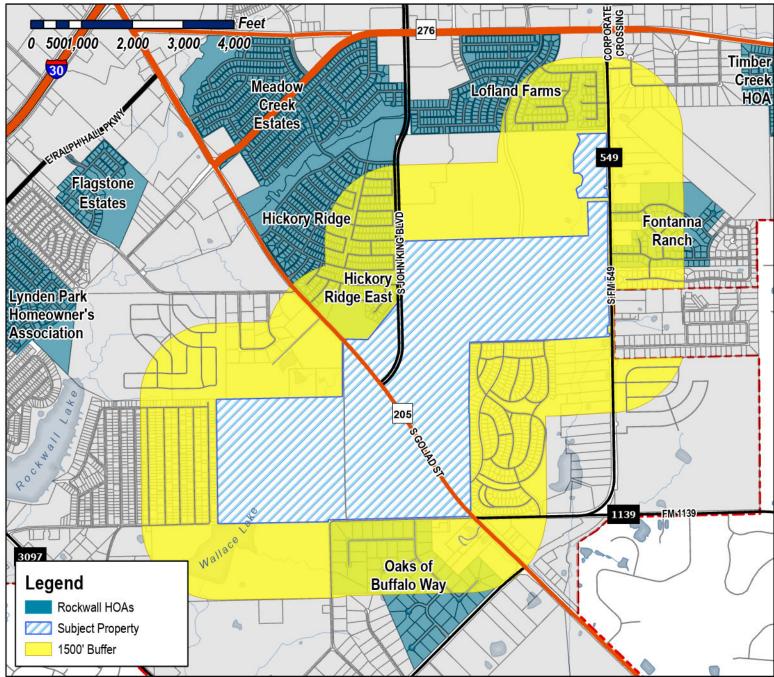
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2024-060

Case Name: Zoning Change from AG to PD

Case Type: Zoning

Zoning: Agricultural (AG) District

Case Address: FM 205

Date Saved: 11/15/2024

For Questions on this Case Call (972) 771-7745



From: Zavala, Melanie

Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica

Subject: Neighborhood Notification Program [Z2024-060]

Date: Wednesday, November 20, 2024 2:05:39 PM

Attachments: Public Notice (11.18.2024).pdf

HOA Map (11.15.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, November 22, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, December 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 16, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2024-060: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

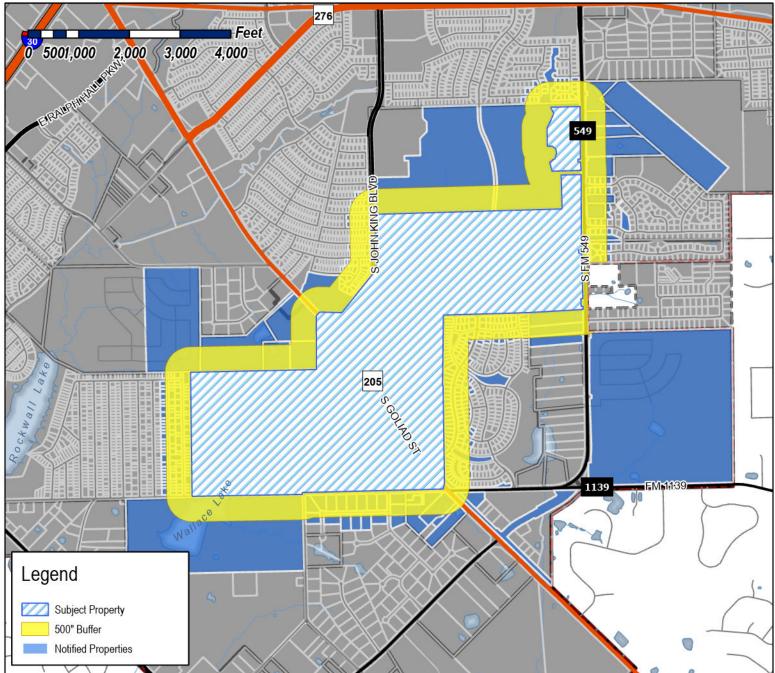
Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall 385 S. Goliad Street | Rockwall, TX 75087 | Planning & Zoning Rockwall 972-771-7745 Ext. 6568



The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2024-060

Case Name: Zoning Change from AG to PD

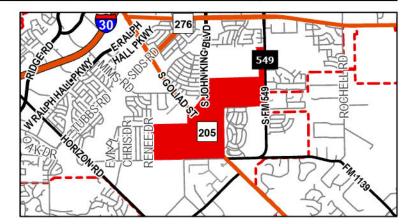
Case Type: Zoning

Zoning: Agricultural (AG) District

Case Address: FM 205

Date Saved: 11/15/2024

For Questions on this Case Call: (972) 771-7745



SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND MARGARITA CASTILLO 414 RENEE DR ROCKWALL, TX 75032

OCCUPANT 400 RENEE RD ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

OCCUPANT 395 RENEE DR ROCKWALL, TX 75032 PANTZAY MARVIN A FLORES AND SULEIMA Y MONTERROSO 111 NICOLE DRIVE ROCKWALL, TX 75032

CONTRERAS JOSE A 142 RENEE DR ROCKWALL, TX 75032 OCCUPANT 118 RENEE DR ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX 20 CALLE DEL SOL SAN JUAN, PR 901

OCCUPANT 115 RENEE DR ROCKWALL, TX 75032

VASQUEZ FRANSISCO 125 NICOLE DR ROCKWALL, TX 75032 CONTRERAS JOSE A 142 RENEE DR ROCKWALL, TX 75032

OCCUPANT 130 RENEE DR ROCKWALL, TX 75032 THOMPSON WILLIAM R ETUX 20 CALLE DEL SOL SAN JUAN, PR 901 OCCUPANT 127 RENEE DR ROCKWALL, TX 75032

IBARRA MATEO CASTRO 140 NICOLE DR ROCKWALL, TX 75032 JUNFA USA, LLC 910 MELISSA LN GARLAND, TX 75040 OCCUPANT 137 NICOLE DR ROCKWALL, TX 75032

CONTRERAS JOSE A 142 RENEE DR ROCKWALL, TX 75032 THOMPSON WILLIAM R ETUX 20 CALLE DEL SOL SAN JUAN, PR 901 OCCUPANT 139 RENEE DR ROCKWALL, TX 75032

RUIZ SONIA 2009 WORCESTER LN GARLAND, TX 75040 OCCUPANT 149 NICOLE DR ROCKWALL, TX 75032 DIAZ FRANCISCO & MANUELA 352 WAYNE DR ROCKWALL, TX 75032

OCCUPANT 233 RENEE DR ROCKWALL, TX 75032 FLORES LISANDRA CONTRERAS 288 NICOLE DRIVE ROCKWALL, TX 75032 AYALA FRANCISCO & MARIA L 265 RENEE DR ROCKWALL, TX 75032

OCCUPANT 285 RENEE DR ROCKWALL, TX 75032 GUERRERO ALVARO AND MARGARITA CASTILLO 400 RENEE DR ROCKWALL, TX 75032

SANCHEZ ARNULFO 398 NICOLE DR ROCKWALL, TX 75032

OCCUPANT
208 NICOLE DR
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR 201 RENEE DRIVE ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ 1244 COUNTY ROAD 2278 QUINLAN, TX 75474

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA 441 LYNNE DR ROCKWALL, TX 75032 OCCUPANT 498 EVANS RD ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ 522 EVANS DR ROCKWALL, TX 75032 GUEVARA CRUZ & LIZ 522 EVANS DR ROCKWALL, TX 75032 UC JOSE LUIS GPE XOOL GELLY DELROSARIO 186 NICOLE DR ROCKWALL, TX 75032

HERNANDEZ FELICITAS 183 NICOLE DR ROCKWALL, TX 75032 MEDRANO CESAR AND ANDREA MARTINEZ 181 RENEE DR ROCKWALL, TX 75032 NGUYEN ANNA 812 BLUFFCREEK LN APT 208 ARLINGTON, TX 76006

OCCUPANT 421 NICOLE DR ROCKWALL, TX 75032 SANCHEZ ARNULFO AND ORALIA VARGAS 395 NICOLE DR ROCKWALL, TX 75087 MCLOUD JOY ANN 375 NICOLE DR ROCKWALL, TX 75032

CONTRERAS JOSE LUIS AND JUANA DIAZ 1750 E FM 550 ROCKWALL, TX 75032

OCCUPANT 353 NICOLE DR ROCKWALL, TX 75032 ESTRADA NOHEMA 705 LAKESIDE DR ROCKWALL, TX 75032

OCCUPANT 283 NICOLE DR ROCKWALL, TX 75032 MEJIA JULIO & MARIA 176 RENEE DR ROCKWALL, TX 75032 CARMONA JOSE 194 RENEE DRIVE ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN 241 TROUT ST ROCKWALL, TX 75032 OCCUPANT 250 RENEE DR ROCKWALL, TX 75032 CERVANTES HECTOR AND ERIKA MOLINA 548 NICOLE DRIVE ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA C/O LAKE POINTE CHURCH 701 I-30 ROCKWALL, TX 75087

OCCUPANT 496 NICOLE DR ROCKWALL, TX 75032 RUIZ SONIA 2009 WORCESTER LN GARLAND, TX 75040

OCCUPANT 159 NICOLE DR ROCKWALL, TX 75032 VASQUEZ JESUS AND ROSA 162 RENEE DR ROCKWALL, TX 75032 UC JOSE LUIS & GELLY DEL R 186 NICOLE DR ROCKWALL, TX 75032

OCCUPANT 176 NICOLE DR ROCKWALL, TX 75032	VASQUEZ JESUS 167 RENEE DR ROCKWALL, TX 75032	GALLARDO RENE AND MARIBEL GALLARDO 547 NICOLE DR ROCKWALL, TX 75087
VALDEZ EUSEBIO 505 EVANS DR ROCKWALL, TX 75032	UC JOSE LUIS GPE XOOL GELLY DELROSARIO 186 NICOLE DR ROCKWALL, TX 75032	OCCUPANT 196 NICOLE DR ROCKWALL, TX 75032
VALDEZ JOSE G	OCCUPANT	GUTIERREZ EFREN
1311 PRATO AVE	508 RENEE DR	1385 LOCHSPRING DR
MCLENDON CHISHOLM, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
OCCUPANT	TORRES LUIS & TERESA HERNANDEZ	OCCUPANT
433 RENEE DR	344 COUNTY LINE RD	363 RENEE DR
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
OLIVARES JAIME	OCCUPANT	FLORES LISANDRA CONTRERAS
1209 QUAIL DR	191 RENEE DR	288 NICOLE DRIVE
GARLAND, TX 75040	ROCKWALL, TX 75032	ROCKWALL, TX 75032
OCCUPANT	CONTRERAS NORMA	CARMONA JOEL
302 NICOLE DR	360 NICOLE DR	221 NICOLE DR
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
VAZQUEZ JORGE A AND SYLVIA	LEDEZMA J SOCORRO AGUILAR	OCCUPANT
230 RENEE DR	201 RENEE DRIVE	211 RENEE DR
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
RIVERA DORIS MABEL	YANEZ ALONSO TORRES	OCCUPANT
288 RENEE DR	473 RENEE DR	358 RENEE DR
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
OLIVARES JAIME B & MARTINA G	OCCUPANT	VERA MIGUEL & GUADALUPE
1209 QUAIL DR	386 RENEE DR	452 RENEE DR
GARLAND, TX 75040	ROCKWALL, TX 75032	ROCKWALL, TX 75032

CASTILLO JOSE & OCCUPANT
LUZ DELGAEDO 408 NICOLE DR
383 LAKESIDE DR ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
032 ROCKWALL, TX 75032

TREJO CECILLIO 221 RENEE DR ROCKWALL, TX 75032 SANCHEZ PABLO 248 NICOLE DR ROCKWALL, TX 75032 OCCUPANT 250 NICOLE DR ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA 352 WAYNE DR ROCKWALL, TX 75032 OCCUPANT 245 RENEE DR ROCKWALL, TX 75032 FLORES LISANDRA CONTRERAS 288 NICOLE DRIVE ROCKWALL, TX 75032

OCCUPANT 274 NICOLE DR ROCKWALL, TX 75032 DEBRA JEAN CRUZ TRUST DEBRA JEAN CRUZ - TRUSTEE 262 RENEE DR ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L 265 RENEE DR ROCKWALL, TX 75032

CONTRERAS NORMA 360 NICOLE DR ROCKWALL, TX 75032 OCCUPANT 372 NICOLE DR ROCKWALL, TX 75032 COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
482 NICOLE DR
ROCKWALL, TX 75032

FLORES ALEJANDRO 1070 N BEN PAYNE RD ROCKWALL, TX 75087 OCCUPANT 466 RENEE DR ROCKWALL, TX 75032 MAYHALL DANNEL J 473 RENEE DR ROCKWALL, TX 75032

OCCUPANT 463 RENEE DR ROCKWALL, TX 75032 COLUNGA MARIA CRISTINA C/O BERNABE COLUNGA 807 N JOSEPHINE ST ROYSE CITY, TX 75189

OCCUPANT 452 EVANS RD ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT CORPORATION 787 HAIL DRIVE ROCKWALL, TX 75032

OCCUPANT 464 EVANS RD ROCKWALL, TX 75032 TORRES ALONSO G & MARIA 441 LYNNE DR ROCKWALL, TX 75032

OCCUPANT 486 EVANS RD ROCKWALL, TX 75032 LACAZE DARRYL AND ALLISON 503 NICOLE DR ROCKWALL, TX 75032 XU ZICAI 4509 PORTRAIT LANE PLANO, TX 75024

OCCUPANT 471 NICOLE DR ROCKWALL, TX 75032 UC JOSE LUIS & GELLY DEL R 186 NICOLE DR ROCKWALL, TX 75032 OCCUPANT 164 NICOLE DR ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND ERIKA J MOLINA-OLVERA 548 NICOLE DRIVE ROCKWALL, TX 75032

OCCUPANT 526 NICOLE DR ROCKWALL, TX 75032 DRCE TRUST 4219 ASHMONT CT DALLAS, TX 75287 OCCUPANT 441 NICOLE DR ROCKWALL, TX 75032 LOPEZ SILVIA 430 RENEE DR ROCKWALL, TX 75032 DRCE TRUST 4219 ASHMONT CT DALLAS, TX 75287

OCCUPANT 431 NICOLE DR ROCKWALL, TX 75032 COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA 523 NICOLE DR ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ 1244 COUNTY ROAD 2278 QUINLAN, TX 75474 OCCUPANT 503 RENEE DR ROCKWALL, TX 75032 GALLARDO RENE AND MARIBEL GALLARDO 547 NICOLE DR ROCKWALL, TX 75087

OCCUPANT 535 NICOLE DR ROCKWALL, TX 75032 VALDEZ EUSEBIO 505 EVANS ROCKWALL, TX 75032 OCCUPANT 520 RENEE DR ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC 10527 CHURCH RD # 201 DALLAS, TX 75238

OCCUPANT 116 NICOLE DR ROCKWALL, TX 75032 MARTINEZ RONALD W GOMEZ AND PAOLA I
CASTILLO
424 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR 514 NICOLE DR ROCKWALL, TX 75032 SRP SUB LLC 1717 MAIN ST SUITE 2000 DALLAS, TX 75201

OCCUPANT 3112 LIMESTONE HILL LN ROCKWALL, TX 75032 THOMPSON LISA 3078 DEER RIDGE DR ROCKWALL, TX 75032 MONTEZON CECILE & DENNIS 3081 COOLWOOD LANE ROCKWALL, TX 75032

BEDDER MANAGEMENT AUSTIN LLC 9901 BRODIE LANE SUITE 160-172 AUSTIN, TX 78748 OCCUPANT 3089 COOLWOOD LN ROCKWALL, TX 75032 MANKUS STEPHEN & SUSAN 7401 RODEO DR DENTON, TX 76208

OCCUPANT 3097 COOLWOOD LN ROCKWALL, TX 75032 OCHOA RENE 3107 COOLWOOD LANE ROCKWALL, TX 75032 ROJAS AMITAY HUERTA AND SORANGEL PEREZ
PARADA
3132 COOLWOOD LN
ROCKWALL, TX 75032

VARGAS JOSE A 3124 COOLWOOD LN ROCKWALL, TX 75032 AMH 2014-2 BORROWER LLC 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302 OCCUPANT 3116 COOLWOOD LN ROCKWALL, TX 75032 SLATTER SARAH KIMBERLY 3100 COOLWOOD LN ROCKWALL, TX 75032

SN DFW LLC 8390 E VIA DE VENTURA F-110 #303 SCOTTSDALE, AZ 85258

OCCUPANT 3092 COOLWOOD LN ROCKWALL, TX 75032

ROCK RANDALL L 1704 ASBURY DR WYLIE, TX 75098 OCCUPANT 2741 MASSEY LN ROCKWALL, TX 75032 STANDIFER JEREMY B & KATHRYN 2771 MASSEY LN ROCKWALL, TX 75032

BASWELL KEVIN T & SUZANN J 1715 S FM 549 ROCKWALL, TX 75032 MAYHALL DANNEL J 473 RENEE DR ROCKWALL, TX 75032 WANG EILEEN HONGLIAN & HAWKINS HAOHAI YAO 5887 KILLARNEY CIR SAN JOSE, CA 95138

OCCUPANT 2861 DEUTZ CT ROCKWALL, TX 75032 PAXTON CLAUDIA 2750 MASSEY LN ROCKWALL, TX 75032 AMH 2014-3 BORROWER LLC ATTN: PROPERTY TAX DEPARTMENT 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302

OCCUPANT 3071 FALLBROOK DR ROCKWALL, TX 75032 COVINGTON TEVIN TYLER 3469 POST OAK DRIVE ROCKWALL, TX 75032 OROZCO ARMANDO 3465 POST OAK DR ROCKWALL, TX 75032

RISTER JOHN & CHRISTINE 4815 BEAR CLAW LANE ROCKWALL, TX 75032 SHAH MURTAZA M AND MARIA E 4755 BEAR CLAW LANE ROCKWALL, TX 75032 CURTIS CHRISTOPHER LEE AND BERT G CURTIS & PAMELA S CURTIS 4735 BEAR CLAW LANE ROCKWALL, TX 75032

ZAZAKIS LAURA J AND JOHN 3014 WIMBERLEY LANE ROCKWALL, TX 75032 FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

POUNDS PAMELA AND PAUL B 3010 FONTANNA BLVD ROCKWALL, TX 75032

LOESCH RICHARD C & LISA 3012 FONTANNA BOULEVARD ROCKWALL, TX 75032 RAYSON BRIAN CHRISTOPHER & MISTY MICHELE 3014 FONTANA BOULEVARD ROCKWALL, TX 75032 FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

ANDERSON ERICKA RENEE 3442 POST OAK DR ROCKWALL, TX 75032 CANO LORENZO E & BRENDA L 3055 FALLBROOK DR ROCKWALL, TX 75032 PROGRESS RESIDENTIAL BORROWER 4 LLC PO BOX 4090 SCOTTSDALE, AZ 85261

OCCUPANT 3129 COOLWOOD LN ROCKWALL, TX 75032 ROBINSON JEREMY A 10012 TISBURY DR FRISCO, TX 75035 OCCUPANT 3137 COOLWOOD LN ROCKWALL, TX 75032 HICKORY RIDGE EAST HOMEOWNERS ASSOC 1800 PRESTON PARK BLVD STE 101 PLANO, TX 75093 VILLA CORNELIO & ESTHER 3062 FALLBROOK DR ROCKWALL, TX 75032 MADRID AYDEE E 3070 FALLBROOK DR ROCKWALL, TX 75032

LAU VIVIAN SO FAN AND RUSSELL THETU LY 131 W SANTA ANITA TERRACE ARCADIA, CA 91007

OCCUPANT 3078 FALLBROOK DR ROCKWALL, TX 75032 REIDLINGER CALEB R & SARA D 3090 FALLBROOK DR ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES PO BOX 1091 ROCKWALL, TX 75087 OCCUPANT 2424 FM549 ROCKWALL, TX 75032 STRANG DANIEL EDWARD AND SUSANNE LEIGH 3158 LUCHENBACK TRL ROCKWALL, TX 75032

SIMMONS COLTON D AND DANIELLE 3016 FONTANNA DR ROCKWALL, TX 75032 SAGNIBENE JOE AND LISA 3162 LUCKENBACH TRAIL ROCKWALL, TX 75032 THOMPSON WILLIAM AND KATHY 3013 WIMBERLEY LN ROCKWALL, TX 75087

DUNN DAVID IRVIN II 2841 HAYMAKER DR ROCKWALL, TX 75032 WONG IU YAM IRENE 36-38 GLENWOOD AVE PITTSFIELD, MA 0 OCCUPANT 2851 HAYMAKER DR ROCKWALL, TX 75032

WARREN MICHAEL & RENEE 2861 HAYMAKER DR ROCKWALL, TX 75032 TURNER CALEB MAURICE 3015 FONTANNA BLVD ROCKWALL, TX 75032 THEKEN JAMES JR AND JACQUELINE 3013 FONTANA BLVD ROCKWALL, TX 75032

CHISHOLM JILL MARIE 3011 FONTANA BLVD ROCKWALL, TX 75032 VITAR RODOLFO AND IRMA 3009 FONTANA BOULEVARD ROCKWALL, TX 75032 ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219

OCCUPANT 3875 SELBORNE DR ROCKWALL, TX 75032 WOOLDRIDGE KATHERINE W 2150 GLEANER DR ROCKWALL, TX 75032 MEJIA SERGIO 2140 GLEANER DR ROCKWALL, TX 75032

DOWNUM CHRIS D & JULIE W 2130 GLEANER DR ROCKWALL, TX 75032 NICKERSON TERENCE & DOROTHIA 3061 DUSTY RIDGE DR ROCKWALL, TX 75032 GARCIA ROBERT & GLENDA 2760 MASSEY LN ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO LLC 23975 PARK SORRENTO SUITE 300 CALABASAS, CA 91302

OCCUPANT 2751 MASSEY LN ROCKWALL, TX 75032 LAFLEUR SIEGEN 2761 MASSEY LANE ROCKWALL, TX 75032 MUENKS RUSSELL JOHN 2771 MCCORMICK CT ROCKWALL, TX 75032 SULLIVAN BRANDI KATHERINE 2770 MASSEY LN ROCKWALL, TX 75032 ML VENTURES, LLC 7908 BOULDER RIVER TRAIL MCKINNEY, TX 75070

OCCUPANT 2850 DEUTZ CT ROCKWALL, TX 75032 DUNAWAY LORI J 2860 DEUTZ COURT ROCKWALL, TX 75032 SERCY WILLIAM CHARLES AND
NORMAN WAYNE SERCY AND MARSHA MARIE
SERCY
2851 DEUTZ CT
ROCKWALL, TX 75032

FOWLER KATELIN 2871 DEUTZ COURT ROCKWALL, TX 75032 DUNK DAWNETTA M VAN 2140 NEW HOLLAND DR ROCKWALL, TX 75032

CAVETT DEBRA 2130 NEW HOLLAND DR ROCKWALL, TX 75032

WHITTERN STEVEN B & JERALYN LOUISE 2841 DEUTZ CT ROCKWALL, TX 75032 GAINOUS LESLIE III AND ERICA ESCOBAR 2110 NEW HOLLAND DRIVE ROCKWALL, TX 75032

RETTMAN KRISTIE 2830 DEUTZ COURT ROCKWALL, TX 75032

CULBERTSON JACK NEAL 3046 DUSTY RIDGE DR ROCKWALL, TX 75032 COLE LAURA & OMODAMWEN 3090 DUSTY RIDGE DR ROCKWALL, TX 75032 GARNER AMY 3105 MISTY RIDGE LN ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP C/O FIRST KEY HOMES LLC 1850 PARKWAY PLACE SUITE 900 MARIETTA, GA 30067

OCCUPANT 3108 MISTY RIDGE LN ROCKWALL, TX 75032 SFR JV-2 2023-1 BORROWER LLC 15771 RED HILL AVE STE 100 TUSTIN, CA 92780

OCCUPANT 3116 MISTY RIDGE LN ROCKWALL, TX 75032 MAH JEFFERY 305 BLANCO CIR SOUTHLAKE, TX 76092 OCCUPANT 3124 MISTY RIDGE LN ROCKWALL, TX 75032

JDS & BHK PROPERTY MANAGEMENT FIRM LP 105 CLIPPER COURT ROCKWALL, TX 75032 OCCUPANT 3092 MISTY RIDGE LN ROCKWALL, TX 75032 CHOKHAWALA AMAR AND SIMABEN V SHAH 3102 LIMESTONE HILL LN ROCKWALL, TX 75032

ROMERO ANA L AND MARIO ROMERO CEDANO 3067 DUSTY RIDGE DRIVE ROCKWALL, TX 75032 POWERS JUSTIN D PO BOX 850 ROCKWALL, TX 75087 OCCUPANT 3079 DUSTY RIDGE DR ROCKWALL, TX 75032

STEWARD RUDOLPH & BETTY 3073 DUSTY RIDGE DR ROCKWALL, TX 75032 SNYDER STACY & CHARLES 2840 DEUTZ CT ROCKWALL, TX 75032 INGRAM JAMES KENDELL 1957 S FM 549 ROCKWALL, TX 75032 RODRIGUEZ EVANGELINA PARRA & KRYSTAL MARIE RODRIGUEZ 2601 PATRICIA LN GARLAND, TX 75041

OCCUPANT 1791 FM549 ROCKWALL, TX 75032 WALKER JANICE L 1777 FM 549 ROCKWALL, TX 75032

INGRAM JAMES KENDELL 1957 S FM 549 ROCKWALL, TX 75032 OCCUPANT 1925 FM549 ROCKWALL, TX 75032 TERMINI EUGENE D & BONNIE 1851 S FM 549 ROCKWALL, TX 75032

DICHARD CHRIS E 1903 FM 549 ROCKWALL, TX 75032 SHOMETTE WILLIAM TODD AND KERRI PARSONS 3012 WIMBERLEY LN ROCKWALL, TX 75032 GODWIN JULIE AND BOBBY 3112 SAN MARCOS ROCKWALL, TX 75032

OCCUPANT 2120 NEW HOLLAND DR ROCKWALL, TX 75032 LOFLAND FARMS OWNERS ASSOC. C/O SPECTRUM ASSOCIATION MANAGEMENT 17319 SAN PEDRO SUITE 318 SAN ANTONIO, TX 78232

GILMORE TODD AND TIFFANY 2831 DUETZ CT ROCKWALL, TX 75032

MENDOZA MIGUEL 3410 POST OAK DR ROCKWALL, TX 75032 SWAIT TIFFANY 3402 POST OAK DR ROCKWALL, TX 75032

CITY OF ROCKWALL , 0

FOX PATRICK AND MEGAN 3119 COOLWOOD LANE ROCKWALL, TX 75032 BURNS A STACEY 3070 DEER RUDGE DR ROCKWALL, TX 75032 ZENDEJAS JUAN & YOLANDA AYALA 3087 DUSTY RIDGE DR ROCKWALL, TX 75032

WARNELL DONALD L AND MARIA D 3009 WIMBERLEY LN ROCKWALL, TX 75032 PARKER LYNN TERRY 3015 WIMBERLEY LN ROCKWALL, TX 75032 PEARSON GREGORY AND VICKI 1920 BROKEN LANCE LANE ROCKWALL, TX 75032

DELK GREGORY S AND SANDRA G 2020 BROKEN LANCE LN ROCKWALL, TX 75032 CURTIS PAMELA 2040 BROKEN LANCE LN ROCKWALL, TX 75032 DAWA DAWA AND TENZIN LHAMO 3011 WIMBERLEY LANE ROCKWALL, TX 75032

BATSON NICHOLAS AND JESSIE 3010 WIMBERLEY LANE ROCKWALL, TX 75032 ROCKWALL I S D 3025 LIMESTONE HILL LN ROCKWALL, TX 75032

CITY OF ROCKWALL , 0

PALMA MAYRA A & YOVANI D 3087 FALLBROOK DR ROCKWALL, TX 75032 BAYOUD JENNIFER 940 COTTON DEPOT LN APT 440 FT WORTH, TX 76102 OCCUPANT 3079 FALLBROOK DR ROCKWALL, TX 75032

TAN JUDY AND LAM KHANG DUY 914 FALCON TRAIL MURPHY, TX 75094	OCCUPANT 3054 FALLBROOK DR ROCKWALL, TX 75032	CARRANZA LUCY 3087 DEER RIDGE DR ROCKWALL, TX 75032	
WESSON LAURIE K	FORT PHILLIP D & TYRA W	CRESPIN DEBRA	
3079 DEER RIDGE DR	3071 DEER RIDGE DR	3063 DEER RIDGE DR.	
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032	
TOWNSEND NINA	CARRANZA GILBERTO E	SRP SUB, LLC	
3084 MISTY RIDGE LN	3078 DUSTY RIDGE DR	1131 W WARNER RD STE 102	
ROCKWALL, TX 75032	ROCKWALL, TX 75032	SCOTTSDALE, AZ 85284	
OCCUPANT 3450 POST OAK DR ROCKWALL, TX 75032	USCMF SN TEXAS A LLC 8390 E VIA DE VENTURA F-110 #303 SCOTTSDALE, AZ 85258	OCCUPANT 3047 FALLBROOK DR	
HP TEXAS I LLC	OCCUPANT	MCWHORTER RODNEY & VICKIE	
120 SOUTH REIVERSIDE PLAZA SUITE 2000	3418 POST OAK DR	3062 DEER RIDGE DR	
CHICAGO, IL 60606	ROCKWALL, TX 75032	ROCKWALL, TX 75032	
RODRIGUEZ BRIAN	OCCUPANT	CEVALLOS JASON & MARY	
8 BROOKWAY CT	3078 LIMESTONE HILL LN	3086 LIMESTONE HILL LN	
MANSFIELD, TX 76063	ROCKWALL, TX 75032	ROCKWALL, TX 75032	
DENNIS AMY L	BADER MARKUS AND KIMBERLY	PODLESKI GREGG T & MARIANNE	
3094 LIMESTONE HILL LN	1940 BROKEN LANCE LN	1950 BROKEN LANCE LN	
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032	
WILKINSON RICHARD S	TSIC ASSOCIATES HOLDINGS TRUST	OCCUPANT	
1970 BROKEN LANCE LANE	350 MEADOW GATE RD	1990 BROKEN LANCE LN	
ROCKWALL, TX 75032	MEADOW VISTA, CA 95722	ROCKWALL, TX 75032	
TATE ERIN ELIZABETH	LEWIS REX STEPHEN	TERRELL JUSTIN C & DESIREE N	
3063 FALLBROOK DR	3473 POST OAK DR	3476 POST OAK DRIVE	
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032	
MILLAN TRESSO & LEODEGARIA 3472 POST OAK DR ROCKWALL, TX 75032	BAKER ALEXANDER AND ARTEMIS LI 2045 BROKEN LANCE LN ROCKWALL, TX 75032	HOOVER WILLIAM A AND TAMMY 2025 BROKEN LANCE LANE ROCKWALL, TX 75032	

MOORE JAMES S AND KATRINA D 2005 BROKEN LANCE LANE ROCKWALL, TX 75032 HICKORY RIDGE EAST HOMEOWNERS ASSOC 1800 PRESTON PARK BLVD STE 101 PLANO, TX 75093 KILPATRICK KERRY LYNN & JENNY LYNN 3125 MISTY RIDGE LN ROCKWALL, TX 75032

CALDERON DAVID & MARIBEL 3117 MISTY RIDGE LANE ROCKWALL, TX 75032 KRANTZ BRIAN K & KATHERINE A 3434 POST OAK DRIVE ROCKWALL, TX 75032 WOODWARD CHERIE J 3426 POST OAK DR ROCKWALL, TX 75032

REGGIA DANIELLE R 3100 MISTY RIDGE LN ROCKWALL, TX 75032 TUGGLE JERRY R & KATHRYN M 3070 DUSTY RIDGE DRIVE ROCKWALL, TX 75032 W2 CATTLE INVESTMENTS LLC C/O RANDY PARDUE 508 TWLIGHT TRAIL SUITE 99 RICHARDSON, TX 75080

OCCUPANT 3062 DUSTY RIDGE DR ROCKWALL, TX 75032 KANAK INVESTMENTS LLC 2321 FIELDCREST DR ROCKWALL, TX 75032 OCCUPANT 3054 DUSTY RIDGE DR ROCKWALL, TX 75032

TOUOBOUN CHRISTOPHER 1648 TROW BRIDGE ROCKWALL, TX 75032 OCCUPANT 3055 DEER RIDGE DR ROCKWALL, TX 75032 HICKORY RIDGE EAST HOMEOWNERS ASSOC 1800 PRESTON PARK BLVD STE 101 PLANO, TX 75093

SCHUETTE JASON & BARBARA 1925 BROKEN LANCE LN ROCKWALL, TX 75032 BRUCE LIVING TRUST 757 AVALON DR HEATH, TX 75032 OCCUPANT 2065 BROKEN LANCE LN ROCKWALL, TX 75032

TIPPETT TERRANCE & EMILY 2060 BROKEN LANCE LANE ROCKWALL, TX 75032 DRENTH HOWARD D AND TERESSA 2080 BROKEN LANE ROCKWALL, TX 75032 ESPARZA ABEL AND MONICA CARMONA 336 NICOLE DR ROCKWALL, TX 75032

ESTATE OF WILLIAM K & BEATRICE BURNS 319 RENEE DR ROCKWALL, TX 75032 JIMENEZ RICARDO 2847 TANGLEGLEN DR ROCKWALL, TX 75032 OCCUPANT 337 RENEE DR ROCKWALL, TX 75032

IBARRA MATEO CASTRO 140 NICOLE DR ROCKWALL, TX 75032 OCCUPANT 152 NICOLE DR ROCKWALL, TX 75032 SOSA LORENA 293 NICOLE DR ROCKWALL, TX 75032

ESPARZA MARCO 312 RENEE ROCKWALL, TX 75032 CONTRERAS JOSE LUIS AND JUANA DIAZ 1750 E FM 550 ROCKWALL, TX 75032

OCCUPANT 330 RENEE DR ROCKWALL, TX 75032 SH DEV KLUTTS ROCKWALL LLC 2400 DALLAS PARKWAY SUITE 460 PLANO, TX 75093 BENITES ROSA 322 NICOLE DR ROCKWALL, TX 75032 OCCUPANT 312 NICOLE DR ROCKWALL, TX 75032

BENITES ROSA 322 NICOLE DR ROCKWALL, TX 75032 CHINN DERRICK O PO BOX 35011 LOS ANGELES, CA 90035 OCCUPANT 3468 POST OAK DR ROCKWALL, TX 75032

BEAVERS SHIRLEY 3460 POST OAK DR ROCKWALL, TX 75032 RUSHING MASON & JACLYN A 3111 MISTY RIDGE LANE ROCKWALL, TX 75032

JARMAN EMMA 3091 MISTY RIDGE LN ROCKWALL, TX 75032

ARISTA ISAAC & WILMA KAY 3083 MISTY RIDGE LN ROCKWALL, TX 75032 RICCELLI JEANINE MARIE 3099 MISTY RIDGE LN ROCKWALL, TX 75032 FONTANNA RANCH HOMEOWNERS ASSOCIATION INC C/O ASSURED MANAGEMENT 2500 LEGACY DR SUITE 220 FRISCO, TX 75034

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

IBARRA GABRIELA AND EDUARDO OSORNIO 171 CRAWFORD LN ROYSE CITY, TX 75189

OCCUPANT 291 RENEE DR ROCKWALL, TX 75032

ESPARZA MARCO A 312 RENEE DR ROCKWALL, TX 75032 OCCUPANT 383 RENEE DR ROCKWALL, TX 75032 WHEELER JANIS & KEVIN M 451 RENEE DR ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ 1244 COUNTY ROAD 2278 QUINLAN, TX 75474 OCCUPANT 515 RENEE DR ROCKWALL, TX 75032 LOFLAND N L EST 1 CARMARTHEN CT DALLAS, TX 75225

LOFLAND N L EST 1 CARMARTHEN CT DALLAS, TX 75225 ROCKWALL INDEPENDENT SCHOOL DISTRICT 1050 WILLIAMS ST ROCKWALL, TX 75087 WALLACE LAND PARTNERS L P 6271 HORIZON RD ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON 3808 LOFLAND CIR ROCKWALL, TX 75032 DEAN ANN W 106 STANDING OAK DR GEORGETOWN, TX 78633 LOFLAND N L EST 1 CARMARTHEN CT DALLAS, TX 75225

LOFLAND N L EST 1 CARMARTHEN CT DALLAS, TX 75225 MILLER FAMILY INVESTMENT LP 17430 CAMPBELL RD STE 230 DALLAS, TX 75252 SMARTT LOFLAND & BOND 1 CARMARTHEN CT DALLAS, TX 75225 LOFLAND N L EST 1 CARMARTHEN CT DALLAS, TX 75225 FORREST FRANK & KELLI LAFON 3808 LOFLAND CIR ROCKWALL, TX 75032 LAYZA & LUNA REAL ESTATE LLC 2922 S GOLIAD ST ROCKWALL, TX 75032

SANCHEZ ARNULFO 398 NICOLE DR ROCKWALL, TX 75032 OCCUPANT 222 NICOLE DR ROCKWALL, TX 75032 MCINTIRE JUANITA 373 RENEE DR ROCKWALL, TX 75032

MENDEZ ALAN ERNESTO ROJAS AND YAZMIN ACOSTA MEJIA 303 RENEE DR ROCKWALL, TX 75032 FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

BLOOMFIELD HOMES LP 1050 E. STATE HWY 114 EAST SUITE 210 SOUTHLAKE, TX 76092

ROSS SCOTT TRAVIS AND MEGAN 2517 LOUDON ST WEST ROCKWALL, TX 75032 DENSON PATRICIA ANN 2521 LOUDON ST WEST ROCKWALL, TX 75032 JOSHI MAYURESH S AND BINITA SINHA 2513 LOUDON ST WEST ROCKWALL, TX 75032

GATEWOOD PAULA AND WADE 2509 LOUDON ST W ROCKWALL, TX 75032 SIGNO FAMILY LIVING TRUST GENARO A SIGNO AND JULITA R SIGNO-TRUSTEES 2505 LOUDON STREET WEST ROCKWALL, TX 75032 SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

OCCUPANT 4509 SYLVAN PARK DR ROCKWALL, TX 75032 DE LOS SANTOS CARLOS AND MARGOT 2501 LOUDON ST WEST ROCKWALL, TX 75032 HUGHES BRYAN 2423 LOUDON ST WEST ROCKWALL, TX 75032

MARTINEZ ALEXANDRA ISABEL PRIETO AND ANGEL JAVIER SANCHEZ ROJAS 2419 LOUDON ST WEST ROCKWALL, TX 75032

GARZA SIMONE M & HEATH 2518 LOUDON ST E ROCKWALL, TX 75032 JOHNSTON RODNEY DURRAL JR AND KIMBERLY
D
2504 LOUDON ST EAST
ROCKWALL. TX 75032

BOLDEN QUINTEN TIBERIUS AND ALEXANDER NICHOLAS KUJAK 2417 LOUDON ST WEST ROCKWALL, TX 75032

ACKERMAN DANYELL AND ALAN 2418 LOUDON STREET EAST ROCKWALL, TX 75032 NAMIE NOMIE M III AND GINA MARIE 2413 LOUDON ST WEST ROCKWALL, TX 75032

BOCK FAMILY TRUST OF 2003 JOSEPH C AND SHIZUKO BOCK-TRUSTEES 2601 LONG COMMON SOUTH ROCKWALL, TX 75032

SWAIN STEPHEN & CAROL J 2406 LOUDON ST E ROCKWALL, TX 75032 GIL ANNA AND JULIAN 2409 LOUDON STREET WEST ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION INC C/O CMA 1800 PRESTON PARK BLVD SUITE 240 PLANO, TX 75093

WILLIAMS DAVIS CRAIG AND JENNIFER IRENE 2405 LOUDON ST WEST ROCKWALL, TX 75032 DIGGS DAVID WILEY 2401 LOUDON ST WEST ROCKWALL, TX 75032 SOMERSET PARK COMMUNITY ASSOCIATION INC C/O CMA 1800 PRESTON PARK BLVD SUITE 240 PLANO, TX 75093

TAYLOR SHELLY A 2518 LONG COMMON NORTH ROCKWALL, TX 75032 SOMERSET PARK COMMUNITY ASSOCIATION INC C/O CMA 1800 PRESTON PARK BLVD SUITE 240 PLANO, TX 75093

FURLONG FAMILY TRUST 2502 LONG COMMON NORTH ROCKWALL, TX 75032 MURRAY BRADY & JENNIFER 4310 STABLE GLEN DRIVE ROCKWALL, TX 75032 ROBERTS KYLE & KATELIN 4314 SELBORNE DR ROCKWALL, TX 75032

MILLIGAN BYRON PEYTON AND MELANIE BAILEY
4317 STABLEGLEN DR
ROCKWALL, TX 75032

VIDICAN FLORIN 4306 STABLEGLEN DRIVE ROCKWALL, TX 75032 PETERSEN JOEL AND LEIGHANN MARIE 4309 STABLEGLEN DRIVE ROCKWALL, TX 75032

LIRA MARCELINO JOSE &
ROZENEIDE S SOUSA LINS
4318 SELBORNE DR
ROCKWALL, TX 75032

HERNANDEZ RAUL RALPH 4302 STABLEGLEN DRIVE ROCKWALL, TX 75032 TRAVIS MARK SUMMIT AND KAITLYN MAE 4301 STABLEGLEN DRIVE ROCKWALL, TX 75032

OCONNELL PETER JAMES AND MICHELLE ANN 4214 QUINCY ST ROCKWALL, TX 75032 BROWN KAREN D 4215 STABLEGLEN DRIVE ROCKWALL, TX 75032 MELI JILL MARIE 4210 QUINCY ST ROCKWALL, TX 75032

ROBINSON JOSEPH BROOKS 4210 STABLEGLEN DRIVE ROCKWALL, TX 75032 BURKHALTER JEFFREY MICHAEL AND LINDSEY
ANN
4209 STABLEGLEN DR
ROCKWALL, TX 75032

SHEPHERD JEFFREY W AND PAMELA A 4206 STABLE GLEN DRIVE ROCKWALL, TX 75032

PATTERSON KENNETH EARL AND CYNTHIA A
4205 STABLEGLEN DR
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

IRWIN MATTHEW LEE AND MYLIN NICOLE 4202 STABLEGLEN DRIVE ROCKWALL, TX 75032

ROSOFF AMY LYNN 4111 QUINCY STREET ROCKWALL, TX 75032 HIGDON RICKIE LEE AND ASUNCION MARINA 4113 STABLEGLEN DR ROCKWALL, TX 75032 DIVITTORIO ZEB ROBERT AND KELSEY LYNN 4110 STABLEGLEN DR ROCKWALL, TX 75032

SIMS RUSSELL ROBERT AND CALLIE MICHELLE 4105 QUINCY STREET ROCKWALL, TX 75032 CAMP DARROL B AND TASHIA F 4109 STABLEGLEN DR ROCKWALL, TX 75032 PARSON JESSICA L AND CHRISTOPHER P 4106 STABLEGLEN DR ROCKWALL, TX 75032

COOK BROOKE AND MATTHEW 4105 STABLEGLEN DRIVE ROCKWALL, TX 75032 UNDERWOOD MARK AND MICHELLE 4101 QUINCY STREET ROCKWALL, TX 75032 HUNG MINH LAM AND BIHN TAN QUACH 4102 STABLEGLEN DR ROCKWALL, TX 75032 HENSON DAVID ROSS AND DEBORAH PROWSE 4101 STABLEGLEN DRIVE ROCKWALL, TX 75032 TROST COOPER RANDALL & JENNIFER 4027 QUINCY ST ROCKWALL, TX 75032 BURNS TONYA KAY AND AUBREY LEE 4014 STABLEGLEN DR ROCKWALL, TX 75032

HALL HUNTER AND KELSEY 4013 STABLEGLEN DRIVE ROCKWALL, TX 75032 GUARDIOLA SOCORRO AND JESSICA GUAZZONE 4023 QUINCY ST ROCKWALL, TX 75032

TOPALOVIC NIKOLA AND KAYLEE NAN 4010 STABLEGLEN DRIVE ROCKWALL, TX 75032

SEUMANUTAFA JOHN AND CHRISTINE 4009 STABLEGLEN DRIVE ROCKWALL, TX 75032 WESLEY ERIC CHARLES & TERRI LASHON 4019 QUINCY STREET ROCKWALL, TX 75032 HUNTER BRIAN JEFFREY AND JENNIFER LYNN 4006 STABLEGLEN DR ROCKWALL, TX 75032

ARCHIBALD KAREN AND MATTHEW 4003 STABLEGLEN DRIVE ROCKWALL, TX 75032 SOMERSET PARK COMMUNITY ASSOCIATION INC C/O CMA 1800 PRESTON PARK BLVD SUITE 240 PLANO, TX 75093

RAMSBOTTOM DAVID BRADLEY AND DAWN 4018 QUINCY STREET ROCKWALL, TX 75032

BECOMING ONE MINISTRY & COUNSELING
CENTER
4002 STABLEGLEN DRIVE
ROCKWALL, TX 75032

ARMSTRONG HOYT AND MIMI TU ANH 4001 STABLEGLEN DR ROCKWALL, TX 75032 JANDREW DUSTY R AND JUSTIN C 4014 QUINCY STREET ROCKWALL, TX 75032

MICHAEL BOBIE AND SUSAN L BOBIE LIVING TRUST MICHAEL BOBIE AND SUSAN L BOBIE-TRUSTEES 3917 STABLEGLEN DRIVE ROCKWALL, TX 75032

BETTEVY RYAN A & KIMBERLY 4010 QUINCY STREET ROCKWALL, TX 75032 GILMORE CARA D 3910 STABLEGLEN DR ROCKWALL, TX 75032

GALLOWAY BRENT JR & JACQUELINE 3913 STABLEGLEN DRIVE ROCKWALL, TX 75032 LONG PAIGE MICHELE AND RYAN KEATHLEY 4017 OLMSTED DRIVE ROCKWALL, TX 75032 CONFIDENTIAL OWNER 3906 STABLEGLEN DR ROCKWALL, TX 75032

DUKE ROCHELLE 4013 OLMSTED DRIVE ROCKWALL, TX 75032 MOORE STEPHANIE RAAN AND RODNEY WAYNE 3909 STABLEGLEN DRIVE ROCKWALL, TX 75032 OSMUN DAVID CHARLES AND MARISHA 3902 STABLEGLEN DR ROCKWALL, TX 75032

TORRES MARCUS ANTHONY AND AMANDA E 3905 STABLEGLEN AVE ROCKWALL, TX 75032 ROLDAN EMILY ELIZABETH AND IVAN 3901 STABLEGLEN DR ROCKWALL, TX 75032 ILKENHANS JAMES CURTIS 3813 OLMSTED DRIVE ROCKWALL, TX 75032

HUMPHREY JAY AND KIMMIE 4768 S STATE HWY 205 ROCKWALL, TX 75032 RCH WATER SUPPLY CORPORATION PO BOX 2034 ROCKWALL, TX 75087 IMBURGIA JOHN & GRACE 211 ELVIS PRESLEY LN ROCKWALL, TX 75032

IMBURGIA JOHN & GRACE	CASSAR JEFFREY AND JENNIFER	RCH WATER SUPPLY CORPORATION
211 ELVIS PRESLEY LN	193 ELVIS PRESLEY LN	PO BOX 2034
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75087
RCH WATER SUPPLY CORP PO BOX 2034 ROCKWALL, TX 75087	CRENSHAW JANET AND GERALD S 3005 SAN MARCOS DR ROCKWALL, TX 75032	FONTANNA RANCH HOMEOWNERS' ASSOCIATION INC 6750 HILLCREST PLAZA DRIVE SUITE 326 DALLAS, TX 75230
JONES KRISTINE KAYE AND JOSE ENRIQUE FRESQUEZ 3010 SAN MARCOS DRIVE ROCKWALL, TX 75032	RILEY CHRISTINE 3014 SAN MARCOS DRIVE ROCKWALL, TX 75032	HERNANDEZ ARMANDO AND DARLA DEANETTE 3009 SAN MARCOS DRIVE ROCKWALL, TX 75032
COWARD ERICA AND RICHARD 3013 SAN MARCOS DRIVE ROCKWALL, TX 75032	FRANKLIN J BACHMAN TRUST CYNTHIA KAY BACHMAN TRUSTEE 3001 SAN MARCOS DR ROCKWALL, TX 75032	SCHOEN DAVID L AND MARY F 3006 SAN MARCOS DRIVE ROCKWALL, TX 75032
FONTANNA RANCH HOMEOWNERS' ASSOCIATION INC 6750 HILLCREST PLAZA DRIVE SUITE 326 DALLAS, TX 75230	HAYES, LAGWENDA 3108 COOLWOOD LN ROCKWALL, TX 75032	HAYES KRISTOPHER 3108 COOLWOOD LN ROCKWALL, TX 75032
LOFLAND FARMS OWNERS ASSOC. C/O SPECTRUM ASSOCIATION MANAGEMENT 17319 SAN PEDRO SUITE 318 SAN ANTONIO, TX 78232	WING-PAL LLC 1227 WOODLAWN AVE DALLAS, TX 75208	OCCUPANT 2390 S FM549 ROCKWALL, TX 75032
WING-PAL LLC	OCCUPANT	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
1227 WOODLAWN AVE	2380 FM549	3500 MAPLE AVENUE #1165
DALLAS, TX 75208	ROCKWALL, TX 75032	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
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3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219
ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC	ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165	3500 MAPLE AVENUE #1165
DALLAS, TX 75219	DALLAS, TX 75219	DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219 ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219 ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219 ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219 ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC 3500 MAPLE AVENUE #1165 DALLAS, TX 75219 THE STATE OF TEXAS, BY AND THROUGH THE TEXAS TRANSPORTATION COMMISSION 125 E 11TH STREET AUSTIN, TX 78701 ROCKWALL INDEPENDENT SCHOOL DISTRICT

<Null>
1050 WILLIAMS ST <Null>
ROCKWALL, TX 75087

OCCUPANT 2301 S JOHN KING BLVD ROCKWALL, TX 75032 ROCKWALL 205 INVESTORS LLC (1075652) <Null>
1 CANDLELITE TRAIL <Null>
HEATH, TX 75032

TEXAS RE INVESTMENTS LLC 401K PLAN 6315 GRAND PROMINENCE CT < Null> KATY, TX 77494

OCCUPANT 207 NICOLE DR ROCKWALL, TX 75032 TEXAS RE INVESTMENTS LLC 401K PLAN 6315 GRAND PROMINENCE CT KATY, TX 77494 OCCUPANT 195 NICOLE DR ROCKWALL, TX 75032

FRENTRESS ABIGAIL LEIGH 327 NICOLE DR <Null> ROCKWALL, TX 75032

CASTANON RAMON & ESMERALDA ALMANZA 382 NICOLE DR <Null> ROCKWALL, TX 75032 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-060: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, December 10, 2024 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, December 16, 2024 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning





2.100.00 0.1 10.11.11.1g & 2.01.11.g	TO THE WEBSITE	
MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/developments/	opment/development-ca	
- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -		
Case No. Z2024-060: Zoning Change from AG to PD		
Please place a check mark on the appropriate line below:		
☐ I am in favor of the request for the reasons listed below.		
☐ I am opposed to the request for the reasons listed below.		
Name:		
Address:		

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.



767 Justin Rd Rockwall, TX 75087

September 13, 2024

Mr. Ryan Miller Director of Planning and Zoning City of Rockwall 385 S Goliad Street Rockwall, TX 75087

RE: Zoning Application, Lofland Tract,

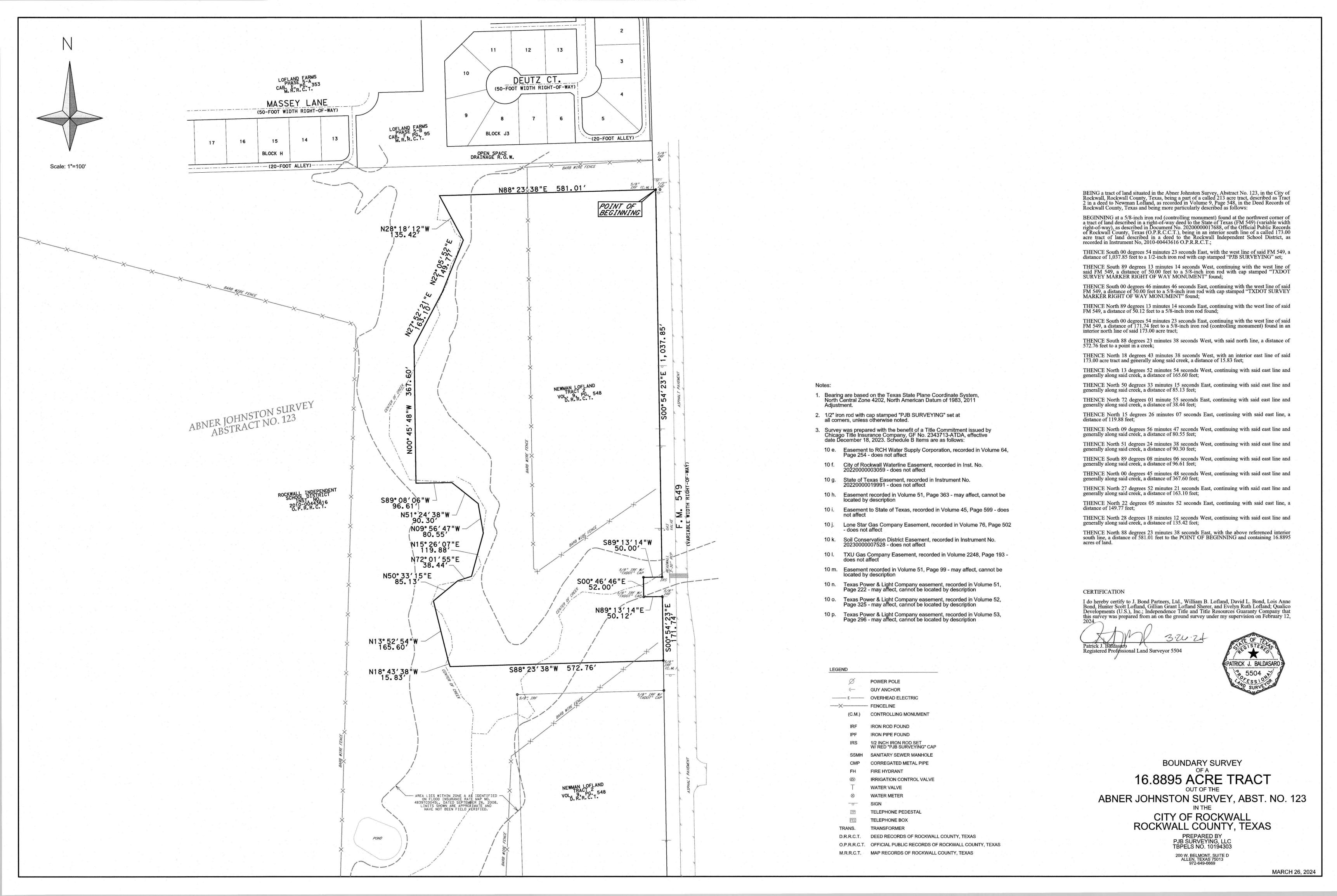
Dear Mr. Miller,

Michael Joyce Properties is submitting the attached Zoning Application, Concept Plan and Design Standards for consideration for a change in Zoning for the tracts as shown in the Concept Plan and Survey. We would like to request a change in Zoning from Agricultural District to a Planned Development District with the attached design standards.

We thank you for your consideration and look forward to working with the City of Rockwall, the Planning and Zoning Commission and the City Council on the approval of this request.

Sincerely,

Ryan Joyce President, Michael Joyce Properties



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 20200000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00 acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12 feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60 feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;

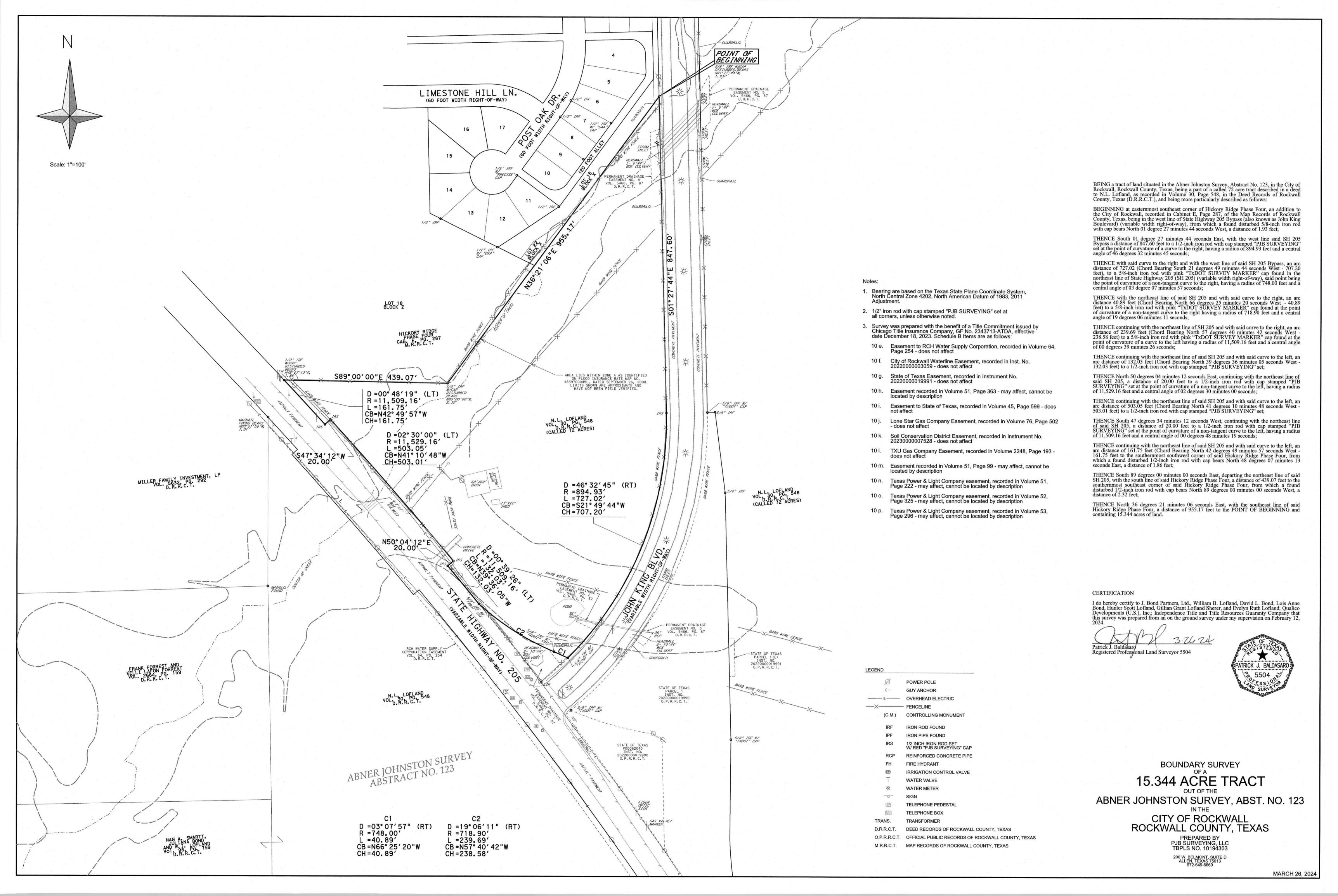
THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-ofway), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93 feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a curve to the right, having a radius of 894.93 feet and a central angle of 46 degrees 32 minutes 45 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 727.02 (Chord Bearing South 21 degrees 49 minutes 44 seconds West - 707.20 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being the point of curvature of a non-tangent curve to the right, having a radius of 748.00 feet and a central angle of 03 degree 07 minutes 57 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

THENCE continuing with the northeast line of SH 205 and with said curve to the right, an arc distance of 239.69 feet (Chord Bearing North 57 degrees 40 minutes 42 seconds West - 238.58 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having a radius of 11,509.16 feet and a central angle of 00 degrees 39 minutes 26 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 132.03 feet (Chord Bearing North 39 degrees 36 minutes 05 seconds West - 132.03 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05 feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West - 503.01 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

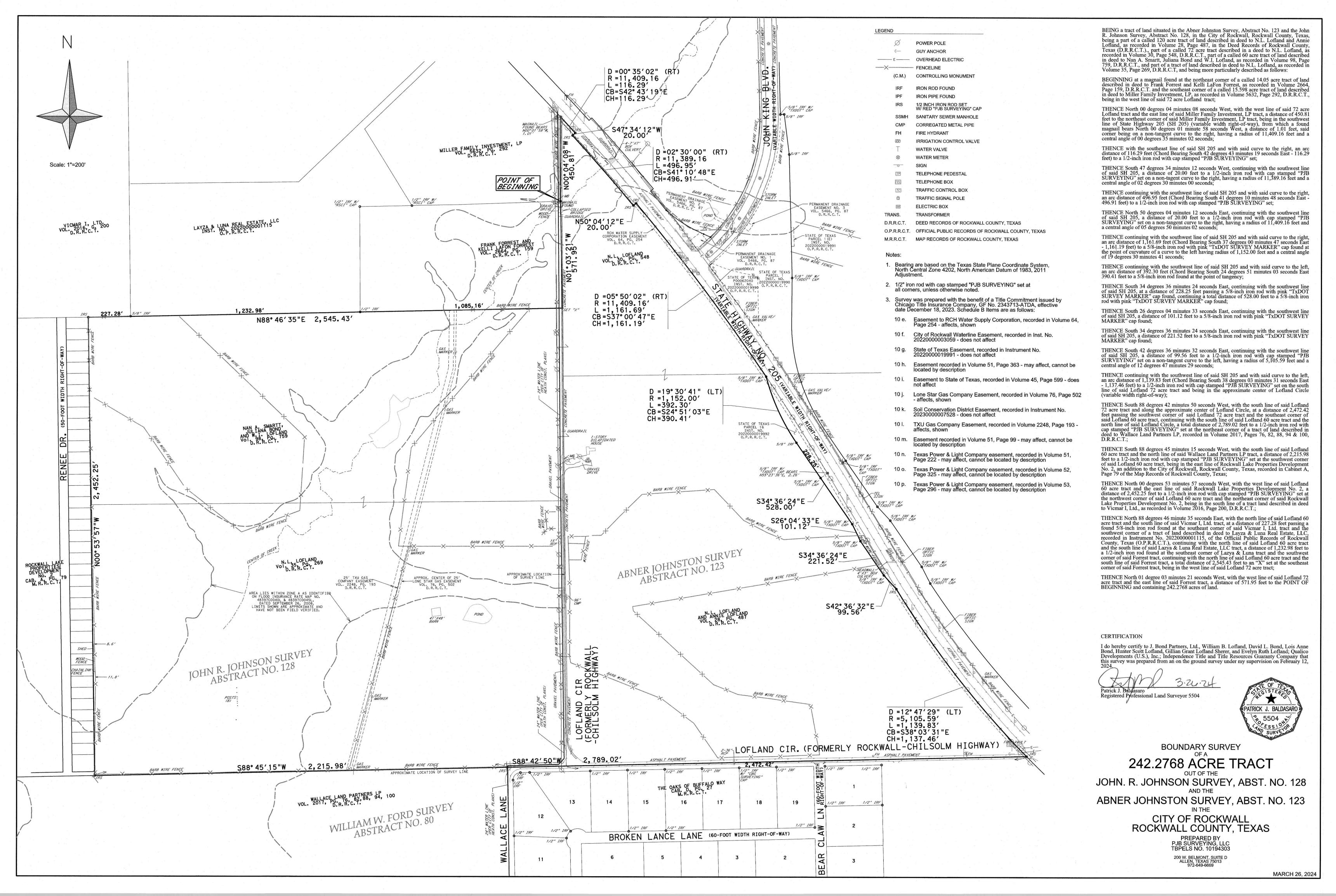
THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point

of curvature of a non-tangent curve to the left, having a radius of 11,509.16 feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75 feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West - 161.75 feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86 feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07 feet to the southernmost southeast corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 89 degrees 00 minutes 00 seconds West, a distance of 2.32 feet;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17 feet to the POINT OF BEGINNING and containing 15.344 acres of land.



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.)., part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T, and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.91 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.19 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 392.30 feet (Chord Bearing South 24 degrees 51 minutes 03 seconds East - 390.41 feet to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

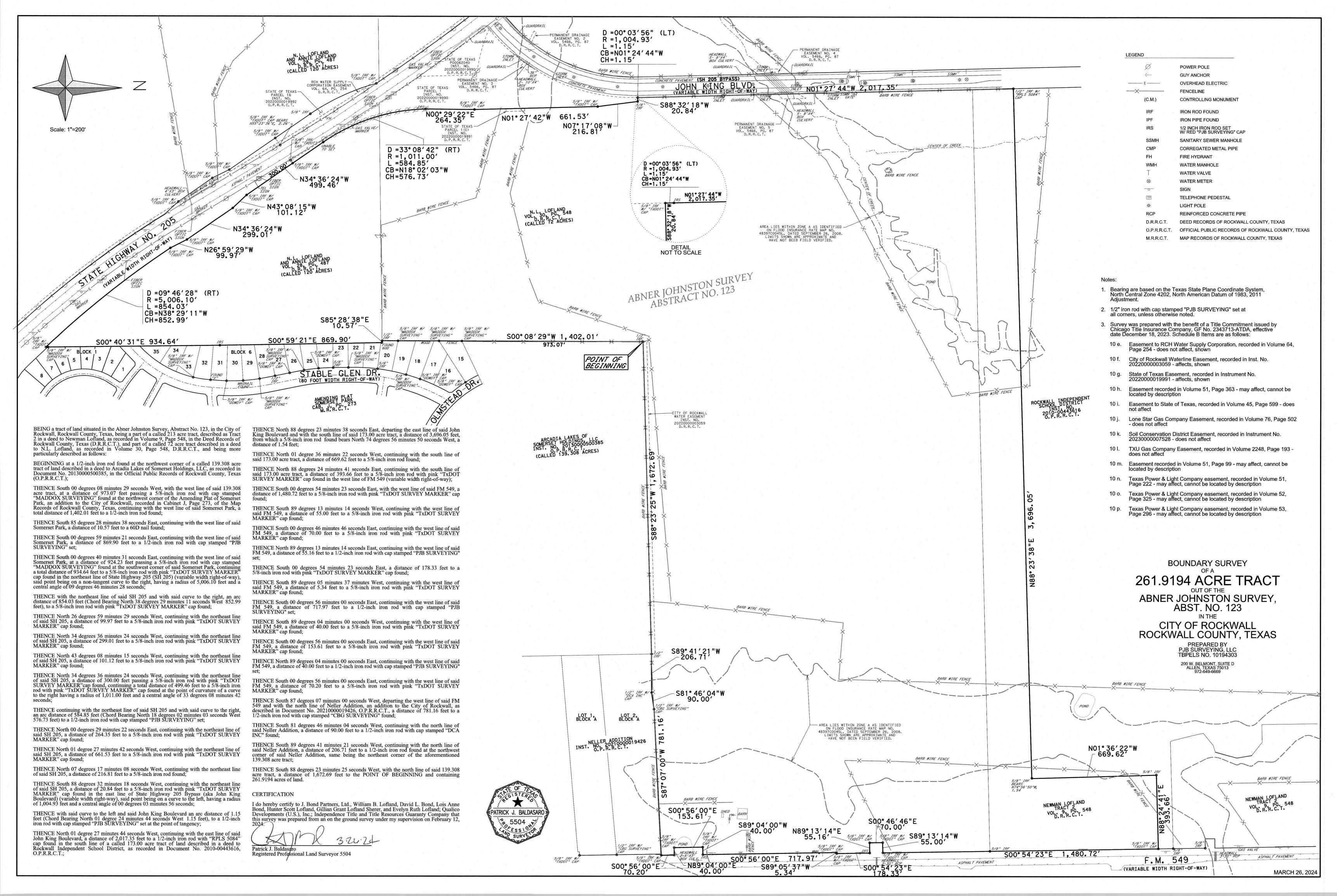
THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 20220000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Lazya & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of Lazya & Luna tract and the southwest corner

of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 120 acre tract described in a deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487 D.R.R.C.T., and part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found at the northwest corner of a called 139.308 acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308 acre tract, at a distance of 973.07 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01 feet to a 1/2-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57 feet to a 60D nail found;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10 feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03 feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00 feet passing a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found, continuing a total distance of 499.46 feet (unable to set) to the point of curvature of a curve to the right having a radius of 1,011.00 feet and a central angle of 33 degrees 08 minutes 42 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the right, an arc distance of 584.85 feet (Chord Bearing North 18 degrees 02 minutes 03 seconds West 576.73 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 29 minutes 22 seconds East, continuing with the northeast line of said SH 205, a distance of 264.35 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 661.53 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE South 88 degrees 32 minutes 18 seconds West, continuing with the northeast line of said SH 205, a distance of 20.84 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93 feet and a central angle of 00 degrees 03 minutes 56 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 1.15 feet (Chord Bearing North 01 degree 24 minutes 44 seconds West 1.15 feet), to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of tangency;

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35 feet to a 1/2-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00 acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00 acre tract, a distance of 3,696.05 feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54 feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00 acre tract, a distance of 669.62 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00 acre tract, a distance of 393.66 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

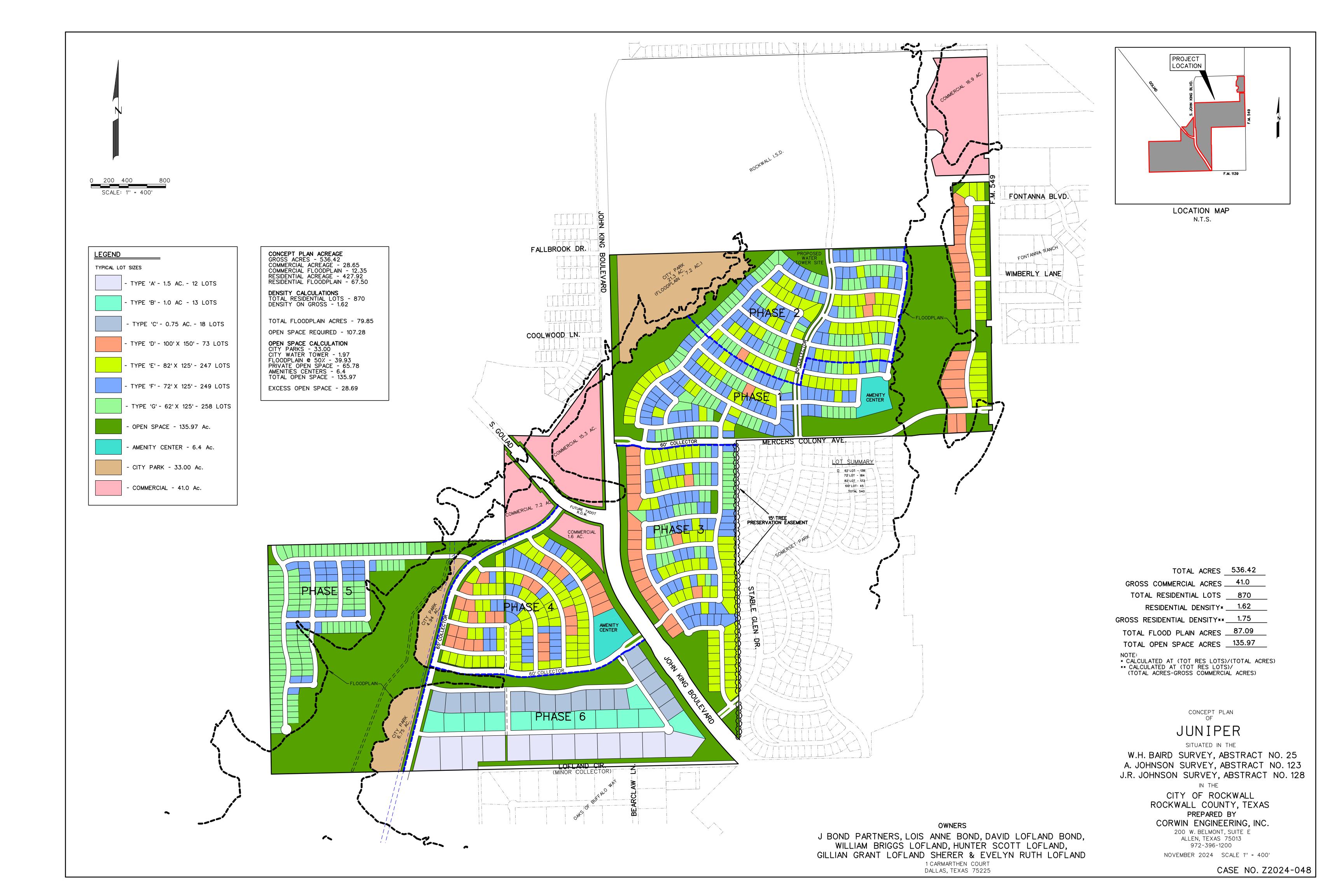
THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16 feet to a 1/2-inch iron rod with cap stamped "CBG SURVEYING" found;

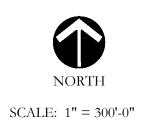
THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00 feet to a 1/2-inch iron rod with cap stamped "DCA INC" found;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71 feet to a 1/2-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308 acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308 acre tract, a distance of 1,672.69 feet to the POINT OF BEGINNING and containing 261.9194 acres of land.



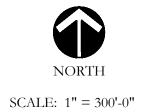




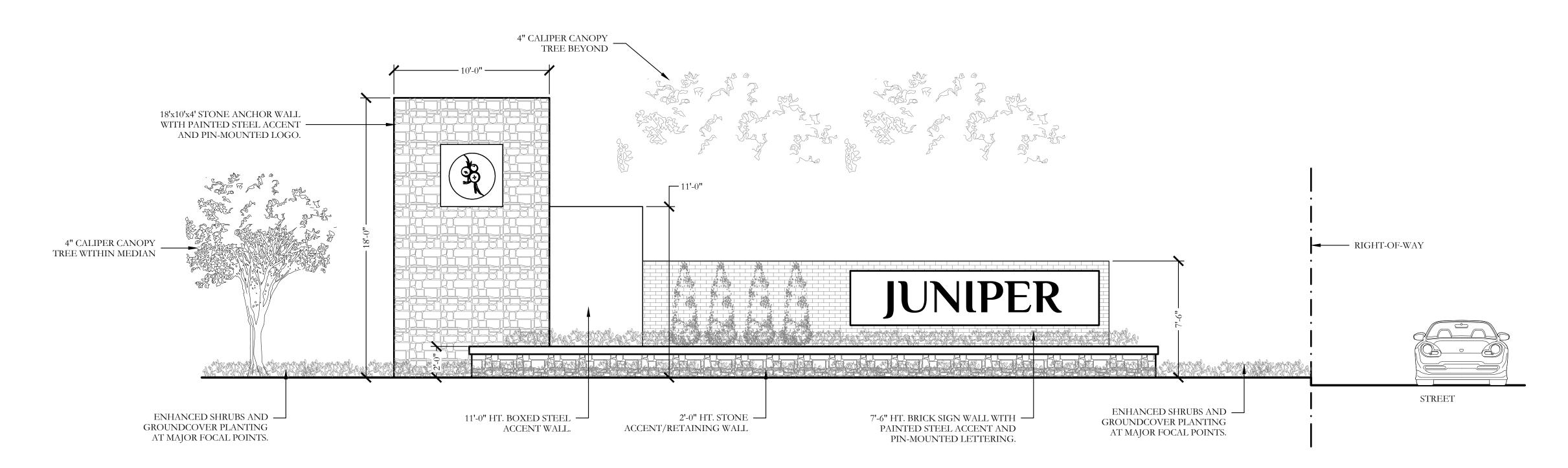


SHEET 1 OF 6 Owner Submittal 9-10-2024

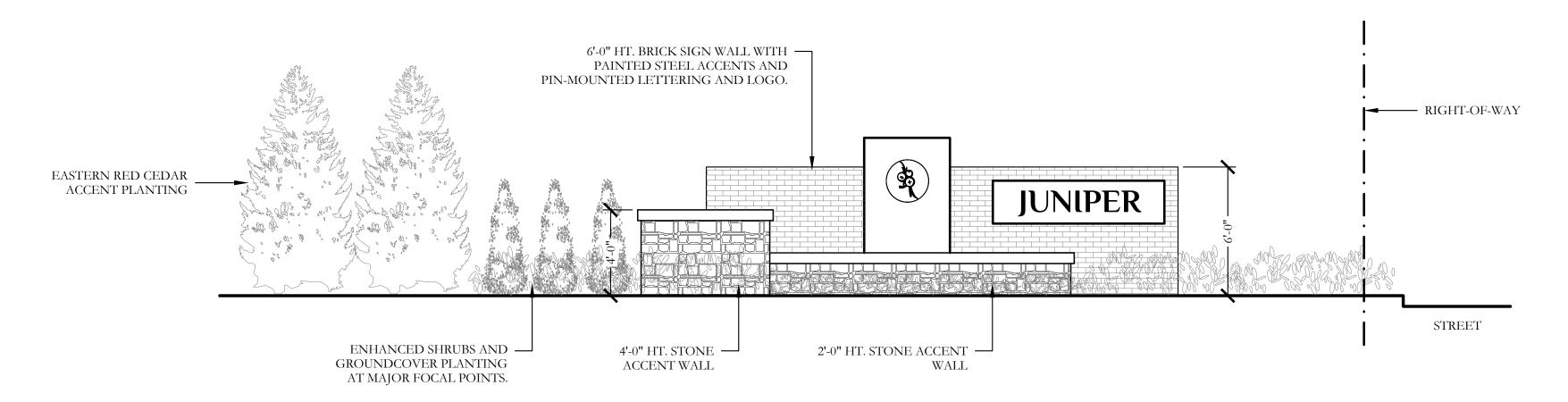




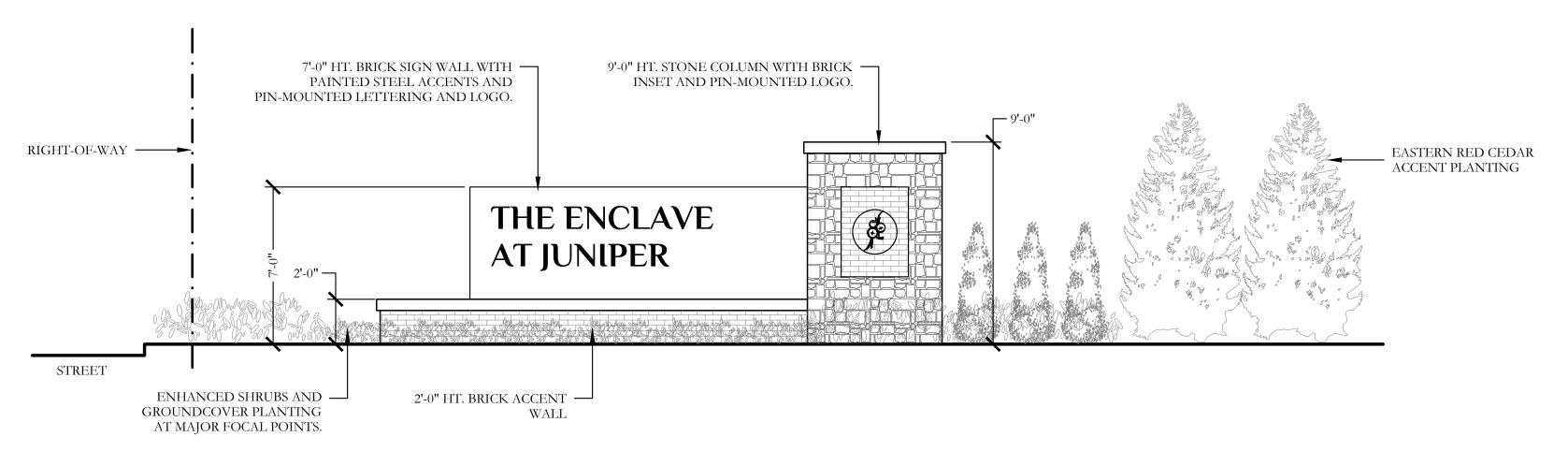




MAIN ENTRY SIGNAGE WITHIN MEDIAN
ELEVATION

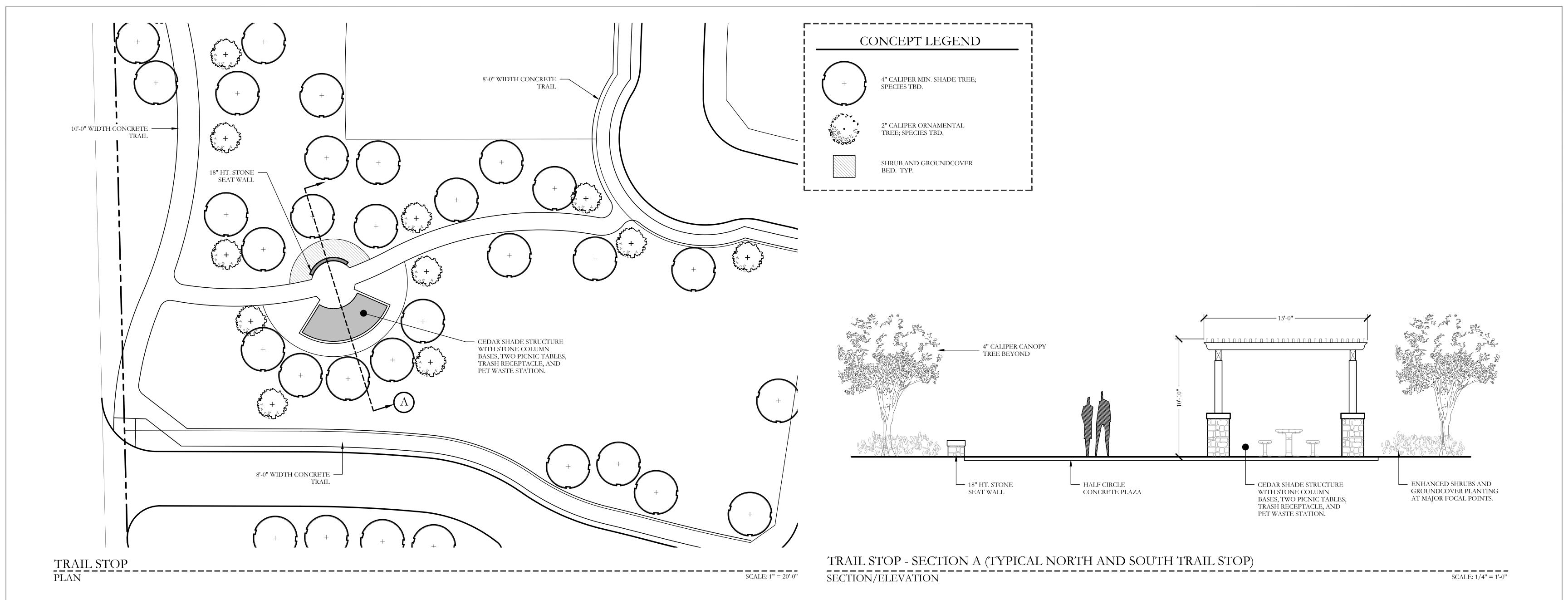


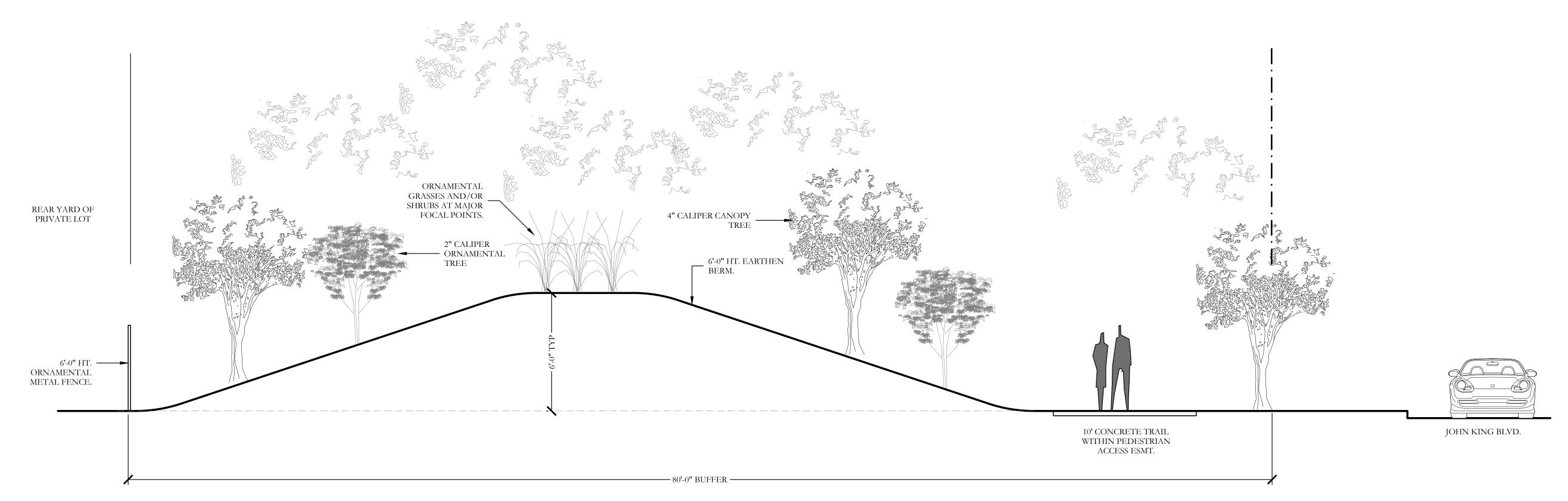
SECONDARY ENTRY SIGNAGE ELEVATION



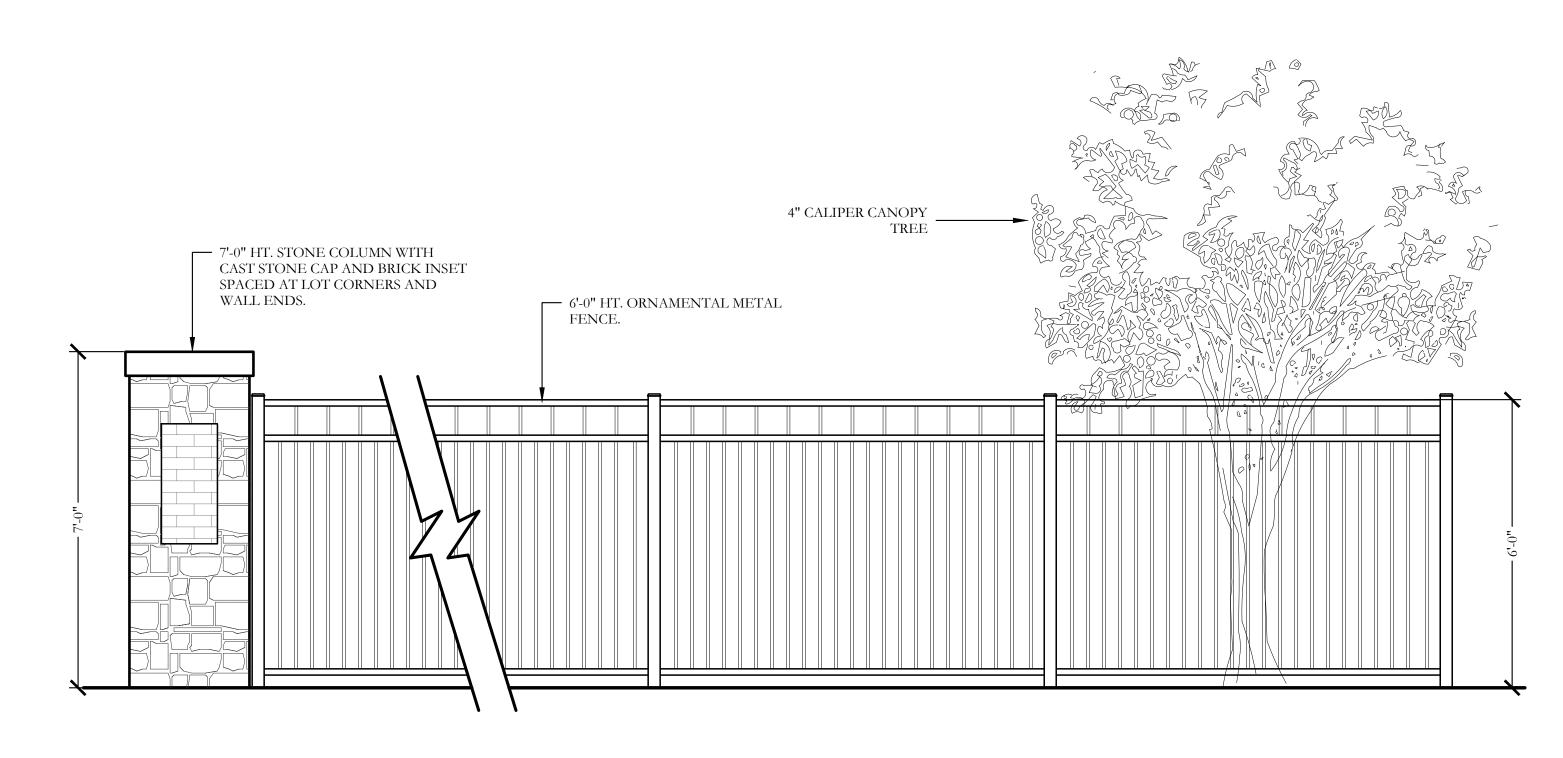
ENCLAVE ENTRY SIGNAGE ELEVATION SCALE: 1/4'' = 1'-0''

JUNIPER / ENTRY MONUMENT ELEVATIONS





TYPICAL CROSS SECTION OF JOHN KING BLVD. ELEVATION SCALE: 1/4" = 1'-0"



TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION
SCALE: 1/2" = 1'-0"



SHEET 6 OF 6 Owner Submittal 9-10-2024

Lot Type	Min Lot Size	Min Lot Size	Dwelling Units	% Dwel Un	actual sq ftg
1.5 acre	185 x 200	65340	12	1.38%	
1 acre	185 x 200	43560	13	1.49%	37000
3/4 acre	120 X 200	32670	18	2.07%	
100'	100x150	12000	73	8.39%	15000
82'	82x125	9600	247	28.39%	10250
72'	72x125	8640	249	28.62%	9000
62'	62x125	7440	258	29.66%	7750
52'	52x125		0	0.00%	6500
		·	870	100 00%	•

Total Acres 536.42
Gross Commercial 41
Total Res Lots 870
Residential Density =

Residential Density = 1.622 = #res lots/total acres

Gross Res Density 1.756 = #res lots/(total acres-gross commercial)

Total Flood Plain Acres 79.85 Total Open Space Acres 135.97

16 SOUTH CENTRAL RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The South Central Residential District contains a mixture of established medium and low density residential subdivisions along with several large vacant tracts of land designated for low density residential land uses. At the center of the district, the Rockwall Independent School District (RISD) acquired a large tract of land that is the home of the new Career Academy School, with potential plans to add a stadium, high school, and middle school to the property in the future. In addition, the realignment of SH-276 will create a major intersection at the corner of SH-205 and SH-276 that is anticipated to be a major commercial corner after the completion of the realignment. Having some of the largest tracts of undivided land, the South Central Residential District is an ideal place for low-density master planned communities that are highly amenitized.

POINTS OF REFERENCE

- A. Meadow Creek Estates Subdivision
- B. Hickory Ridge Subdivision
- C. Lofland Farms Subdivision
- D. RISD's Career Academy
- E. Somerset Park Subdivision
- F. Sterling Farms Subdivision
- G. Fontanna Ranch Subdivision
- H. Timber Creek Subdivision

LAND USE PALETTES

- Current Land Use
- Future Land Use

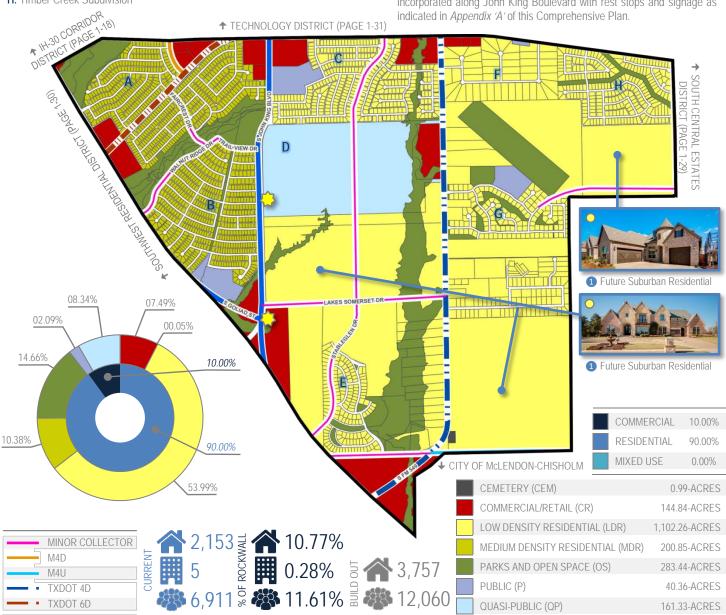


John King Boulevard Trail Plan *Rest Stop/Trailblazer Pylon*

DISTRICT STRATEGIES

The South Central Residential District is anticipated to add additional suburban developments in the western and southern areas of the district. Taking this into consideration the following are the strategies for this district:

- 1 Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.
 - Commercial Land Uses. Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.
- John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'A' of this Comprehensive Plan



18 SOUTHWEST RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The Southwest Residential District contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. National Drive, Sids Road, and Mims Road) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional lowdensity master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

*Illian ORANOR The strategies for the Southwest Residential District are as follows:

Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

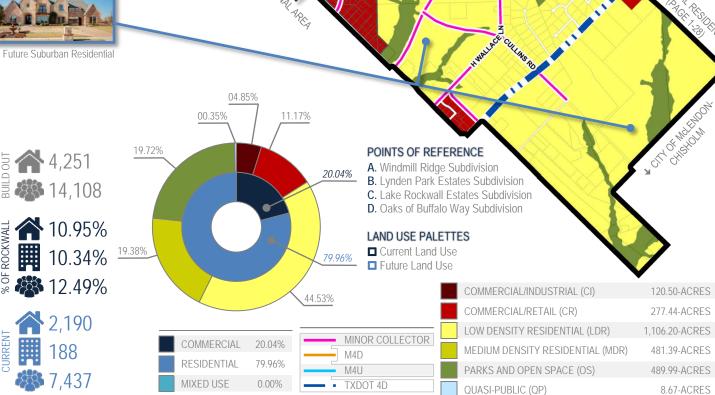
2 Commercial/Industrial Land Uses. The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for Commercial/Industrial land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. residential land uses -- higher density or otherwise). This should protect the businesses that currently exist in these areas.

Transitional Areas. The areas designated as Transitional Areas are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

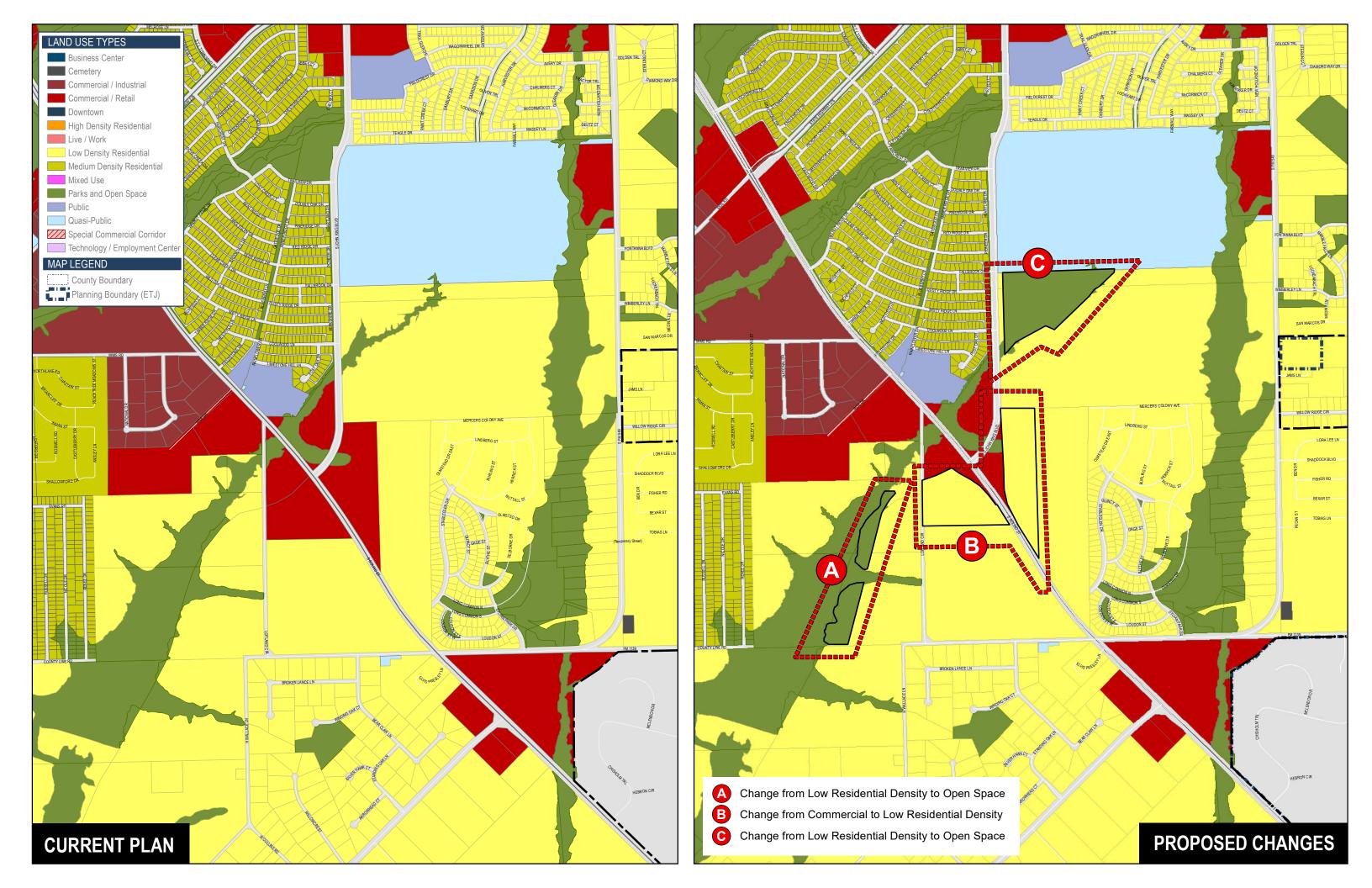
> Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street). The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.







DETRICT PAGE



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL. AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT AND GENERAL RETAIL (GR) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 536.4297-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 3 & 3-1 OF THE A. JOHNSON SURVEY, ABSTRACT NO. 123: TRACTS 7 & 7-2 OF THE W. H. BAIRD SURVEY. ABSTRACT NO. 25: AND TRACTS 3 & 4 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE: PROVIDING SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District and General Retail (GR) District land uses, on a 536.4297-acre tract of land identified Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the Subject Property;

- **SECTION 3.** That development of the trails and trail heads for the *Subject Property* shall generally be in accordance with the *Trail and Trail Head Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;
- **SECTION 4.** That development of the amenities for the *Subject Property* shall generally be in accordance with the *Amenity Center Guidelines*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;
- **SECTION 5.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;
- **SECTION 6.** That a *Master Parks* and *Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the Planned Development Concept Plan depicted in Exhibit 'C' and Trail Layout Plan depicted in Exhibit 'D' of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- **SECTION 7.** That residential development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).
 - (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [including Subsections 7(b) through 7(g) below], shall be the exclusive procedures applicable to the subdivision and platting of the Subject Property.
 - (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for a Master Parks and Open Space Plan in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
 - (c) Master Parks and Open Space Plan. A Master Parks and Open Space Plan for the Subject Property, as depicted in Exhibit 'C' of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
 - (d) Master Plat. A Master Plat for the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A Master Plat application may be processed by the City

Z2024-060 Zoning Change from AG to PD Ordinance No. 25-XX; PD-XX

- concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) Preliminary Plat. A Preliminary Plat for each phase of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted in accordance with the phasing plan established by the Master Plat and shall include a Treescape Plan for the phase being Preliminary Platted. A Preliminary Plat application may be processed by the City concurrently with a Master Plat and a Master Parks and Open Space Plan application for the development.
- (f) PD Site Plan. A PD Site Plan for each phase of the development of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A PD Site Plan application may be processed by the City concurrently with a Final Plat application for the development.
- (g) Final Plat. Prior to the issuance of any building permits, a Final Plat, conforming to the Preliminary Plat, shall be submitted for approval.

SECTION 8. That commercial development on the *Subject Property* shall be in conformance with the process and procedures stipulated by this Planned Development District ordinance, the City's subdivision regulations, and the Unified Development Code (UDC);

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JANUARY, 2024.

Trace Johannesen, <i>Mayor</i>	

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: <u>December 16, 2024</u>

2nd Reading: *January 6, 2025*

BOUNDARY 1

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found at the northwest corner of a called 139.308-acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308-acre tract, at a distance of 973.07-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01-feet to a ½-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57-feet;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90-feet;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10-feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03-feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99-feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the northeast line of said SH 205, a distance of 19.60-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 06 degrees 20 minutes 55 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 1,275.25-feet (Chord Bearing North 34 degrees 13 minutes 17 seconds West - 1,274.59-feet), to the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93-feet and a central angle of 52 degrees 52 minutes 54 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 927.51-feet (Chord Bearing North 24 degrees 59 minutes 44 seconds East - 894.94-feet), to the point of tangency;

Exhibit 'A':

Legal Description

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35-feet to a ½-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00-acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00-acre tract, a distance of 3,696.05-feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54-feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00-acre tract, a distance of 669.62-feet to a 5/8-inch iron rod found:

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00-acre tract, a distance of 393.66-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16-feet;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97-feet;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00-feet;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16-feet;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00-feet;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71-feet to a ½-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308-acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308-acre tract, a

distance of 1,672.69-feet to the POINT OF BEGINNING and containing 268.2965-acres of land.

BOUNDARY 2

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120-acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.)., part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60-acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T. and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05-acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598-acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72-acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72-acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81-feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01-feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29-feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East 116.29-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tagent curve to the right, having a radius of 11,389.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95-feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East 496.91-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 08 degrees 54 minutes 51 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,775.05-feet (Chord Bearing South 35 degrees 28 minutes 22 seconds East 1,773.26-feet) to a point from which a found 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap bears North 55 degrees 23 minutes 36 seconds East, a distance of 2.26-feet;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the southwest line of said SH 205, a distance of 44.21-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 299.87-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56-feet to a point on a non-tangent curve to the left, having a radius of 5,105.59-feet

and a central angle of 12 degrees 47 minutes 28 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.82-feet (Chord Bearing South 38 degrees 03 minutes 30 seconds East 1,137.45-feet) to the south line of said Lofland 72-acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72-acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42-feet passing the southwest corner of said Lofland 72-acre tract and the southeast corner of said Lofland 60-acre tract, continuing with the south line of said Lofland 60-acre tract and the north line of said Lofland Circle, a total distance of 2,789.02-feet to the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60-acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98-feet to the southwest corner of said Lofland 60-acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60-acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25-feet to the northwest corner of said Lofland 60-acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60-acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28-feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 20220000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60-acre tract and the south line of said Lazya & Luna Real Estate, LLC tract, a distance of 1,232.98-feet to a ½-inch iron rod found at the southeast corner of Lazya & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60-acre tract and the south line of said Forrest tract, a total distance of 2,545.43-feet to the southeast corner of said Forrest tract, being in the west line of said Lofland 72-acre tract;

THENCE North 01 degree 05 minutes 11 seconds West, with the west line of said Lofland 72-acre tract and the east line of said Forrest tract, a distance of 571.91-feet to the POINT OF BEGINNING and containing 242.8992-acres of land.

BOUNDARY 3

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 20200000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00-acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1.037.85-feet:

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a

distance of 50.00-feet;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00-feet;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12-feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74-feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00-acre tract:

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76-feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00-acre tract and generally along said creek, a distance of 15.83-feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60-feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13-feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44-feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88-feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55-feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30-feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61-feet;

THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60-feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10-feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77-feet:

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42-feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01-feet to the *POINT OF BEGINNING* and containing 16.89-acres of land.

BOUNDARY 4

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93-feet:

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60-feet to the point of curvature of a curve to the right, having a radius of 894.93-feet and a central angle of 52 degrees 46 minutes 14 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 824.25 (Chord Bearing South 24 degrees 56 minutes 28 seconds West 795.42-feet), to the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 01 degree 59 minutes 12 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the left, an arc distance of 399.07-feet (Chord Bearing North 38 degrees 56 minutes 12 seconds West 399.05-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00-feet the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05-feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West 503.01-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00-feet to the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75-feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West 161.75-feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed ½-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86-feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07-feet to the southernmost southeast corner of said Hickory Ridge Phase Four;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17-feet to the POINT OF BEGINNING and containing 15.5866-acres of land.

Exhibit 'B': Survey

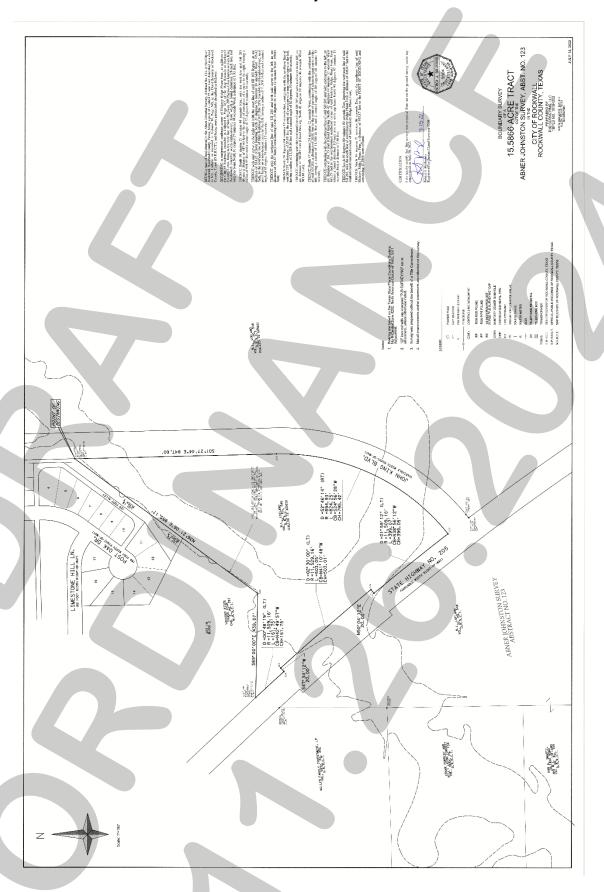


Exhibit 'B': Survey



Exhibit 'B': Survey

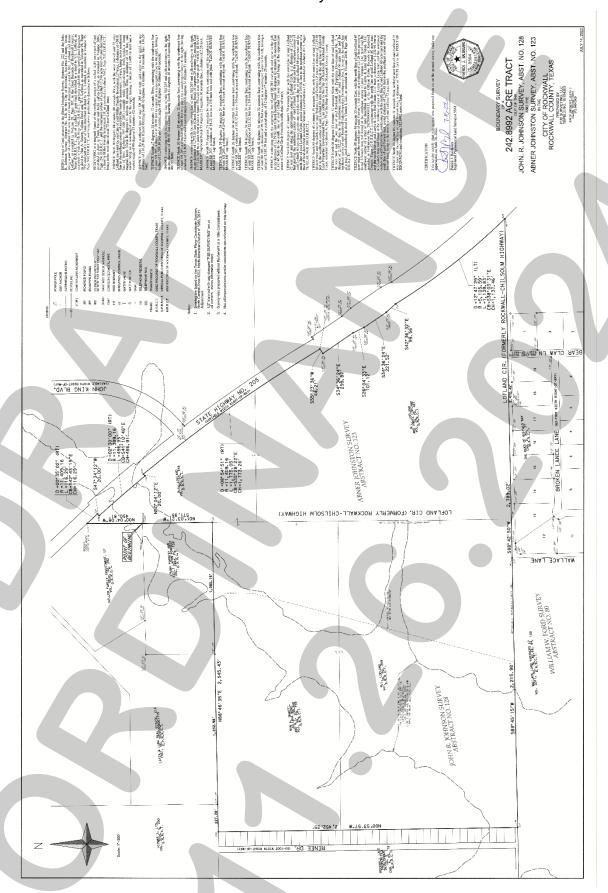


Exhibit 'B': Survey

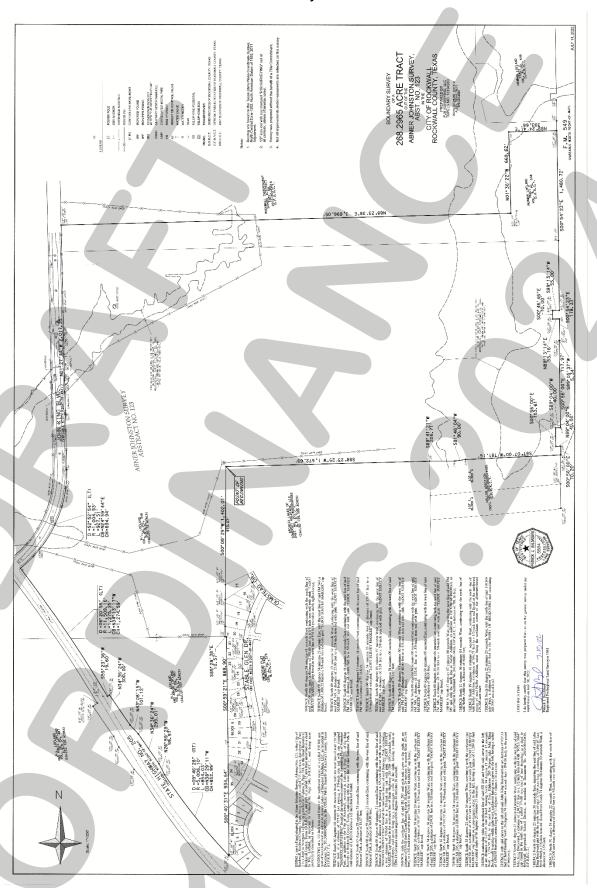


Exhibit 'C': Concept Plan

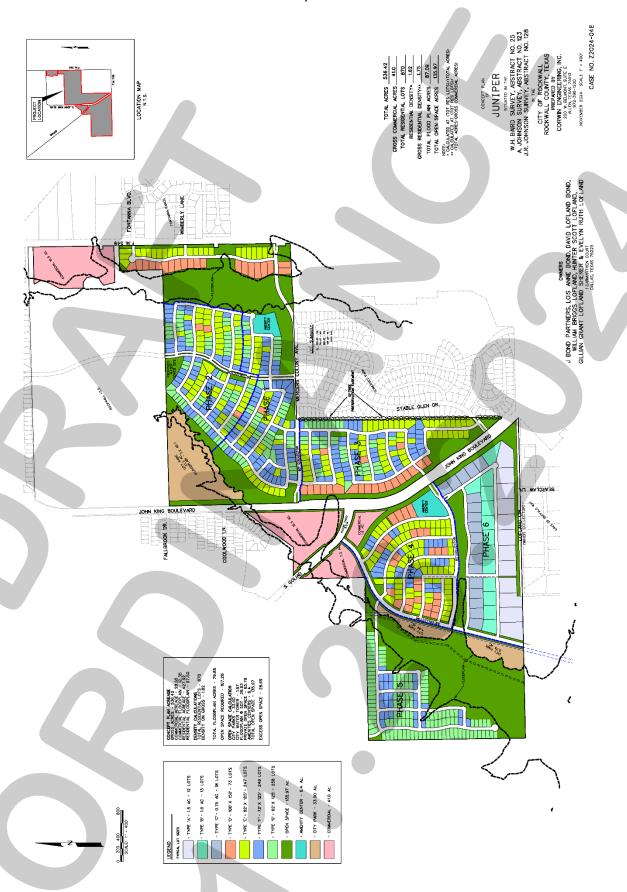


Exhibit 'D':
Entry Signage and Trail Plan



Exhibit 'D':Entry Signage and Trail Plan

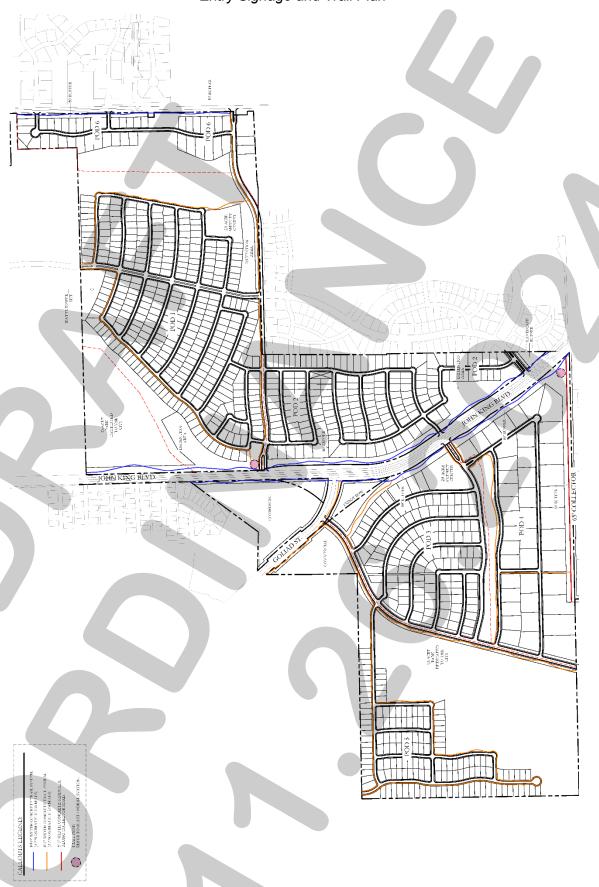


Exhibit 'E':
Amenity Centers

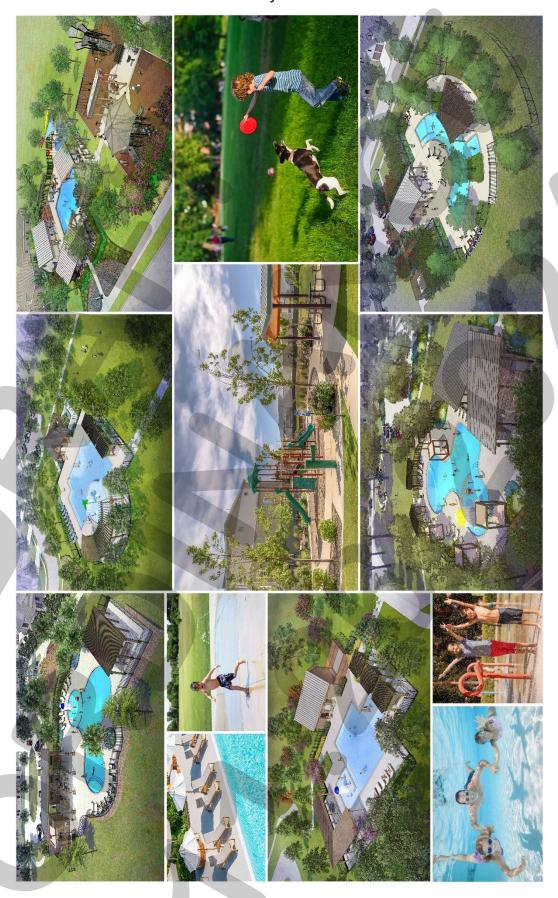


Exhibit 'F':

Density and Development Standards

- (1) <u>Permitted Uses</u>. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the <u>Subject Property</u>:
 - (a) <u>Residential Land Uses</u>. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
 - (b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for Commercial land uses as depicted on the Concept Plan in Exhibit 'C' of this ordinance. These areas are limited to those uses permitted by-right or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) and subject to the approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations contained in Article 10, Planned Development District Regulations, of the Unified Development Code (UDC); however, the following uses are expressly prohibited:
 - ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
 - ANIMAL HOSPITAL OR CLINIC
 - CONVENT, MONASTERY, OR TEMPLE
 - COMMERCIAL PARKING GARAGE
 - RESIDENCE HOTEL
 - MOTEL
 - CEMETERY/MAUSOLEUM
 - CONGREGATE CARE FACILITY/ELDERLY HOUSING
 - EMERGENCY GROUND AMBULANCE SERVICES
 - HOSPITAL
 - MORTUARY OR FUNERAL CHAPEL
 - TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT
 - PORTABLE BEVERAGE SERVICE FACILITY
 - TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
 - COPY CENTER
 - GARDEN SUPPLY/PLANT NURSERY
 - SELF SERVICE LAUNDROMAT
 - NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
 - RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
 - RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
 - TRADE SCHOOL
 - MINOR AUTO REPAIR GARAGE
 - SELF SERVICE CAR WASH
 - SERVICE STATION
 - MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
 - ANTENNA DISH
 - COMMERCIAL FREESTANDING ANTENNA
 - HELIPAD
 - RAILROAD YARD OR SHOP
 - TRANSIT PASSENGER FACILITY

Exhibit 'F':

Density and Development Standards

(2) <u>Residential Lot Composition and Layout</u>. The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'C' and stated in Table 1, which is as follows:

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE	MINIMUM LOT SIZE	DWELLING UNITS	DWELLING UNITS		
	(FT)	(SF)	(#)	(%)		
Α	185' x 200'	65,340 SF	12	01.38%		
В	185' x 200'	43,560 SF	13	01.49%		
С	120' x 200'	32,670 SF	18	02.07%		
D	100' x 150'	12,000 SF	73	08.39%		
E	82' x 125'	9,600 SF	247	28.39%		
F	72' x 125'	8,640 SF	249	28.62%		
G	62' x 125'	7,440 SF	258	29.66%		

Maximum Permitted Units:

870

100.00%

- (3) <u>Density and Dimensional Requirements</u>. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:
 - (a) <u>Residential</u>. Except as modified by this Planned Development District ordinance, residential land uses on the <u>Subject Property</u> shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, <u>District Development Standards</u>, of the Unified Development Code (UDC). The maximum permissible density for the <u>Subject Property</u> shall not exceed <u>1.625</u> dwelling units per gross acre of land; however, in no case should the proposed development exceed <u>870</u> units. All lots shall conform to the standards depicted in <u>Table 2</u>, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ▶	Α	В	C	D	E	F	G
Minim	um Lot Width ⁽¹⁾	185'	185'	120'	100'	82'	72'	62'
Minim	um Lot Depth	200'	200'	200'	150'	125'	125'	125'
Minim	um Lot Area (SF)	65,340	43,560	32,670	12,000	9,600	8,640	7,440
Minim	um Front Yard Setback ^{(2), (5)} & ⁽⁶⁾	30'	30'	30'	30'	20'	20'	20'
Minim	um Side Yard Setback	15'	15'	15'	10'	6'	6'	6'
Minim	um Side Yard Setback (Adjacent to a Street) ⁽²⁾ & (⁵) 15'	15'	15'	15'	15'	15'	15'
Minim	um Length of Driveway Pavement (8)	20'	20'	20'	20'	20'	20'	20'
Maxin	num Height ⁽³⁾	35'	35'	35'	35'	35'	35'	35'
Minim	um Rear Yard Setback ⁽⁴⁾	30'	30'	30'	10'	10'	10'	10'
Minim	um Area/Dwelling Unit (SF) ⁽⁷⁾	3,500	3,500	3,200	3,200	2,800	2,800	2,750
	num Lot Coverage	40%	40%	50%	50%	65%	65%	65%
Minim	um Garage Parking Spaces	3	3	3	3	3	3	2

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*
- 2: The location of the Front Yard Building Setback as measured from the front property line.
- 3: The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.
- 4: The location of the Rear Yard Building Setback as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks. A sunroom is an enclosed

Exhibit 'F':

Density and Development Standards

- room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.
- 7: Air-conditioned space.
- 8: No drive approach for a residential lot shall be situated to allow access on a collector or arterial roadway except as otherwise depicted on the concept plan for the two (2) lots fronting on to Mercer's Colony Avenue.
- (b) Non-Residential. Except as modified by this Planned Development District ordinance, the non-residential land uses on the Subject Property shall be required to meet the development standards stipulated by the General Overlay District Standards, General Commercial District Standards, and the standards required for the General Retail (GR) District as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC) for a property in a General Retail (GR) District. In addition, the Commercial area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the Commercial area and through the use of a 50-foot landscape buffer utilizing a berm and three (3) tiered screening (i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.
- (4) <u>Building Standards for Residential</u>. All residential development shall adhere to the following building standards:
 - (a) <u>Masonry Requirement</u>. The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. HardiBoard or Hardy Plank) in a horizontal lap-siding, board-and-batten siding, or a decorative pattern (see examples below) may be used for up to 80.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitous fiberboard in excess of 80.00% of the masonry requirement on a case-by-case basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD





Exhibit 'F':Density and Development Standards

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FIGURE 2: EXAMPLES OF BOARD AND BATTEN





FIGURE 3: EXAMPLES OF HORIZONTAL LAP





- (b) <u>Roof Pitch</u>. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) <u>Garage Orientation and Garage Doors</u>. This development shall adhere to the following garage design standards and orientation requirements:
 - (1) <u>Type 'A', 'B', 'C', 'D', 'E' & 'F' Lots</u>. The Type 'A', 'B', 'C', 'D', 'E' & 'F' Lots shall be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.
 - (2) <u>Type 'G' Lots</u>. A total of 67.44% or 174 of the *Type 'G' Lots* may have garage configurations that are oriented in a *Front Entry* garage configuration (*i.e. where the garage door faces the street*); however, the front façade of the garage shall be setback a minimum of five (5) feet behind the front façade of the primary structure and the font yard building setback shall increased to 25-feet. The remaining 32.56% or 84 of the *Type 'G' Lots* shall be oriented in a *traditional swing* (*or j-swing*) garage configuration -- where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing

Density and Development Standards

the street is permitted if it is behind the width of the double garage door in the *traditional swing* (*or j-swing*) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, the following architectural elements must be incorporated into all garage configurations: [1] carriage style hardware and lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

FIGURE 4. EXAMPLES OF ENHANCED WOOD GARAGE DOOR

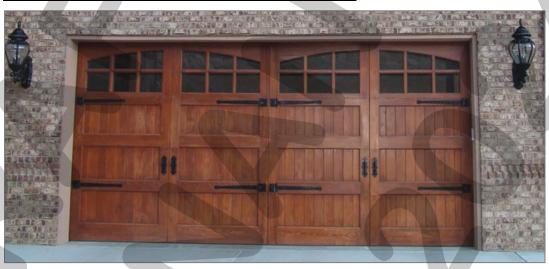


FIGURE 5: EXAMPLES OF UPGRADED FINISHES



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Exhibit 'F':Density and Development Standards

FIGURE 6: EXAMPLES OF UPGRADED GARAGES









(5) <u>Anti-Monotony Restrictions</u>. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

Lot Type	Minimum Lot Size	Elevation Features
Α	185' x 200'	(1), (2), (3), (4), (5)
В	185' x 200'	(1), (2), (3), (4), (5)
С	120' x 200'	(1), (2), (3), (4), (5)
D	100' x 150'	(1), (2), (3), (4), (5)
Е	82' x 125'	(1), (2), (3), (4), (5)
F	72' x 125'	(1), (2), (3), (4), (5)
G	62' x 125'	(1), (2), (3), (4), (5)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
 - (1) Number of Stories

Density and Development Standards

- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (5) Garage Orientation
- (c) Permitted encroachment (*i.e.* porches and sunroom) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (3-Tab Roofing Shingles are prohibited).

FIGURE 7. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 8. PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.

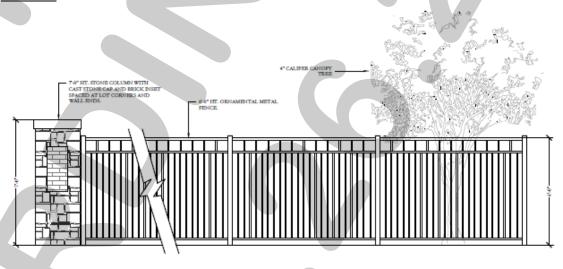


- (6) <u>Fencing Standards</u>. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) Front Yard Fences. Front yard fences shall be prohibited.

Density and Development Standards

- (b) <u>Wood Fences</u>. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- (c) <u>Wrought Iron/Tubular Steel</u>. Lots located along the perimeter of roadways (*i.e. John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height; however, all lots that back up to the proposed *Water Tower Site -- as depicted in Exhibit 'C' of this ordinance --* shall be permitted to have wood fences in accordance with the requirements of Subsection (6)(b) above.
- (d) <u>Corner Lots</u>. Corner lot fences (*i.e.* adjacent to the street) shall provide masonry columns at 45-foot center spacing that beings at the rear property line corner and terminates ten (10) feet behind the front yard building setback line (see Figure 9). A maximum of six (6) foot wrought iron fence shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of ten (10) feet. The property owner shall be required to maintain both sides of the fence.

FIGURE 9. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS



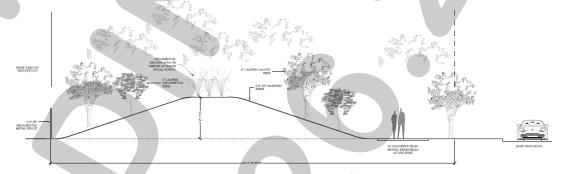
TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS ELEVATION

- (e) <u>Solid Fences (including Wood Fences)</u>. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) <u>Fence in Easements</u>. No fencing shall be constructed in or across the City of Rockwall's easements.

Density and Development Standards

- (7) Landscape and Hardscape Standards.
 - (a) <u>Landscape</u>. Landscaping shall be reviewed and approved with the *PD Site Plan*. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (i.e. on the Homeowner's Associations' [HOAs'] property). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) <u>Landscape Buffers</u>. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA). All trail locations shall generally be in accordance with *Exhibit 'D'* of this ordinance.
 - (1) <u>Landscape Buffer and Sidewalks (John King Boulevard)</u>. A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 80-foot landscape buffer. All residential lots backing to John King Boulevard shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

FIGURE 10. TYPICAL CROSS SECTION OF LANDSCAPE BUFFER FOR JOHN KING BOULEVARD



- (2) <u>Landscape Buffer and Sidewalks (S. Goliad Street [SH-205])</u>. A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard and S. Goliad Street (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 80-foot landscape buffer.
- (3) <u>Landscape Buffer and Sidewalks (FM-549)</u>. A minimum of a 50-foot landscape buffer shall be provided along FM-549 for the residential property (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an

Density and Development Standards

undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 50-foot landscape buffer. All residential lots backing to FM-549 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines.

- (4) <u>Landscape Buffer and Sidewalks (Perimeter Minor Collectors)</u>. A minimum of a 30-foot landscape buffer shall be provided along all *Perimeter Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
- (5) <u>Landscape Buffer and Sidewalks (Minor Collectors with the Exception of Stable Glen Drive)</u>. A minimum of a ten (10) foot landscape buffer shall be provided along all Minor Collectors where residential lots do not front the Minor Collector. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (6) <u>Landscape Buffer and Sidewalks (Lofland Circle)</u>. A minimum of a 50-foot landscape buffer shall be provided along Lofland Circle across from the existing residential lots in the Oaks of Buffalo Way subdivision after which point the landscape buffer may be reduced to ten (10) feet. The segment of landscape buffer that is required to be 50-feet wide shall incorporate a minimum of a 48-inch berm and a five (5) foot meandering sidewalk along the entire landscape buffer. The entire landscape buffer along Lofland Circle shall incorporate a solid living screen utilizing evergreen trees either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers; however, the existing tree line may be used to meet the requirements of this section.
- (7) Commercial Landscape Buffer (Adjacent to Residential Properties). A minimum of a 50-foot landscape buffer with a minimum of a 48-inch continuous built-up berm and three (3) tiered screening (i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers) shall be provided on commercial properties that have direct adjacency to residential properties as generally depicted in Exhibit 'C' of this ordinance.
- (8) <u>Landscape Screening in the Western Triangle South of Stable Glen Drive (Adjacent to the Somerset Park Subdivision)</u>. In order to create a solid living screen adjacent to the homes in the Somerset Park Subdivision that will back to the proposed open space on the west side of SH-205 (i.e. south of Stable Glen Drive) a solid living screen utilizing evergreen trees -- either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --, a minimum of four (4) caliper inches in size, will be planted on ten (10) foot centers along the entire adjacency.

Density and Development Standards

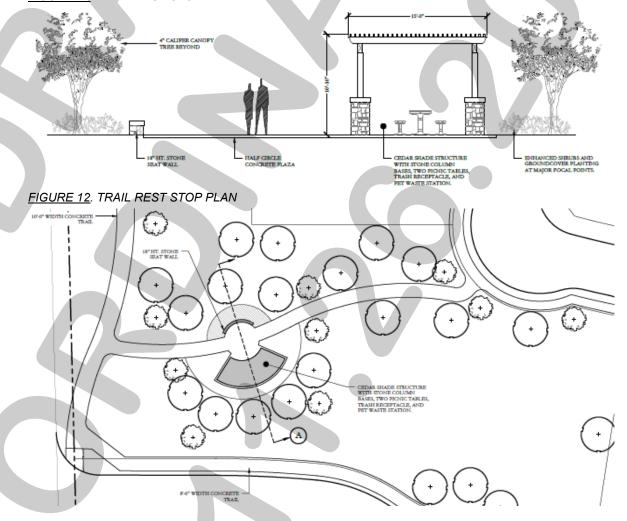
- (9) <u>Tree Preservation Easement (Adjacent to the Somerset Park Subdivision)</u>. A minimum of a 20-foot *Tree Preservation Easement* shall be provided along the western boundary of Phase 3 adjacent to the Somerset Park Subdivision in the location depicted on the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. This *Tree Preservation Easement* shall be dedicated on the approved subdivision plat, and is intended to protect all existing trees that are a minimum of three (3) caliper inches or greater. Trees greater than three (3) caliper inches in size may be removed after the property owner requests the removal from the City of Rockwall, and the City of Rockwall determines that the tree is damaged, diseased, or poses a risk to persons or property. All trees removed without the approval of the City of Rockwall shall be in violation of Article 09, *Tree Preservation*, of the Unified Development Code (UDC) and subject to any penalties outline in this *Article*.
- (c) <u>Street Trees</u>. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on Exhibit 'C' shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) <u>Irrigation Requirements</u>. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) <u>Hardscape</u>. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) <u>Street</u>. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) <u>Lighting</u>. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) <u>Sidewalks</u>. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) <u>Buried Utilities</u>. New distribution power-lines required to serve the <u>Subject Property</u> shall be placed underground, whether such lines are located internally or along the perimeter of the <u>Subject Property</u>, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the <u>Subject Property</u> to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such

Density and Development Standards

lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) <u>Open Space/Public Park</u>. The development shall consist of a minimum of 20.00% open space (or a minimum of 108.066-acres -- as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the Concept Plan contained in Exhibit 'C' of this ordinance.
- (13) <u>Amenity Center</u>. Amenity centers shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance and generally in accordance with the images depicted in *Exhibit 'E'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the two (2) amenity centers shall be approved with the *PD Site Plan*.
- (14) <u>Trails</u>. A concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'D'* of this ordinance, and shall provide connectivity to the proposed parks.
- (15) <u>Trail Rest Stop</u>. A trail rest stop shall be constructed at the location as depicted in *Exhibit 'D'* of this ordinance and shall include a rest bench, shade structure, and bike repair station. The final design of the trail rest stop shall generally conform with *Figures 11 & 12*.

FIGURE 11. TRAIL REST STOP



Density and Development Standards

(16) <u>Neighborhood Signage and Enhancements</u>. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*; however, they should generally conform with *Figures 13, 14 & 15*.

FIGURE 13. MAIN ENTRY SIGNAGE

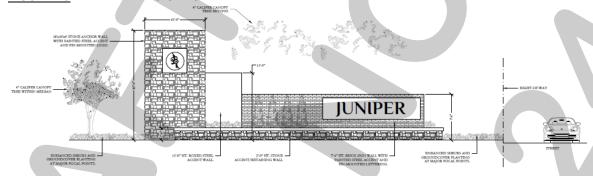


FIGURE 14. SECONDARY ENTRY SIGNAGE

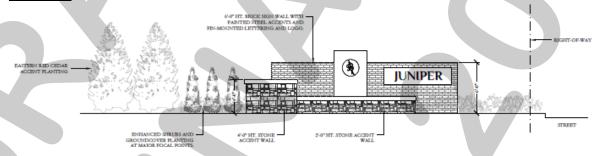
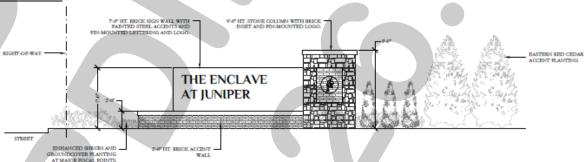


FIGURE 15. ENCLAVE ENTRY SIGNAGE

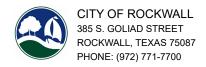


(17) <u>Homeowner's Association (HOA)</u>. A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

Density and Development Standards

(18) <u>Variances</u>. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: P2024-040

PROJECT NAME: Site Plan for Homestead SITE ADDRESS/LOCATIONS: FM 1139 and FM 549

CASE CAPTION: Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Jay Hankla of SH Dev Klutts Rockwall,

LLC for the approval of a Final Plat for Phase 2 of the Homestead Subdivision being a 48.170-acre tract of land identified as a portion of Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned

Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any

action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	11/21/2024	Needs Review	

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Final Plat for Phase 2 of the Homestead Subdivision being a 48.170-acre tract of land identified as a portion of Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (P2024-040) in the lower right-hand corner of all pages on future submittals.
- M.4 The proposed final plat has 11 lots that vary from the approved concept plan and there are five (5) lots that fail to meet the lot minimums per the zoning ordinance. (PD-92; Ordinance No. 21-24)
- (1) Lots that vary from the Concept Plan due to the rear property width:
- (a) Lot 15, Block A; Lot 15, Block B; Lots 11-14, Block C; Lot 32, Block K; Lot 8, Block O
- (2) Lots that vary from the Concept Plan due to the front property width:
- (a) Lot 63 & 68, Block H; Lot 15, Block P
- (3) Lots that fail to meet the zoning ordinance due to the lot depth:
- (a) Lots 1-3, Block K
- (4) Lots that fail to meet the zoning ordinance due to the rear property width:
- (a) Lots 33 & 34, Block K
- M.5 Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.6 Please remove the notary for the surveyor; the surveyor's seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

- M.7 Please use the Standard City Signature Block for Final Plats as depicted in the Subdivision Ordinance. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.8 Please include the General Notes from the Subdivision Ordinance Section 38-7(1)(A)(1)(b). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.
- I.10 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: November 26, 2024

Parks Board: December 3, 2024

Planning and Zoning: December 10, 2024

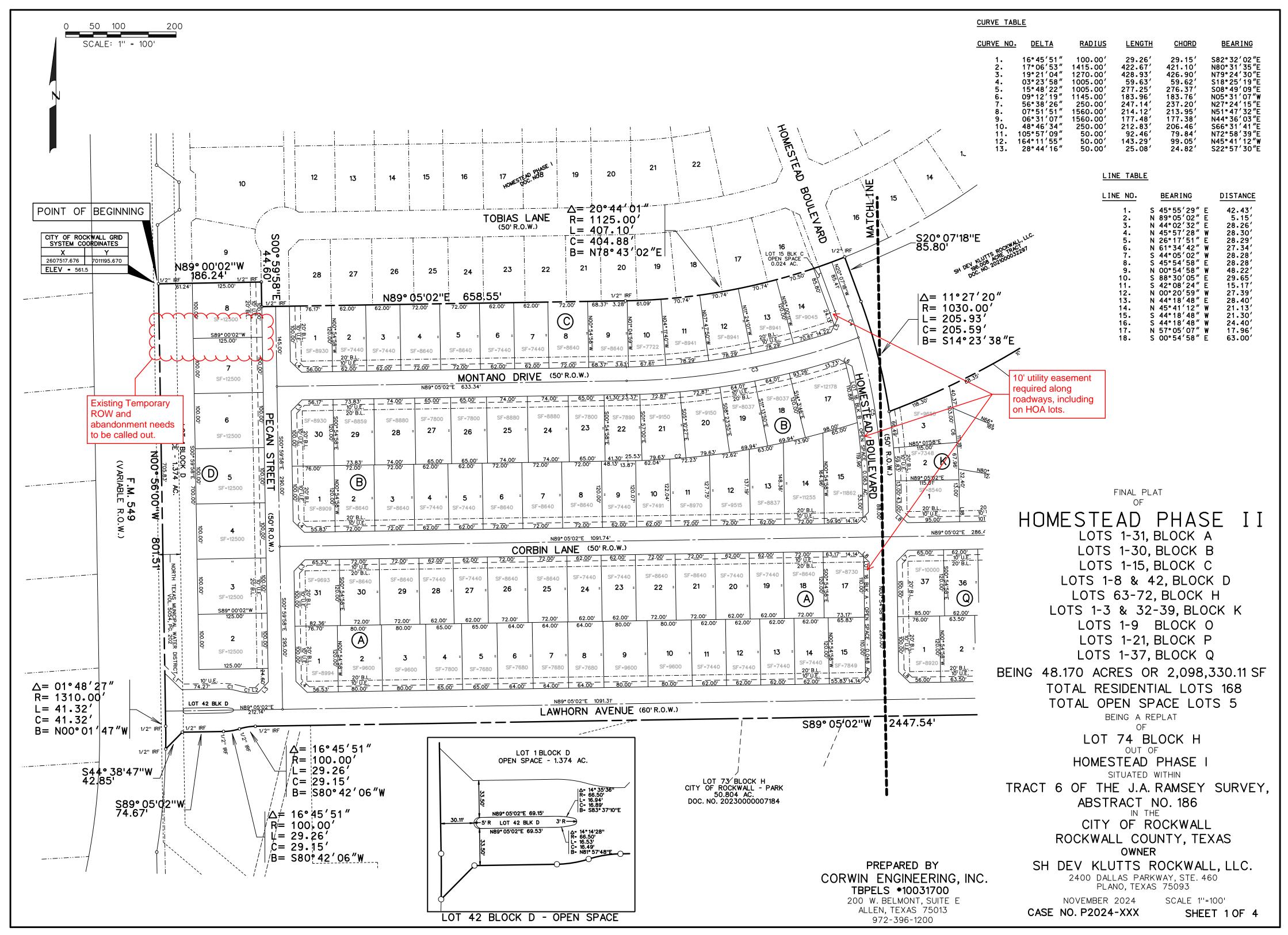
City Council: December 16, 2024

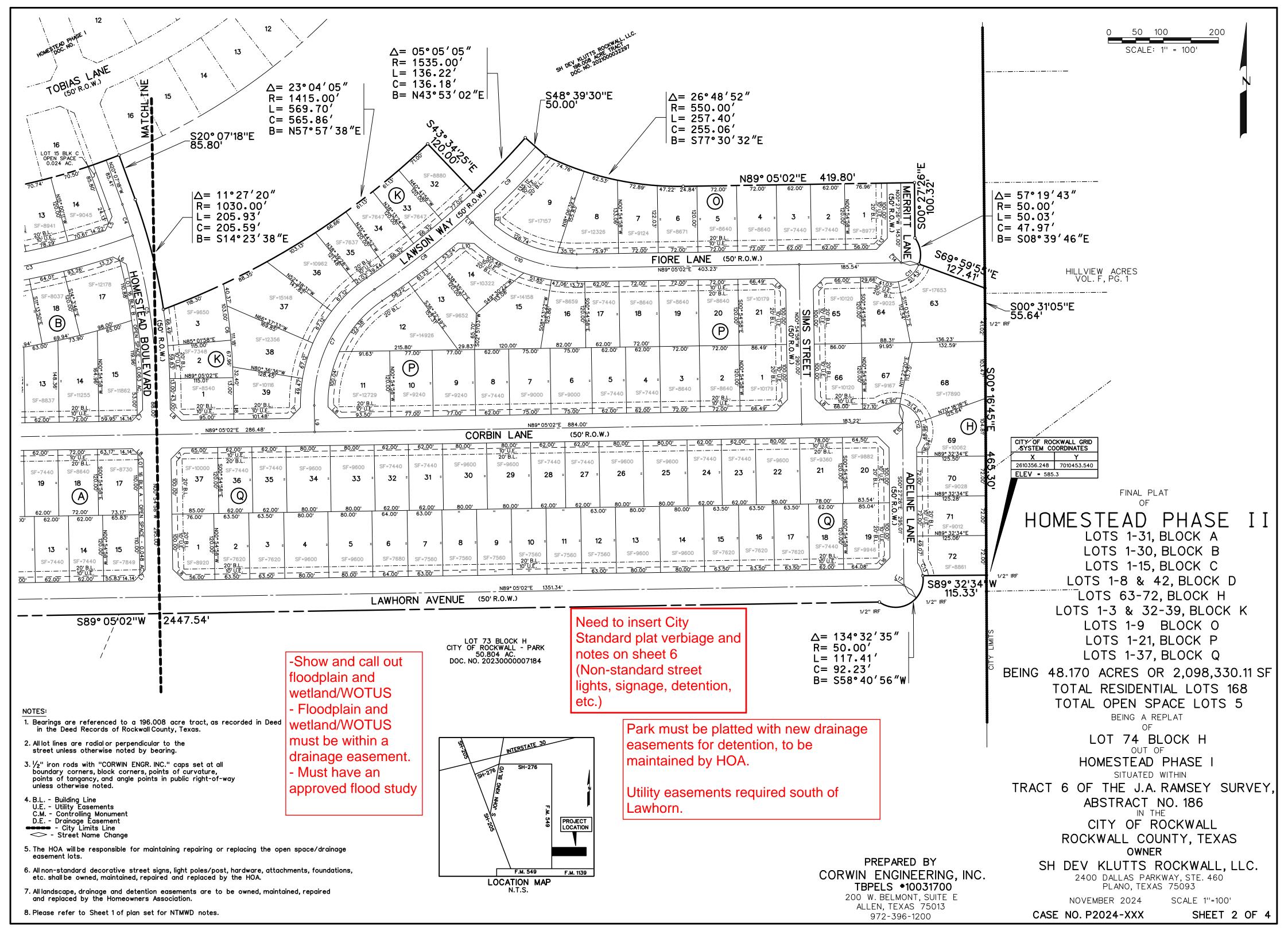
I.11 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

- 11/19/2024: 1. Existing Temporary ROW and abandonment needs to be called out.
- 2. 10' utility easement required along roadways, including on HOA lots.
- 3. Show and call out floodplain and wetland/WOTUS. Floodplain and wetland/WOTUS must be within a drainage easement. Must have an approved flood study.
- 4. Need to insert City Standard plat verbiage and notes on sheet 6 (Non-standard street lights, signage, detention, etc.)
- 5. Park must be platted with new drainage easements for detention, to be maintained by HOA. Utility easements required south of Lawhorn.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	
No Comments				







DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY =

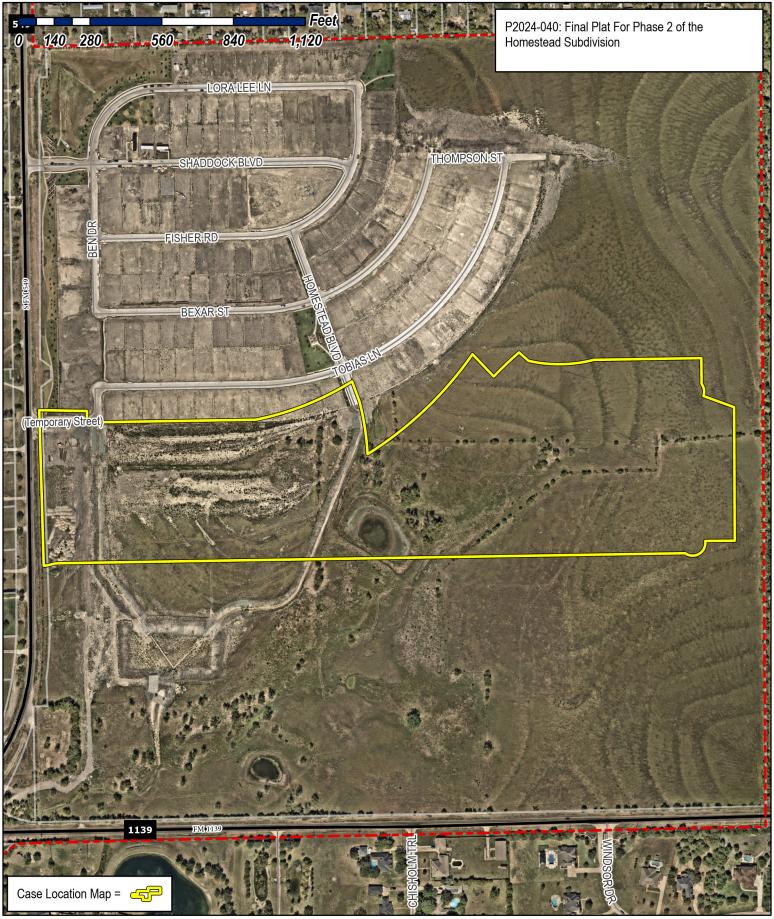
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDIC	ATE THE TYPE OF D	EVELOPMENT REC	QUEST SELECT ONLY ONE BOX]	
PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 ☑ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 ☐ REPLAT (\$300.00 + \$20.00 ACRE) 1 ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) 1 ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)		☐ SPECIFIC US ☐ PD DEVELOP OTHER APPLIC ☐ TREE REMOV ☐ VARIANCE R NOTES: ☐ IN DETERMINING THE ACRE AMOUNT. ☐ S 4 31,000.00 FEE V	NGE (\$200.00 + \$15.00 ACRE) 1 IE PERMIT (\$200.00 + \$15.00 ACR PMENT PLANS (\$200.00 + \$15.00 A ATION FEES:	(\$100.00) ² WHEN MULTIPLYING BY THE ROUND UP TO ONE (1) ACRE. E FOR ANY REQUEST THAT	
PROPERTY INFO	ORMATION [PLEASE PRINT]				
ADDRESS	S A0186 J A Ramsey, Lo	ot 6-02, 144.5°	137; FM 549	1	
SUBDIVISION	N Homestead			LOT	BLOCK
GENERAL LOCATION					
ZONING, SITE PI	LAN AND PLATTING INFORM	MATION (PLEASE PR	מאדן		
CURRENT ZONING	PD-92, Ord No. 21-24		CURRENT USE	Single Family Resid	ential
PROPOSED ZONING	· 3		PROPOSED USE	Single Family Reside	ential
ACREAGE	48.170	LOTS [CURRENT]		LOTS [PROPOSED]	168
REGARD TO ITS	<u>D PLATS</u> ; BY CHECKING THIS BOX YOU APPROVAL PROCESS, AND FAILURE TO A DENIAL OF YOUR CASE.	ACKNOWLEDGE THAT ADDRESS ANY OF STAI	DUE TO THE PASS FF'S COMMENTS BY	AGE OF <u>HB3167</u> THE CITY NO LON THE DATE PROVIDED ON THE DEV	GER HAS FLEXIBILITY WITH ELOPMENT CALENDAR WILL
OWNER/APPLIC	ANT/AGENT INFORMATION	[PLEASE PRINT/CHECK	THE PRIMARY CON	TACT/ORIGINAL SIGNATURES ARE I	REQUIRED]
☐ OWNER	SH Dev Klutts Rockwall,	LLC	APPLICANT	Michael Joyce Prope	rties
CONTACT PERSON	Jay Hankla	CO	NTACT PERSON	Meredith Joyce	
ADDRESS	2400 Dallas Parkway, St	e. 460	ADDRESS	767 Justin Road	
CITY STATE & ZIP	Plano, TX 75093	CI	ITY, STATE & ZIP	Rockwall, TX 75087	
PHONE	Plano, 1 × 75095			512-694-6394	
	land@shaddockhomes.c	com	E-MAIL	meredith@michaeljo	yceproperties.cor
BEFORE ME, THE UNDER STATED THE INFORMATI	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERS ION ON THIS APPLICATION TO BE TRUE A	ND CERTIFIED THE FOI			THE UNDERSIGNED, WHO
\$1,263.40	I AM THE OWNER FOR THE PURPOSE OF THE COST OF THE COST OF THE COST OF THE 20	IIS APPLICATION, HAS BE IPPLICATION, I AGREE TO IBLIC. THE CITY IS ALS	EEN PAID TO THE CITY HAT THE CITY OF RO SO AUTHORIZED AND	Y OF ROCKWALL ON THIS THE CKWALL (I.E. "CITY") IS AUTHORIZED O PERMITTED TO REPRODUCE ANY	DAY OF AND PERMITTED TO PROVIDE COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE	DAY OF NOVE	nbel 202	Notar	NNA WALKER y ID #7476108
	OWNER'S SIGNATURE			ADI ADI	mission Expires
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	mallan	We	A COMMISSION EXPIRES	-



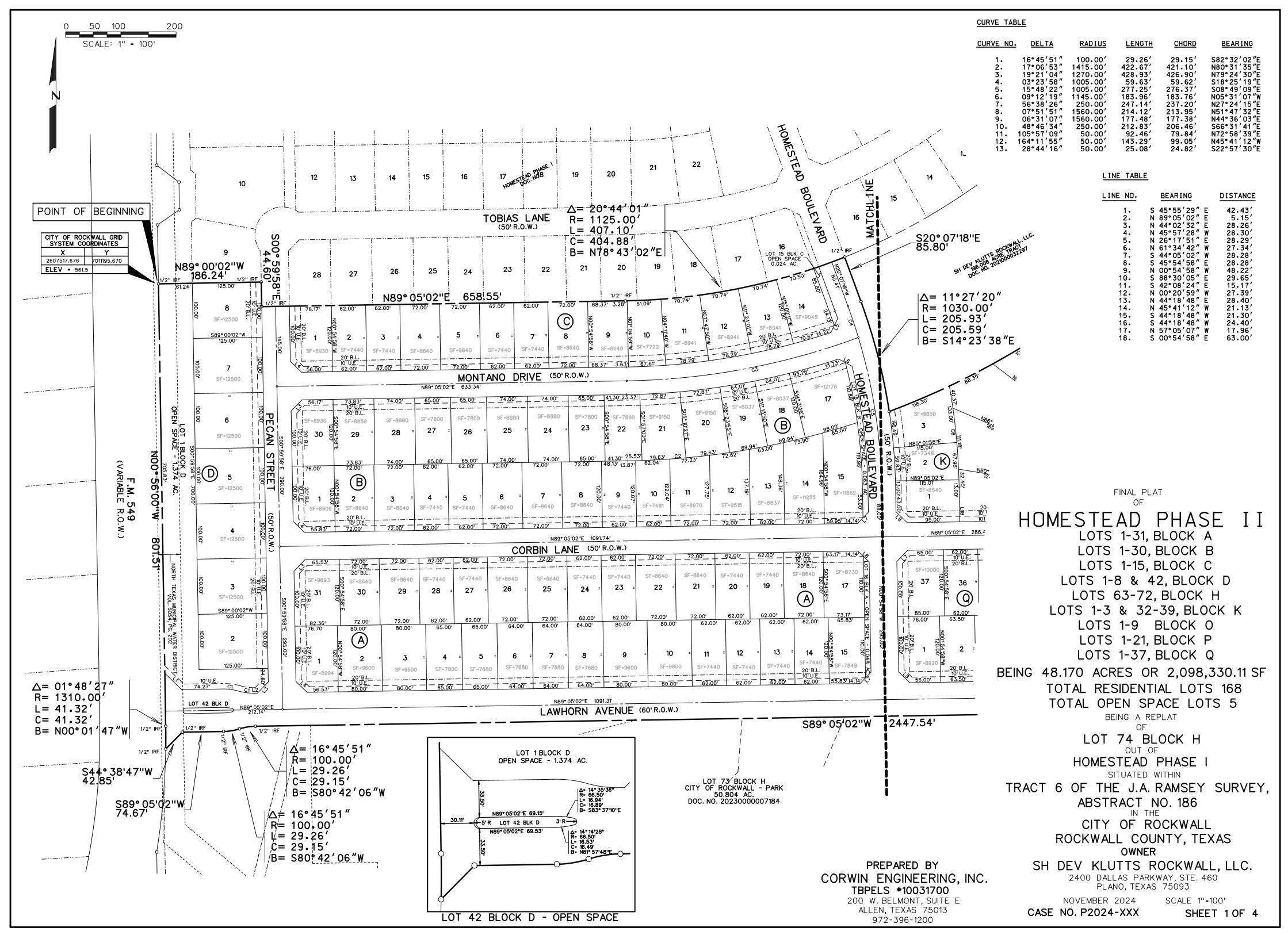


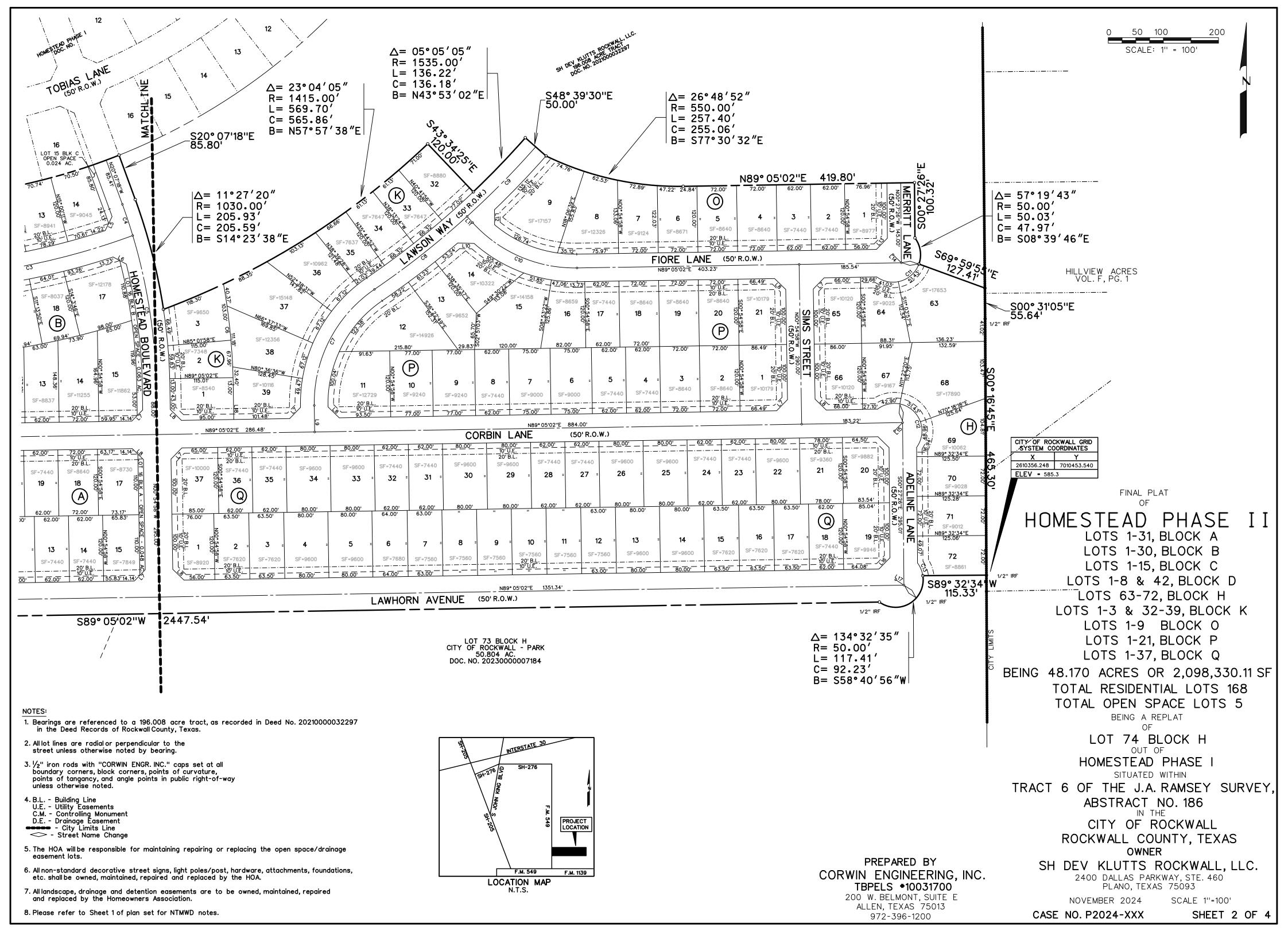
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LEGAL DESCRIPTION

BEING, a tract of land situated in the J.A. Ramsey Survey, Abstract No. 186 in the City of Rockwall, Rockwall County, Texas, being part of a 196.008 acre tract, as described in Clerks File No. in the Deed Records of Rockwall County, Texas being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the southwest corner of Homestead Phase I, an addition to the City of Rockwall, Rockwall County, Texas, as described in Doc. No. in the Plat Records of Rockwall County and being in the east line of F.M. 549 (Variable R.O.W.);

THENCE, North 89°00'02" West, along the south line of said Homestead Phase I, for a distance of 186.24 feet, to a 1/2 inch iron rod found;

THENCE, South 00° 59'58" East, continuing along said south line, for a distance of 44.60 feet, to a 1/2 inch iron rod found;

THENCE, North 89°05'02" East, continuing along said south line, for a distance of 658.55 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the left, having a radius of 1125.00 feet, a central angle of 20°44'01";

THENCE, continuing along said south line and with said curve to the left for an arc distance of 407.10 (Chord Bearing North 78° 43'02" East - 404.88 feet), to a 1/2 inch iron rod found;

THENCE, South 20°07'18" East, departing said south line, for a distance of 85.80 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of curvature of a curve to the right, having a radius of 1030.00 feet, a central angle of 11°27'20";

THENCE, continuing along said curve to the right for an arc distance of 205.93 feet (Chord Bearing South 14°23'38" East - 205.59 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a curve to the left, having a radius of 1415.00 feet, a central angle of 23°04'05";

THENCE, continuing along said curve to the left for an arc distance of 569.70 feet (Chord Bearing North 57° 57'38" East - 565.86 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 43° 34'25" East, for a distance of 120.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a non-tangent curve to the left, having a radius of 1535.00 feet, a central angle of 05° 05'05";

THENCE, along said curve to the left for an arc distance of 136.22 feet (Chord Bearing North 43°53'02" East - 136.18 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 48° 39'30" East, for a distance of 50.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a curve to the left, having a radius of 550.00 feet, a central angle of 26° 48'52";

THENCE, along said curve to the left for an arc distance of 257.40 feet (Chord Bearing South 77°30'32" East - 255.06 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of tangency;

THENCE, North 89°05'02" East, for a distance of 419.80 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 00° 27'26" East, for a distance of 100.32 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a non-tangent curve to the right, having a radius of 50.00 feet, a central angle of 57° 19'43";

THENCE, continuing along said curve to the right for an arc distance of 50.03 feet (Chord Bearing South 08° 39'49" East - 47.97 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 69° 59'55" East, for a distance of 127.41 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", in the east line of said 196.008 acre tract and being in the west line of Hillview Acres, an addition to Rockwall County, as described in Vol. F, Pg. 1 in said Plat Records;

THENCE, South 00° 31'05" East, along said east and west lines, for a distance of 55.64 feet, to a 1/2 inch iron rod found;

THENCE, South 00° 16'45" East, continuing along said lines, for a distance of 465.30 feet, to a 1/2 inch iron rod found at the most easterly northeast corner of a 50.804 acre tract, as recorded in Doc. No. 20230000007184 in said Deed Records;

THENCE, South 89° 32'34" West, departing said east and west lines and along the north line of said 50.804 acre tract, for a distance of 115.33 feet, to a 1/2 inch iron rod found on a curve to the right, having a radius of 50.00 feet, a central angle of 134° 32'35";

THENCE, along the north line of said 50.804 acre tract and with said curve to the right for an arc distance of 117.41 feet (Chord Bearing South 58° 40'56" West - 92.23 feet), to a 1/2 inch iron rod found;

THENCE, South 89° 05'02" West, continuing along said north line, for a distance of 2447.54 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the left, having a radius of 100.00 feet, a central angle of 16° 45'51";

THENCE, continuing along said north and with curve to the left for an arc distance of 29.26 feet (Chord Bearing South 80° 42'06" West - 29.15 feet), to a 1/2 inch iron rod found at the point of reverse curvature of a curve to the right, having a radius of 100.00 feet, a central angle of 16° 45'51";

THENCE, continuing along said north line and with said curve to the left for an arc distance of 29.26 feet (Chord Bearing South 80° 42'06" West - 29.15 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, South 89°05'02" West, continuing along said north line, for a distance of 74.67 feet, to a 1/2 inch iron rod found;

THENCE, South 44° 38'47" West, continuing along said north line, for a distance of 42.85 feet, to a 1/2 inch iron rod found at the most westerly northwest corner of said 50.804 acre tract and being in the west line of said Homestead Phase I same being in the east line of said F.M. 548, being on a curve to the left, having a radius of 1310.00 feet, a central angle of 01° 48'27";

THENCE, along said east and west lines with curve to the left for an arc distance of 41.32 feet (Chord Bearing North 00°01'47" West - 41.32 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, North 00° 56'00" West, continuing along said east and west lines, for a distance of 801.51 feet, to the POINT OF BEGINNING and containing 48.170 acres of land.

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an
on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there
are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has
been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of
Rockwall, Texas.

DATED the this _____day of _____, 2024.

WARREN L. CORWIN R.P.L.S. No. 4621

THE STATE OF TEXAS COUNTY OF COLLIN

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my hand and seal of office, this_____day of______, 2024

NOTARY PUBLIC, STATE OF TEXAS

FINAL PLAT

OF

HOMESTEAD PHASE II

LOTS 1-31, BLOCK A
LOTS 1-30, BLOCK B
LOTS 1-15, BLOCK C
LOTS 1-8 & 42, BLOCK D

LOTS 63-72, BLOCK H LOTS 1-3 & 32-39, BLOCK K

> LOTS 1-9 BLOCK O LOTS 1-21, BLOCK P

LOTS 1-37, BLOCK Q

BEING 48.170 ACRES OR 2,098,330.11 SF
TOTAL RESIDENTIAL LOTS 168
TOTAL OPEN SPACE LOTS 5

BEING A REPLAT

LOT 74 BLOCK H

HOMESTEAD PHASE I

TRACT 6 OF THE J.A. RAMSEY SURVEY,

ABSTRACT NO. 186

CITY OF ROCKWALL

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER

SH DEV KLUTTS ROCKWALL, LLC.

2400 DALLAS PARKWAY, STE. 460 PLANO, TEXAS 75093 NOVEMBER 2024

CASE NO. P2024-XXX

SHEET 3 OF 4

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: STATE OF TEXAS COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the HOMESTEAD PHASE II subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the HOMESTEAD PHASE II subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I(we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I(we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I(we) may have as a result of the dedication of exactions made herein.

SH DEV KLUTTS ROCKWALL, LLC.

Jay Hankla

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day
known to me to be the person whose name is s

Before me, the undersigned authority, on this day personally appeared JAY HANKLA, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _______day of _______, 2024.

Notary Public in and for the State of Texas

APPROVED

Mayor, City of Rockwall	Planning & Zoning Commissio	<u> </u>
WITNESS OUR HANDS, this	_day of, 2024.	
This approval shall be invalid unle Rockwall, County, Texas, within or	s the approved plat for such additic hundred eighty (180) days from s	on is recorded in the office of the Counrt Cler said date of final approval.

Thereby certify that the above and foregoing plat of an addition to the City of Rockwall Texas was approved by the

FINAL PLAT

HOMESTEAD PHASE II

LOTS 1-31, BLOCK A
LOTS 1-30, BLOCK B
LOTS 1-15, BLOCK C
LOTS 1-8 & 42, BLOCK D
LOTS 63-72, BLOCK H
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BEING 48.170 ACRES OR 2,098,330.11 SF
TOTAL RESIDENTIAL LOTS 168
TOTAL OPEN SPACE LOTS 5

BEING A REPLAT

LOT 74 BLOCK H

HOMESTEAD PHASE |
SITUATED WITHIN

TRACT 6 OF THE J.A. RAMSEY SURVEY,

ABSTRACT NO. 186

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

OWNER
SH DEV KLUTTS ROCKWALL, LLC.

2400 DALLAS PARKWAY, STE. 460 PLANO, TEXAS 75093

NOVEMBER 2024

CASE NO. P2024-XXX

SHEET 4 OF 4

PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: SP2024-046

PROJECT NAME: Site Plan for 2686 S. Goliad Street

SITE ADDRESS/LOCATIONS: 2686 S GOLIAD ST

CASE CAPTION: Discuss and consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger Rayburn County Electric

Cooperative for the approval of a Site Plan for Private Recreation Facilities on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take

any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	11/21/2024	Needs Review	

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for a Private Recreation Facilities on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205].
- 1.2 For guestions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2024-046) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 The subject property will be required to be plat in order to establish or abandoned easements.
- M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a developr	nent in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwa
on the day of,	
WITNESS OUR HANDS, this day of,	
Planning & Zoning Commission, Chairman	Director of Planning and Zoning

M.6 Site Plan.

- (1) Please only delineate the building setback adjacent to S. Goliad Street. In addition, the front building setback is 25-feet. (Subsection 03.04.B, of Article 11, UDC)
- (2) Please verify how many courts will be within the facility. Based on the parking requirements shown on the site plan, there would only be two (2) courts within the building.

(Subsection 03.04.B, of Article 11, UDC)

- (3) Please indicate the height of the proposed fencing and gates. In addition, please provide a detail of the fence and gates. (Subsection 0308.02.F, of Article 08, UDC)
- (4) Please indicate any ground mounted equipment. On the landscape plan provide the necessary five (5) gallon evergreen shrubs for screening. (Subsection 01.05. C, of Article 05, UDC)
- (5) Please clarify if there will be any RTUs. If so, they must be crosshatched on the building elevations. (Subsection 01.05. C, of Article 05, UDC)
- (6) Provide a note that there will be no outside storage or above ground storage tanks. (Subsection 01.05. D, of Article 05, UDC)
- (7) Please clarify the dumpster situation. Will there be a dumpster enclosure or will poly carts be used? Please note that poly carts must be stored within the building, and if a dumpster enclosure is proposed it must be shown on the site plan and a detail (including elevations) must be provided. (Subsection 01.05, of Article 05, UDC)

M.7 Landscape Plan.

- (1) Please delineate and label the 25-foot landscape buffer along S. Goliad Street. (Subsection 05.01, of Article 08, UDC)
- (2) Per the Planned Development District 44 (PD-44) Ordinance, "berms and shrubbery shall have a minimum combined height of 48-inches." Please delineate the berm on the landscape plan and provide the required shrubs. (PD-44, Ordinance No. 24-30)

M.8 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please note that up lighting is not permitted. (Subsection 03.03, of Article 07, UDC)
- (3) The light levels may not exceed 0.2 FC at any property line where new light fixturess are proposed. Currently the lighting on the new building exceeds this requirement. If none of the lighting is being replaced for the basketball court then this does not need to be included on the photometric plan. If this lighting is being replaced, it must meet the 0.2 FC requirement. (Subsection 03.03.G, of Article 07, UDC)
- (4) Please provide lighting cut sheets for all proposed fixtures. (Subsection 03.03, of Article 07, UDC)

M.9 Building Elevations

- (1) Please update the table indicating the percentage surface area for each of the proposed materials. This should not include the roof. This will change the material percentages for the stone and stucco. Based on this, the stone may be over the 20% stone requirements (Subsection 04.01, of Article 05, UDC)
- (2) Each façade is required 20% natural or quarried stone. In this case, the north and south facades do not meet this requirement. With the roof being removed from the material calculations, the east and west facades may or may not meet this requirement. This will be a variance.
- (3) Each façade is limited to 50% cementitious material on each façade. In this case, each façade does not meet this requirement. This will be a variance.
- (4) Please update the stone callout in the material percentage tables. It is currently indicated as TBD, but the material sample board provided a specific stone. (Subsection 06.02.C, of Article 05, UDC)
- (5) The proposed building does not meet the four (4) sided architecture or articulation standards. These will be variances. (Subsection 04.01.C, of Article 05, UDC)
- (6) Please provide building elevations for the existing basketball court facility. (Subsection 03.04.B, of Article 11, UDC)
- M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.
- I.11 Revised and corrected plans are due by 3:00 PM on December 3, 2024.
- I.12 Please note the scheduled meetings for this case:
- (1) Planning & Zoning meeting/work session meeting will be held on November 26, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on December 10, 2024.
- I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

11/19/2024: 1. Will need a looped water main - cannot dead end this main. Is it tying into an existing main? Please clarify.

- 2. Fence shall "straddle" the water line easement. No poles or structures allowed in easements.
- 3. Shift location so that meter is not in parking stall or sidewalk next to the building.
- 4. All site drainage must go to the existing detention system.
- 5. Check with the Fire Marshal to make sure that you don't need additional fire hydrants.
- 6. Min 10' island
- 7. Dead end fire lane is too long without a Fire Department turn around
- 8. Currently not a fire lane. Need to plat as fire lane

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster location on site plan, if there will be a commercial dumpster.
- Additional comments may be provided at time of Engineering submittal.

Drainage Items:

- No Detention is required
- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- Dumpster areas shall drain to an oil/water spectator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is currently an existing 12" water main and a 8" water main running along SH205 available for use if needed.
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is currently an existing 10" sewer main and manhole on the southwest side of the property available for use if needed.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Commercial sanitary sewer services are minimum 6", and connected to a manhole.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)

- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- If remaining separate lots, will need access easements on this lot and adjacent.

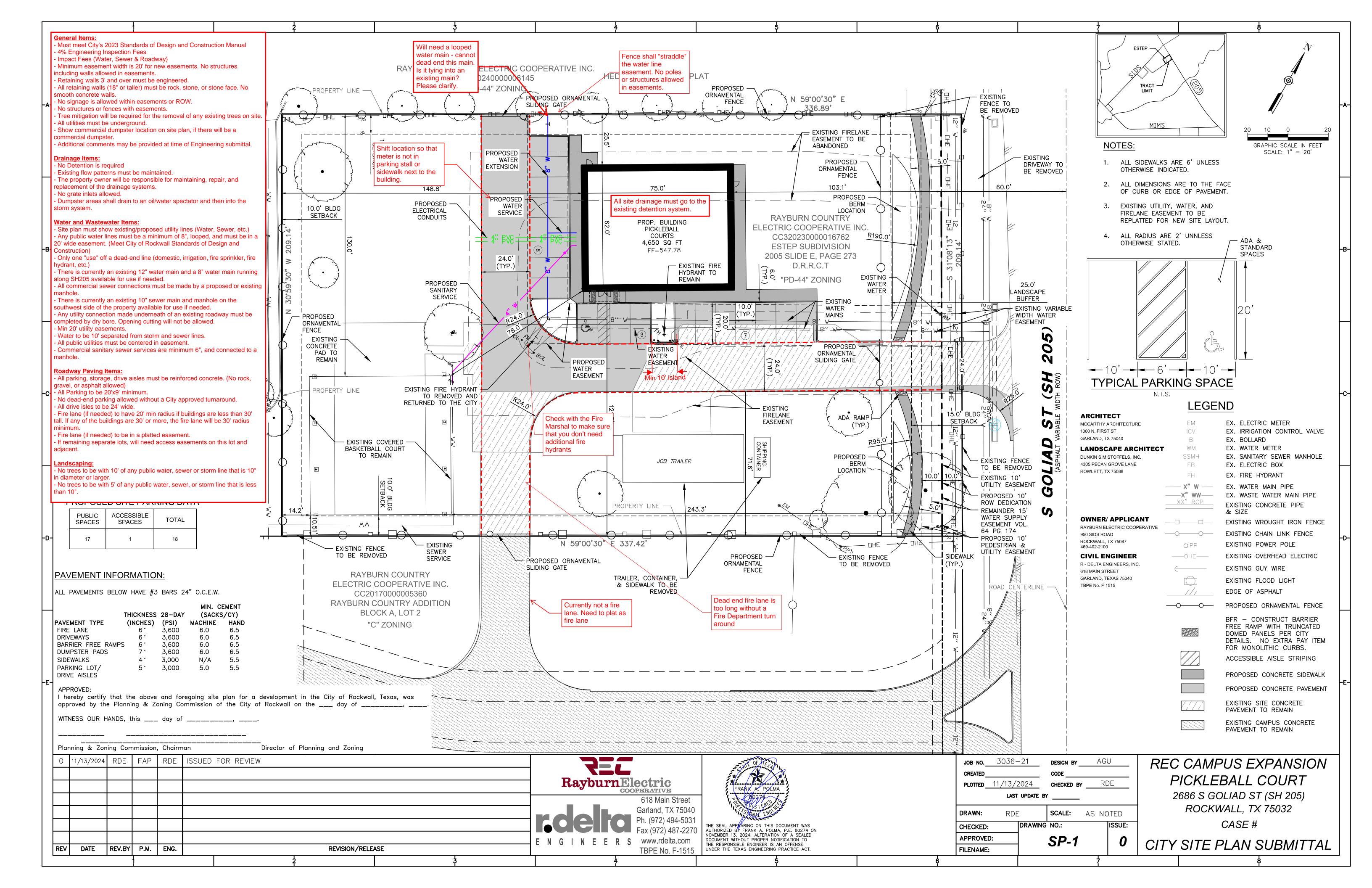
Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved w/ Comments	
11/18/2024: Gates that cross th	ne fire lane will need to have a permit from the f	ire department.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved	
No Comments				
DEDARTMENT	DEVIEWED	DATE OF BEVIEW	OTATILO OF PROJECT	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEDARTMENT	DEVIEWED	DATE OF BEVIEW	OTATILO OF PROJECT	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved w/ Comments	

11/19/2024: Landscape plants are good varieties and will do well

There are better varieties of Bermudagrass that are more drought, cold, wear and shade tolerant such as Tif Tuf and Tahoma 31.





NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	USE ONLY ING & ZONING CASE NO.
CITYU	THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE NTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE D BELOW.
DIDEO	OD OF DI ANNINO.

CITY ENGINEER: PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX] PLATTING APPLICATION FEES: **ZONING APPLICATION FEES:** ■ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)

1 ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 & 2 ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 □ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 ☐ REPLAT (\$300.00 + \$20.00 ACRE) 1 **OTHER APPLICATION FEES:** ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ TREE REMOVAL (\$75.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00) ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 SITE PLAN APPLICATION FEES: : IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE SITE PLAN (\$250.00 + \$20.00 ACRE) 1 PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00) INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PROPERTY INFORMATION [PLEASE PRINT] 2686 S Goliad St (SH205) **ADDRESS** Estep Subdivision SUBDIVISION A LOT **BLOCK** 615 feet south of Sids Rd **GENERAL LOCATION** ZONING, SITE PLAN AND PLATTING INFORMATION IPLEASE PRINT! PD-44 **CURRENT ZONING CURRENT USE** Commercial Recreation Facility PROPOSED ZONING PROPOSED USE 1.57 **ACREAGE** LOTS [CURRENT] LOTS [PROPOSED] 1 SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE. OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED) ☐ OWNER □ APPLICANT Rayburn County Electric Coop. R-Delta Engineers Inc Stephen Geiger Frank A Polma, P.E. CONTACT PERSON CONTACT PERSON 618 Main Street **ADDRESS** 950 Sids Road **ADDRESS** Rockwall, TX 75087 CITY, STATE & ZIP Garland, TX 75040 CITY, STATE & ZIP 469-402-2112 972-494-5031 PHONE PHONE fapolma@rdelta.com E-MAIL sgeiger@rayburnelectric.com E-MAIL NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED. [OWNER] THE UNDERSIGNED. WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: "I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$\frac{1}{2} \frac{1}{2} \frac INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION." GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE PAMELA BUIE Notary Public, State of Texas OWNER'S SIGNATURE E Comm. Expires 09-01-2026 COMMISSION HOMEL D 133943018



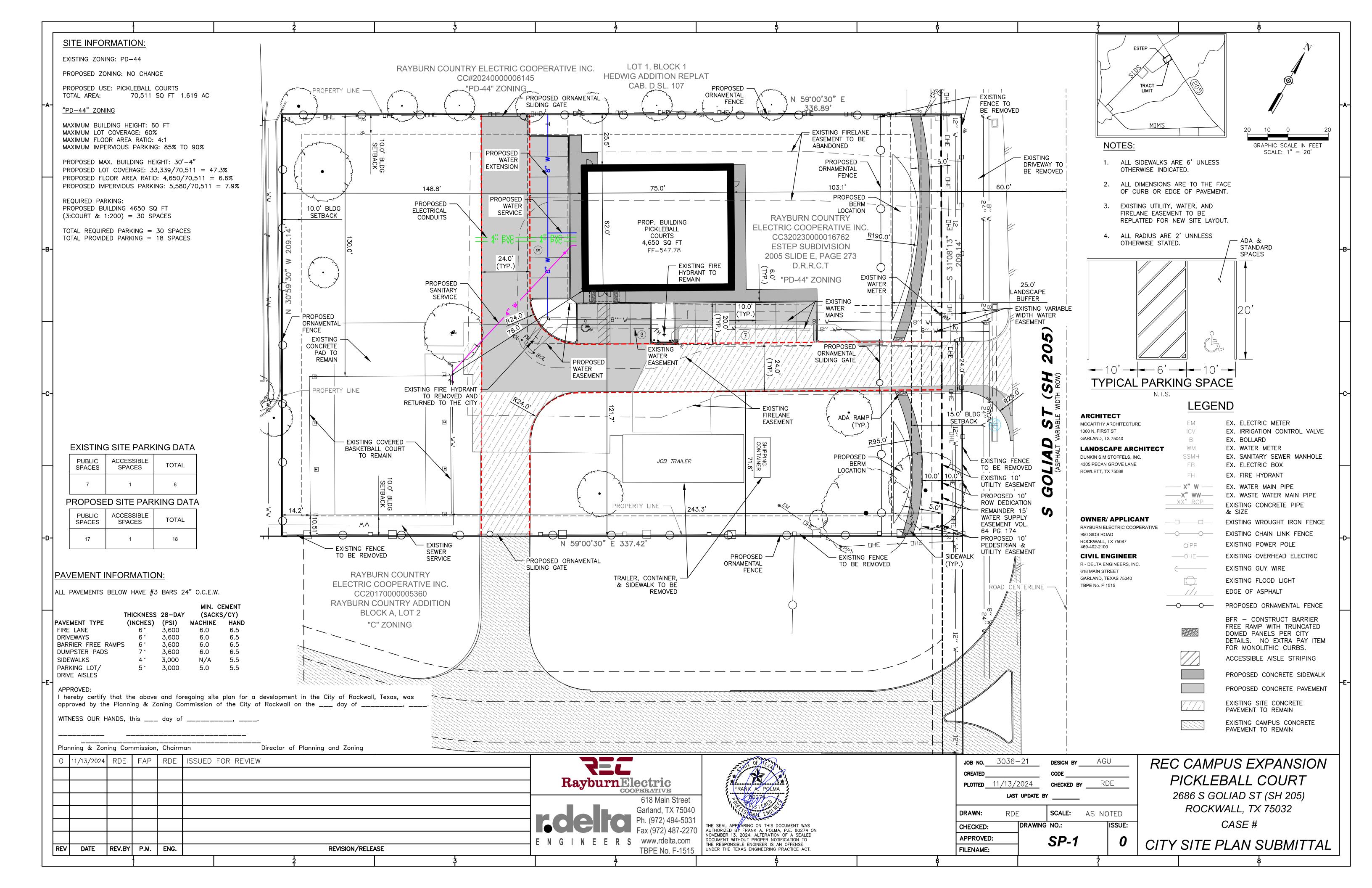


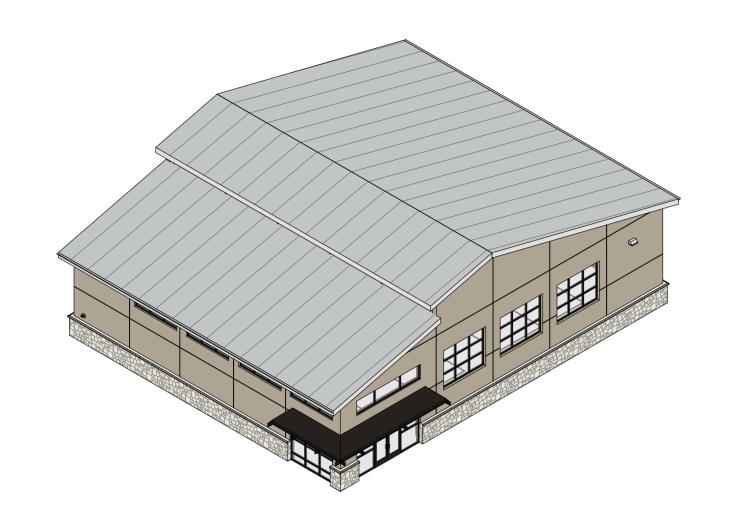
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (D): (070) 774 7745

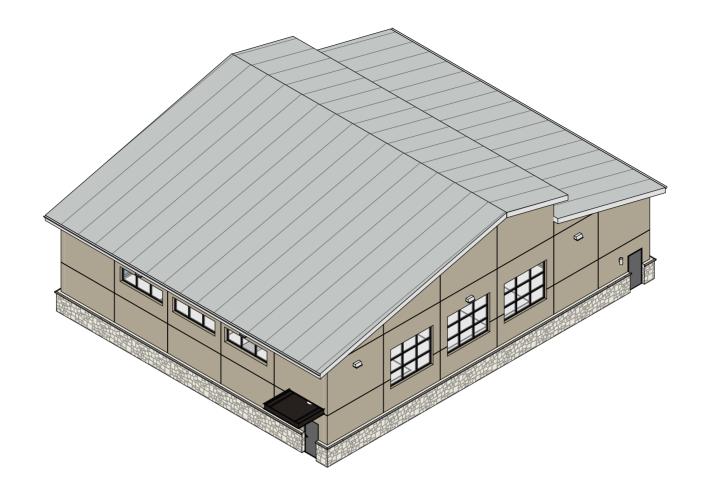
(P): (972) 771-7745 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







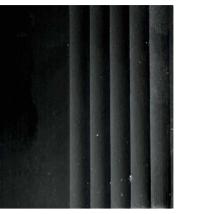




STUCCO -SW9111 VELVET ANTLER



STONE - TBD



DARK BRONZE GALVALUME ALUM. FRAME



PLATE HEIGHT (R)

__ TOP OF WAINSCOT 104'-0"

ARCHITECT:
MCCARTHY ARCHITECTURE 1000 N. FIRST ST. GARLAND, TX. 75040 P: 972.272.2500

RAYBURN ELECTRIC CO-OP PICKLE BALL COURT FACILITY ROCKWALL, TEXAS

RAYBURN ELECTRIC CO-OP

PULLIAM CONSTRUCTION

CONSTRUCTION MANAGER: 101 CALLOWAYST., STE. 200

950 SIDS RD. ROCKWALL, TX 75032

P: 469.402.2100

MANAGEMENT

WYLIE, TEXAS 75098 P: 972.442.8077

OWNER:

ISSUE

ISSUE

STRUCTURAL ENGINEER:
BLAKE WILSON
ENGINEERING, PLLC
1848 NORWOOD PLAZA

SUITE 114 HURST, TEXAS 76054 P: 817.268.2345 P P: 817.282.1636 F

ISSUE

MEP SYSTEMS: MARK PORTNOY 918 DRAGON ST DALLAS, TEXAS 75207 P: 214.915.0929

ISSUE

BUILDING MATERIAL CALCULATIONS FOR WALLS				
CATEGORIES	SOUTH	PERCENT		
TOTAL SQ FT EXCLUDING WINDOWS AND DOORS	1391.16 S.F	100%		
Galvalume roof	0 S.F	0%		
Stucco - Velvet antler SW 9111	1145.22 S.F	82.32%		
Stone - TBD	245.94 S.F	17.68%		



3 SOUTH ELEVATION SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS				
CATEGORIES	NORTH	PERCENT		
TOTAL SQ FT EXCLUDING WINDOWS AND DOORS	1564.3 S.F	100%		
Galvalume roof	0 S.F	0%		
Stucco - Velvet antler SW 9111	1271.70 S.F	81.3%		
Stone - TBD	292.60 S.F	18.7		

	STANDING SEAMMETAL ROOF	12 3	
	CJ CJ	CJ	
OWNER SELECTED STUCCO		DARK BRONZE	TOP OF GLAZING 116'-0"
STUCCO		CJ	G
DWNER ELECTED TONE VAINSCOT			TOP OF WAINSCOT 104'-0" FINISH FLOOR 100'-0"

NORTH ELEVATION

Copyright	©	2019	
DATE:			09.03.2
SCALE:			
JOB NO.			MA24

ACAD #
COLORED EXTERIOR
ELEVATIONS

CATEGORIES	WEST	PERCENT			
TOTAL SQ FT EXCLUDING WINDOWS AND DOORS	1612.22 S.F	100%			
Galvalume roof	635.85 S.F	39.4%			
Stucco - Velvet antler SW 9111	762.85 S.F	47.4%			
Stone - TBD	213.52 S.F	13.2%			
			SEAMMETAL ROOF		
CJ CJ		CJ		CJ	

OWNED	ROOF HEIGHT (R) 123'-0"
OWNER ————————————————————————————————————	TOP OF CANOPY 110'-11 5/16"
FDC	

WEST ELEVATION

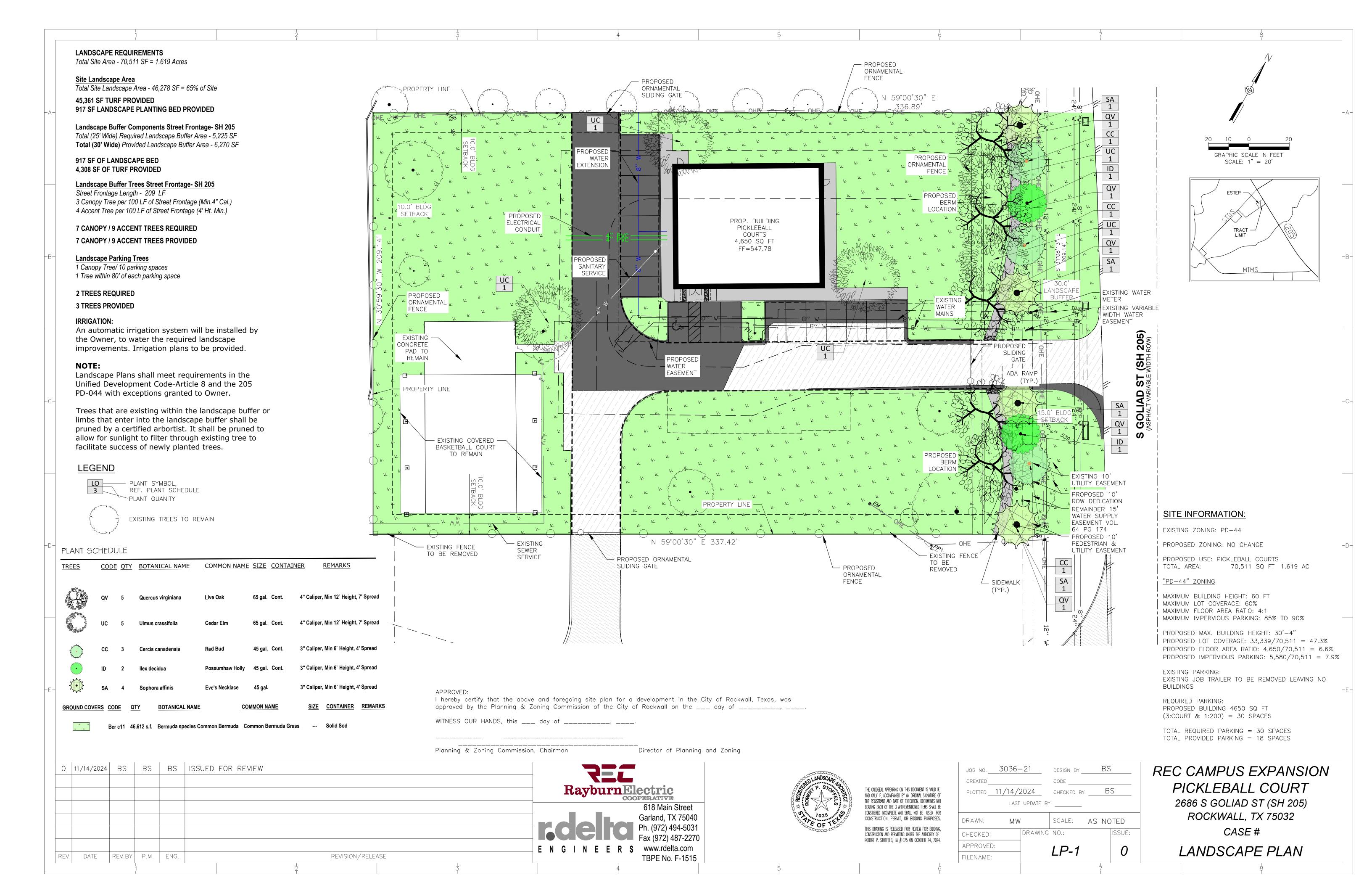
SCALE: 3/16" = 1'-0"

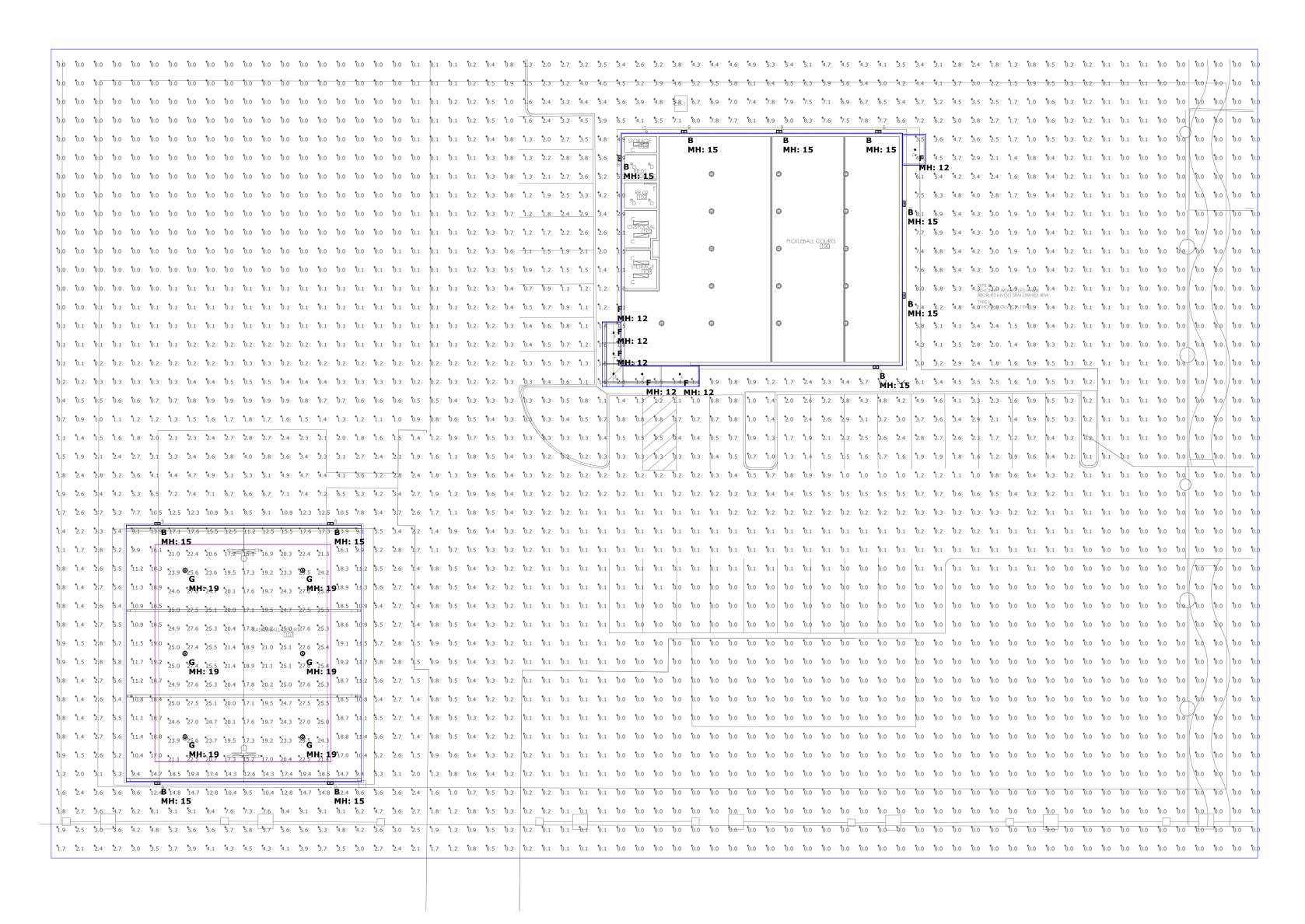
OWNER — SELECTED STONE WAINSCOT

CATEGORIES	EAST	PERCENT
TOTAL SQ FT EXCLUDING WINDOWS AND DOORS	1793.7 S.F	100%
Galvalume roof	701.29 S.F	39.1%
Stucco - Velvet antler SW 9111	852.22 S.F	47.5%
Stone - TBD	240.19 S.F	13.4%

	Stone - TBD	240.19 S.F 13.4%		
			STANDING SEAMMETAL ROOF	
				TOP OF ROOF 131'-3" PLATE HEIGHT (R)
OWNER SELECTED STUCCO	B C C C C C C	CJ	DARK BRONZE	PLATE HEIGHT (R) 120'-0" B TOP OF GLAZING 116'-0" ARCH FAB HELIOS CANOPY
	CJ CJ	CJ	CJ	TOP OF WAINSCOT
OWNER SELECTED STONE WAINSCOT				104'-0"

2 EAST ELEVATION
SCALE: 3/16" = 1'-0"





Luminaire	Schedule							
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
	В	11	LITHONIA WDGE3 LED P1 40K 80CRI R3 MVOLT SRM DWHXD	7524	51.172	1.000	0.850	1.000
\oplus	F	6	LITHONIA OLVTCM	590	15.3	1.000	0.850	1.000
•	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SWW3 (40K) 80CRI [FINISH]	19371	118.4	1.000	0.850	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
SITE_Planar	0	Fc	1.51	19.4	0.0	N.A.
BASKETBALL COURT		Fc	22.84	27.6	15.1	1.51

I. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH."

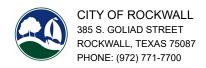
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify. 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

> **Architectural Lighting Alliance** 101 Turtle Creek Blvd. Dallas TX 75207 O 214-658-9000 | F 214-658-9002 www.alatx.com

PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: SP2024-048

PROJECT NAME: Site Plan for River Dog Retreat

SITE ADDRESS/LOCATIONS: 100 S JOHN KING BLVD, ROCKWALL, TX 75087

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Bill Bricker of Rockwall Property Corporation for

the approval of a Site Plan for a Dog Boarding Facility on a 1.50-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at

southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	11/21/2024	Needs Review	

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for a Dog Boarding Facility on a 1.50-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard.
- 1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2024-048) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- 1.4 The subject property will be required to be plat in order to establish lot lines, and establish or abandoned easements.
- M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ______, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

(1) The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block. (Subsection 03.04.B, of Article 11, UDC)

- (2) The vicinity map depicts the incorrect location. Please correct this. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please label and delineate the building setbacks along John King Boulevard (i.e. 25-feet) and Park Hills Boulevard (i.e. 15-feet). (Subsection 03.04.B, of Article 11, UDC)
- (4) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04.B, of Article 11, UDC)
- (5) Please indicate any medians and median breaks in the adjacent streets. (Subsection 03.04.B, of Article 11, UDC)
- (6) Please clarify the estimated retaining wall height. Retaining walls within an overlay district are required to be terraced; every four (4) feet in height a two (2) wide planting bed must be provided. (Subsection 06.02.E.3, of Article 05, UDC)
- (7) Per the OURHometown Vision 2040 Comprehensive Plan a trailhead (i.e. rest area) is required. See Appendix B of the Comprehensive Plan for the conceptual design. (OURHometown Vision 2040 Comprehensive Plan)
- (8) This project would be parked at Retail and not Office, at 1/250 SF, for a total of 25 parking spaces. (Table 5, of Article 06, UDC)
- (9) Indicate the type and depth of the paving material and provide a detail or cut-sheet. (Subsection 03.02, of Article 06, UDC)
- (10) All signage is reviewed and approved through a separate permitting process. Signage may not be located within any easements. (Subsection 06.02.F, of Article 05, UDC)
- (11) Wood is not a permitted fence material. I did not see a callout for a wood fence on the site plan, but included with the dumpster enclosure detail was a wood fence detail. (Subsection 08.02.F, of Article 08, UDC)
- (12) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (13) Will there be any equipment within the play yards? This equipment must be delineated on the site plan. In addition, elevations or specs for the equipment must be provided. (Subsection 01.05.C, of Article 05, UDC)
- (14) The canopies in the play areas shall be permanent and not temporary (i.e. not movable). Their location and size must be tied down through the site plan. This will be an exception. (Subsection 01.05.C, of Article 05, UDC)
- (15) Please provide a note that there will be no above ground storage tanks. (Subsection 01.05.D, of Article 05, UDC)
- (16) All dumpster enclosures must be 12-feet by 10-feet, and within the overlay district they must be 8-feet in height. Please correct the site plan and dumpster detail to reflect this. In addition, please denote that the brick on the enclosure will match the primary building. (Subsection 01.05.B, of Article 05, UDC)
- (17) The subject property has residential adjacency along the west property line. Please delineate and label the 20-foot residential adjacency buffer. Within this buffer there should be either a masonry wall with canopy trees on 20-foot centers, or three (3) tiered landscaping with a wrought iron fence. If you are requesting to utilize the existing tree line as the landscaping for this buffer it will be an exception. (Subsection 01.06, of Article 05, UDC)
- (18) Please provide a note that there will be no outside pens/kennels. (Subsection 02.03, of Article 04, UDC)
- (19) Will there be artificial turf associated with this project? If so, please delineate the areas that will be artificially turfed. In addition, please provide a spec sheet for the proposed turf that meets the UDC requirements. This will be an exception. (Section 04, of Article 08, UDC)

M.7 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please update the landscape table to include the size of the plantings. Canopy trees must be 4-caliper inches, accent trees 4-feet in height, and shrubs 5-gallons. (Subsection 05.03.B, of Article 08, UDC)
- (3) Staff recommends utilizing a different tree than bald cypress. Staff would suggest utilizing a different shrub than winter boxwood. The Unified Development Code (UDC) does not consider this a screening shrub. Contact Travis Sales for suggestions.
- (4) Please delineate and label the landscape buffers. The John King Boulevard landscape buffer is 25-feet, and the Park Hills Boulevard landscape buffer is 10-feet. (Subsection 05.01, of Article 08, UDC)
- (5) Please delineate the required berms within the landscape buffers. The berm along John King Boulevard is required to be a minimum of 30-inches in height. If the retaining wall affects this, then this would be a variance. (Subsection 06.02, of Article 05, UDC)
- (6) Identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05, UDC)
- (7) The landscape buffer along John King Boulevard required ten (10) accent trees. In this case, there are six (6). Please correct this. (Subsection 06.02, of Article 05, UDC)
- (8) Detention ponds are required to have one (1) canopy tree per 750 SF of detention area, and one (1) accent tree per 1,500 SF of detention area. In this case, provide an estimated detention area and the required landscaping. (Subsection 05.03.D, of Article 08, UDC)

M.8 Treescape Plan

(1) Please clarify that no trees that require mitigation are being removed. This includes Eastern Red Cedar trees over 8-feet in height. (Article 09, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please take the light levels to the south property line to ensure conformance with the 0.2 FC requirement at the property line. (Article 07, UDC)
- (3) Please note that up lighting is not permitted. All light fixtures must be oriented down and be shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations

- (1) The material percentage tables indicate wood; however, the material sample board indicates Nichiha. Nichiha is not an approved material and would require approval as a variance. In addition, Nichiha is proposed within the first four (4) feet of the building, this is an additional variance. (Subsection 04.01, of Article 05, UDC)
- (2) Please provide a note that the back side of the parapet must be finished in the same material as the external facing façade. In addition, all parapet systems must be enclosed. In this case, it appears that there is no parapet on the back of the building. (Subsection 06.02, of Article 05, UDC)
- (3) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)
- (4) The proposed building does not meet the four (4) sided architecture requirements. This requires the same "materials, detailing, articulation and features" on each façade. In this case the primary articulation requirements must be met on each side, and the same architectural detail and features must be provided on each side. (Subsection 06.02, of Article 05, UDC)
- (5) The proposed building does not meet the primary articulation standards on each side of the building. Please review the articulation diagram within the General Commercial District Standards within the Unified Development Code (UDC). (Subsection 06.02, of Article 05, UDC)
- M.11 At this time, based on the materials submitted, staff has identified the following Exception(s)/Variance(s) for this project:
- (1) Accessory Structures. The proposed canopies are considered accessory structures, which do not meet any of the Commercial (C) District standards. (Subsection 01.05.C, of Article 05, UDC)
- (2) Residential Adjacency. Leaving the existing tree line in place to serve as the residential adjacency screening will require apoproval from the Planning and Zoning Commission. (Subsection 01.06, of Article 05, UDC)
- (3) Artificial Turf. Artificial turf must be approved by the Planning and Zoning Commission. (Section 04, of Article 08, UDC)
- (4) Landscape Buffer. The landscape buffer requires a berm. If the retaining wall prevents you from meeting this requirement, then the Planning and Zoning Commission must approve it. (Subsection 06.02, of Article 05, UDC)
- (5) Materials. Nichiha is not an approved building material. (Subsection 06.02, of Article 05, UDC)
- (6) Cementitious Materials. Cementitious materials are not permitted within the first four (4) of a building façade. (Subsection 06.02, of Article 05, UDC)
- (7) Articulation. The proposed building does not meet the primary articulation requirements outlined within the General Commercial District Standards. (Subsection 04.01, of Article 05, UDC)
- (8) Four (4) Sided Architecture. The proposed building does not provide the same "materials, detailing, articulation and features" on each façade. (Subsection 04.01, of Article 05, UDC)
- M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.
- I.13 Please note that failure to address all comments provided by staff by 3:00 PM on December 3, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.14 Please note the scheduled meetings for this case:
- (1) Planning & Zoning meeting/work session meeting will be held on November 26, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on December 10, 2024.
- I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a

representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

11/19/2024: 1. Add 1-16" valve

- 2. 16" water line must have 10' of water easement on both sides of main.
- 3. Add 1-16" valve
- 4 Add 1-16" valve
- 5. Show and label floodplain with cross-sections elevations
- 6. Public sanitary sewer must be within and centered in a minimum 20' sanitary sewer easement. No structures or fences within easement. Easement must be out of detention pond. Width of easement is dependent on depth of sewer main.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.
- Access to this site will not be available until Park Hills infrastructure has been installed, inspected, and approved by the City.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. No vertical walls allowed in detention easement. Max side slope of 4:1 with a minimum bottom slope of 1%.
- No public water or sanitary sewer can be in detention easement.
- Detention ponds must be irrigated
- Existing flow patterns must be maintained. The site must drain to the existing floodplain behind the site.
- Must show erosion hazard setback in easement. No structures including paving allowed in erosion hazard setback.
- No vertical walls allowed in the existing floodplain or easements.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for the existing floodplain with labeled cross-sections.
- FFE for all buildings must be called out when adjacent to a floodplain. Minimum 2' above 100-year WSEL.
- Dumpster areas shall drain to an oil/water spectator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Park Hills development is installing sanitary sewer. Sanitary sewer must be designed and installed by this development to cross the creek.

- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Will need to extended 16" water line along John King within an easement across the property.
- Required to extend utilities (water, sewer) across the site to provide access to the future development to the south.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Need to install 8" public sewer to the southern property line.

Roadway Paving Items:

- Must meet City and TxDOT driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Install 10' trail along John King and 5' sidewalk along Street F/Park Hill Blvd

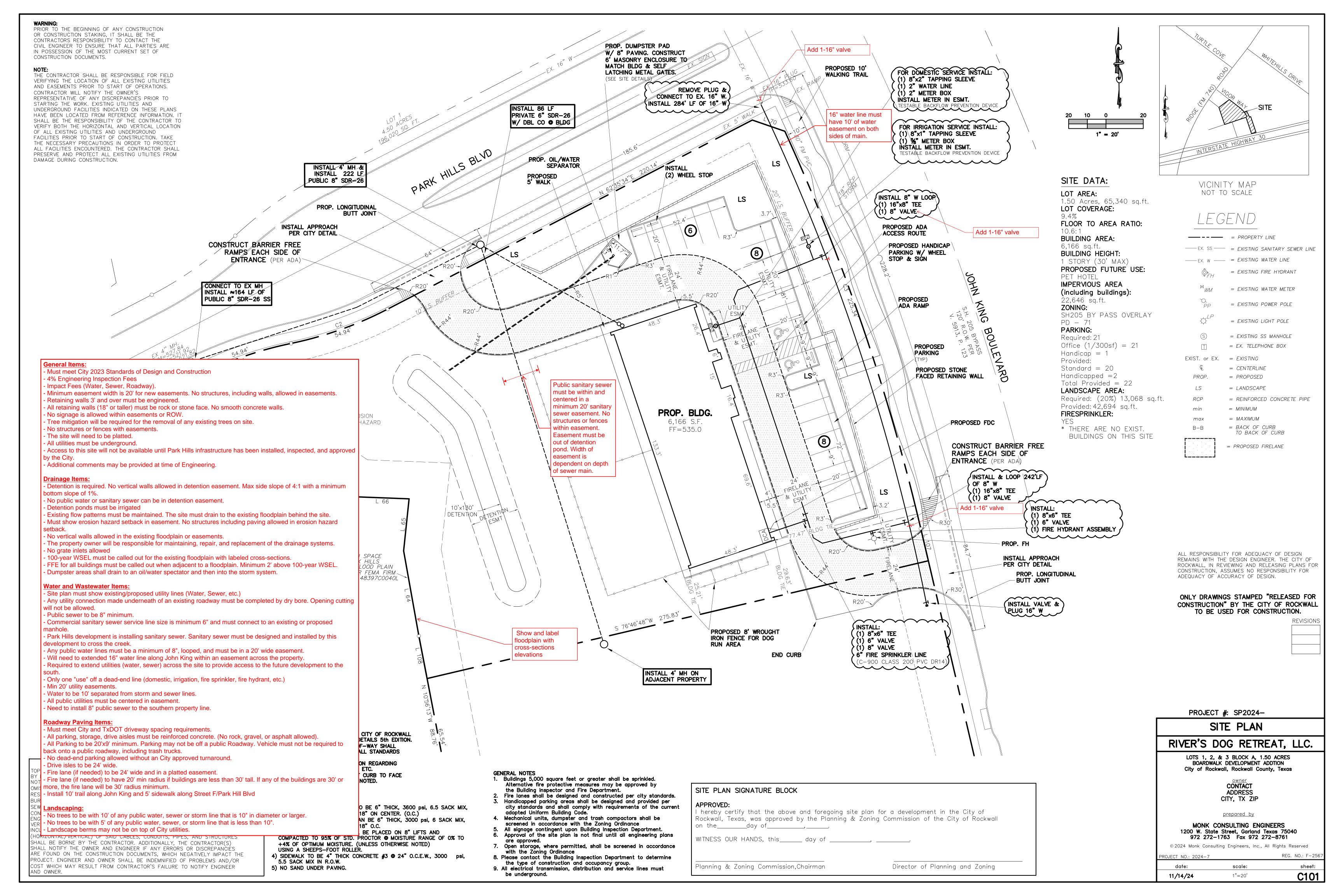
Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities.

Craig Foshee	11/20/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Ariana Kistner	11/18/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Lance Singleton	11/18/2024	Approved w/ Comments	
e 100 S. JOHN KING BLVD, ROCKWALL,	TX 75087		
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Chris Cleveland	11/18/2024	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Travis Sales	11/19/2024	Approved w/ Comments	
	REVIEWER Lance Singleton e 100 S. JOHN KING BLVD, ROCKWALL, REVIEWER Chris Cleveland REVIEWER Travis Sales	REVIEWER DATE OF REVIEW Lance Singleton 11/18/2024 e 100 S. JOHN KING BLVD, ROCKWALL, TX 75087 REVIEWER DATE OF REVIEW Chris Cleveland 11/18/2024 REVIEWER DATE OF REVIEW Travis Sales 11/19/2024	Ariana Kistner 11/18/2024 Approved REVIEWER DATE OF REVIEW STATUS OF PROJECT Lance Singleton 11/18/2024 Approved w/ Comments e 100 S. JOHN KING BLVD, ROCKWALL, TX 75087 REVIEWER DATE OF REVIEW STATUS OF PROJECT Chris Cleveland 11/18/2024 Approved REVIEWER DATE OF REVIEW STATUS OF PROJECT

11/19/2024: 1. Landscape plants are good varieties and will do well

- 2. Provide tree mitigation plans ass needed
- 3. I assume there will be sod installed: New varieties of Bermudagrass sod that are more drought, cold, wear and shade tolerant such as Tif Tuf and Tahoma 31.
- 4. Head light glare evergreen shrub row needed along 66 and John King along parking spaces. 24" tall evergreen shrubs planted 36" on center in dedicated bed.





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF	USE	ONL	Y
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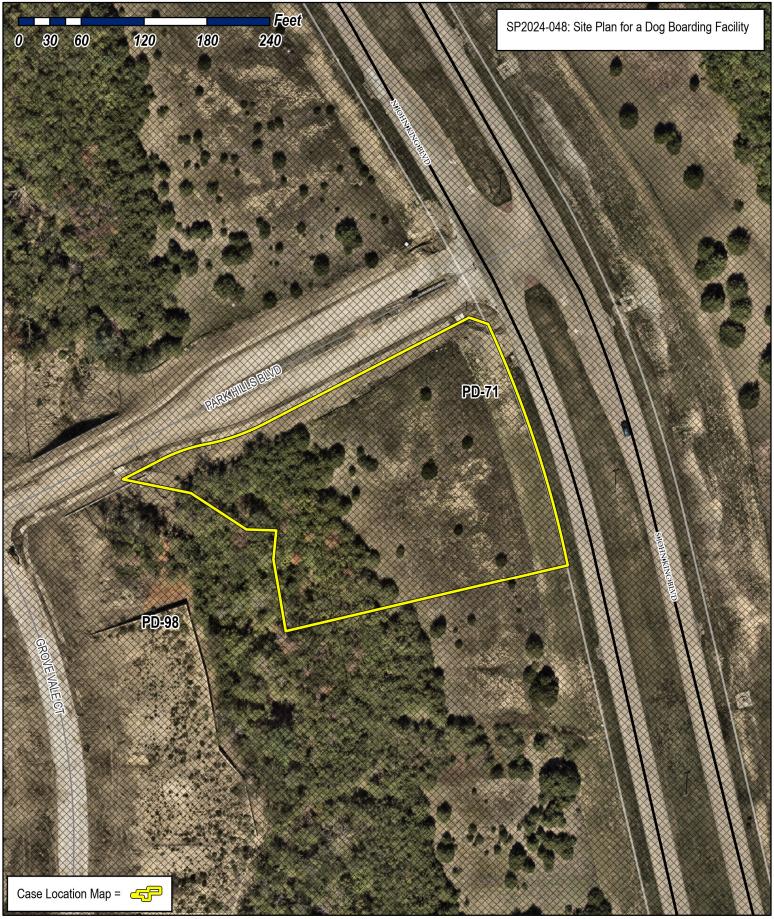
PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE	ADDDODDIATE DOV DELOUIT	20 11/21/21						
PLATTING APPLIC	CATION FEED.	U INDICATE THE TYPE		F DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:				
☐ MASTER PLAT☐ PRELIMINARY SILE PLAT (\$300.0 PLAT REINSTATE PLAN (\$25	(\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 800.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 MINOR PLAT (\$150.00) TEMENT REQUEST (\$100.00)		☐ ZONING CI ☐ SPECIFIC U ☐ PD DEVELU OTHER APPLI ☐ TREE REM ☐ VARIANCE NOTES: 1: IN DETERMINING PER ACRE AMOUNT 2: A \$1,000,00 FEE	.ICATION FEES: HANGE (\$200.00 +) USE PERMIT (\$200. DPMENT PLANS (\$) CATION FEES: DVAL (\$75.00) REQUEST/SPECIA THE FEE, PLEASE USE T . FOR REQUESTS ON LE WILL BE ADDED TO THE UCTION WITHOUT OR N	00 + \$15.00 AC 200.00 + \$15.00 L EXCEPTION: THE EXACT ACREAC SS THAN ONE ACREA	CRE) 1 & 2 D ACRE) 1 S (\$100.00) 2 GE WHEN MULTIPLYIN FROUND UP TO ONE	(1) ACRE.	
PROPERTY INFO	RMATION [PLEASE PRINT]							
ADDRESS		Blvd. and Park	Hills Blvd.					
SUBDIVISION	Boardwalk Deve	lopment Additi	on	LOT	2	BLOCK	Α	
GENERAL LOCATION	SAAC OL JOHN KIL	ng Blvd. and Pa	ark Hills Blvd					
ZONING, SITE PL	AN AND PLATTING INF	ORMATION [PLEA	SE PRINTI					
CURRENT ZONING	PD - 71		CURRENT USE	N/A				
PROPOSED ZONING	PD - 71		PROPOSED USE	River's Dog	Retreat	- Dog Boar	dina	
ACREAGE	1.5	LOTS [CURRENT	T] 1		PROPOSED	1	ung	
RESULT IN THE DE	PLATS : BY CHECKING THIS BOX PPROVAL PROCESS, AND FAILUR NIAL OF YOUR CASE.		OTHER O COMMENTS BY	THE DATE PROVIDE	D ON THE DEVI	ELOPMENT CALEI	LITY WITH NDAR WILL	
OWNER/APPLICA	NT/AGENT INFORMATI	ON [PLEASE PRINT/CH	HECK THE PRIMARY CON	FACT/ORIGINAL SIGN	NATURES ARE R	REGUIREDI		
= Officer	nucewall prop	CTH COND.	🛛 APPLICANT	Carroll Arch	nitects, Inc	C.		
CONTACT PERSON	BIII Bricker		CONTACT PERSON	Jeff Carroll				
ADDRESS	505 2235 R	idse Pd	ADDRESS	750 E. Inte	erstate 30			
CITY STATE & ZIP	Suite 200 Pockwall, TX 7	0		Suite 110				
	214-801-6157	300 (CITY, STATE & ZIP	Rockwall,	TX 7508	7		
6	Bill of colventu	100	PHONE	214-632-1				
		116 2. COM	E-MAIL	jc@carro	llarch.con	1		
NOTARY VERIFICA BEFORE ME, THE UNDERSIGNATED THE INFORMATION	ATION [REQUIRED] GNED AUTHORITY, ON THIS DAY F ON THIS APPLICATION TO BE TRI	PERSONALLY APPEARED UE AND CERTIFIED THE	Gharles W	Bricker	[OWNER] T	HE UNDERSIGNE	D, WHO	
"I HEREBY CERTIFY THAT I AN \$	M THE OWNER FOR THE PURPOSE (TO COVER THE COST O 20 BY SIGNING THE WITHIN THIS APPLICATION TO THE WITH THIS APPLICATION, IF SUCH I	OF THIS APPLICATION; ALI IF THIS APPLICATION, HAS IIS APPLICATION, I AGREI I PUBLIC. THE CITY IS , REPRODUCTION IS ASSOC	L INFORMATION SUBMITTE S BEEN PAID TO THE CITY O E THAT THE CITY OF ROCI ALSO AUTHORIZED AND I CIATED OR IN RESPONSE T	, NOCKWALL ON THI (WALL (I.E. "CITY") IS PERMITTED TO REPR OAREQUEST FOR PL	AUTHORIZED AA	ID DEDMITTED TO		
GIVEN UNDER MY HAND AND	O SEAL OF OFFICE ON THIS THE	Z DAY OF NO	rember, 2024		MARY	NICOLETTE ABE	86.1	
MOTADWA	OWNER'S SIGNATURE Ch	Bricker			My Co	y ID #12829591 mmission Expire	es	
NOTARY PUBLIC IN AND FOR	R THE STATE OF TEXAS	wy nico	with abbe	MYCOMUSS		ember 14,-2026	000	

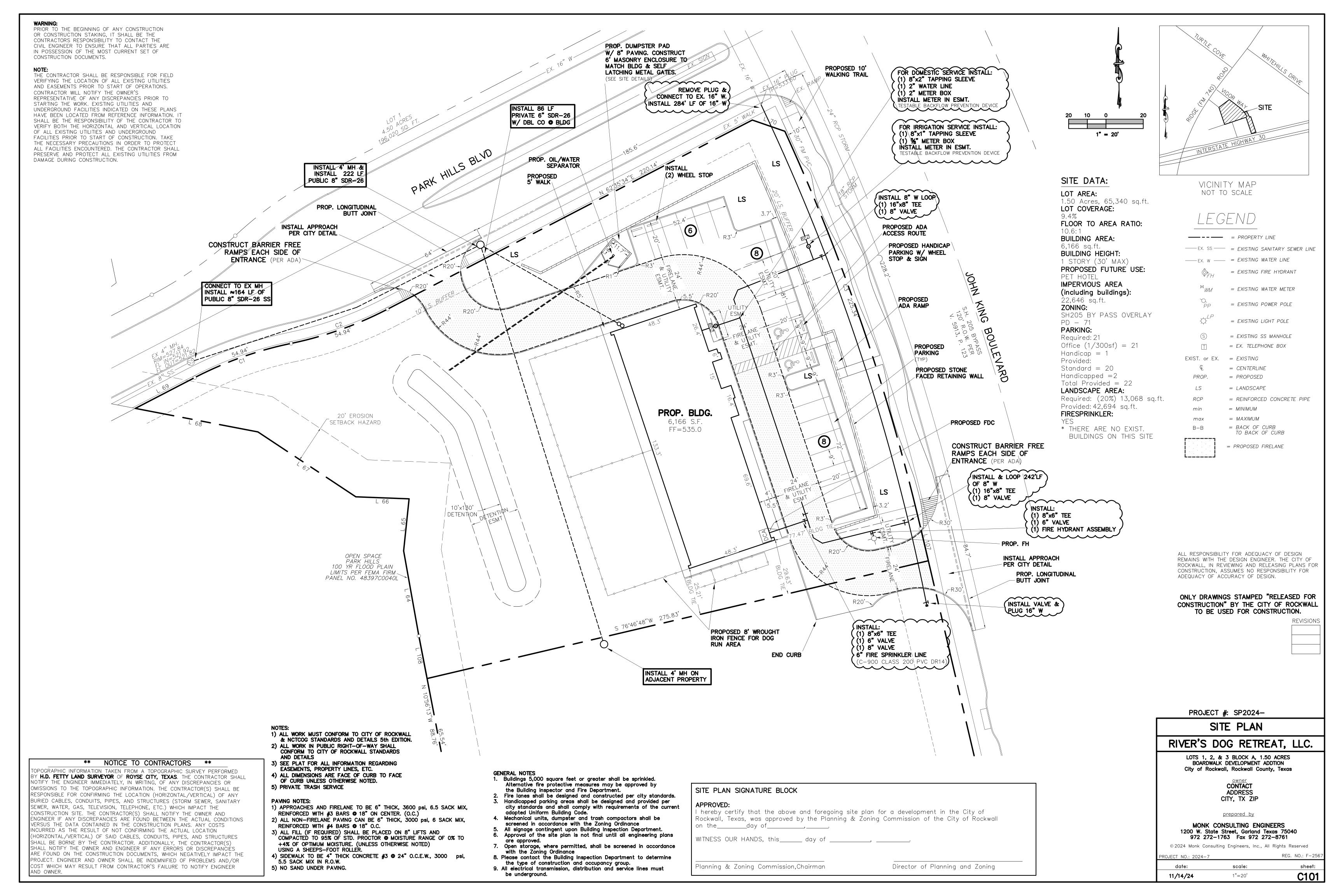


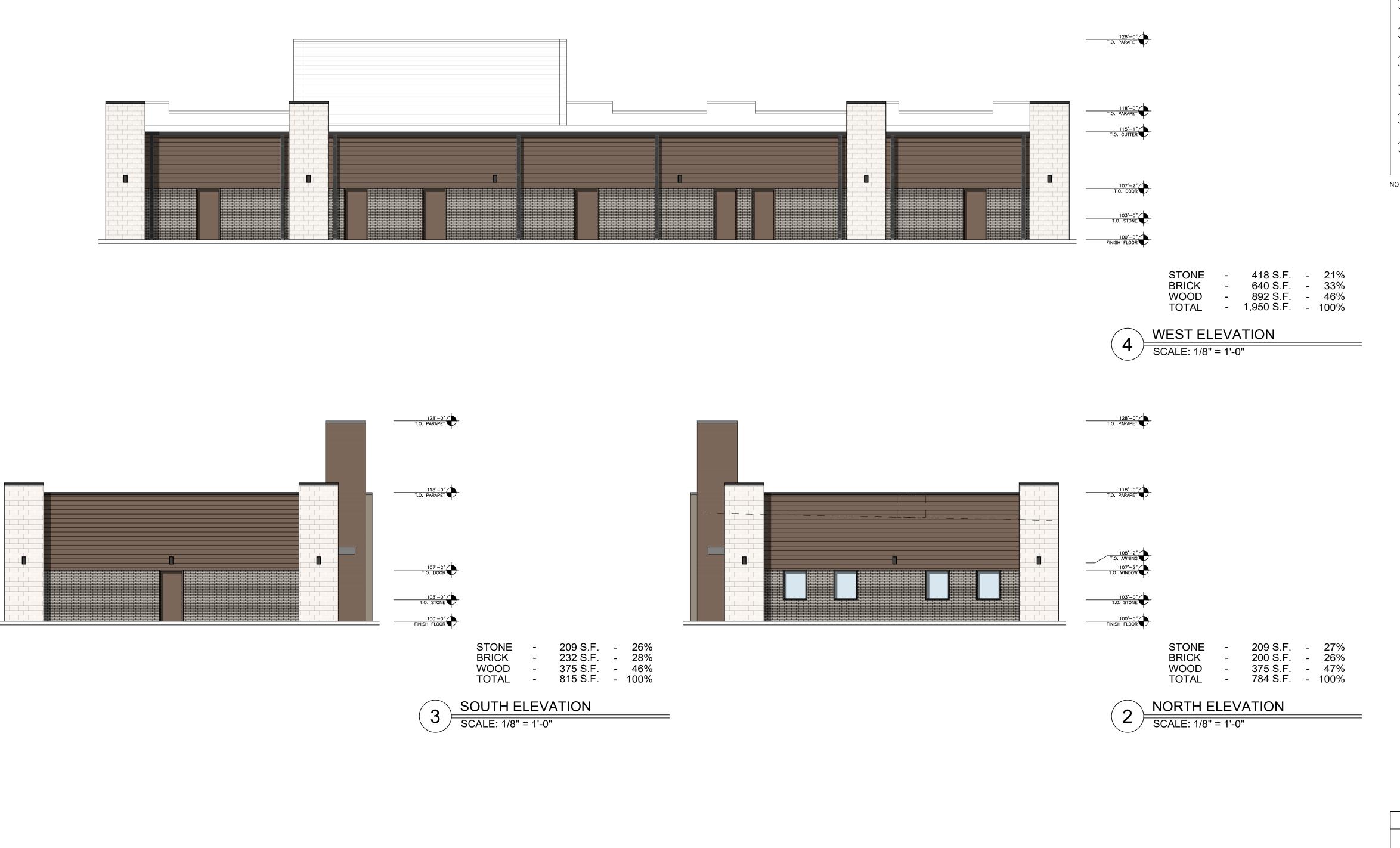


City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





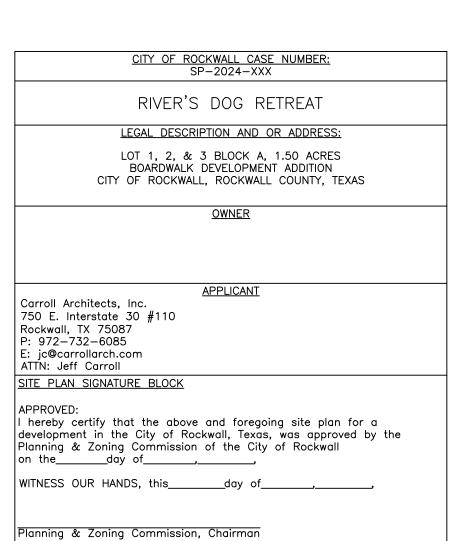


EXTERIOR FINISH SCHEDULE

- A BRICK VENEER: ACME, MUSHROOM BROWN COLOR
- STONE VENEER: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 12" TALL COLOR CREAM
- STONE CAP: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH SIZE 4" TALL, COLOR CREAM
- D WOOD MASONRY VENEER: NICHIBOARD CEDAR, COLOR SEMIGLOSS DARK BROWN
- E PREFINISHED METAL COPING COLOR BLACK
- F WINDOW FRAMES ALUMINUM, COLOR BLACK
- G GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10% BLUE
- H STOREFRONT ENTRY SLIDING DOOR SYSTEM: ALUM. COLOR BLACK
- EXTERIOR HOLLOW MTL. DOOR & FRAME: PAINTED, COLOR DARK BROWN
- K AWNINGS: PREFINISHED STANDING SEAM MTL. AWNINGS PANELS COLOR BLACK
- GUTTER AND DOWNSPOUTS COLOR BLACK

NOTE: PARAPETS WILL BE FINISHED ON BOTH SIDES

King Blvd I, Texas 75087 **NEW FACILITY FOR** R John F Rockwall, **ER'S**



Director of Planning and Zoning

128'-0" T.O. PARAPET

118'-0" T.O. PARAPET

T.O. STOREFRONT 109'-4" T.O. WINDOWS

STONE

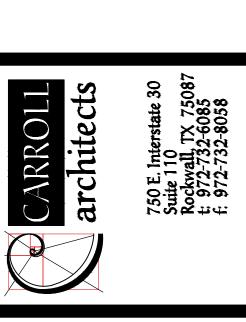
BRICK

EAST ELEVATION

SCALE: 1/8" = 1'-0"

- 749 S.F. - 33% - 426 S.F. - 20% - 1,060 S.F. - 47%

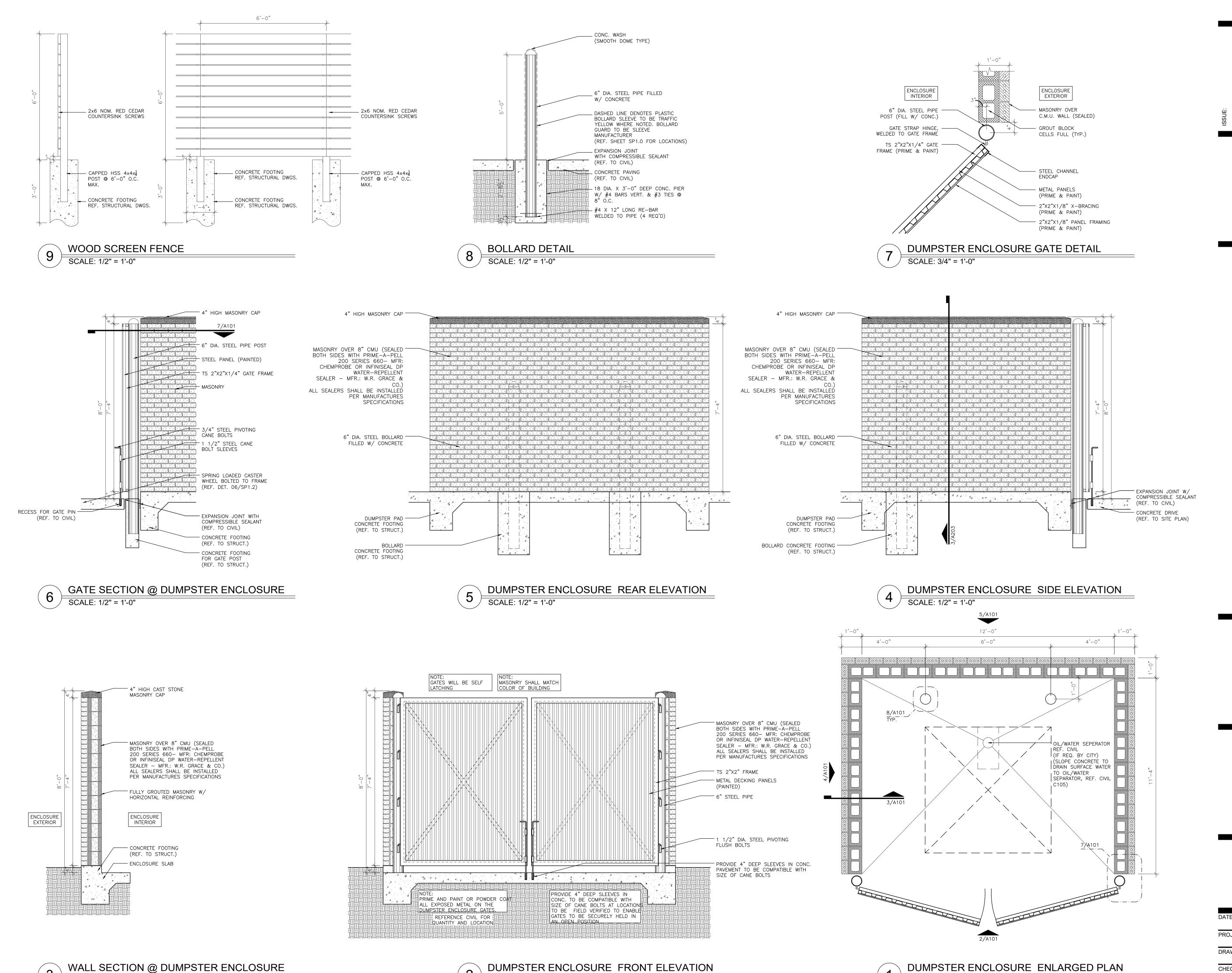
TOTAL - 2,245 S.F. - 100%



EXTERIOR ELEVATIONS

SHEET NO: SEP 2024 PROJECT NO:

CHECKED BY:



SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

SEP 2024
PROJECT NO:
2024040
DRAWN BY:
CHECKED BY:

SCALE: 1/2" = 1'-0"

MASONRY

DUMPSTER

ENCLOSURE

Blvd

R M



SITE DATA TABLE					
SITE AREA	1.50 ACRES (65,340 S.F.)				
ZONING	SH205 BY PASS OVERLAY PD-71				
PROPOSED USE	PET HOTEL				
BUILDING AREA:	6,166 S.F.				
LOT COVERAGE (GROSS AREA)	9.4%				
FLOOR TO AREA RATIO	10.6 : 1				
BUILDING HEIGHT MAX.	30'-0"				

LANDSCAPE TABULATION						
1.50 ACRES (65,340 S.F.)						
13,068 S.F.						
42,694 S.F.						
22,646 S.F.						

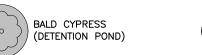
Irrigation shall be provided to all landscaped areas.
Tree mitigation for this project for existing trees on this property.
All perimeter parking are within 50'-0" of a shade tree. No trees within 5' of public utilities less than 10".
No trees within 10' of public utilities 10" or greater

TREE/SHRUB LEGEND

TREES, INSTALLED W/ MINIMUM 4" CALIPER







WINTER BOXWOOD (SHRUB)
5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

GENERAL NOTES:

- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND
- 2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.

 3. OWNER MAY SUBSTITUTE TREES. THE OWNER SHALL OF THE OWNER SHALL OF THE OWNER SHALL OF THE OWNER SHALL
- SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
- 5. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/
- 6. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. PROVIDED
 7. ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT—OF—WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH
- 8. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
- 9. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.

10. ALL PARKING SPACES ARE WITHIN 80' OF A TREE

Blvd as 75087 RE King John M M

Rockwall,

CITY OF ROCKWALL CASE NUMBER: SP-2024-XXX RIVER'S DOG RETREAT LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, 2, & 3 BLOCK A, 1.50 ACRES BOARDWALK DEVELOPMENT ADDITION CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

<u>OWNER</u>

<u>APPLICANT</u> Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the____day of_____,_

WITNESS OUR HANDS, this_____

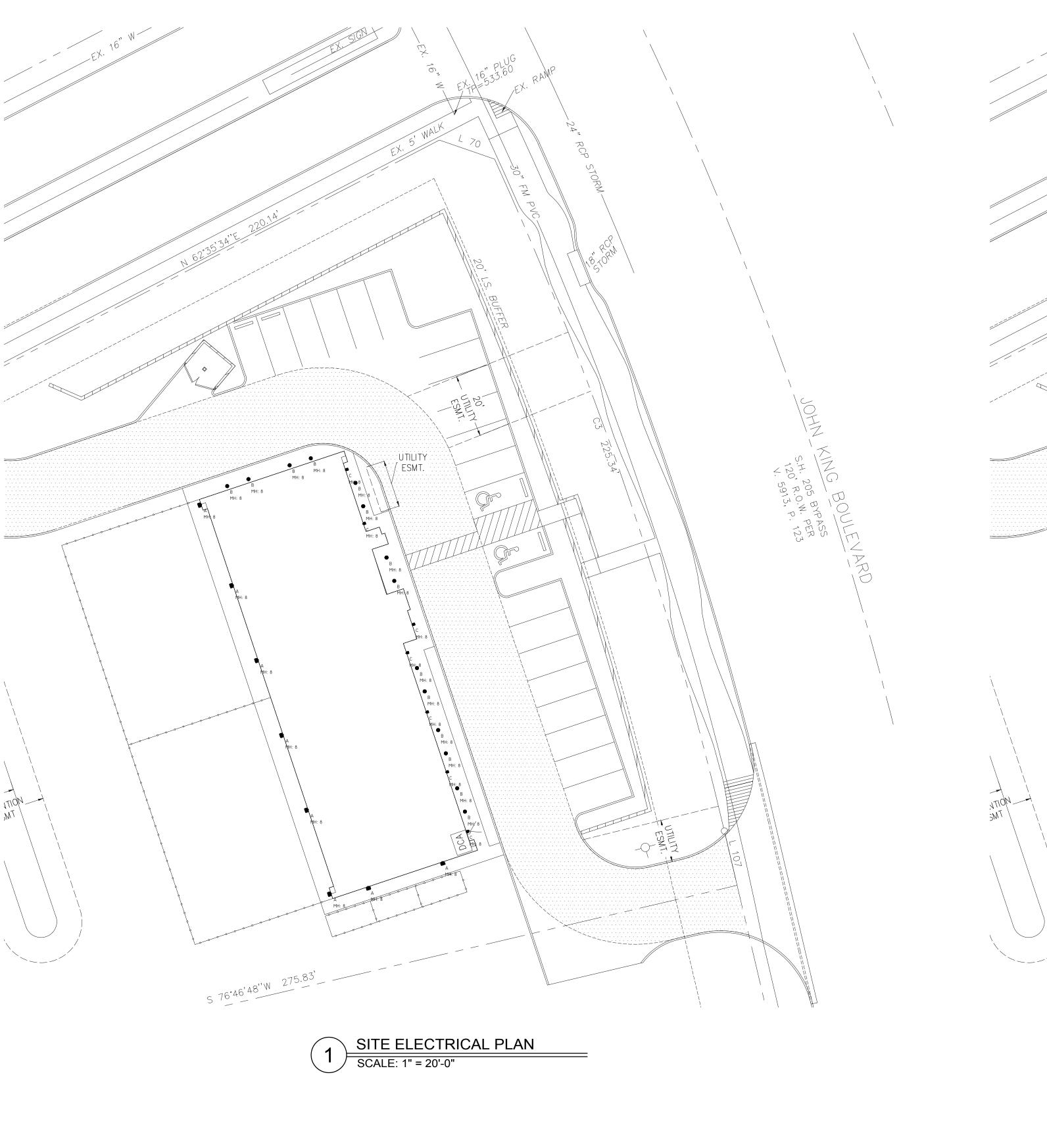
Director of Planning and Zoning

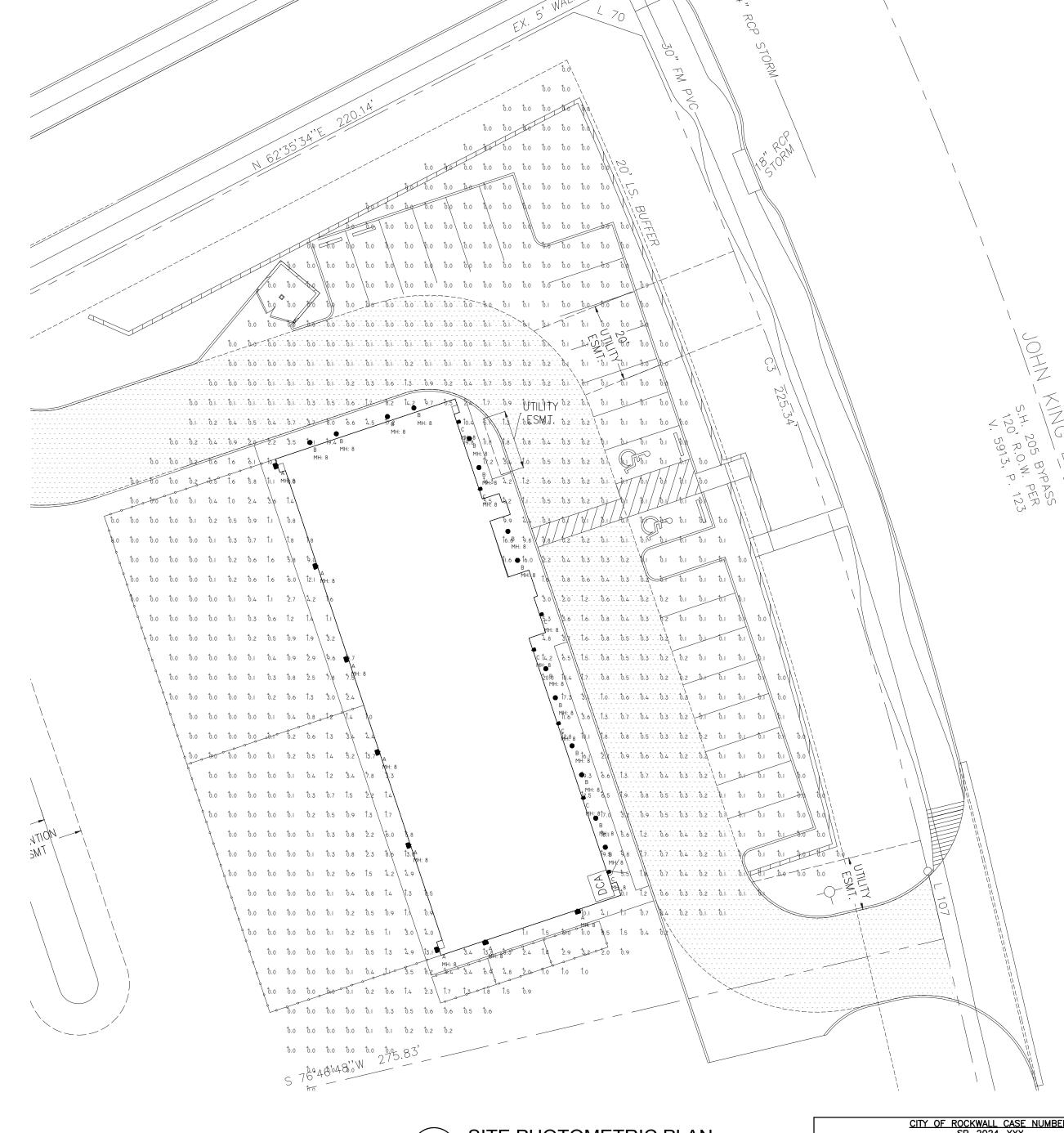
LANDSCAPE SITE PLAN

SEP 2024 PROJECT NO:

DRAWN BY: CHECKED BY:

Planning & Zoning Commission, Chairman





SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

	96520
CITY OF ROCKWALL CASE NUMBER: SP-2024-XXX	OS ONAL EDG
RIVER'S DOG RETREAT	V 11.14.2024
LEGAL DESCRIPTION AND OR ADDRESS:	
LOT 1, 2, & 3 BLOCK A, 1.50 ACRES BOARDWALK DEVELOPMENT ADDITION CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS	OIII ects rstate 30 X 75087
OWNER	ARR Trchit Suite 110 Rockwall,
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
SITE PLAN SIGNATURE BLOCK	

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of ______,

WITNESS OUR HANDS, this _____day of ______,

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall or the City of Rockwall on the _______,

SITE ELECTRICAL PLAN

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

Zoning)		1
	IETE	James F. Turner Engineers, L.P.	þ
	UFIE	Consulting Engineers 8340 Meadow Rd. Suite 160 Dallas, Texas 75231 TEL. 214-750-2900 75014	Б
		TEL. 214-750-2900 Job #: 35914 TX REGISTRATION # 10349	С

DRAWN/DESIGN CAD/TNM QC/APPD TNM/TNM

	SEP 2024	
ROJECT NO:		
	2024040	
RAWN BY:		LU
	ZJ	
HECKED BY:		

TYLER NOELLE MACKA

CALCULATION SUMMARY								
LABEL	CALCTYPE	UNITS	Avg	МАХ	MIN	Avg/Min	Max/Min	CALC HT.
SITE	ILLUMINANCE	Fc	1.21	20.0	0.0	N.A.	N.A.	0

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	Manufacturer	LLF	LUMINAIRE	LUMINAIRE	TOTAL
							LUMENS	WATTS	WATTS
	8	А	SINGLE	PIL_SHIELD_PLUS_I_840_070715	Performance IN Lighting	0.900	1773	14.5	116
①	14	В	SINGLE	HC410D010-HM40525840-4IMDC	COOPER LIGHTING SOLUTIONS - HALO COMMERCIAL (FORMERLY EATON)	0.900	1165	9.9	138.6
₽	7	С	SINGLE	WS-WI5224-4000K	WAC LIGHTING	0.900	1486	24.6228	172.36

Project	Catalog #	Туре	
Prepared by	Notes	Date	



HALO Commercial

HC4 | HM4 | 41/41PS

4-inch LED downlight and wall wash

Typical Applications

Office • Healthcare • Hospitality • Institutional • Mixed-Use/Retail

Interactive Menu

- Order Information page 2
- Product Specifications page 4
- Photometric Data page 5
- Energy & Performance Data page 8
- Connected Systems page 10
- Product Warranty

Product Certification













Product Features







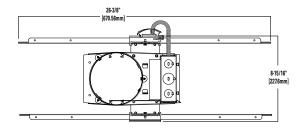




Top Product Features

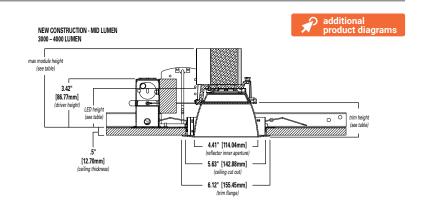
- New construction/remodel series; 500 to 6,000 lumens
- · Narrow, Medium and Wide distributions; Wall wash with rotatable linear spread lens
- 2700K, 3000K, 3500K, 4000K and 5000K CCT; 80 or 90 CRI
- Universal voltage 120V-277V; Standard 0-10V driver dims to 1%
- · Mounting frame converts to remodel that installs from below the ceiling
- Quick Spec emergency backup mounting frames fast delivery option

Dimensional and Mounting Details



Mid Lumen (3000 - 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	5.6"	2.5"	2.9"
Medium	5.7"	2.6"	3.0"
Wide	5.5"	2.4"	2.8"
Baffle	5.5"	2.4"	2.8"



Mounting Frame Order Information

Sample Number: HC420D010REM7 - HM40525930 - 41MDC

A complete luminaire consists of a housing frame, LED module, and reflector (ordered separately)

Mounting Frame	Lumens	Driver Options	Factory Installed Emergency & Connected Lighting Options	Accessories (Order & Install Separately)
HC4 = 4" new construction downlight housing HC4CP = 4" new construction housing, Chicago Plenum - CCEA compliant	05 = 500 lm 07 = 750 lm 10 = 1000 lm 15 = 1500 lm 20 = 2000 lm 25 = 2500 lm 30 = 3000 lm 35 = 3500 lm 40 = 4000 lm 45 = 4500 lm 55 = 5500 lm 70 60 = 6000 lm	D010=UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls Canada Option 500-4000 lumens: D010347 = 347VAC 50/60Hz 0-10V 1%-100% dimming. For 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000lm models only ⁽¹⁾ Canada Option 4500-6000 lumens: D010X347 = step down transformer factory installed (with standard "D010" 120V-277V LED driver). For 4500, 5000, 5500, 6000lm models only ⁽¹⁾ DLV = Distributed Low Voltage dimming driver 1%-100%, 1000-4000 lumens only. For use with DLVP system only, refer to DLVP specifications for details. ⁽¹⁾	REM7 = 7 watt emergency battery pack with remote test / indicator light, use with D010 only (1) (2) (6) REM14 = 14 watt emergency battery pack with remote test / indicator light, use with D010 only (1) (2) (6) IEM7 = 7 watt emergency battery pack with integral test / indicator light, use with D010 only (1) (2) (6) (10) IEM14 = 14 watt emergency battery pack with integral test / indicator light, use with D010 only (1) (2) (6) (10) B0D7ST = 7.5 watt Bodine self-test emergency battery pack with remote test / indicator light, use with D010 only (1) (2) (6) (10) WTA = Factory WaveLinx PR0 Tilemount Sensor Kit (6) WTK = Factory WaveLinx LITE Tilemount Sensor Kit (8) WPN = WaveLinx PR0 Wireless Node without Sensor (11) WLN = WaveLinx LITE Wireless Node without Sensor (12) REMV7 = 7 watt emergency battery pack with remote test / indicator light, use with DLV only (1) (2) (8) (8) IEMV7 = 7 watt emergency battery pack with remote test / indicator light, use with DLV only (1) (2) (8) (8) IEMV7 = 7 watt emergency battery pack with integral test / indicator light, use with DLV only (1) (2) (8) (10) IEMV14 = 14 watt emergency battery pack with integral test / indicator light, use with DLV only (1) (2) (8) (12) IEMV14 = 14 watt emergency battery pack with integral test / indicator light, use with DLV only (1) (2) (8) (12)	HB128APK = L channel hanger bar, 26", pair (replacement) RMB22 = Adjustable wood joist mounting bars, pair, extend to 22" long H347 = 347 to 120V step down transformer, 75VA H347200 = 347 to 120V step down transformer, 200VA WTA = Field WaveLinx PRO Tilemount Sensor Kit (9) WTK = Field WaveLinx LITE Tilemount Sensor Kit (9)
Notes	Notes	Notes	Notes	Notes
	(7) Marked Spacing: Center to Center of Adjacent Luminaires = 36" Center of Luminaire to Building Member = 18" Minimum overhead = 0.5	(1) Not available with CP models	(1) Not available with CP models (2) Not available with D010347 (347V models) (3) Utus for U.S. only (4) WTA = WaveLinx tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RUTS - Real Time Location Services, use with D010 only (Refer to WaveLinx specifications) (5) WTK = WaveLinx LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only (Refer to WaveLinx LITE specifications) (6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C (10) IEM option requires compatible IEM reflector or baffle trim. See Trim Ordering below. (11) WPN = WaveLinx PRO wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only, Not compatible with 347V or Chicago plenum. (Refer to WaveLinx PRO specifications.) (12) WLN = WaveLinx LITE wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only, Not compatible with 347V or Chicago plenum. (Refer to WaveLinx LITE specifications.)	(4) WTA = WaveLinx PRO tilemount sensor kit for daylight dimming, PIR motion sensing, and option-al RLTS - Real Time Location Services, use with D010 only. (Refer to WaveLinx PRO specifications.) (5) WTK = WaveLinx LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only. (Refer to WaveLinx LITE specifications.)

Quick Spec Emergency Mounting Frame Order Information

Sample Number:

Quick Spec Emergency Mounting Frame: RR-HC420D010REM7

LED module and reflectors are ordered separately

Order separately: LED Module: HM40525835 | Reflector. 41MDC

Select from the Quick Spec Mounting Frame ordering information to receive the **Fast Delivery** option for the frame.

Quick Spec Code	Mounting Frame	Lumens	Driver Options	Factory Installed Emergency Options	Accessories (Order & Install Separately)
RR = East Region BRR = West Region	HC4 = 4" new construction downlight housing	10 = 1000 lm 15 = 1500 lm 20 = 2000 lm 30 = 3000 lm 40 = 4000 lm	D010 =UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls	REM7 = 7 watt emergency battery pack with remote test / indicator light, use with D010 only ⁽²⁾ ⁽⁶⁾ REM14 = 14 watt emergency battery pack with remote test / indicator light, use with D010 only ⁽²⁾ ⁽⁶⁾ IEM7 = 7 watt emergency battery pack with integral test / indicator light, use with D010 only ⁽²⁾ ⁽⁶⁾ ⁽¹⁰⁾ IEM14 = 14 watt emergency battery pack with integral test / indicator light, use with D010 only ⁽²⁾ ⁽⁶⁾ ⁽¹⁰⁾	HB128APK = L channel hanger bar, 26", pair (replacement) RMB22 = Adjustable wood joist mounting bars, pair, extend to 22" long
	Notes	Notes	Notes	Notes	Notes
				(2) Not available with D010347 (347V models) (6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C (10) IEM option requires compatible IEM reflector or baffle trim. See Trim Ordering below.	



LED Module Order Information

LED Module	Lumens	CRI/CCT	
LED Module	Lumens	CRI	CCT
HM4 = 4" LED module	0525 = 500 - 2500 lumen 3040 = 3000-4000 lumen 4560 = 4500-6000 lumen	827 = 80CRI, 2700K 830 = 80CRI, 3000K 835 = 80CRI, 3500K 840 = 80CRI, 4000K 850 = 80CRI, 5000K	927 = 90CRI, 2700K 930 = 90CRI, 3000K 935 = 90CRI, 3500K 940 = 90CRI, 4000K 950 = 90CRI, 5000K
Notes	Notes	No	tes

Trim Order Information

Reflector	Distribution ⁽⁸⁾	Finish	Flange	Accessories
41 = 4" conical reflector	ND = narrow 50° beam angle 0.84 SC (nominal) MD = medium 60° beam angle 1.00 SC (nominal) WD = wide 75° beam angle 1.24 SC (nominal) RWW = rotatable wall wash with linear spread lens	C = Specular clear H = Semi-specular clear W = White	Blank = Polished flange standard with C & H reflectors Blank = White flange standard with W reflectors WF = White flange option available with C & H reflectors BF = Black Flange option available with C, H & W reflectors	41RWWPK = Replacement part kit - wall wash lens insert - for use with 41RWW* only.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

Baffle	Distribution ⁽⁸⁾	Finish	Flange	Accessories
41 = 4" baffle reflector	WD = wide 75° beam angle 1.24 SC (nominal) RWW = rotatable wall wash with linear spread lens	BB = Black baffle WB = White baffle	Blank = White flange standard with BB, & WB reflectors BF = Black flange option available with BB reflectors	41RWWPK = Replacement part kit - wall wash lens insert - for use with 41RWW* only.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

Reflector	Distribution ⁽⁸⁾	Finish	Flange
41PS = 4" non-conductive polymer 'dead front' conical reflector [®]	MD = medium 60° beam angle 1.00 SC (nominal)	W = White	Blank = White flange standard with W reflectors BF = Black Flange option available with W reflectors
Notes	Notes	Notes	Notes
(9) 41PS* is 1000-3000 lumens Non-IC rated. 500 & 750 lumens IC rated. 41PS is not for use over 3000 lumens in Non-IC or over 750 lumens in IC.	(8) Values are nominal for white reflector, others may vary.		

IEM Reflector	Distribution ⁽⁸⁾	Finish	Flange	Integral Emergency
41 = 4" conical reflector for integral emergency only	ND = narrow 50° beam angle 0.84 SC (nominal) MD = medium 60° beam angle 1.00 SC (nominal) WD = wide 75° beam angle 1.24 SC (nominal)	C = Specular clear H = Semi-specular clear W = White	Blank = Polished flange standard with C & H reflectors Blank = White flange standard with W reflectors WF = White flange option available with C & H reflectors BF = Black flange option available with C, H, & W reflectors	IEM = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

IEM Baffle	Distribution ⁽⁸⁾	Finish	Flange	Integral Emergency
41 = 4" baffle reflector for integral emergency only	WD = wide 75° beam angle 1.24 SC (nominal)	BB = Black baffle WB = White baffle	Blank = White flange standard with BB, & WB reflectors BF = Black flange option with BB reflectors	IEM = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

Product Specifications

Housing Frame

- Boat shaped galvanized steel plaster frame with adjustable plaster lip
- · Accommodates 1/2" to 1-1/2" thick ceilings
- Installs in new construction or from below the finished ceiling (non-accessible) for remodeling
- Provided with two remodel clips to secure the frame to the ceiling

Universal Mounting Bracket

- Adjusts 2" vertically from above and below the ceiling
- Use with the included mounting bars or with 1/2" Electric Metallic Tube (EMT)
- Removable to facilitate remodeling installation from below the finished ceiling

Mounting Bars

- Captive pre-installed No Fuss™ mounting bars lock to T-grid with screwdriver or pliers
- Centering detents allow for consistent positioning of fixtures

LED Module

- Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation
- · Available in 80 or 90 color rendering index (CRI)
- Color accuracy within 3 SDCM provides color consistency and uniformity
- 90 CRI option: R9>50 (refer to chromaticity information for details)
- Available in 2700K, 3000K, 3500K, 4000K and 5000K correlated color temperature (CCT)
- Lumen options include 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumens (nominal)
- Passive thermal management achieves 60,000 hours at 70% lumen maintenance (L70) in insulated ceilings (IC) and non-IC applications
- Integral diffuse lens provides visual shielding
- Integral connector allows quick connection to housing flex

Reflector

- Self-flanged aluminum reflectors available in narrow, medium or wide distribution patterns
- Medium distribution polymer non-conductive matte white reflector may be used to meet local codes for 'dead front' applications (500 & 750 lumen max. in IC and 3000 lumen max. in Non-IC)
- Wall wash reflector features a rotatable linear spread lens for alignment of vertical illumination
- Reflectors attach to LED module with three speed clamps
- · Available in multiple painted or plated finishes

Reflector/Module Retention

• Reflector/module assembly is securely retained in the housing with two torsion springs

Drive

- Field-replaceable constant current driver provides low noise operation
- Universal 120-277VAC 50/60Hz input standard
- Continuous, 1% to 100% dimming with 0-10V analog control
- Optional low-voltage DC driver for use with Distributed Low Voltage Power (DLVP) system
- Distributed Low Voltage Power (DLVP) system combines power, lighting and controls with ease of installation (refer to DLVP Design Guide at www.cooperlighting.com for details)

Canada Options

- 347VAC 50/60Hz; 1% dimming on 0 -10V analog control, for 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000 lumen models only
- 347V step down transformer factory installed with the standard "D010" 120V-277V, LED driver on 4500, 5000, 5500, 6000 lumen models only

Emergency Option

- Provides 90 minutes of standby lighting, meeting most life safety codes for egress lighting
- Available with integral or remote charge indicator and test switch
- Available Self-Test (self-diagnostic) with remote charge indicator and test switch
- Quick Spec emergency ordering option for quickturn projects

Connected Lighting System

Two WaveLinx connected solutions to choose from. Refer to WaveLinx system specifications and application guides for details.

WaveLinx PRO Tilemount Sensor Kit

 WaveLinx PRO WTA tilemount sensor kit offers daylight dimming, PIR motion sensing, scene and zone configuration, automatic commissioning; and optional RLTS - Real Time Location Services available.

WaveLinx PRO Wireless Node

 WaveLinx PRO WPN wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Note: Not compatible with 347V or Chicago plenum.

WaveLinx LITE Tilemount Sensor Kit

 WaveLinx LITE WTK tilemount sensor kit offers daylight dimming and PIR motion sensing, scene and grouping configuration.

WaveLinx LITE Wireless Node

 WaveLinx LITE WLN wireless node provides luminaire level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Note: Not compatible with 347V or Chicago plenum.

WaveLinx Tilemount Sensor Kits Application

- The WTA and WTK tilemount sensor kits include a control module mounted on the luminaire junction box via 1/2" knock-out, and a tilemount sensor on 54-inch whip; for ceiling installation by directmount spring clips or via mounting bracket in octagon ceiling boxes.
- The WTA and WTK tilemount sensor kits may be ordered as factory installed on the luminaire, or ordered separately as a field installed accessory kit.
- Note: WaveLinx PRO devices are only compatible with the WaveLinx PRO system.
- Note: WaveLinx LITE devices are only compatible with the WaveLinx LITE system.

Junction Box

- · Galvanized steel junction box
- 20 in³ internal volume excluding voltage barrier
- 25 in³ internal total volume
- Voltage barrier for 0-10V dimming wires (occupies one 1/2" pry-out space)
- Listed for eight #12 AWG (four in, four out) 90°C conductors and feed-thru branch wiring
- Three 1/2" and two 3/4" trade size pry-outs available
- Three 4-port push wire nuts for mains voltage with 1-port for fixture connection

Compliance

- cULus Certified to UL 1598 / C22.2 No. 250.0, suitable for damp locations and wet locations in covered ceilings only
- Emergency options provided with UL Listed emergency drivers to UL 924 / C22.2 No. 141, suitable for indoor/damp locations
- IP20 Above finished ceiling; IP64 Below finished ceiling
- Non-Insulated ceiling (Non-IC) rated for 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumen models (insulation must be kept 3" from top and sides)
- Insulated ceiling (IC) rated for 500, 750, 1000, 1500 lumen models and suitable for direct contact with air permeable insulation* (IC models are also suitable for Non-IC installations)
- Non-IC marked spacing required for 4500, 5000, 5500, 6000 lumen models
- Marked Spacing Center to Center of Adjacent Luminaires = 36"
- Center of Luminaire to Building Member = 18"
- Minimum overhead = 0.5"
- · Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions FCC CFR Title 47 Part 15 Class A at 120/277V
- · Contains no mercury or lead and RoHS compliant
- Photometric testing completed in accordance of IFS I M-79-08
- Lumen maintenance projection in accordance of IES LM-80-08 and TM-21-11
- 1,000 and 1,500 lumen, 90 CRI, ICAT models may be used to comply with State of California Title 24 residential code, per JA8 certification standards
- May be used to comply with State of California Title 24 non-residential code as a dimmable LED luminaire
- ENERGY STAR® certified, reference certified light fixtures database
 - *Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013

Warranty

 Five year limited warranty, consult website for details. <u>www.cooperlighting.com/legal</u>

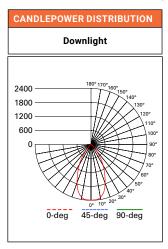


Photometric Data



NARROW DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

NARR	OW (50° BEAM*)
Test Number	P571728
Housing	HC420D010
Module	HM40525835
Reflector	41NDC
Lumens	2010 Lm
Efficacy	100.5 Lm/W
sc	0.84
UGR	12.2



CONE OF LIGHT				
0° D				
МН	FC	L	W	
5.5'	79.3	4.6	4.6	
7'	49	5.8	5.8	
8'	8' 37.5 6.6 6.6			
9' 29.6		7.4	7.4	
10'	10' 24		8.4	
12'	12' 16.7 10 10			

LA TABLE
Candela
2400
2387
2110
1368
676
152
23
5
1
0
0

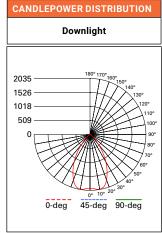
ZONAL LUMEN SUMMARY			
Lumens	% Fixture		
1436	71.5		
1848	92		
2002	99.6		
2010	100		
0	0		
2010	100		
	Lumens 1436 1848 2002 2010 0		

LUMINANCE		
Average Candela Degrees	Average 0° Luminance	
45	26514	
55	4968	
65	1576	
75	667	
85	0	

*Value are nominal for specular clear reflectors, other may vary. SC = Spacing Criteria UGR = Unified Glare Rating

MEDIUM DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

MEDI	MEDIUM (60° BEAM*)					
Test Number	P571727					
Housing	HC420D010					
Module	HM40525835					
Reflector	41MDC					
Lumens	2096 Lm					
Efficacy	104.8 Lm/W					
sc	1.0					
UGR	13.6					



		CONE OF LIGHT					
		09		, <u> </u>			
)°		МН	FC	L	W		
00°		5.5'	65.3	5.4	5.4		
0°		7'	40.3	6.8	6.8		
•		8'	30.9	7.8	7.8		
		9'	24.4	8.8	8.8		
		10'	19.8	9.8	9.8		
		12'	13.7	11.8	11.8		
	l						

CANDELA TABLE				
Degrees Vertical	Candela			
0	1969			
5	1997			
15	1974			
25	1467			
35	800			
45	192			
55	26			
65	4			
75	1			
85	0			
90	0			

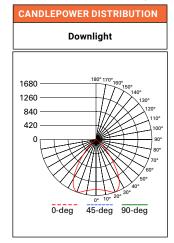
ZONAL LUMEN SUMMARY						
Zone	Lumens	% Fixture				
0-30	1408	67.1				
0-40	1899	90.6				
0-60	2091	99.7				
0-90	100					
90-180	0	0				
0-180	2096	100				

LUMINANCE						
Average Candela Degrees	Average 0° Luminance					
45	33405					
55	5548					
65	1197					
75	667					
85	0					

*Value are nominal for specular clear reflectors, other may vary. SC = Spacing Criteria UGR = Unified Glare Rating

WIDE DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WIDE (75° BEAM*)					
Test Number	P571730				
Housing	HC420D010				
Module	HM40525835				
Reflector	41WDC				
Lumens	2304 Lm				
Efficacy	115.2 Lm/W				
sc	1.25				
UGR	15.7				



CONE OF LIGHT									
000									
MH FC L W									
5.5'	49.9	6.8	6.8						
7' 30.8 8.6 8.6									
8'	8' 23.6 9.8 9.8								
9'	9' 18.6 11.2 11.2								
10'	15.1	12.4	12.4						
12'	12' 10.5 14.8 14.8								

CANDELA TABLE					
Candela					
1509					
1525					
1630					
1603					
1012					
369					
44					
5					
1					
0					
0					

ZONAL LUMEN SUMMARY						
Zone Lumens						
1334	57.9					
1960	85.1					
2296	99.7					
0-90 2304 100						
0	0					
2304	100					
	Lumens 1334 1960 2296 2304 0					

LUMINANCE					
Average Candela Degrees	Average 0° Luminance				
45	64437				
55	9355				
65	1576				
75	667				
85	0				

*Value are nominal for specular clear reflectors, other may vary. SC = Spacing Criteria UGR = Unified Glare Rating

Photometric Multipliers (Nominal Lumen Values)

			•				
500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.24	1.54	1.85
4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen			
2.15	2.28	2.44	2.52	2.62]		

Multipliers for relative lumen values with other series models.

Color Finish Multipliers

Finish code	С	Н	W/WB	ВВ
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.94	0.88	0.76

Multipliers for relative lumen values with other color finishes.

CCT Multipliers - 80CRI

2700K	3000K	3500K	4000K	5000K
0.89	0.96	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

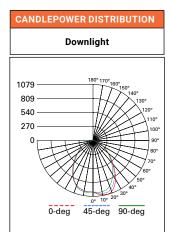
CCT Multipliers - 90CRI

2700K	3000K	3500K	4000K	5000K
0.76	0.85	0.89	0.93	0.93

Multipliers for relative lumen values with other series color temperatures.

WALL WASH DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WALL WASH				
Test Number	P571729			
Housing	HC420D010			
Module	HM40525835			
Reflector	41RWWC			
Lumens	2094 Lm			
Efficacy	104.7 Lm/W			
SC	1.15			



CANDEL	A TABLE
Degrees Vertical	Candela
0	1005
5	1041
15	1079
25	980
35	743
45	494
55	312
65	180
75	80
85	10
90	0

ZONAL LUMEN SUMMARY							
Zone	Lumens	% Fixture					
0-30	789	37.7					
0-40	1221	58.3					
0-60	1872	89.4					
0-90	2094	100					
90-180	0	0					
0-180	2094	100					

LUMINANCE					
Average Candela Degrees	Average 0° Luminance				
45	86207				
55	67159				
65	52681				
75	38173				
85	13445				

SC = Spacing Criteria, nominal for specular clear reflector, other may vary.

SINGLE UNIT FOOTCANDLES							
2.5' from wall (distance from fixture along wall)							
1	18.7	13.6	6.1	2.3	0.8	0.3	0.1
2	28.4	22.3	12.2	5.7	2.6	1.2	0.6
3	25.9	21.4	13.3	7.2	3.8	2	1.1
4	19.6	16.9	11.6	7	4.1	2.4	1.4
5	13.6	12.3	9.2	6.2	3.9	2.5	1.5
6	9.3	8.6	7	5.1	3.5	2.3	1.6
7	6.4	6.1	5.2	4.1	3	2.1	1.5
8	4.6	4.4	3.9	3.2	2.5	1.8	1.3
9	3.3	3.2	2.9	2.5	2	1.6	1.2
10	2.5	2.4	2.2	2	1.7	1.4	1.1

MULTIPLE UNIT FO							
	2.5' from wall (Distance from fixture along wall) 3						
1	21 18.8 21						
2	34.1	34.1	34.1				
3	33.1	34.4	33.1				
4	26.7	28.7	26.7				
5	19.8	21.7	19.8				
6	14.4	15.8	14.4				
7	10.5	11.4	10.5				
8	7.8	8.3	7.8				
9	5.8	6.2	5.8				
10	4.4	4.7	4.4				

00	DOTCANDLES							
		.5' from wa from fixture a						
	19.5	12.1	19.5					
	31	24.4	31					
	29.7	26.5	29.7					
	23.7	23.3	23.7					
	17.5	18.5	17.5					
	12.8	14	12.8					
	9.4	10.4	9.4					
	7	7.7	7					
	5.4	5.9	5.4					
	4.1	4.5	4.1					

Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.24	1.54	1.85
4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen			

2 62

Multipliers for relative lumen values with other series models.

2.28

Color Finish Multipliers

2.15

Finish code	С	Н	W/WB	BB			
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle			
Multiplier	1.00	0.94	0.88	0.76			

2 44

Multipliers for relative lumen values with other color finishes.

CCT Multipliers - 80CRI

•				
2700K	3000K	3500K	4000K	5000K
0.89	0.96	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

CCT Multipliers - 90CRI

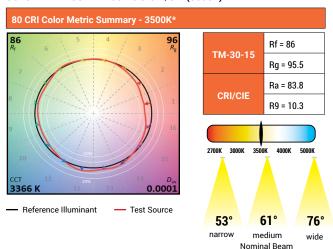
2700K	3000K	3500K	4000K	5000K
0.76	0.85	0.89	0.93	0.93

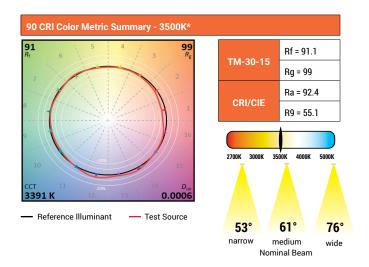
Multipliers for relative lumen values with other series color temperatures.



Energy & Performance Data

COLOR METRICS - TM-30-15 & CRI/CIE (3500K)





* Color values are based on 61 WDWB reflector, other finishes and field results may vary.

ENERGY DATA

Series	500 l	umen	750 l	umen	1000	lumen	1500	umen	2000	umen
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Current (A)	0.051	0.026	0.067	0.036	0.083	0.039	0.119	0.053	0.171	0.077
Input Power (W)	6.1	6.5	7.9	8.3	10	10.4	14.5	14.5	20.9	20.6
In-rush (A)	1.9	8.4	2	8.4	2.2	8.5	2.7	8.5	2.1	9.7
Inrush duration (µs)	251	135	237	133	250	134	250	139	245	131
THD (%)	6.2	13.5	7.4	8.8	5.4	10.3	10	6.7	6.5	7.9
PF	≥ 0.99	≥ 0.9	≥ 0.98	≥ 0.92	≥ 0.99	≥ 0.95	≥ 0.99	≥ 0.97	≥ 0.99	≥ 0.96

Series	2500	umen	3000	lumen	3500	lumen	4000	umen	4500 l	umen
Input Voltage 120-277VAC	120V	277V								
Input Current (A)	0.23	0.103	0.24	0.107	0.292	0.152	0.351	0.159	0.384	0.172
Input Power (W)	27.5	27.5	28.6	28.5	34.6	35.1	42.1	42.1	45.9	45.6
In-rush (A)	2.5	5.6	2.5	11.6	3.4	13.9	3.1	14.7	3.1	14.8
Inrush duration (µs)	232	123	216	111	183	95	200	98	202	100
THD (%)	6.5	8.1	7.8	8.3	5.6	10	4.1	9.5	4.5	8.5
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.93	≥ 0.99	≥ 0.94	≥ 0.99	≥ 0.95

Series	5000	lumen	5500 lumen		6000 lumen	
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V
Input Current (A)	0.419	0.186	0.457	0.201	0.489	0.214
Input Power (W)	50.1	49.5	54.6	53.7	58.4	57.4
In-rush (A)	3.1	15	3.2	14.8	3.4	14.8
Inrush duration (µs)	202	117	196	131	192	121
THD (%)	5.5	7.6	7	7.2	8.1	7.2
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.97

Minimum starting temperature -30°C (-22°F)*

(Nominal input 120-277VAC & 100% of rated output power)

Sound Rating: Class A standards

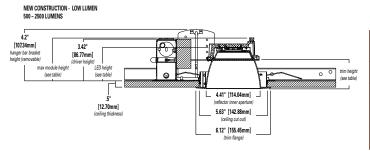
Notes:

* Emergency Battery packs are rated for a minimum starting temperature of 0°C.



Dimensional and Mounting Details

NEW CONSTRUCTIONS - LOW LUMEN 500 - 2500 LUMENS



Low Lumen (500 - 2500 Lumens)*

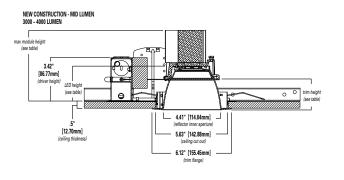
Distribution	Max. Module Height	Trim Height	LED Height	
Narrow	3.6"	2.5"	2.7"	
Medium	3.7"	2.6"	2.8"	
Wide	3.5"	2.4"	2.6"	
Baffle	3.1"	2.4"	2.6"	



Low Lumen Module

*Max. height w/removable hanger bar bracket 4.2"

NEW CONSTRUCTIONS - MID LUMEN 3000 - 4000 LUMENS



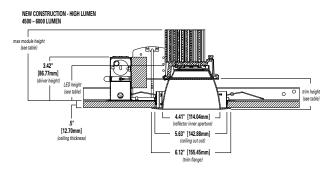
Mid Lumen (3000 - 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	5.6"	2.5"	2.9"
Medium	5.7"	2.6"	3.0"
Wide	5.5"	2.4"	2.8"
Baffle	5.5"	2.4"	2.8"



Mid Lumen Module

NEW CONSTRUCTIONS - HIGH LUMEN 4500 - 6000 LUMENS



High Lumen (4500 - 6000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height	
Narrow	5.9"	2.5"	2.9"	
Medium	6.0"	2.6"	3.0"	
Wide	5.8"	2.4"	2.8"	
Baffle	5.8"	2.4"	2.8"	



High Lumen Module

Connected Solutions

WaveLinx Lite O COOPER

WaveLinx LITE - WTK Tilemount Sensor

WaveLinx LITE devices only compatible with the WaveLinx LITE system.

- · Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinx LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Automatic occupancy or vacancy, sensor sensitivity, daylight dimming, etc. configurable through the app
- Refer to the WaveLinx system specifications for details









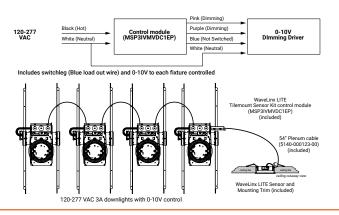








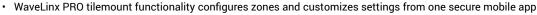
WaveLinx LITE WTK Tilemount Wiring Diagram





WaveLinx PRO - WTA Tilemount Sensor

WaveLinx PRO devices only compatible with the WaveLinx PRO system.





- Fixtures and sensors integrate with Wireless Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations



WaveLinx mobile app settings









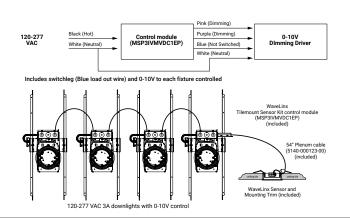




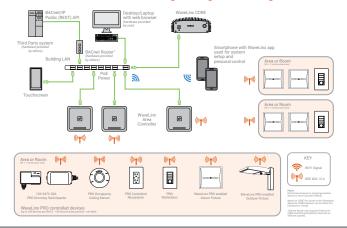




WaveLinx WTA Tilemount Wiring Diagram



WaveLinx CORE Building Management Integration



Connected Solutions



WaveLinx LITE Wireless Node - WLN

WaveLinx LITE devices only compatible with the WaveLinx LITE system.

- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinx LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- · Refer to the WaveLinx system specifications for details

WaveLinx mobile app settings









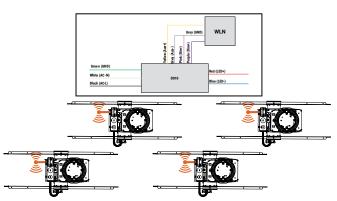








WaveLinx LITE Wireless Node (WLN) Wiring Diagram



WaveLinx LITE Bluetooth Enabled System MvAp **?** 8 8 8

WaveLinx PRO Wireless Node - WPN

WaveLinx PRO devices only compatible with the WaveLinx PRO system.

- WaveLinx Wireless functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with WaveLinx Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations



WaveLinx mobile app settings









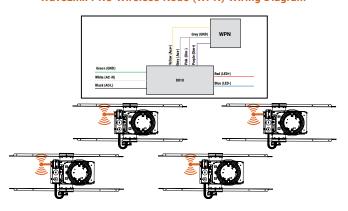




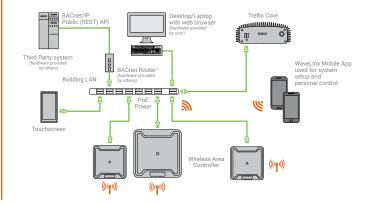




WaveLinx PRO Wireless Node (WPN) Wiring Diagram



WaveLinx CORE Building Management Integration





www.cooperlighting.com



Corte

Outdoor Wall Sconce

Fixture Type:	
Catalog Number:	
Project:	
Location:	

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W15216 16"	3000K 3500K 4000K	BK Black	17W 17W 17W	1365 1416 1388	954 988 980

Example: WS-W15216-40-BK

For custom requests please contact customs@waclighting.com

DESCRIPTION

A sublime luminous spirit, this cutting edge wall luminaire's design and brilliant illumination adds style to your exterior.

FEATURES

- Built in color temperature adjustability. Switch from 3000K/3500K/4000K.
- Option to pre-select color temperature or adjust in the field
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

 Color Temp:
 4000K,3500K,3000K

 Input:
 120 VAC,50/60Hz

CRI: 90

Dimming: ELV: 100-10% ,TRIAC: 100-10%

Rated Life: 54000 Hours

Mounting: Can be mounted on wall in all orientations
Standards: ETL, cETL,IP65,Title 24 JA8 Compliant,ADA

Wet Location Listed

Construction: Aluminum body, bend etched acrylic diffuser

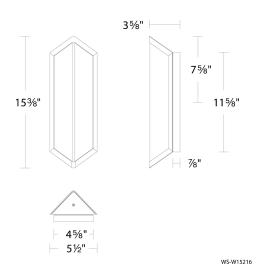


FINISHES:



Black

LINE DRAWING:





Corte

Outdoor Wall Sconce

Fixture Type:	
Catalog Number:	
Project:	
Location:	

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W15224	3000K 3500K 4000K	BK Black	25W 25W 25W	2091 2150 2103	1487 1527 1486

Example: WS-W15224-40-BK

For custom requests please contact customs@waclighting.com

DESCRIPTION

A sublime luminous spirit, this cutting edge wall luminaire's design and brilliant illumination adds style to your exterior.

FEATURES

- Built in color temperature adjustability. Switch from 3000K/3500K/4000K.
- Option to pre-select color temperature or adjust in the field
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

 Color Temp:
 4000K,3500K,3000K

 Input:
 120 VAC,50/60Hz

CRI: 90

Dimming: ELV: 100-10% ,TRIAC: 100-10%

Rated Life: 54000 Hours

Mounting: Can be mounted on wall in all orientations
Standards: ETL, cETL,IP65,Title 24 JA8 Compliant,ADA

Wet Location Listed

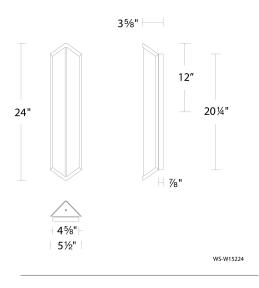
Construction: Aluminum body, bend etched acrylic diffuser



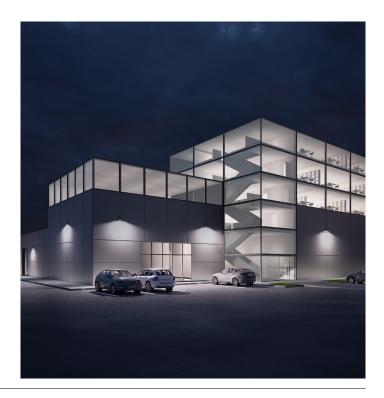
FINISHES:



LINE DRAWING:







Long-lasting energy-efficient wall pack series. Fixtures consist of:

- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
- Copper-free precision die-cast aluminum housing and mounting plate.
- ¬ Extra-clear, flat, tempered silk-screened soda-lime glass diffuser.
- ¬ Custom molded, anti-aging gasket(s).
- ¬ Stainless steel external hardware.
- ¬ High-efficiency COB, combined with an optimized passive cooling system, provides a long LED life.
- ¬ Specular vacuum metallized polycarbonate reflector provides full-cutoff, no glare design, and precision optical control.
- ¬ IESNA Type III light distribution.
- ¬ Input voltage: 120-277 V (50 / 60 Hz), integral 1-10 V dimming driver.

- ¬ Field settable integral tri-level lumen/wattage packages proprietary DIP switch driver for SHIELD+ 1 (stating factory setting at the lowest level).
- ¬ Standard knock-out template for multiple junction box mounting options.
- ¬ Suitable for three surface mounted conduit entry points with 1/2" NPS plugs
- → BUTTON and SWIVEL 120-277 V (50 / 60 Hz) photoelectric switch options available (ordered separately).
- ¬ Consult factory for dimming options, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options.
- ¬ Consult factory for remote emergency battery pack options (EMPK).
- ¬ Product meets Buy American Act requirements within
- ¬ 5-year warranty.
- ¬ Marine Grade finish.
- ¬ Suitable for Natatorium applications.









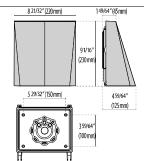






IK 07 2 J

- AN-96 / Iron gray / Textured
- GR-94 / Aluminum metallic / Textured
- RB-10 / Iron rust / Textured
- WH-87 / White / Textured
- BK-81 / Black / Textured



Scan here for installation instructions



SHIELD+

Lumen Output	27K	зк	35K	4K	5K
SHIELD+1 8W	929	957	984	1012	1039
SHIELD+1 10W	1209	1228	1247	1267	1286
SHIELD+1 13.5W	1448	1556	1664	1773	2516
SHIELD+1 18W	1906	2059	2211	2364	2516
SHIELD+1 27W	2478	2676	2874	3072	3270



PERFORMANCE IN LIGHTING



Order Guide -

Order code example: SH1-10-80-3K-IG-UNV-NA-EMPK

Series	Wattage	CRI	ССТ	Finish	Voltage	Controls	Accessories
SH1 Shield+1	Wattage 6 6 watt (minimum) 8 8 watt 10 10 watt 13.5 13.5 watt* 14.5 14.5 watt 18 18.5 watt* 27 27 watt* 28 28 watt* (EMPK max)	CRI 80 80 CRI* 90 90 CRI	27K 2700K 3K 3000K 35K 3500K 4K 4000K* 5K 5000K 65K 6500K RED Static Red GRN Static Green BLU Static	Finish AM Aluminum Metallic* IG Iron Gray* WH Textured White* IR Iron Rust* BK Textured Black CC Custom Color	Voltage UNV 120-277V*	NA Non-Dim 0-10V 0-10V Dim* ELV 120V-Line Voltage DIM	EMPK Intergral Battery pack** OCC Field programmable occupancy sensor hi/lo & on/off
			AMB Static Amber RGBW See below				**EMPK RATED FOR 90 MIN RUN TIME AT 4W 590Im Output in EM Mode Ambient EM Temp Range Min= 5°C / 41°F Max= 35°C / 95°F

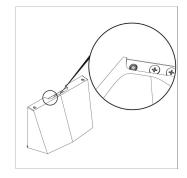
80 CRI STANDARD - OTHER OPTIONS AVAILABLE
STANDARD OPTION, SHORTER LEAD TIME, NO MOQ

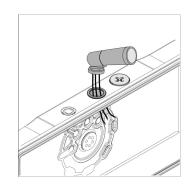


OPTIONAL ACCESSORIES

DESCRIPTION	FINISH	PART NUMBER
SHIELD+1		





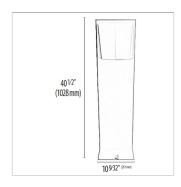


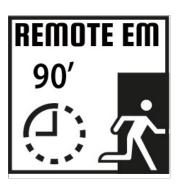
EMPK

PHC-B

PHC-S



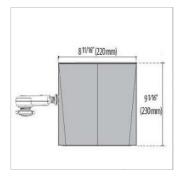




FRST

BOL

REM



OCC

RGBW ACCESSORIES

Power Supply



17433 Kit driver 48V



17096 Kit driver 48V WP

RF Controls



3104173 RGBW RF controller 4 channel (0.35A each CH)



31041730 RGBW RF controller WP 4 channel (0.35A each CH)



310429 RGBW hand held remote

DMX Controls

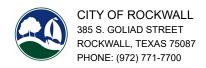


178973 RGBW DMX enabler/decoder 4 channel (0.35A each CH)



1789730 RGBW DMX enabler/decoder WP 4 channel (0.35A each CH)

PROJECT COMMENTS



DATE: 11/21/2024

PROJECT NUMBER: SP2024-049

PROJECT NAME: Site Plan for Homestead SITE ADDRESS/LOCATIONS: FM 1139 and FM 549

CASE CAPTION: Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Jay Hankla of SH Dev Klutts Rockwall,

LLC for the approval of a Site Plan for Phase 2 of the Homestead Subdivision being a 48.170-acre tract of land identified as a portion of Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action

necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	11/21/2024	Needs Review	

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for Phase 2 of the Homestead Subdivision being a 48.170-acre tract of land identified as a portion of Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139.
- 1.2 For guestions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2024-049) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 92 (PD-92).
- M.5 During the review of the final plat that was submit concurrently with this site plan, several lots were found to be out of conformance with the concept plan or did not meet the zoning ordinance. Please make the necessary changes to the site plan, landscape plan, and hardscape plan, in order to maintain consistency between these plans and the plat. (PD-92; Ordinance No. 21-24)

M.6 Site Plan:

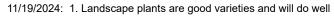
- (1) Review the fence exhibit provided by staff. Please make the necessary changes. (PD-92; Ordinance No. 21-24)
- M.7 Landscape Plan:
- (1) Please provide a sheet that shows the entire phase and delineate each sub sheet. (PD-92; Ordinance No. 21-24)
- M.8 Hardscape Plan:
- (1) Please provide a detail of a wood fence, wood fence with columns, ornamental metal fence, and the entry feature accent wall. (PD-92; Ordinance No. 21-24)
- (2) As discussed please delineate and label the location of the trail head. In addition, provide a detail/elevation of the proposed trail head.

- M.9 Photometric Plan:
- (1) Please note that up lighting is not permitted. (Article 07, UDC)
- I.10 Please note that failure to address all comments provided by staff by 3:00 PM on December 3, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2024 Planning & Zoning Meeting.
- I.12 Please note the scheduled meetings for this case:
- 1) Planning & Zoning Work Session meeting will be held on November 26, 2024.
- 2) Parks Board Meeting will be held on December 3, 2024.
- 3) Planning & Zoning meeting/public hearing meeting will be held on December 10, 2024.
- I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

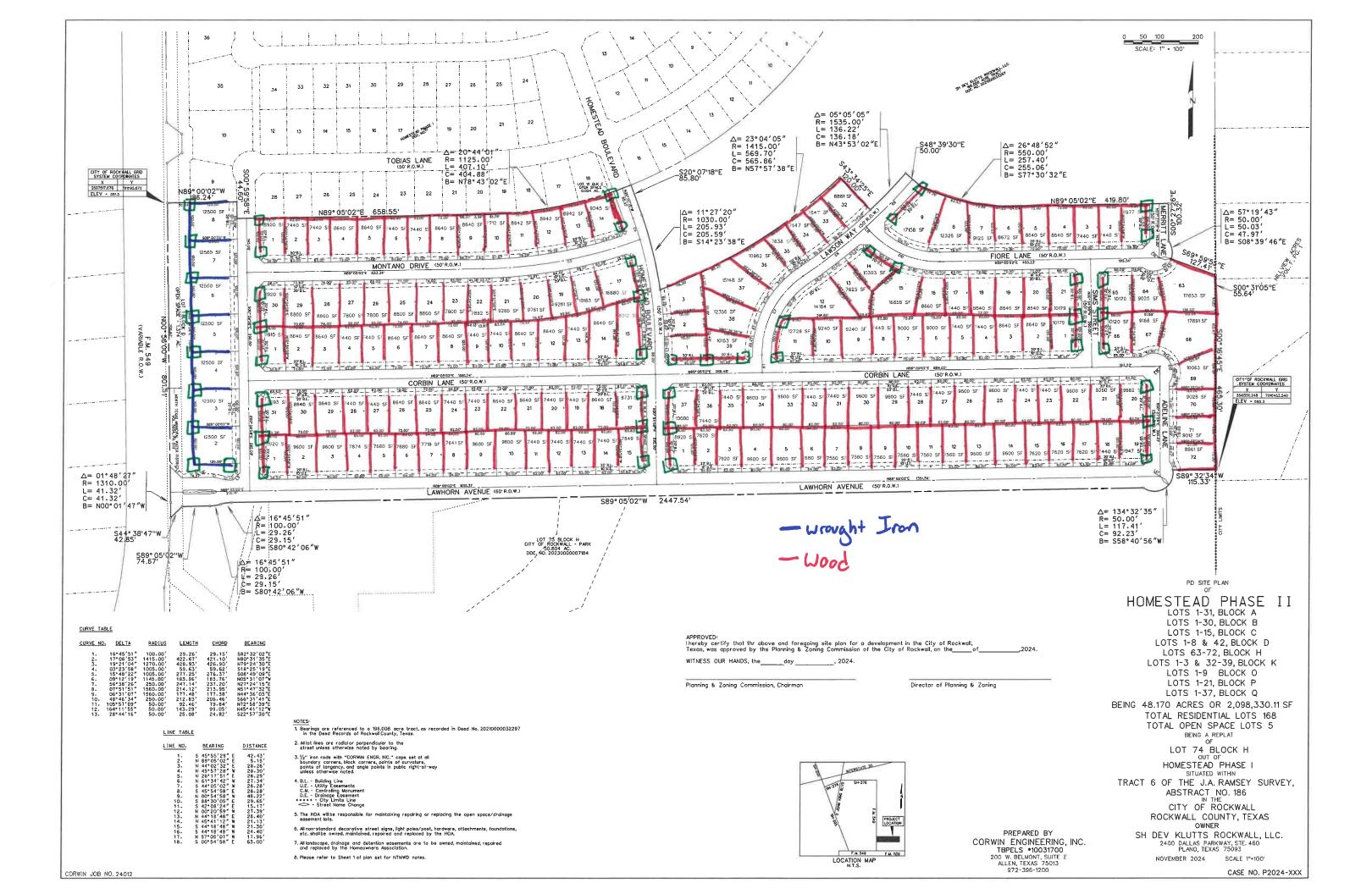
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

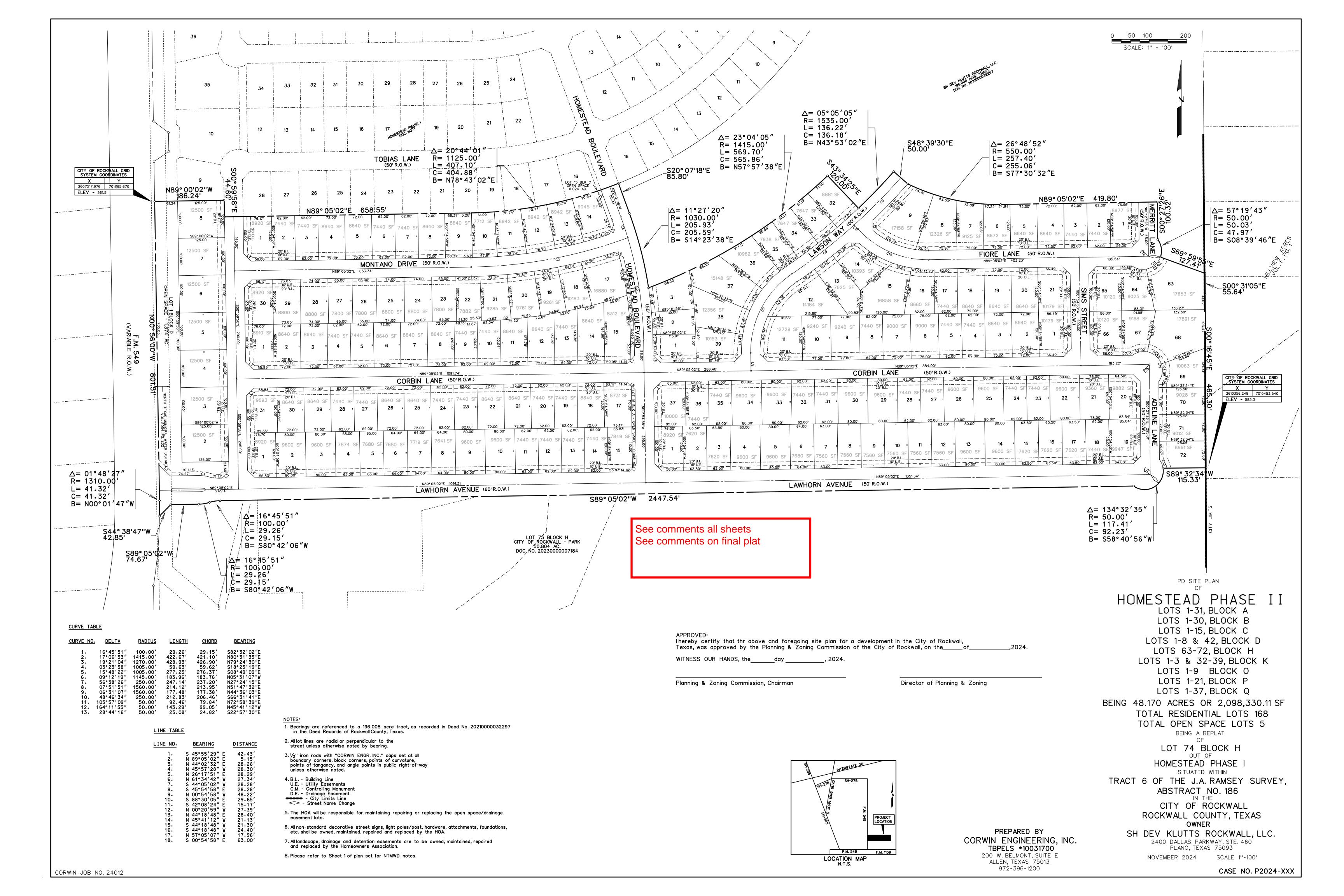
- 11/19/2024: 1. See comments all sheets. See comments on final plat.
- 2. No plantings in NTMWD easement without written approval.
- 3. No berm/fill/excavation in NTMWD easement without written approval.
- 4. Label width of all open spaces. Show trees to be planted 5' from ROW.
- 5. All edging that contains mulch, decomposed granite, etc. to be shown above grade so that the material doesn't wash/erode out of landscape area
- 6. How is this contained?
- 7. Is this on this sheet? Hard to tell

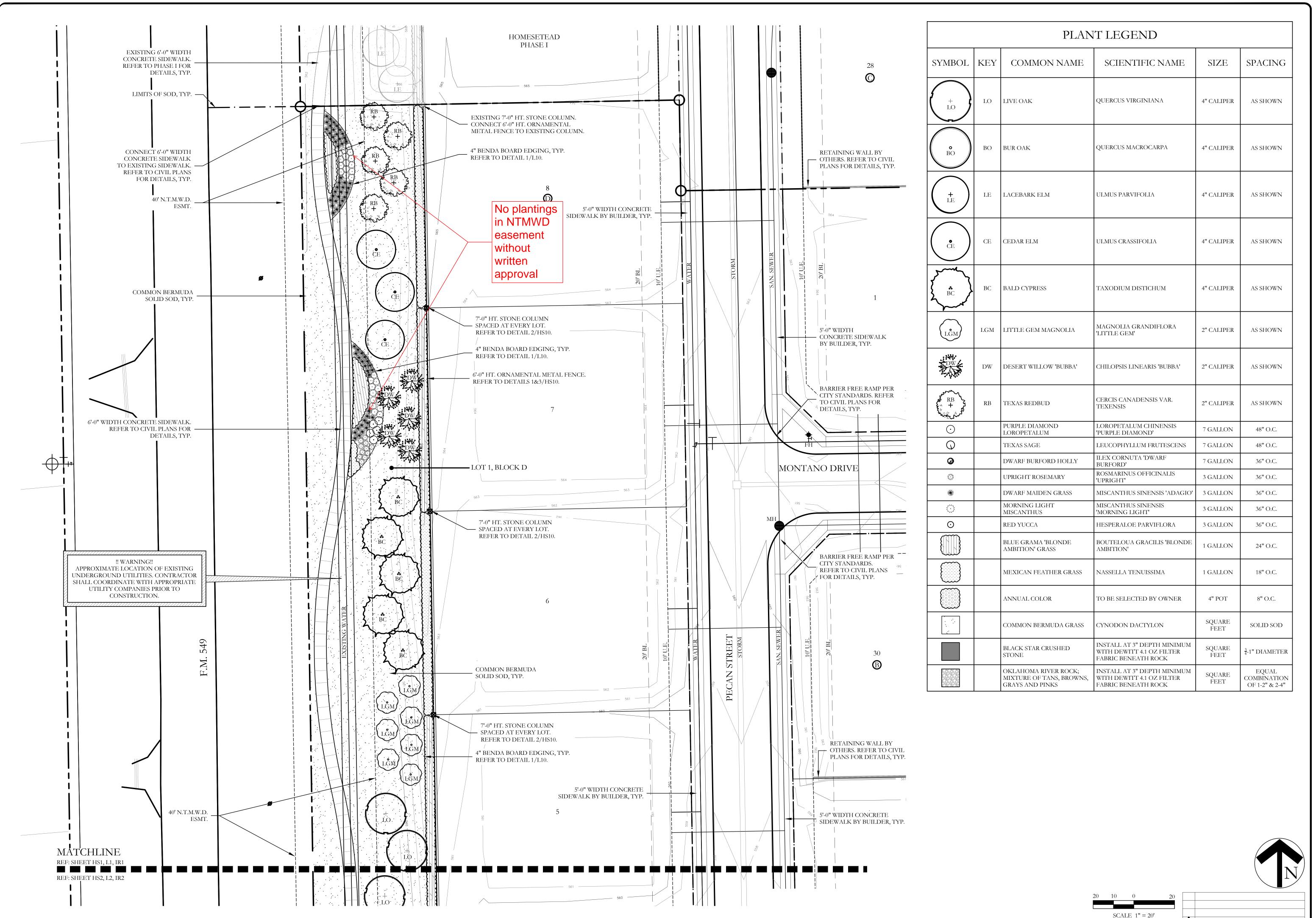
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Craig Foshee	11/20/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	11/18/2024	Approved w/ Comments	
11/18/2024: Please add block	letters to site plan drawing. Also see attached p	df map for lot addressing.		
Contact lsingleton@rockwall.co	om with any further addressing needs.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	11/18/2024	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	11/19/2024	Approved	·



- 2. Provide landscape plans for the detention pond
- 3. As mentioned in phase I there are better varieties of Bermudagrass that are more drought, cold, wear and shade tolerant such as Tif Tuf and Tahoma 31.







JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

HOMESTEAD
PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEX

CREENING AND BUFFERING LANDSCAPE PLAN



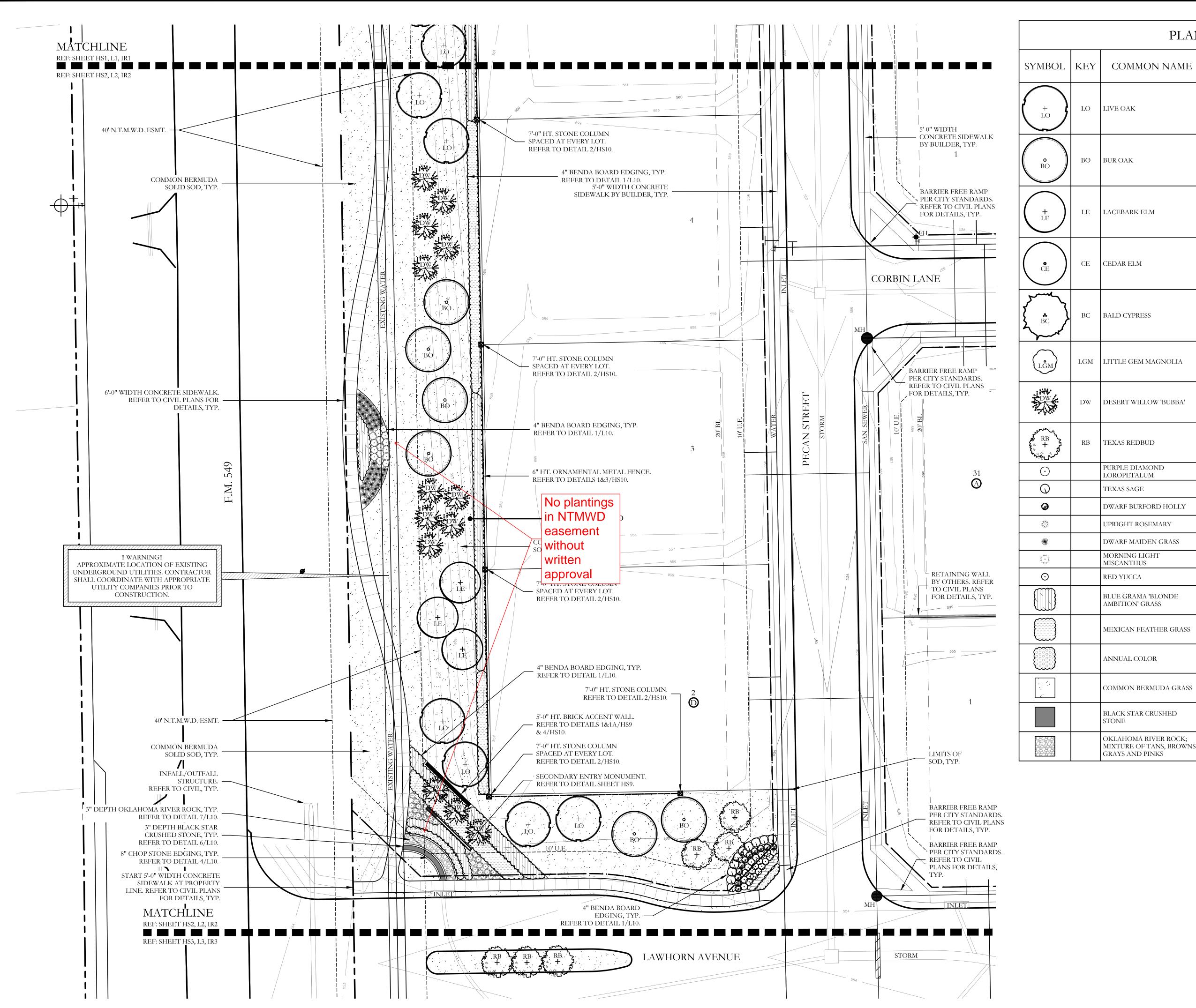
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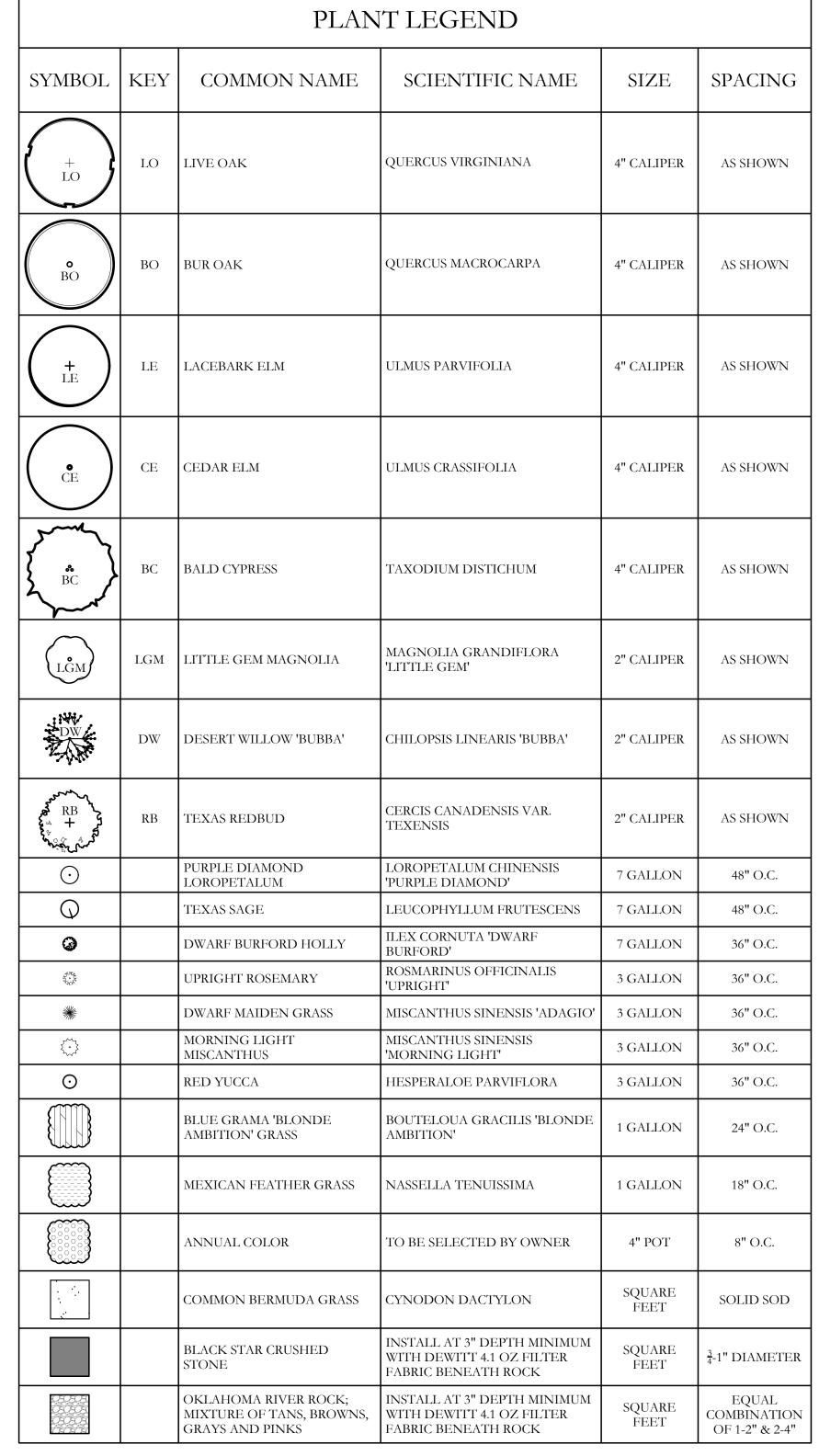
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One Inch

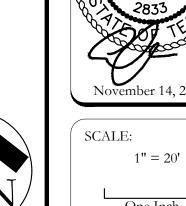
JVC No SHA012B

L1 of 10





SCALE 1'' = 20'



BUFFERIN

N

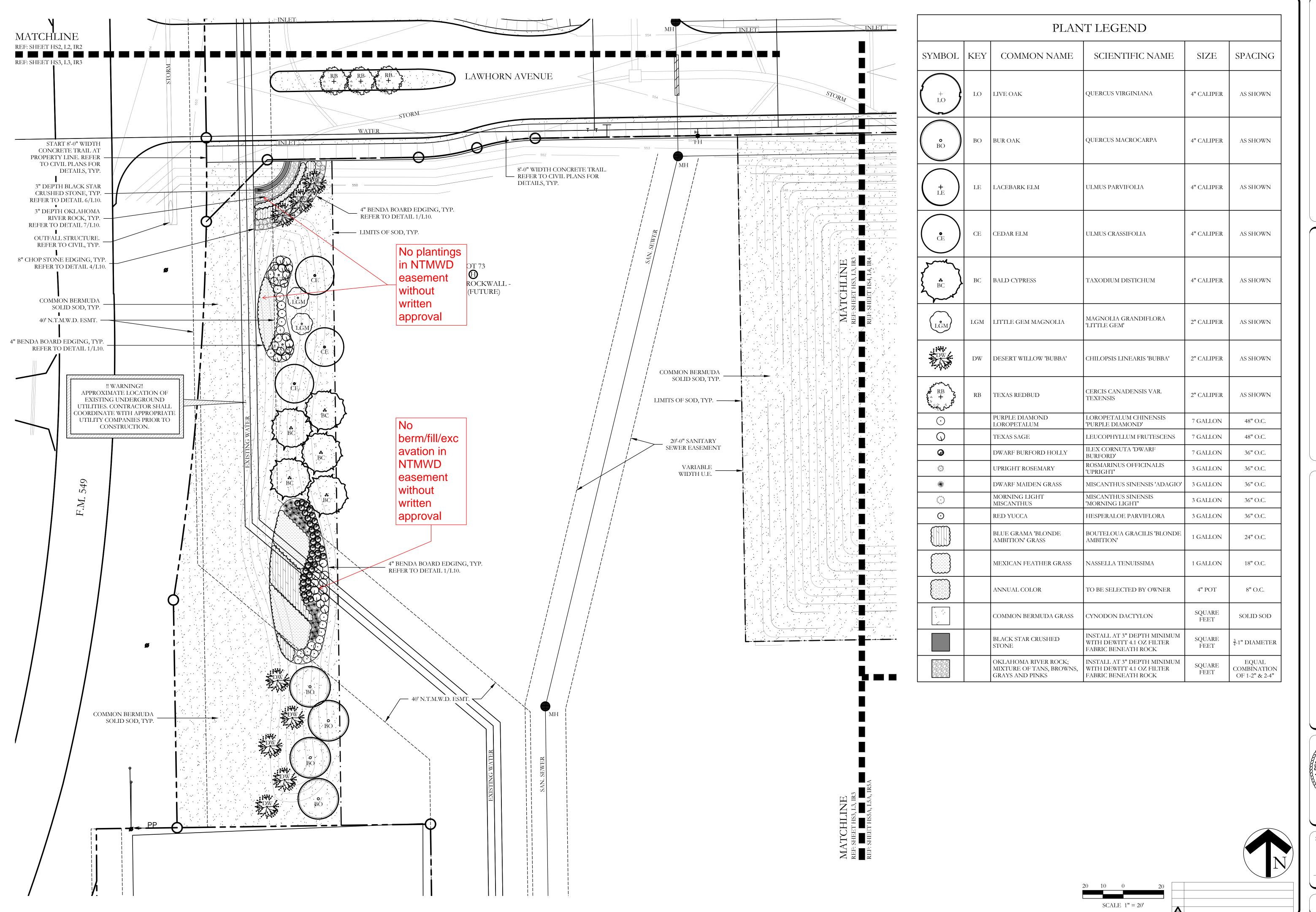
1'' = 20'One Inch

L2 of 10

VOLK

OHNSOLTING
SPELS: Engineering Firm No. 11962 / y East | Suite 1200 | Plano, TX 750

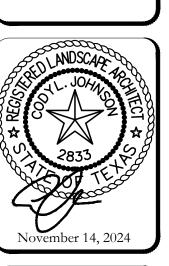
JVC No SHA012B



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CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 101944
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXA

REENING AND BUFFERING LANDSCAPE PLAN



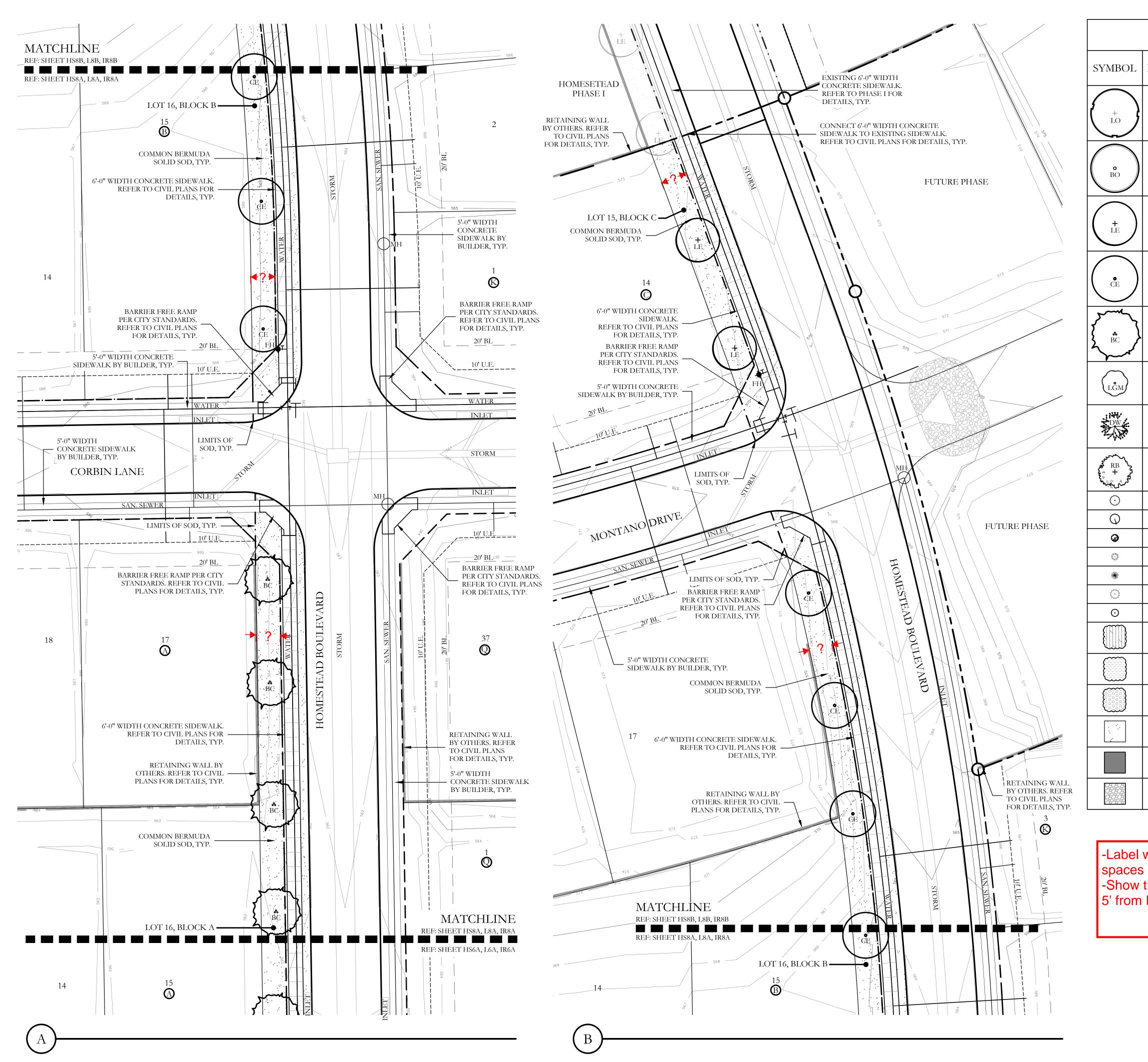
SCALE:

1" = 20'

One Inch

JVC No SHA012B

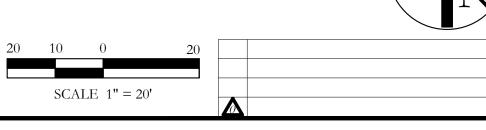
L3 of <u>10</u>





-Label width of all open spaces -Show trees to be planted 5' from ROW





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HOMESTEAD
PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEX

SCREENING AND BUFFERIN



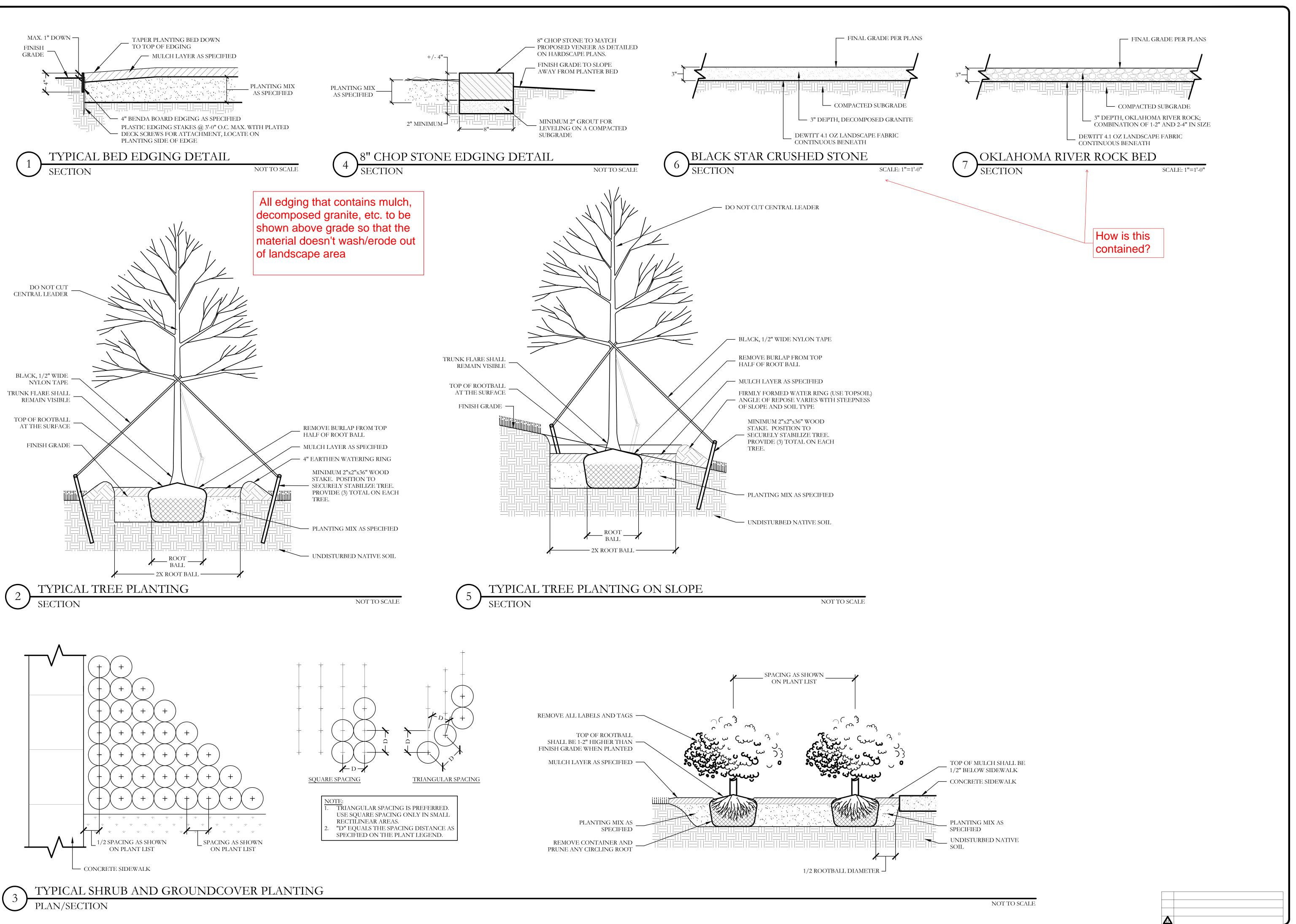
SCALE:

1" = 20'

One Inch

JVC No SHA012B

L8 of 10



JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033

PHASE II
CITY OF ROCKWALL

REENING AND BUFFERING

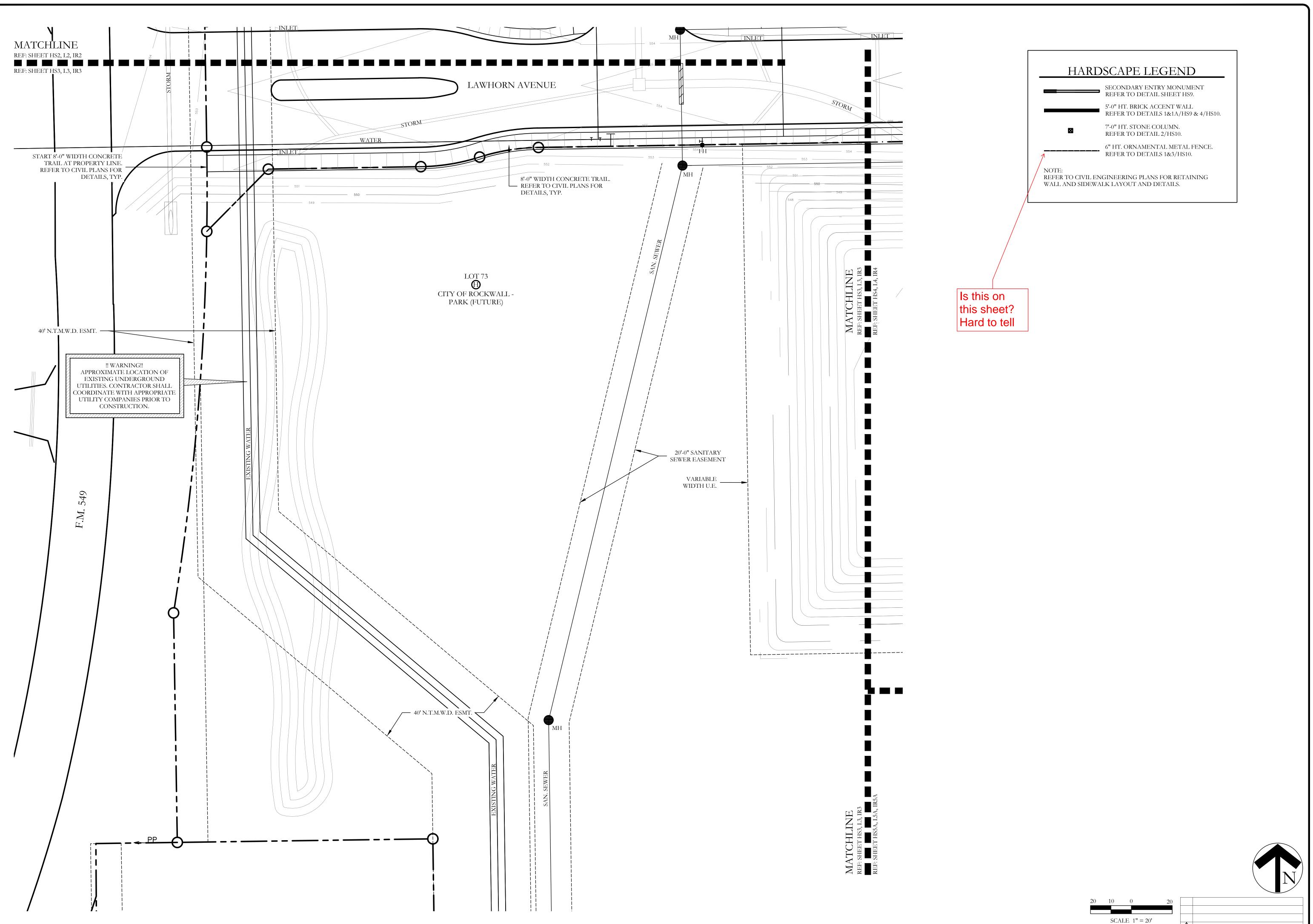


SCALE:

REFER TO
DETAILS
One Inch

JVC No SHA012B

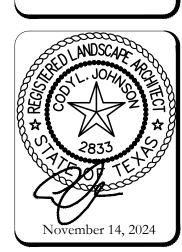
L10 of 10



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CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 101940

HOMESTEAD
PHASE II
CITY OF ROCKWALL

SCREENING AND BUFFERING
HARDSCAPE PLANS



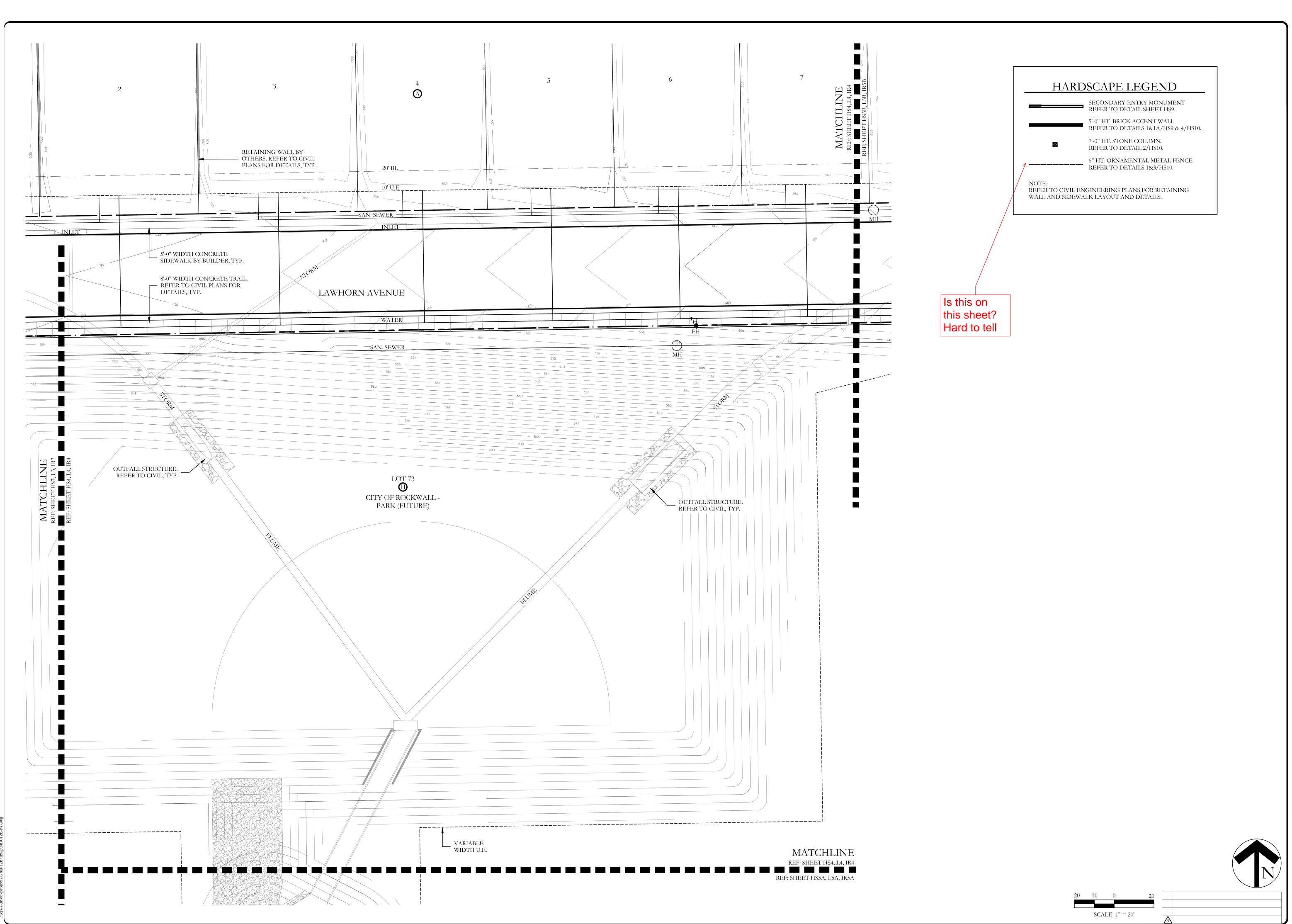
SCALE:

1" = 20'

One Inch

JVC No SHA012B

(HS3 of 10)

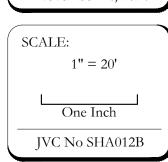


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CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 1019403

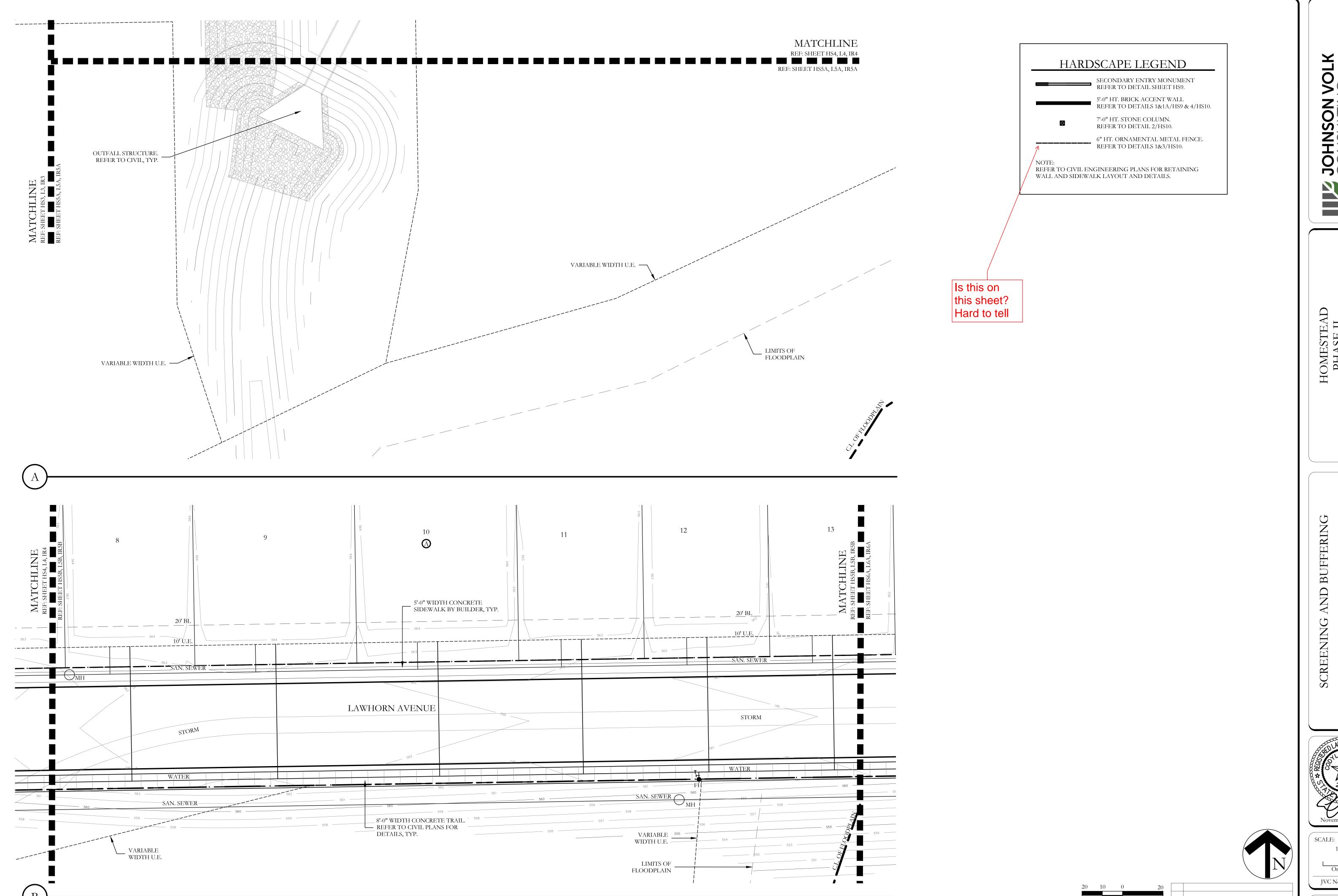
HOMESTEAD
PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXA

REENING AND BUFFERING HARDSCAPE PLANS

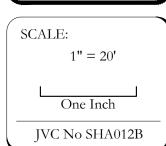




HS4 of <u>10</u>

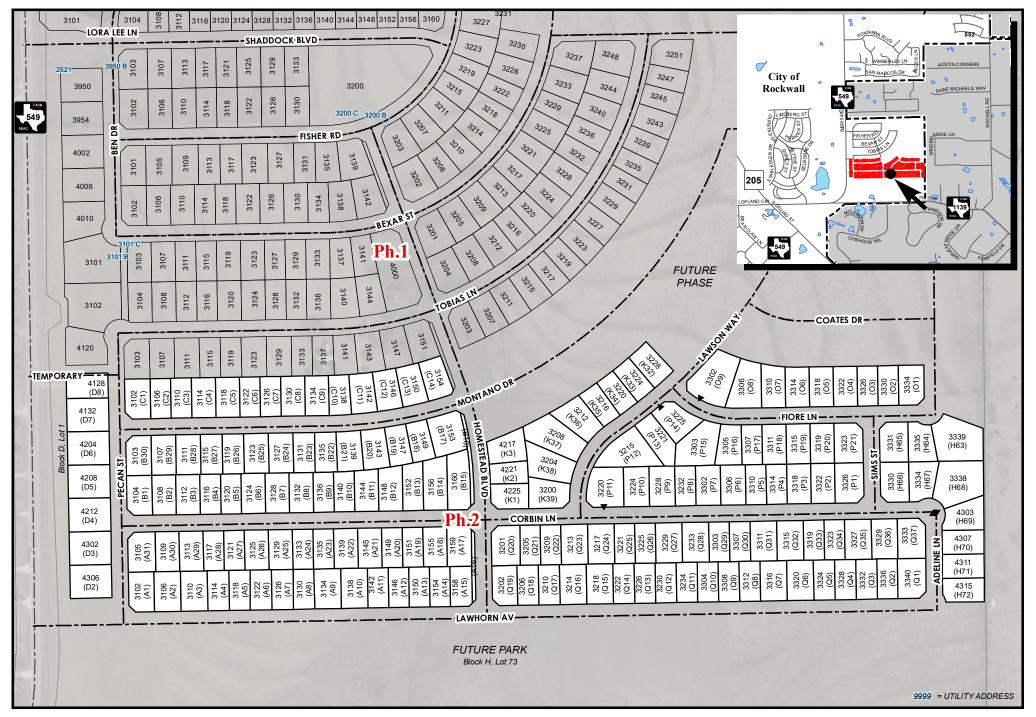






HS5 of <u>10</u>

SCALE 1'' = 20'









The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

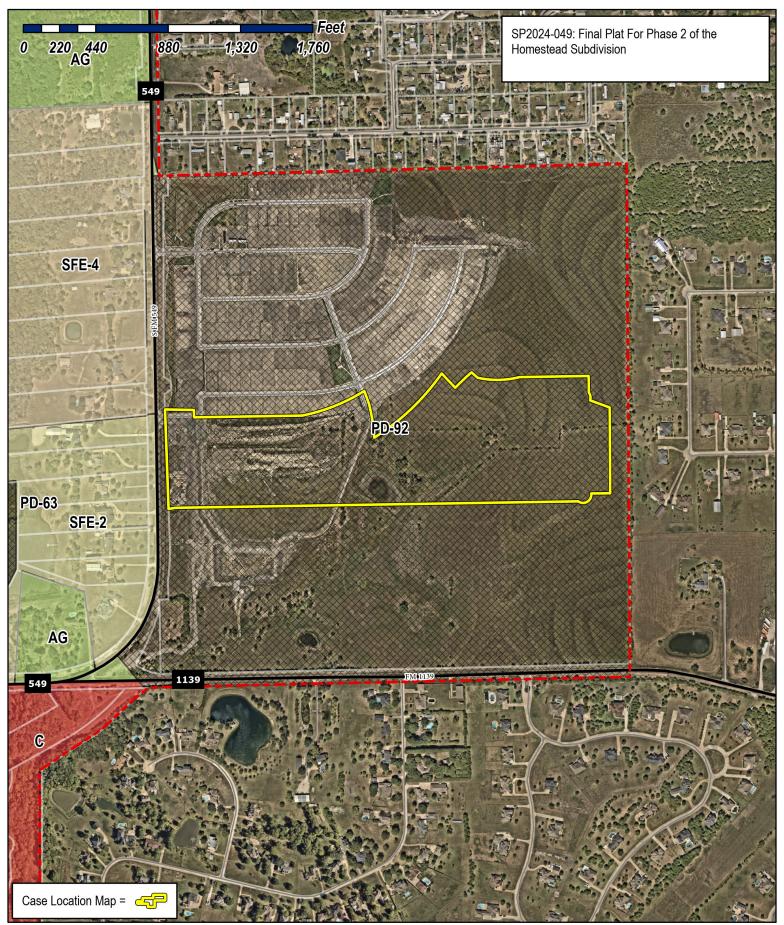
PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER

TOOKWall, Toxas 70001	CITY ENGINEER:
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF I	DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:
PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: ☑ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES: ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NOTES: 1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 2: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
PROPERTY INFORMATION [PLEASE PRINT]	
ADDRESS A0186 J A Ramsey, Lot 6-02, 144.5	5137; FM 549
SUBDIVISION Homestead	LOT BLOCK
GENERAL LOCATION FM 1139 and FM 549	
ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE	PRINT]
CURRENT ZONING PD-92, Ord No. 21-24	CURRENT USE Single Family Residential
PROPOSED ZONING	PROPOSED USE Single Family Residential
ACREAGE 48.170 LOTS [CURRENT]	LOTS [PROPOSED] 168
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STRESULT IN THE DENIAL OF YOUR CASE.	AT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH FAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHEC	CK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
□ OWNER SH Dev Klutts Rockwall, LLC	☑ APPLICANT Michael Joyce Properties
CONTACT PERSON Jay Hankla C	CONTACT PERSON Meredith Joyce
ADDRESS 2400 Dallas Parkway, Ste. 460	ADDRESS 767 Justin Road
CITY, STATE & ZIP Plano, TX 75093	CITY, STATE & ZIP Rockwall, TX 75087
PHONE	PHONE 512-694-6394
E-MAIL land@shaddockhomes.com	E-MAIL meredith@michaeljoyceproperties.com
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE F	
1.213.40 TO COVER THE COST OF THIS APPLICATION, HAS 20 BY SIGNING THIS APPLICATION. I AGREE	INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION IATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF WORLD	
OWNER'S SIGNATURE	My Commission Expires



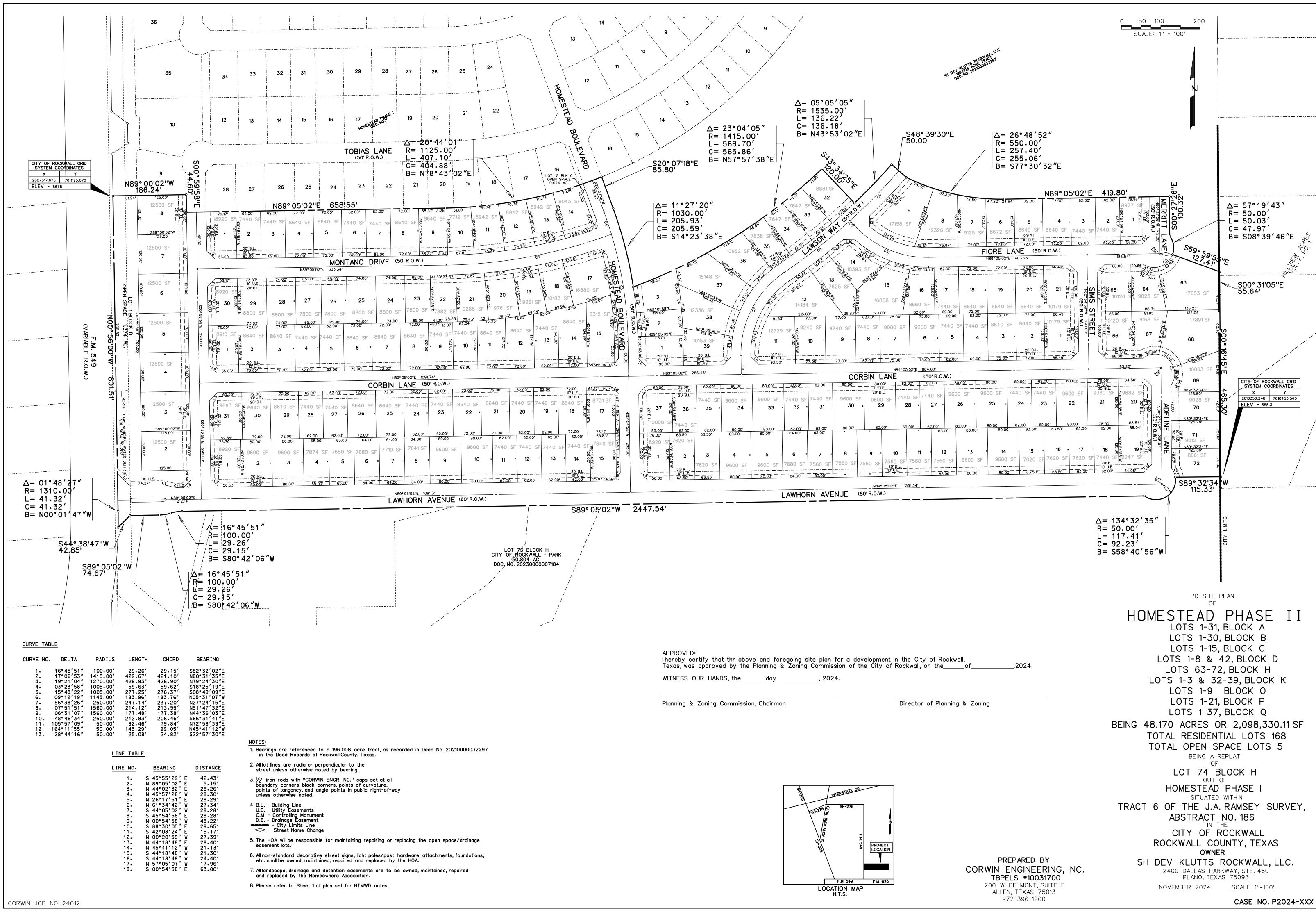


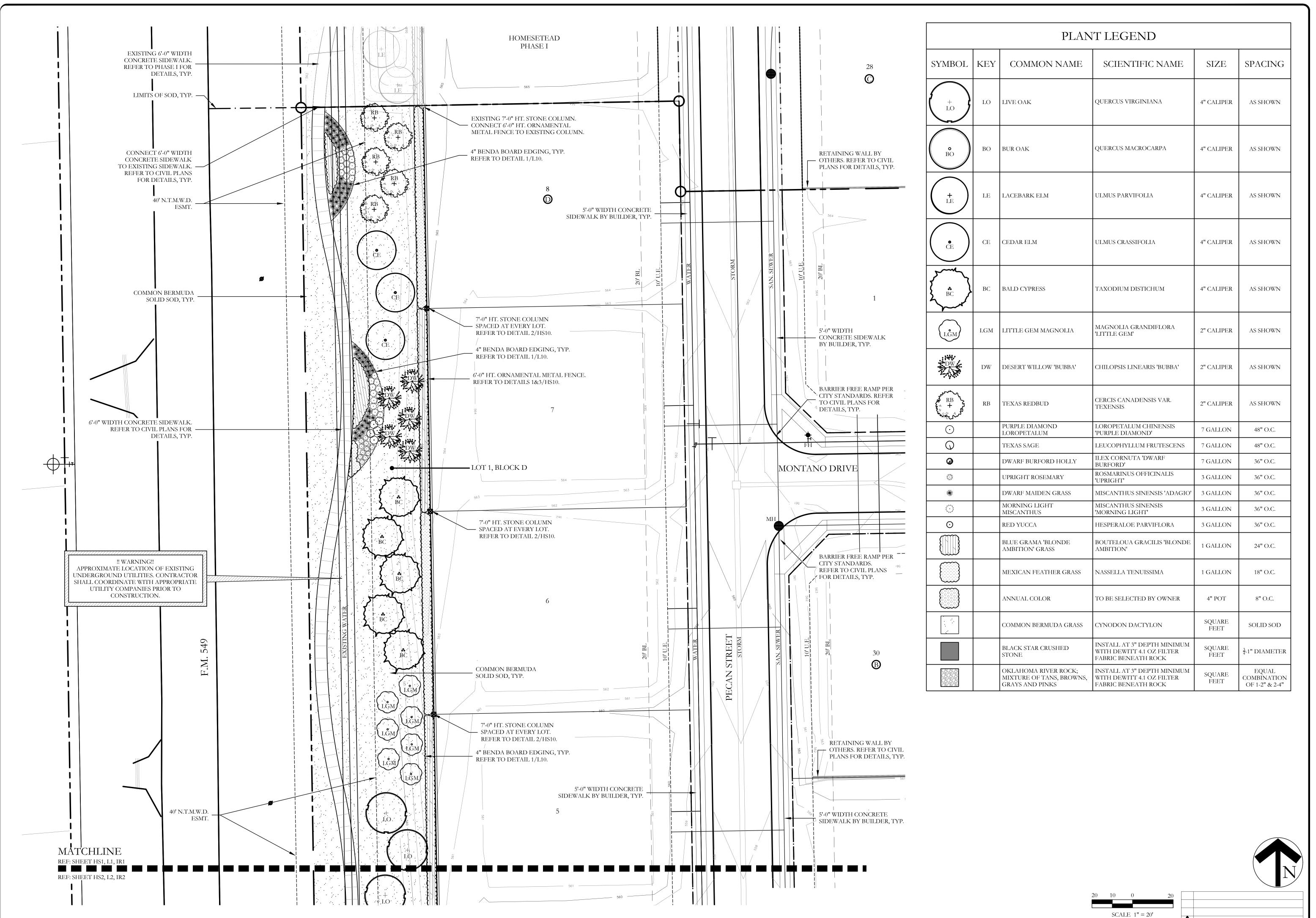
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







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TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

HOMESTEAD
PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEX

REENING AND BUFFERING LANDSCAPE PLAN



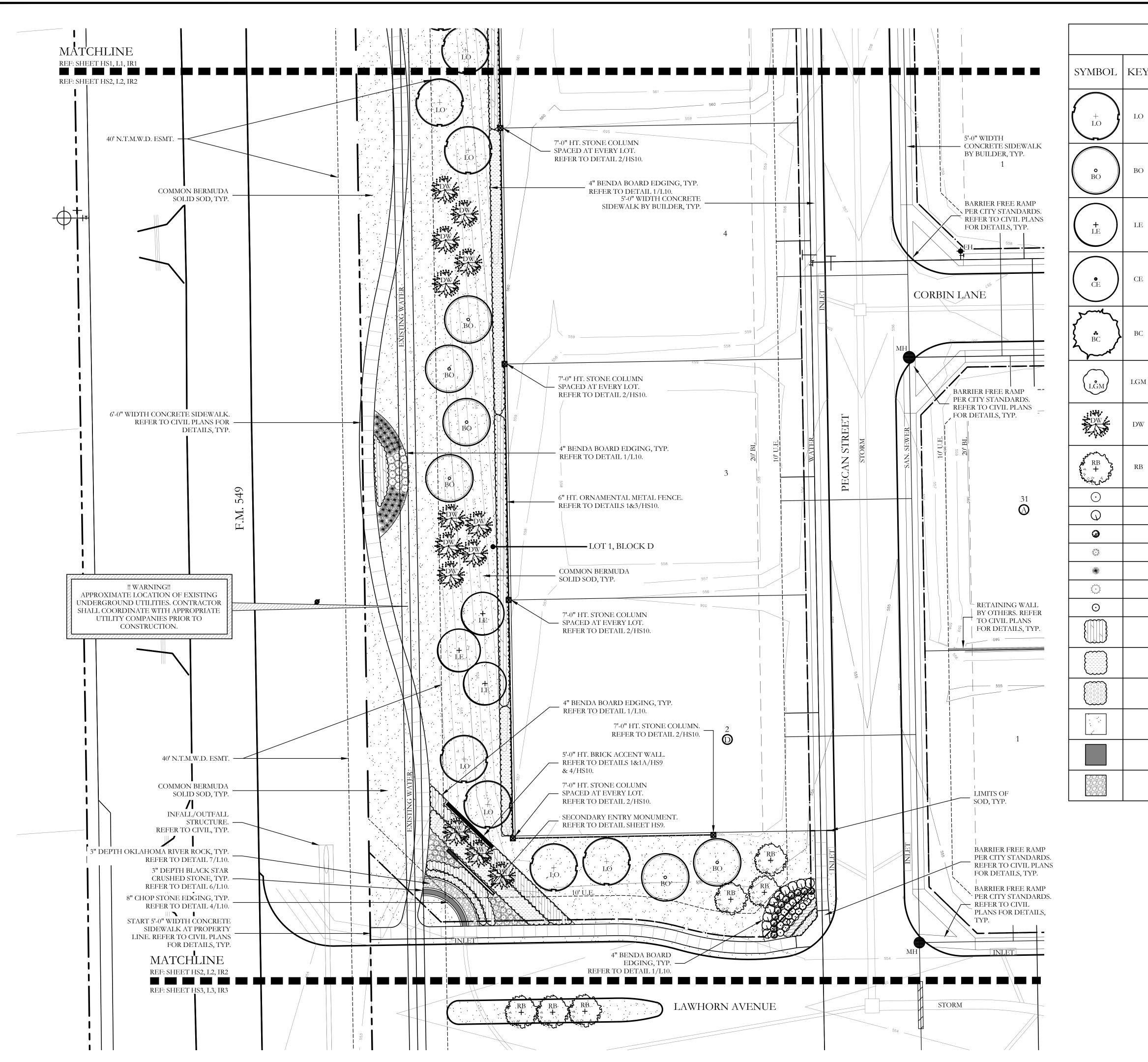
SCALE:

1" = 20'

One Inch

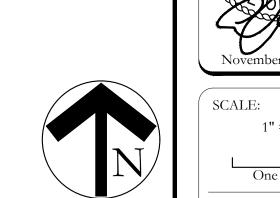
JVC No SHA012B

L1 of 10



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
(LO)	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
o BO	ВО	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
t _{LE}	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
ČE ČE	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
BC BC	ВС	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
LGM	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
DW	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
RB * +	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
⊙		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
Q		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
②		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
30°C		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
*		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
>~~ { } ~~		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
0		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	³ / ₄ -1" DIAMETE
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATIO OF 1-2" & 2-4

SCALE 1'' = 20'



November 14, 2024

SCALE:

1" = 20'

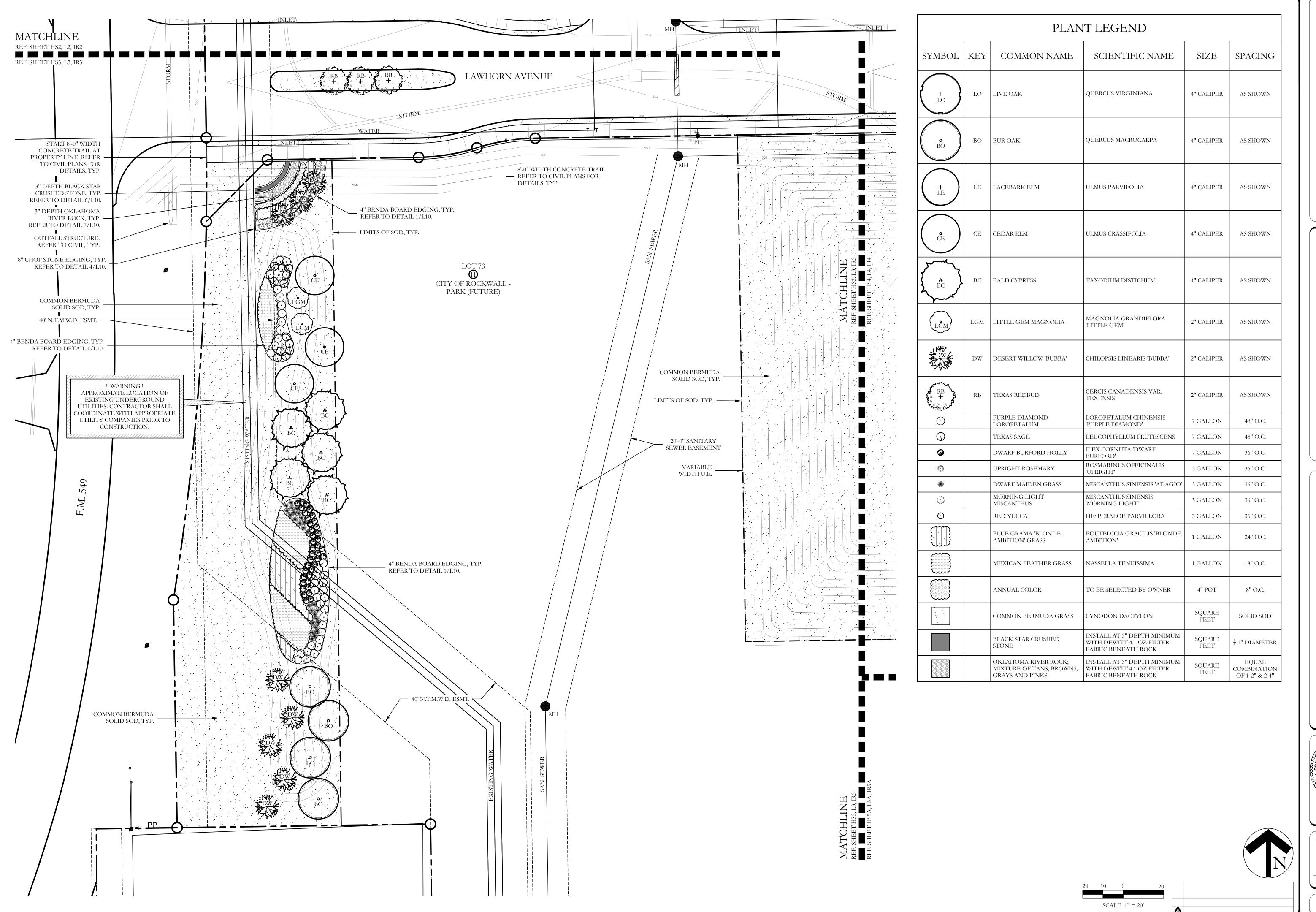
One Inch

JVC No SHA012B

L2 of 10

November 14, 2024

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying F



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CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972,201.3100

PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXA

REENING AND BUFFERING
LANDSCAPE PLAN



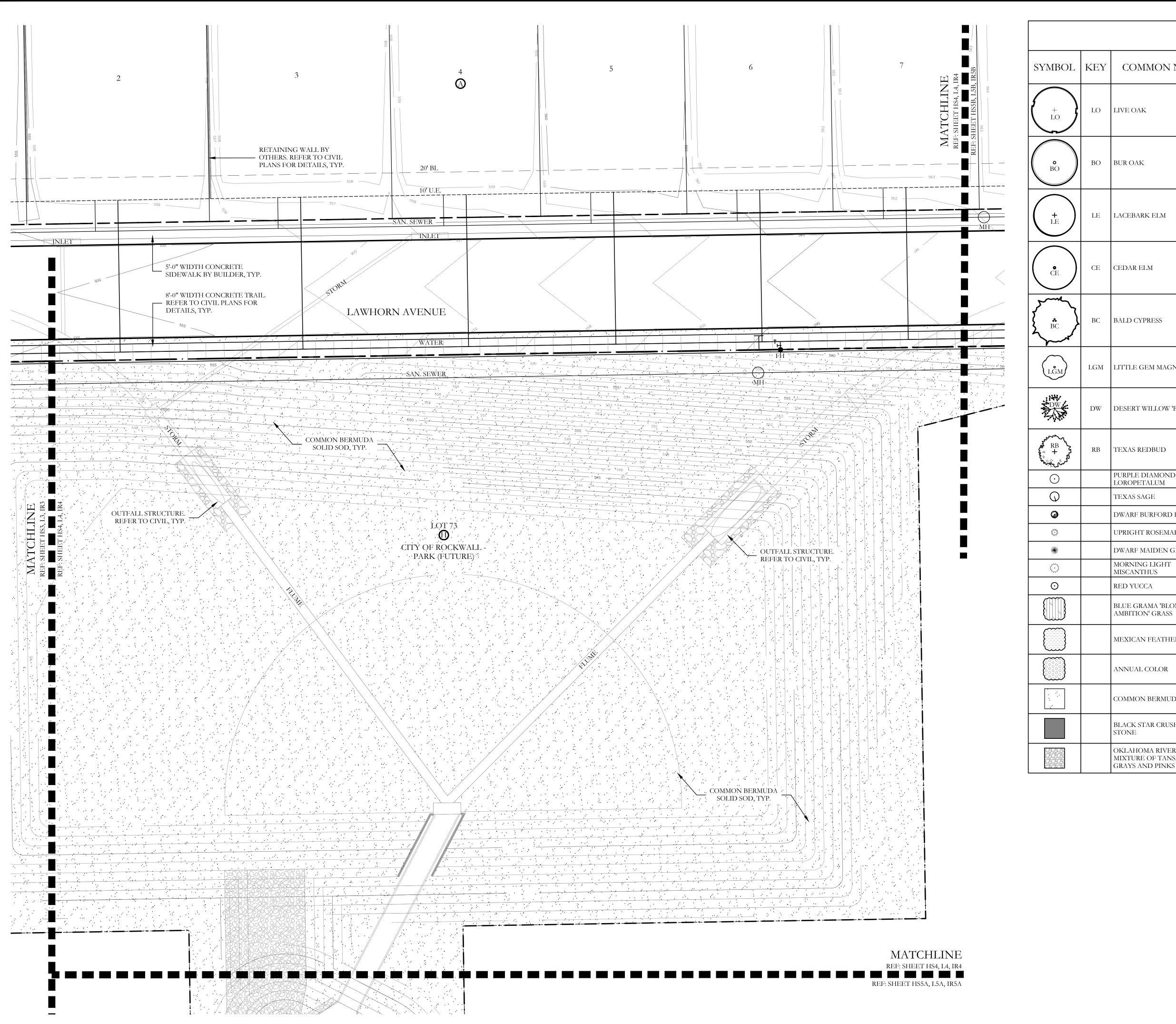
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1" = 20'

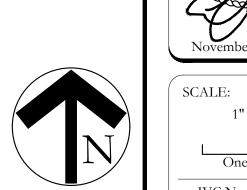
One Inch

JVC No SHA012B

L3 of 10

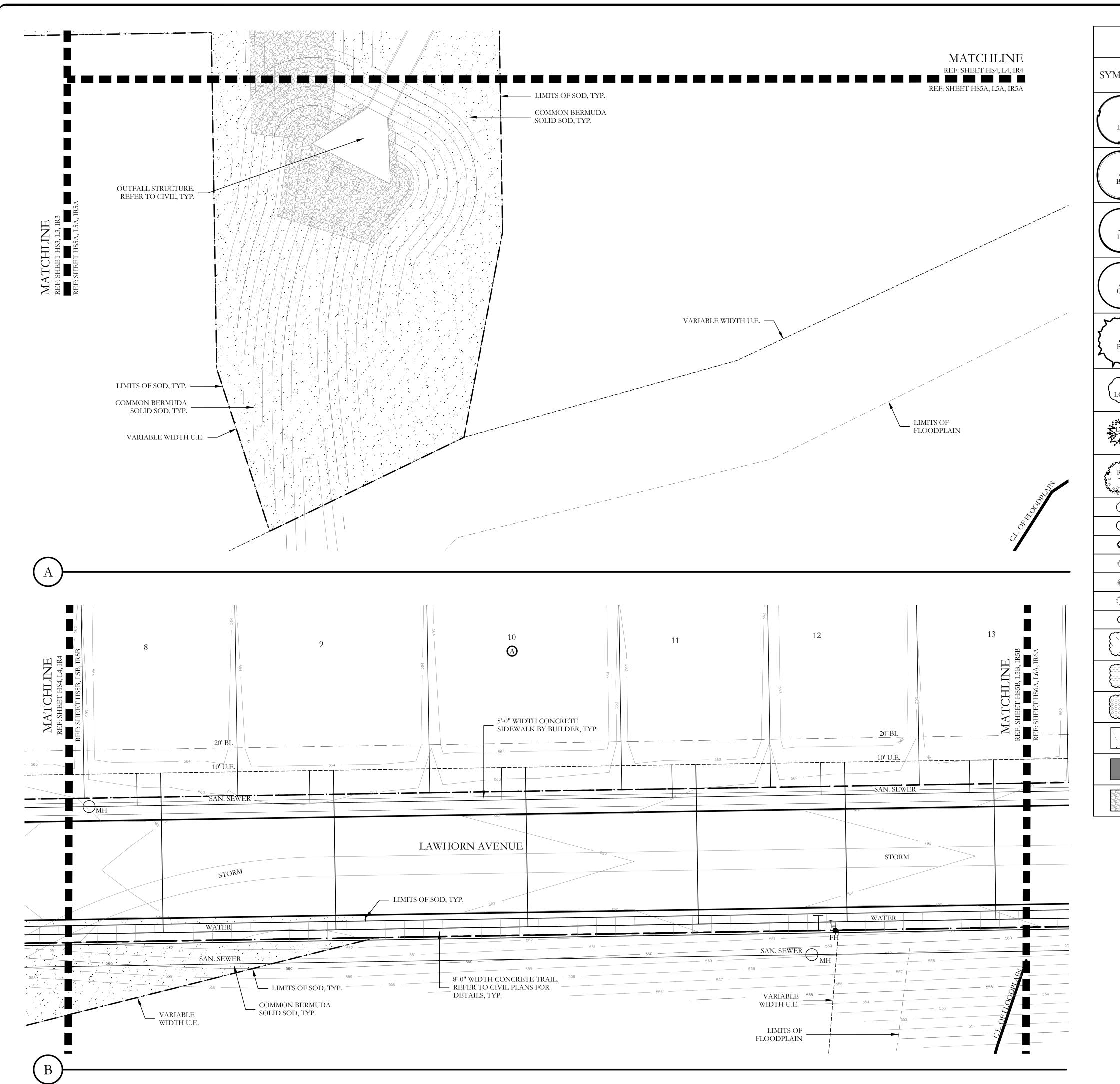


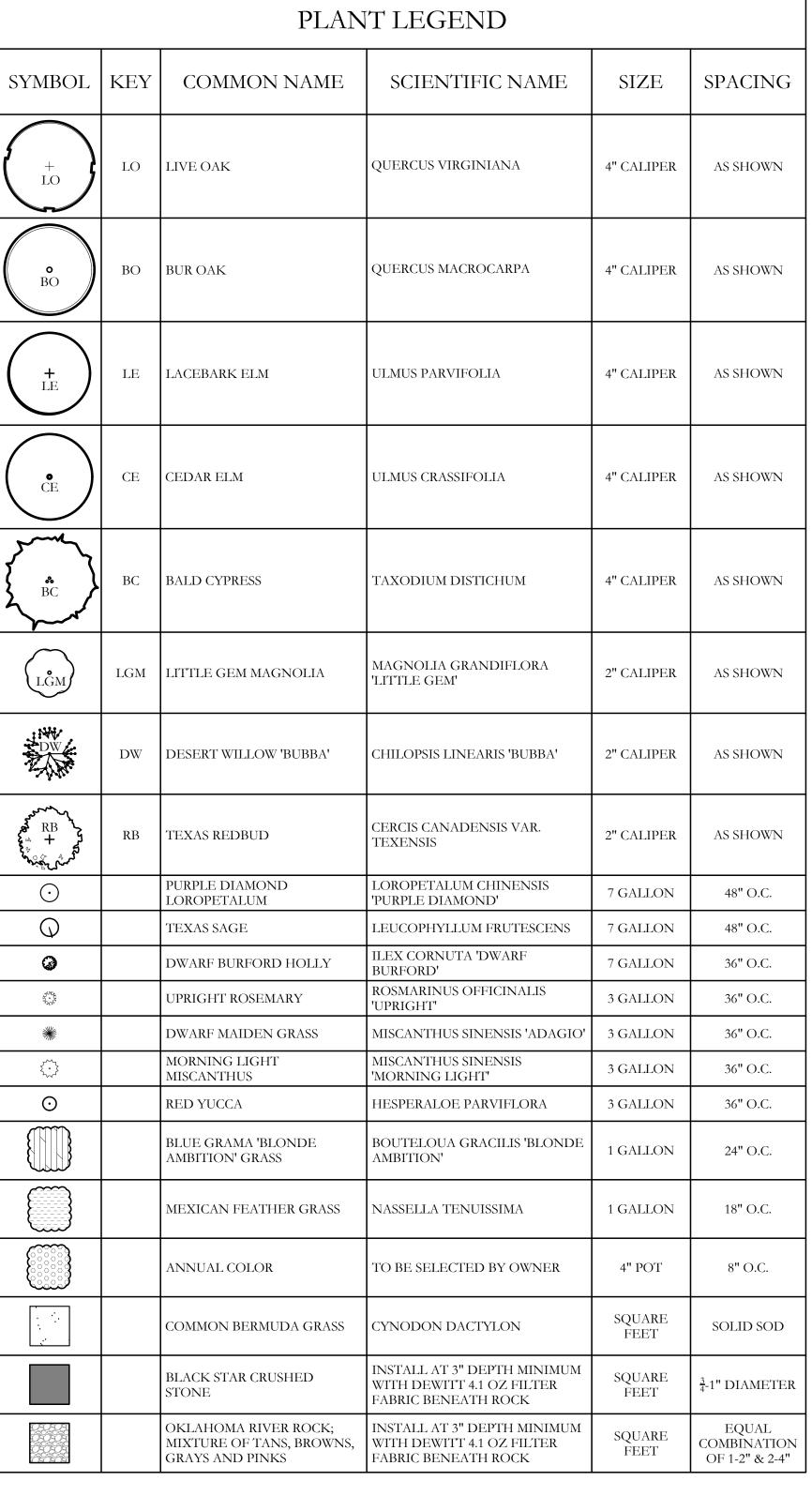
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
(LO)	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
© BO	ВО	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
t _{LE}	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
© CE	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
BC	ВС	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
LGM	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
DW	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
RB +	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
\odot		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
Q		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
@		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
30°6.		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
*		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
₹ <u>,</u> ,,		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
0		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	$\frac{3}{4}$ -1" DIAMETE
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATIO OF 1-2" & 2-4



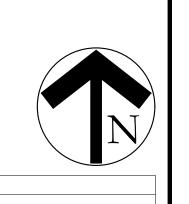
AND BUFFERING

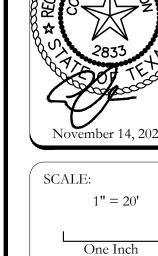
L4 of <u>10</u>





SCALE 1'' = 20'





BUFFERIN

AND

SCREENING

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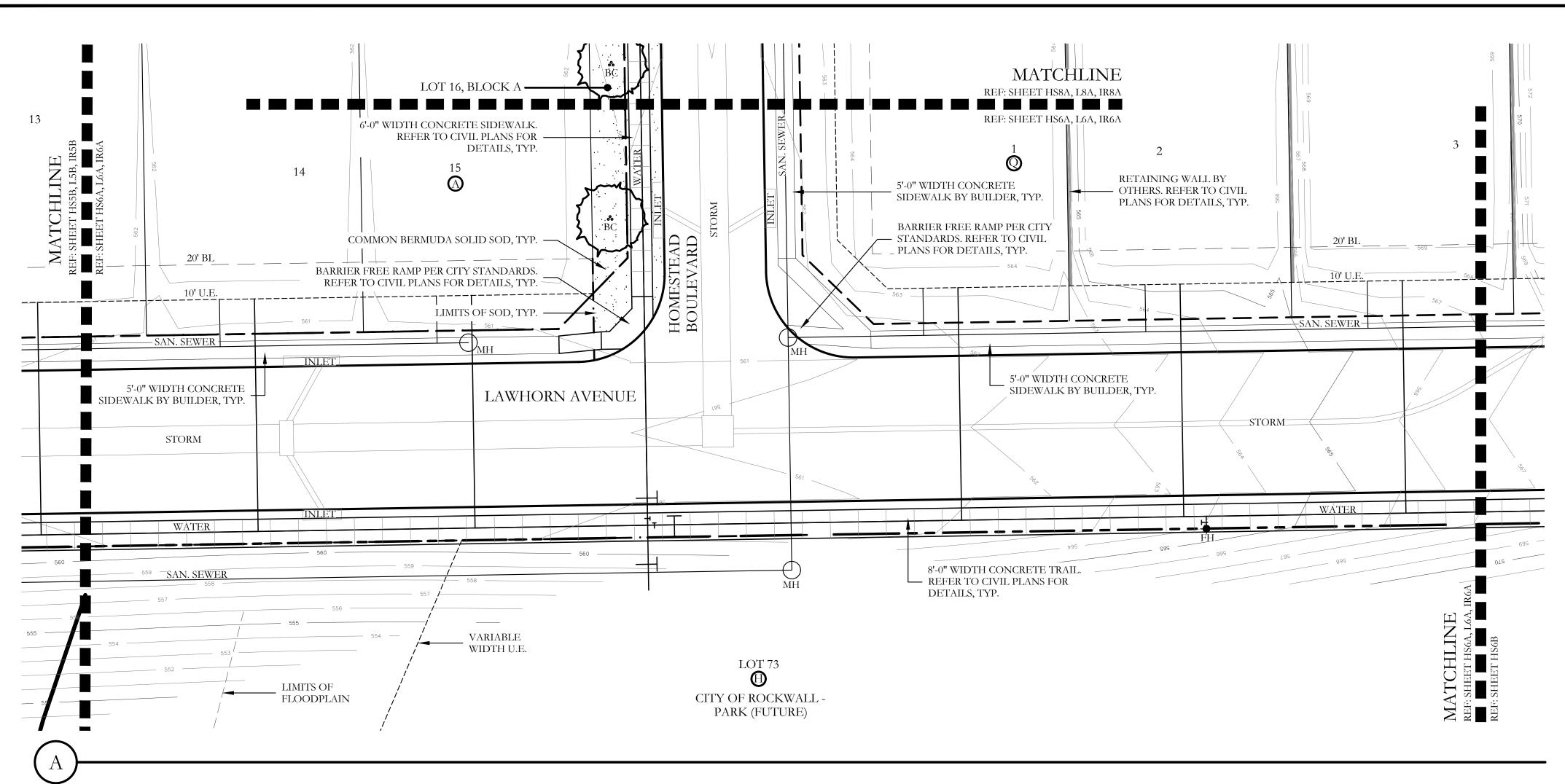
JOHNSON VOLK

CONSULTING

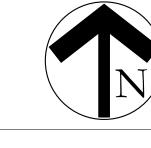
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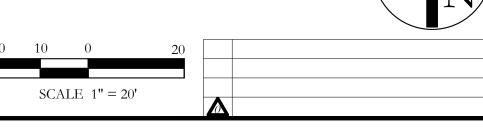
ay East | Suite 1200 | Plano, TX 75074 | 972.201.310

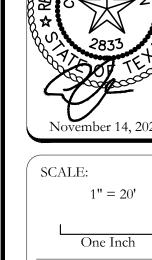
L5 of 10



	PLANT LEGEND				
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
(LO)	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
© BO	ВО	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
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ČE ČE	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
BC BC	ВС	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
LGM	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
DW	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
RB + A	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
\odot		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
0		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
@		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
30°C.		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
**		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
*****		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
0		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4-1" DIAMETE
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATIO OF 1-2" & 2-4'

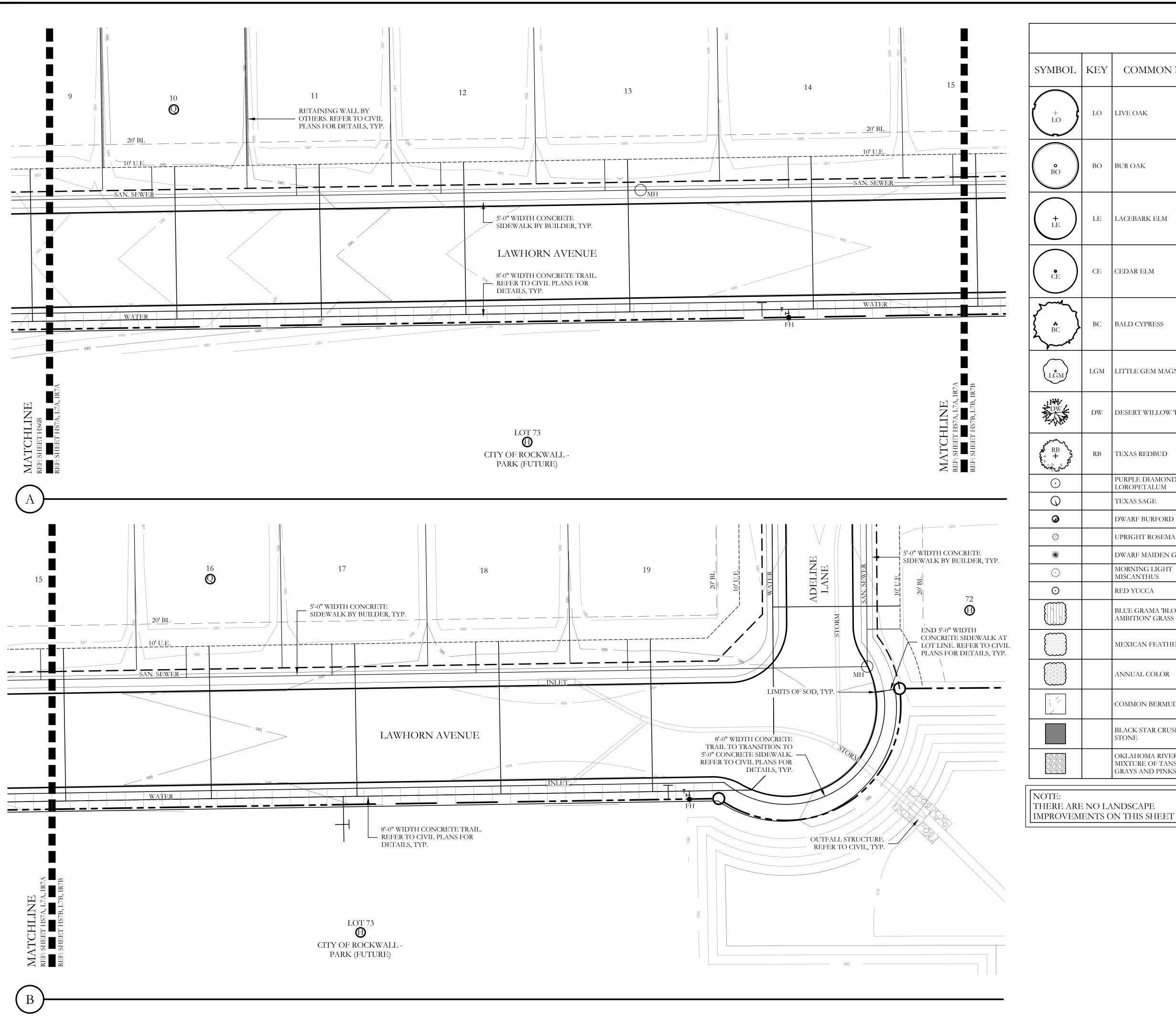






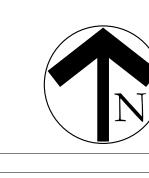
SCREENING AND BUFFERING

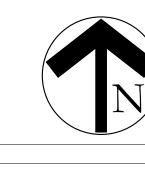
JVC No SHA012B



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
LO LO	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
o BO	ВО	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
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Ø		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
32.5		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
*		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
2.0.7 2.0.7		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
0		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
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() () () () () () () () () ()		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
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THERE ARE NO LANDSCAPE

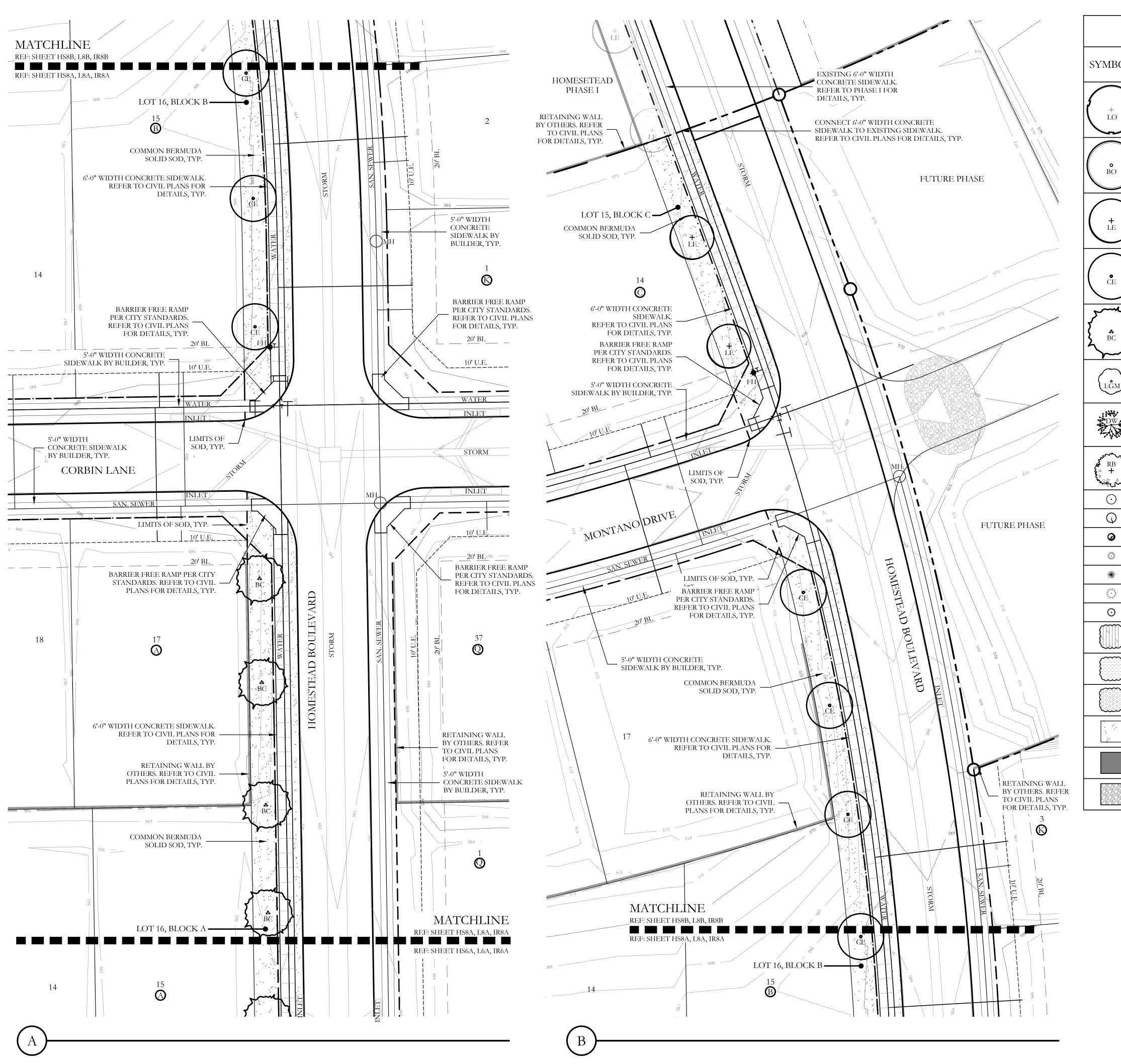




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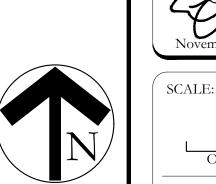
SCALE:

L7 of <u>10</u>



		T 12/11	T LEGEND		
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
(LO)	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
o BO	ВО	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
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SCALE 1'' = 20'



One Inch JVC No SHA012B

L8 of 10

SCALE:

LO

ВО

RB

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- I. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- 1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- 2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- 3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER
- 5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE
- PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED. 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL
- TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE
- IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW. 5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE
- LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION. 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- 7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- 8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- 1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS. 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO
- THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL
- 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

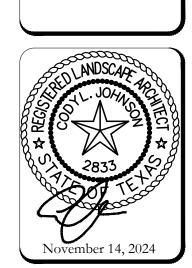
- 1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR
- TRANSPLANTING OF ANY TREES.
- 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE
- MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES. 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE
- ROOT ZONE OF TREES WHICH REMAIN ON SITE. 5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY. 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE
- 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

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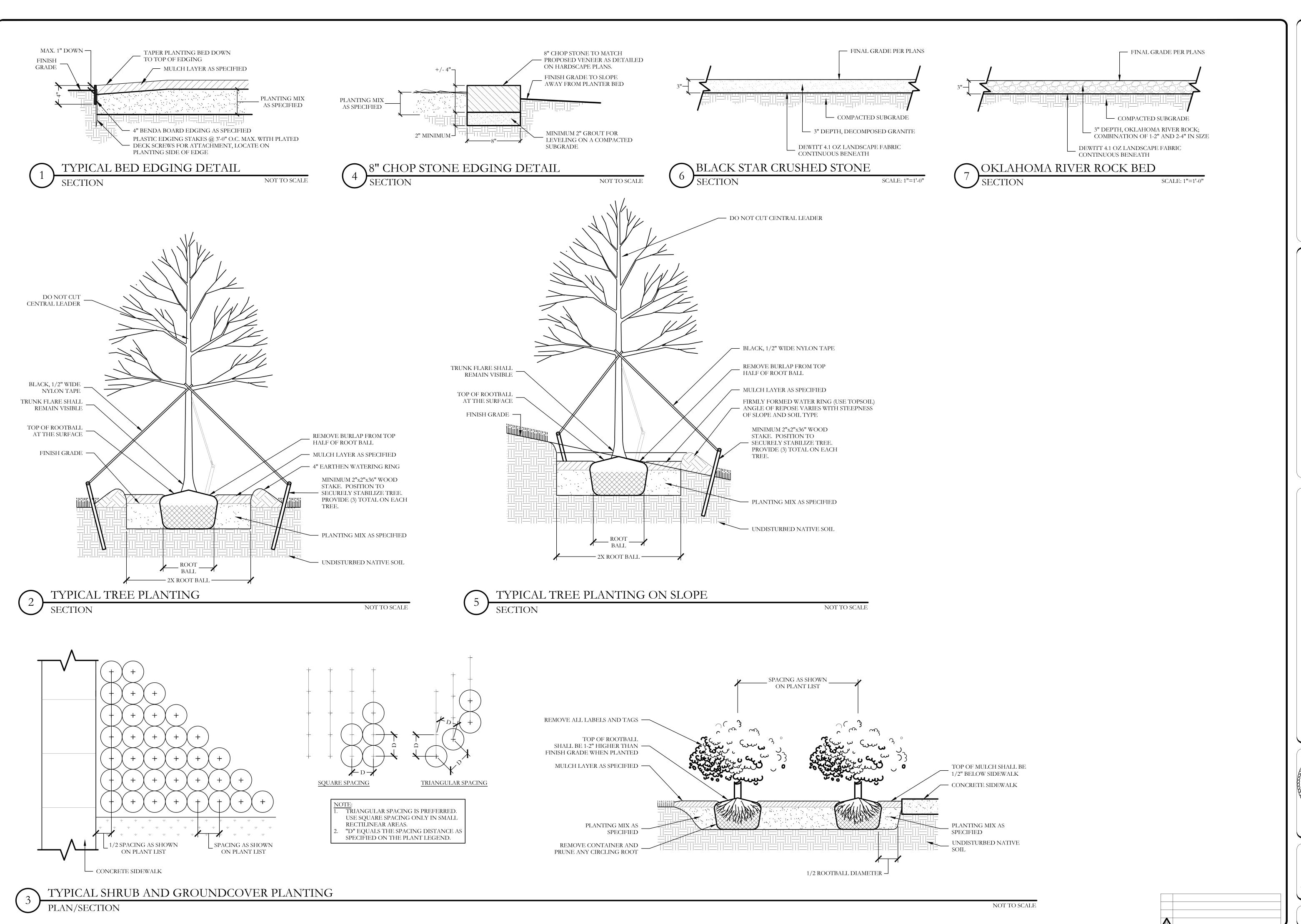
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SCALE: REFER TO DETAILS

JVC No SHA012B



JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 101940

PHASE II
CITY OF ROCKWALL
CKWALL COUNTY, TEXAS

REENING AND BUFFERING

2833 November 14, 2024

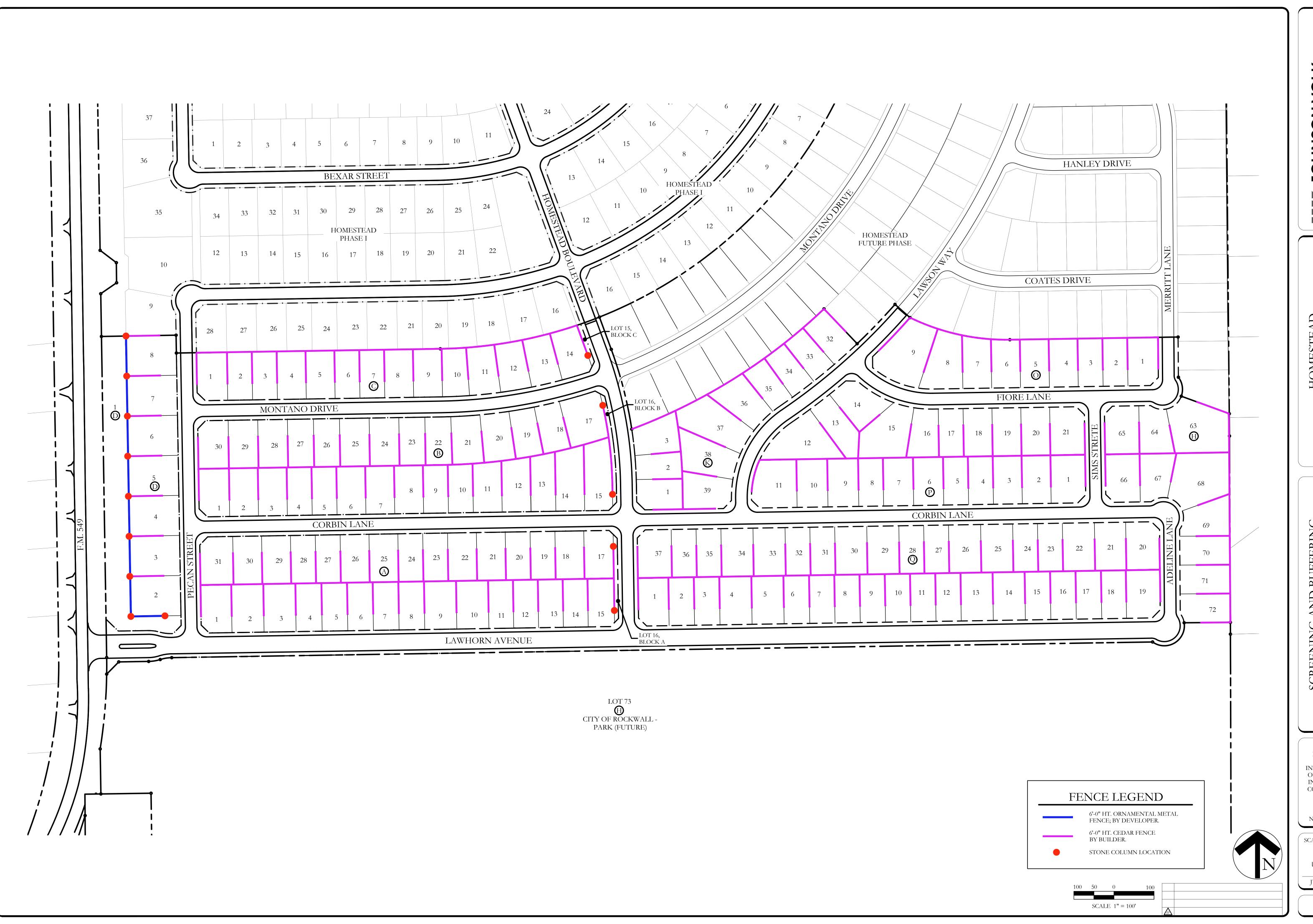
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REFER TO
DETAILS

One Inch

JVC No SHA012B

L10 of 10



TOTAL SUITE TOTAL SON VOL TOTALS: Engineering Firm No. 11962 / Land Surv XAS

HOMESTEAL
PHASE II
CITY OF ROCKW
ROCKWALL COUNTY

SCREENING AND BUFFERING OVERALL FENCE EXHIBIT

THESE
DOCUMENTS
ARE FOR
INTERIM REVIEW
ONLY AND NOT
INTENDED FOR
CONSTRUCTION
OR BIDDING
PURPOSES.

November 14, 2024

SCALE:

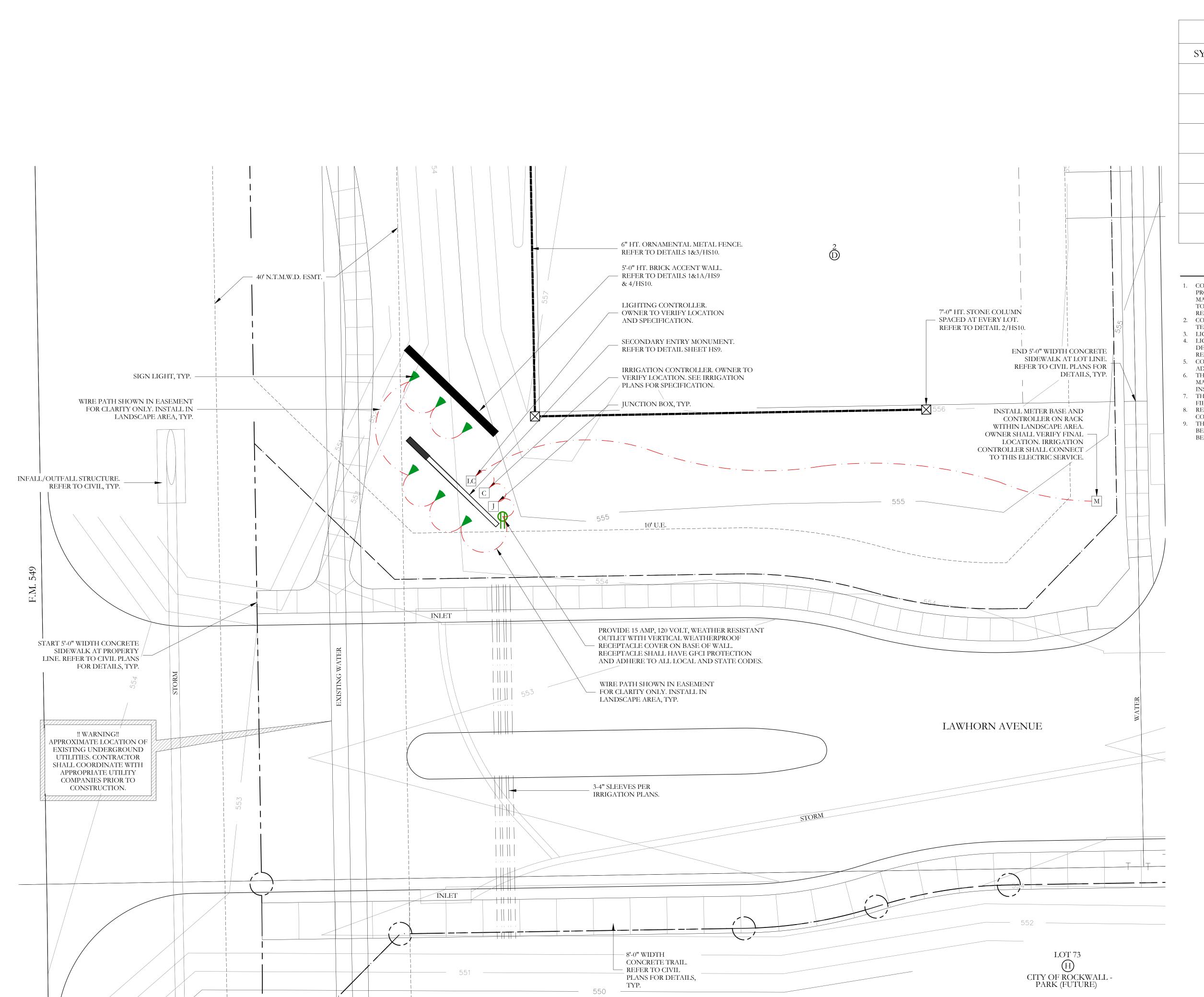
REFER TO

DETAILS

One Inch

JVC No SHA012B

FE1



LIGHTING LEGEND				
SYMBOL	ITEM	QTY		
M	PROPOSED METER BASE	1		
LC	LIGHTING CONTROLLER AS SELECTED BY OWNER	1		
С	IRRIGATION CONTROLLER SEE IRRIGATION PLANS FOR DETAILS	1		
J	JUNCTION BOX, AS NECESSARY	1		
•	SIGN LIGHT	6		
P	GFCI DUPLEX OUTLET WITH WEATHERPROOF COVER	1		

LIGHTING NOTES

- 1. COORDINATE ALL ELECTRIC UTILITY REQUIREMENTS WITH THE SERVICE PROVIDER IN THE AREA. COORDINATE EXACT TRANSFORMER LOCATION TO MAINTAIN REQUIRED CLEARANCES FROM BUILDING, EQUIPMENT, ETC. PRIOR TO INSTALLATION. POUR TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS.
- 2. COORDINATE ALL TELEPHONE SERVICE REQUIREMENTS WITH LOCAL TELEPHONE UTILITY COMPANY AND PROVIDE ACCORDINGLY.
- 3. LIGHTING TYPE AND SIZE SHALL BE SELECTED BY THE OWNER. 4. LIGHTING AND ELECTRICAL CONNECTIONS SHALL COMPLY WITH TEXAS
- DEPARTMENT STATE HEALTH SERVICES AND MANUFACTURER RECOMMENDATIONS.
- 5. COORDINATE ALL SLEEVE LOCATIONS WITH OTHER TRADES. INSTALL ADDITIONAL SLEEVES AS NECESSARY.
- 6. THE ELECTRICAL CONTRACTOR SHALL REFER AND ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, SHOP DRAWINGS, NOTES, AND
- INSTALLATION PROCEDURES FOR ALL PRODUCTS SHOWN ON PLANS. 7. THE CONTRACTOR SHALL DETERMINE WIRE SIZES AND RUN PATTERNS IN THE
- 8. REFER TO IRRIGATION PLANS AND COORDINATE WITH IRRIGATION
- CONTRACTOR FOR ALL SLEEVE LOCATIONS. 9. THE LIGHTING EXHIBIT SHOWN HEREIN IS FOR GRAPHIC REFERENCE ONLY TO
- BE USED FOR BIDDING PURPOSES. FINAL DESIGN AND INSTALLATION SHALL

BE PROVIDED BY A LICENSED ELECTRICIAN.

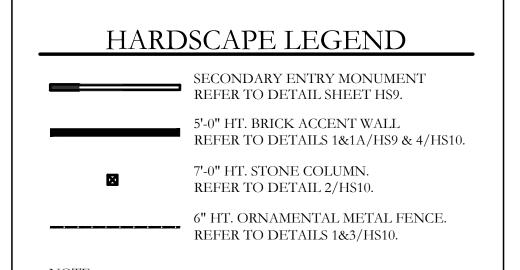
BUFFERIN

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PURPOSES. November 14, 2024

SCALE: One Inch

JVC No SHA012B EX1 of 1



REFER TO CIVIL ENGINEERING PLANS FOR RETAINING

WALL AND SIDEWALK LAYOUT AND DETAILS.

WALL LAYOUT NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
- 4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE
- 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6". 6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- 7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY

PRE-CONSTRUCTION CONDITION.

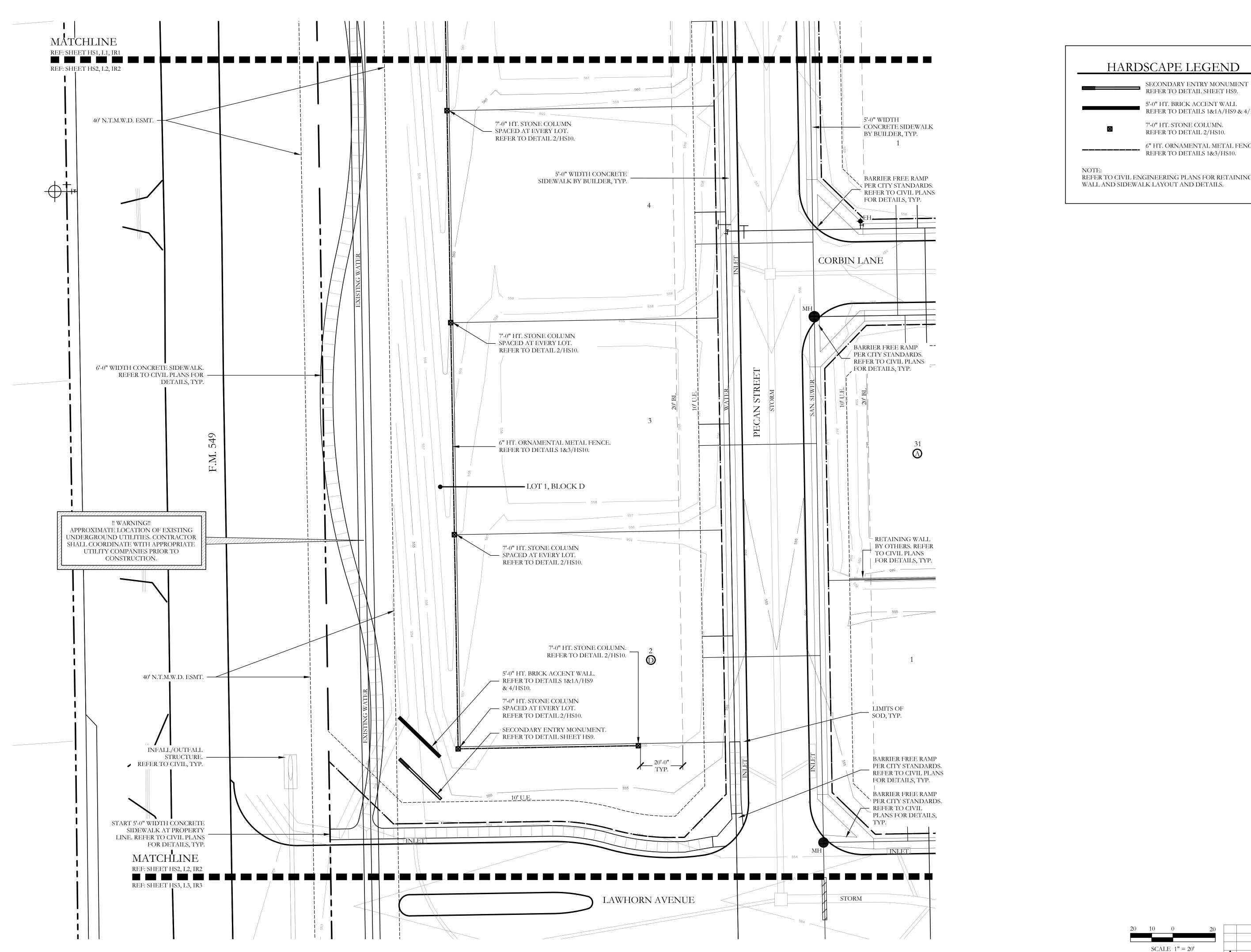
ACCEPTANCE. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO

SCALE 1'' = 20'

N



SCALE: JVC No SHA012B



5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.

REFER TO DETAIL 2/HS10.

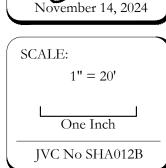
6" HT. ORNAMENTAL METAL FENCE.

REFER TO CIVIL ENGINEERING PLANS FOR RETAINING

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Fixway East | Suite 1200 | Plano, TX 75074 | 972.201.310

BUFFERIN AND





HS2 of 10

HARDSCAPE LEGEND

SECONDARY ENTRY MONUMENT REFER TO DETAIL SHEET HS9.

5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.

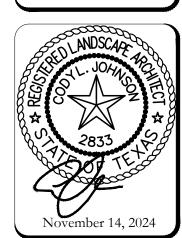
7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/HS10.

6" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

REFER TO CIVIL ENGINEERING PLANS FOR RETAINING

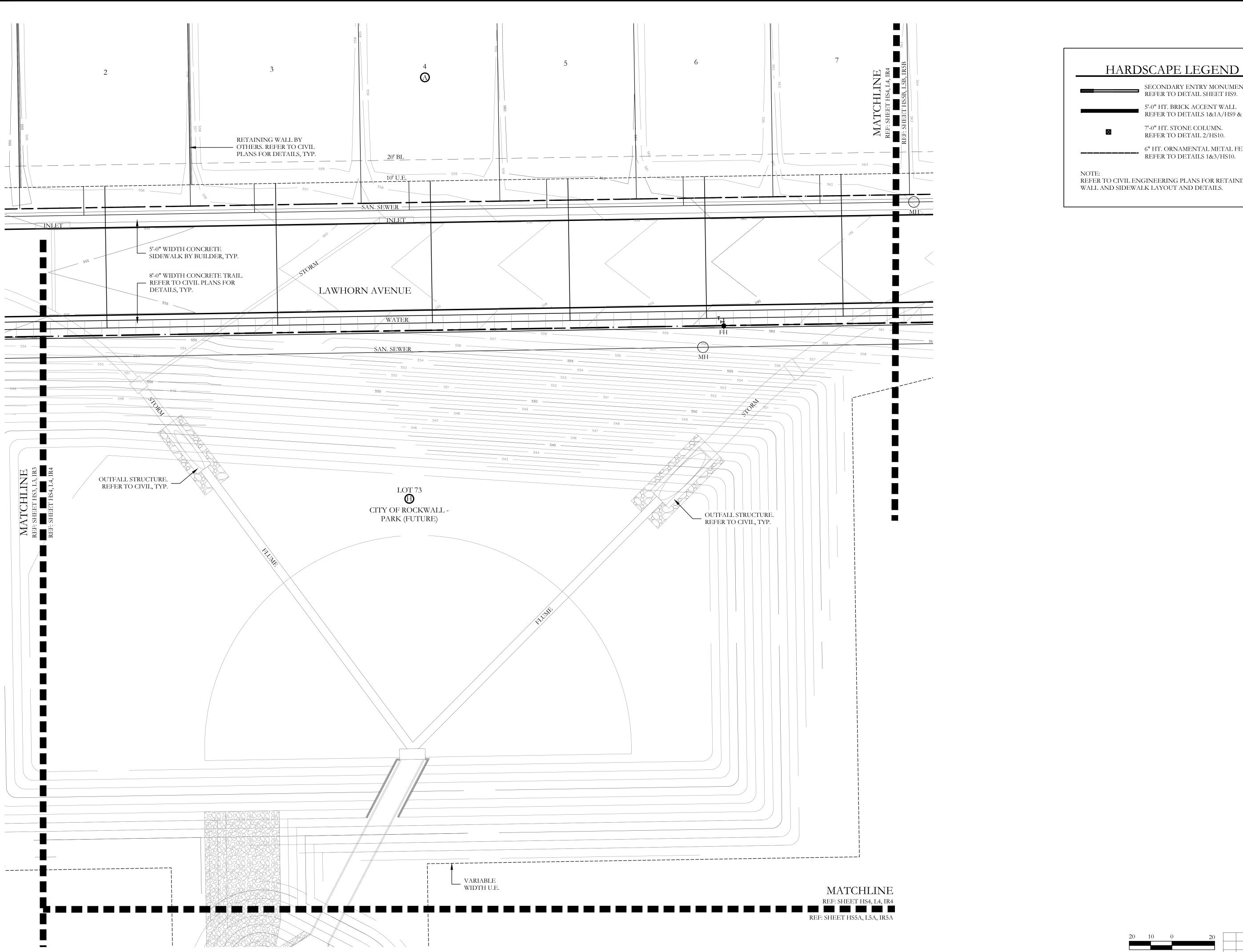
SCALE 1'' = 20'

AND BUFFERING SCREENING



JVC No SHA012B

HS3 of <u>10</u>



5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.

7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/HS10.

> 6" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

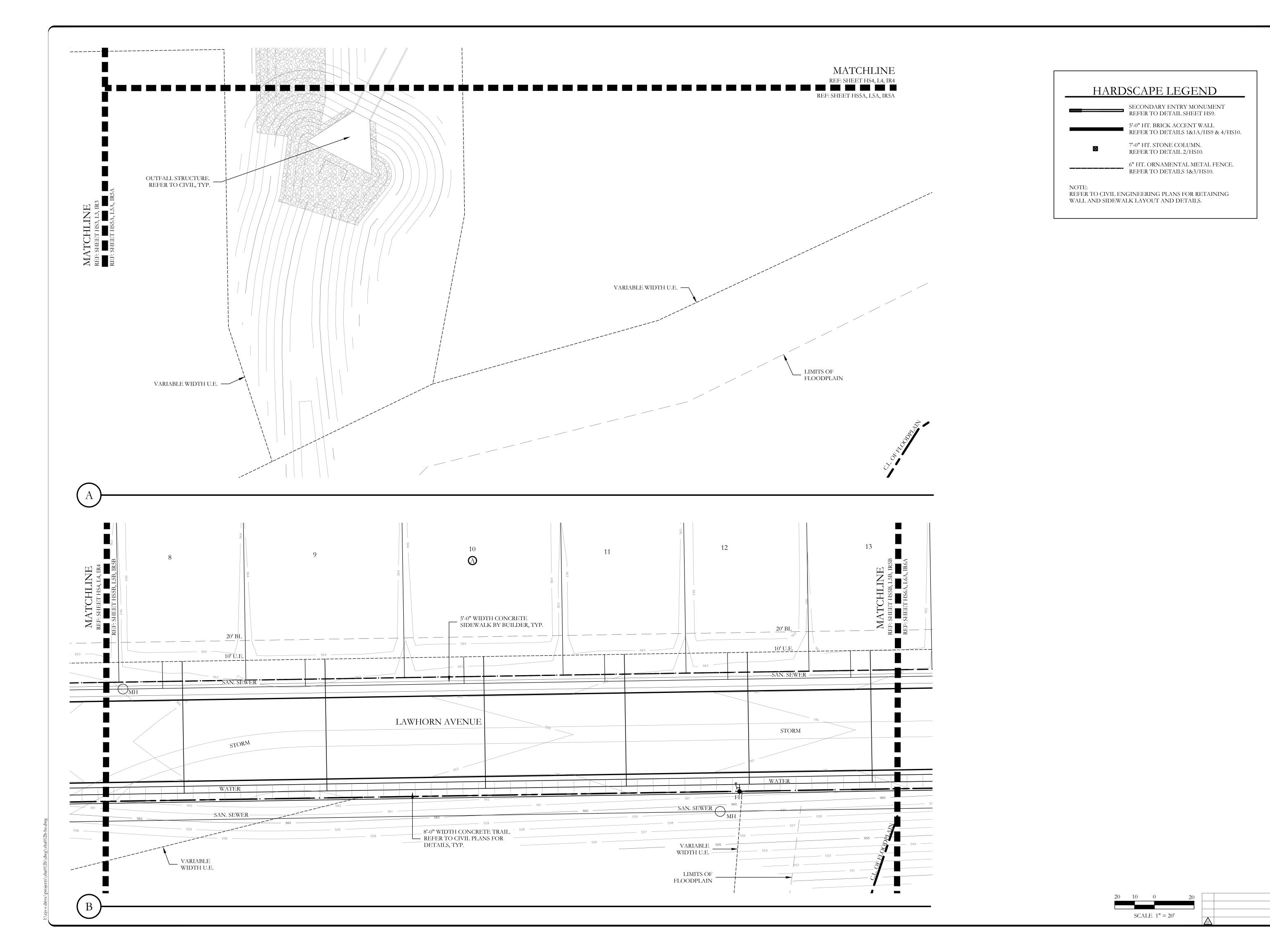
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING

AND BUFFERING



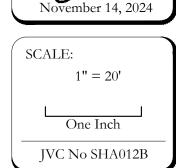
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HS4 of <u>10</u>



BUFFERING





HS5 of <u>10</u>



5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.

REFER TO DETAIL 2/HS10. 6" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

7'-0" HT. STONE COLUMN.

REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

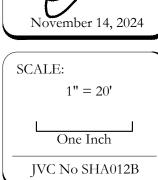
JOHNSON VOLK

CONSULTING

BPELS: Engineering Firm No. 11962 / Land Surveying Fax East | Suite 1200 | Plano, TX 75074 | 972.201.310

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HS6 of <u>10</u>



5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.

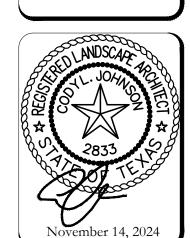
7'-0" HT. STONE COLUMN.
REFER TO DETAIL 2/HS10.

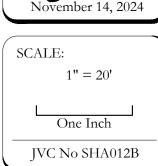
6" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

> MESTEAD HASE II F ROCKWALL L COUNTY, TEXAS

REENING AND BUFFERING HARDSCAPE PLANS





HS7 of $\underline{10}$

O 0 20

SCALE 1" = 20'



5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.

7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/HS10.

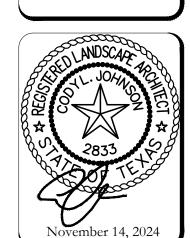
> 6" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

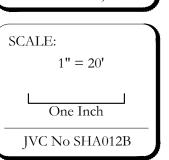
NOTE: REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

SCALE 1'' = 20'

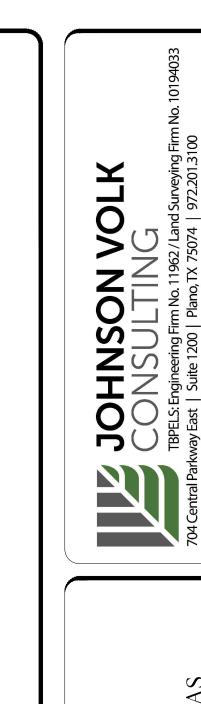
HOMESTEAD
PHASE II
CITY OF ROCKWALI

REENING AND BUFFERING HARDSCAPE PLANS





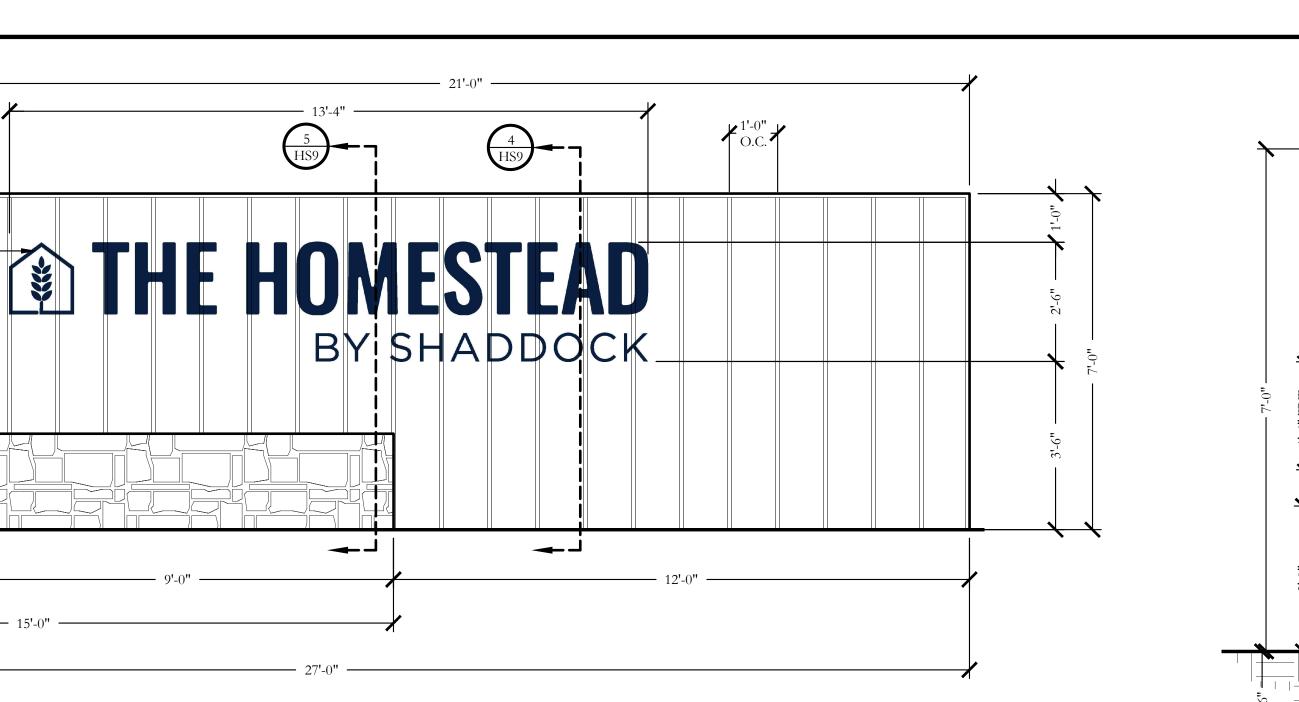
HS8 of 10



November 14, 2024

DETAILS One Inch

HS9 of 10



THE HOMESTEAD BY SHADDOCK

— 1/2"x12" COMPOSITE BOARD TO ACT AS WALL CAP.

3/8" CDX BOARD FOR CMU BLOCKS. CONNECT

- TO CMU WALL WITH GALVANIZED WALL TIES

— TYVEK BUILDING PAPER TO WRAP CMU BLOCKS.

1-1/2"x1" TREX COMPOSITE VERTICAL BATTEN.

CONNECT WITH GALVENIZED NAILS @ 12" O.C.

TREX MATERIAL TO MATCH CEDAR SIDING.

PAINT NAILS TO MATCH SIDING MATERIAL.

8"X8"X16" CMU BLOCKS WITH STONE FACADE. - FILL ALL CMU CELLS CONTAINING VERTICAL

1"x12" TREX COMPOSITE BOARD. TREX

MATERIAL TO MATCH CEDAR SIDING.

#5 VERTICAL REBAR SPACED 16" O.C.

1"x2" FURRING STRIP SPACED 18" O.C

REBAR WITH COARSE GROUT.

EXTEND TO TOP OF WALL.

2-#5 BARS TOP AND BOTTOM

#3 STIRRUPS SPACED 18" O.C.

CONTINUOUS CONCRETE

CONTINUOUS 6" HT. TRAPEZOIDAL VOID

BOX BY SAVWAY BENEATH GRADE BEAM.

REFER TO DETAIL 1A/HS9 FOR SPACING.

18" DIA. CONCRETE PIER SPACED 12'-9" O.C. MAX.

GRADE BEAM. (16"x18")

- REFER TO DETAIL 5/HS10.

FINISH GRADE

== 3" CLR ALL SIDES

CONTINUOUS

TRIANGULARLY SPACED AT 1 PER 4 SQ FT.

— CUSTOM LOGO. REFER TO DETAIL 3/HS9

— 1"x4" FURRING ABOVE BATTENS

— 1"x6" TRIM

7'-0" HT. BOARD AND BATTEN SIGN PANEL (COLOR: 'BARN WOOD GRAY')

WITH PIN-MOUNTED CUSTOM LOGO. REFER TO DETAILS 1A,4&5/HS9

CUSTOM LOGO PIN

MOUNT LETTERING. REFER TO DETAIL 3/HS9.

SCALE: 1/4"=1'-0'

2'-0" HT. STONE WALL.

REFER TO DETAIL 2/HS9.

5'-0" HT. BRICK ACCENT WALL.

REFER TO DETAIL 4/HS10.

SECONDARY ENTRY MONUMENT

5'-0" HT. BRICK ACCENT WALL

— PIERS SPACED 12'-9" O.C. —

7'-0" HT. BOARD AND BATTEN SIGN PANEL.

REFER TO DETAILS 1, 4&5/HS9.

PIERS SPACED 12'-9" O.C. PIERS SPACED 12'-9" O.C. PIERS SPACED 12'-9" O.C.

4" THICK STONE VENEER, ASHLAR PATTERN. EXTEND VENEER

WALL TIES TRIANGULARLY SPACED AT 1 PER 4 SQ FT.

WALL TIES TRIANGULARLY SPACED AT 1 PER 4 SQ FT.

- 4" THICK HIDDEN STONE WALL CAP.

2-#5 BARS TOP AND BOTTOM CONTINUOUS

- CONTINUOUS CONCRETE GRADE BEAM. (16"x18")

CONTINUOUS 6" HT. TRAPEZOIDAL VOID BOX BY

18" DIA. CONCRETE PIER SPACED 12'-9" O.C. MAX.

REFER TO DETAIL 1A/HS9 FOR SPACING.

- FINISH GRADE

— #3 STIRRUPS SPACED 18" O.C.

REFER TO DETAIL 5/HS10.

SAVWAY BENEATH GRADE BEAM.

3" CLR ALL SIDES

TO TOP OF WALL. CONNECT TO CMU BLOCKS WITH GALVANIZED

BRICK VENEER IN RUNNING BOND PATTERN, ON BACK SIDE OF

8"X8"X16" CMU BLOCKS WITH STONE & BRICK FACADE. FILL ALL

#5 VERTICAL REBAR SPACED 16" O.C. EXTEND TO TOP OF WALL.

CMU CELLS CONTAINING VERTICAL REBAR WITH COARSE GROUT.

SCALE: 3/4"=1'-0"

WALL. CONNECT BRICK TO CMU BLOCKS WITH GALVANIZED

REFER TO DETAIL 4/HS10.

SECONDARY ENTRY MONUMENT PIER LOCATION PLAN

18" DIA. CONCRETE PIER, TYP.

— PIERS SPACED 12'-9" O.C. ——

2'-0" HT. STONE WALL REFER TO DETAIL 2/HS9.

18" DIA. CONCRETE

TO DETAIL 5/HS10.

PIER, TYP. REFER -

REFER TO DETAIL 5/HS10.

1'-6" HT. CUSTOM LOGO, 1.10 TRACKING, 3-DIMENSIONAL LETTERING WITH 1" REVEAL. OWNER TO VERIFY FINISH. HIDDEN PIN-MOUNT TO BOARD AND

SCALE: 1/2"=1'-0"

7" HT. CUSTOM LOGO, 1.10 TRACKING, 3-DIMENSIONAL LETTERING WITH 1' REVEAL. OWNER TO VERIFY FINISH. HIDDEN PIN-MOUNT TO BOARD AND

7'-0" HT. SIGN WALL WITH STONE BASE

GENERAL NOTES - HARDSCAPE CONSTRUCTION

CAST-IN-PLACE CONCRETE ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL

CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33. 2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI

3. CONCRETE SHALL NOT BE PLACED IN RAINING OR

FREEZING WEATHER.

4. CHLORIDES SHALL NOT BE USED.

5. MAXIMUM AGGREGATE SIZE = 1".

CONCRETE REINFORCING STEEL

1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE. 2. PROVIDE THE FOLLOWING MINIMUM COVER FOR

CONCRETE CAST IN PLACE REINFORCEMENT: 2.1. CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES 2.2. CONCRETE EXPOSED TO EARTH OF WEATHER: (A) BARS LARGER THAN NO. 5: 2 INCHES

(B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES.

2.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER: 2.3.1. SLABS, WALLS AND JOISTS (A) BARS, LARGER THAN NO. 11: 1-1/2 (B) BARS NO. 11 AND SMALLER: 3/4 INCHES.

BEAMS AND COLUMNS: 1-1/2 INCHES SHELLS AND FOLDED PLATES 2.3.3. (A) BAR LARGER THAN NO. 5: 3/4 2.3.3.1. **INCHES**

2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES. 3. ALL REINFORCING STEEL SHALL BE CLEAN AND

FREE OF GREASE.

DRILLED PIERS PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM. 2. PIER REINFORCING AND CONCRETE SHALL BE

PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE. STEEL CASING IS REQUIRED WHEN MORE THAN 2

INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE. 4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL

VERTICAL PIER REINFORCING AS REQUIRED PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE

STRUCTURAL CONCRETE MASONRY UNIT CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM

1/2"x12" COMPOSITE BOARD TO ACT AS WALL CAP.

3/8" CDX BOARD FOR CMU BLOCK. CONNECT

TRIANGULARLY SPACED AT 1 PER 4 SQ FT.

TO CMU BLOCKS WITH GALVANIZED WALL TIES

1-1/2"x1" TREX COMPOSITE VERTICAL BATTEN. TREX MATERIAL TO MATCH CEDAR SIDING. CONNECT WITH GALVENIZED NAILS @ 12" O.C.

8"X8"X16" CMU BLOCKS WITH STONE FACADE. FILL ALL CMU CELLS CONTAINING VERTICAL REBAR WITH

BRICK VENEER IN RUNNING BOND PATTERN, ON BACK SIDE OF WALL. CONNECT BRICK TO CMU BLOCKS WITH GALVANIZED WALL TIES TRIANGULARLY SPACED AT 1

4" THICK STONE VENEER, ASHLAR PATTERN. - CONNECT TO CMU BLOCKS WITH GALVANIZED WALL TIES TRIANGULARLY SPACED AT 1 PER 4 SQ FT.

2-#5 BARS TOP AND BOTTOM CONTINUOUS

CONTINUOUS 6" HT. TRAPEZOIDAL VOID

FOR SPACING REFER TO DETAIL 1A/HS9.

BOX BY SAVWAY BENEATH GRADE BEAM.

CONTINUOUS CONCRETE GRADE BEAM. (16"x18")

18" DIA. CONCRETE PIER SPACED 12'-9" O.C. MAX.

SCALE: 3/4"=1'-0"

PAINT NAILS TO MATCH SIDING MATERIAL.

1"x12" TREX COMPOSITE BOARD. TREX MATERIAL TO MATCH CEDAR SIDING.

· 1"x2" FURRING STRIP SPACED 18" O.C #5 VERTICAL REBAR SPACED 16" O.C.

EXTEND TO TOP OF WALL.

#3 STIRRUPS SPACED 18" O.C

REFER TO DETAIL 5/HS10.

COARSE GROUT.

PER 4 SQ FT.

____ 3" CLR ALL SIDES

1"x4" FURRING ABOVE BATTENS

C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI. 2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH of 1500 PSI AT 28 DAYS.

3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED. 4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A

MAXIMUM AGGREGATE SIZE OF ½" IN ACCORDANCE WITH ASTM C476.REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING. REINFORCE HORIZONTAL JOINTS WITH

GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM. 6. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.

7. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS. 8. LAP VERITCAL REINFORCING BARS AT 72 BAR

DIAMETERS. 9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.

10. PLACE GROUT USING LOW-LIFT METHOD, 6'-8"

MAXIMUM LIFTS.

WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.

BEAM.

- 2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS
- 3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
- 4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
- 5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS
- 6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A82, GRADE 60. 7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
- 8. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
- 9. ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE
- 10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
- 11. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS. 13. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- 14. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
- 15. CLEAN STONEWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
- 16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
- 17. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.

-0" HT. SIGN WALL

SCALE: 3/4"=1'-0"

INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

SCALE:

JVC No SHA012B

SCALE: REFER TO DETAILS One Inch JVC No SHA012B

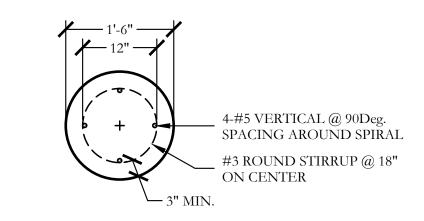
HS10 of 10



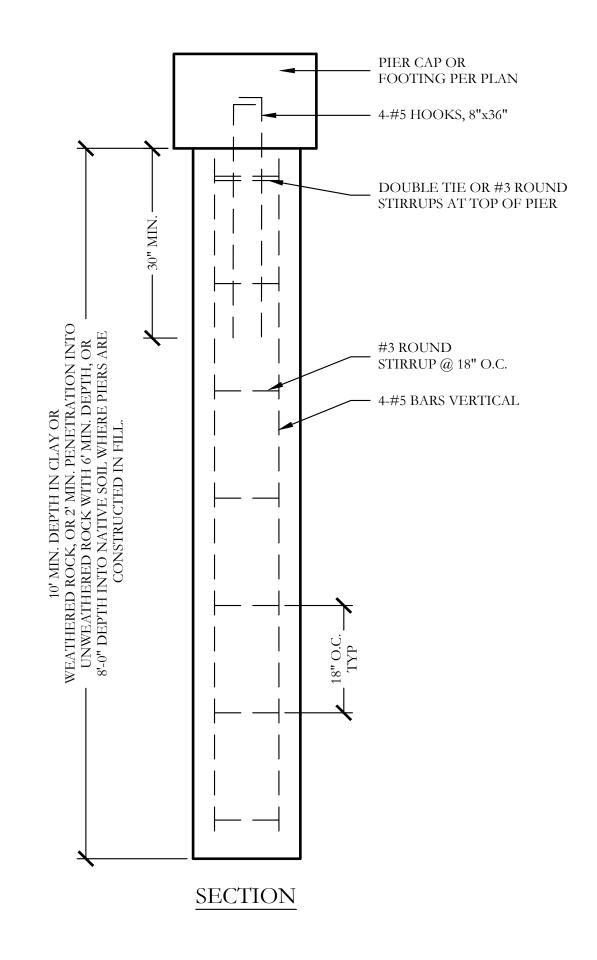
- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- 2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS. 4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL
- DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. 6. GRIND SMOOTH ALL WELDS.
- 7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- 8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER. 9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH
- ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH 10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
- 10.1. PICKETS, 3/4" SQUARE 16 GA.
- 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA. 10.3. POSTS, 2" SQUARE 11 GA.

TO THE OWNER FOR MATERIALS AND/OR LABOR.

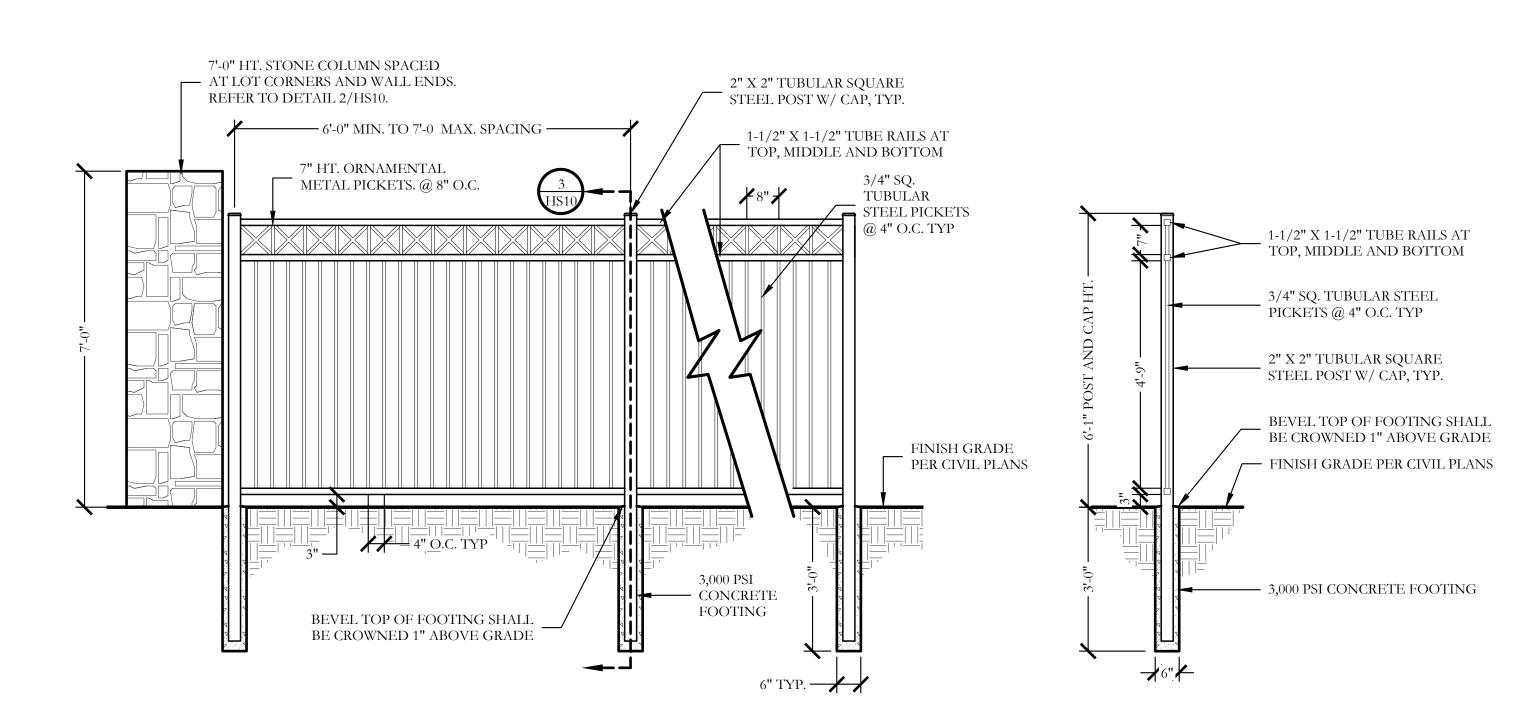
- 11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING
- DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES. 12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH
- 13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 7'-0" O.C 14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST

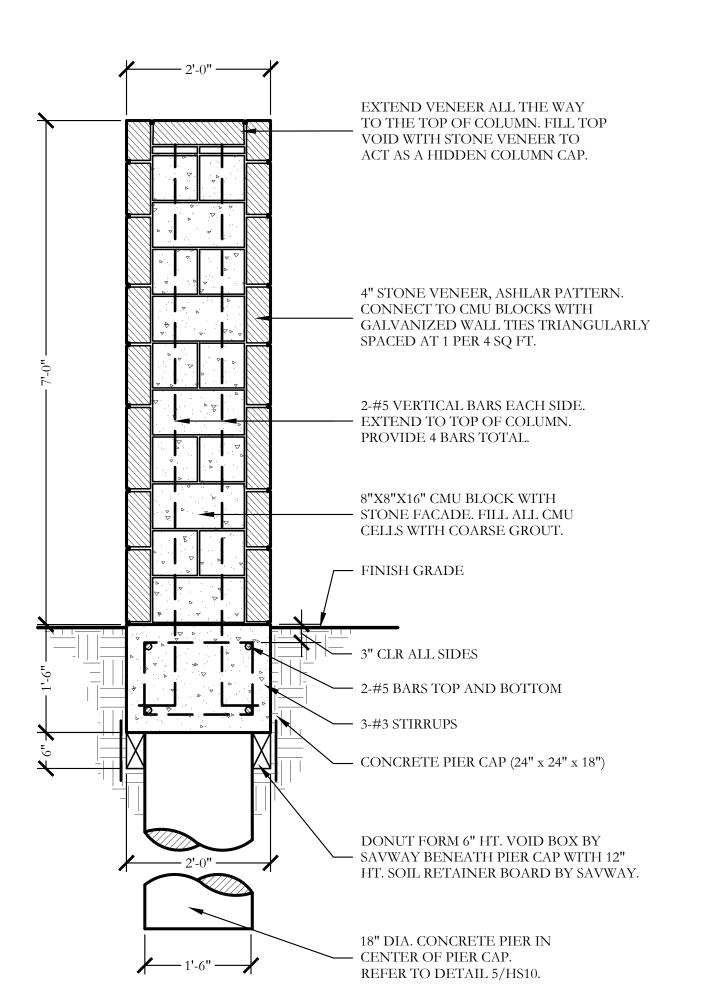


PLAN/SECTION



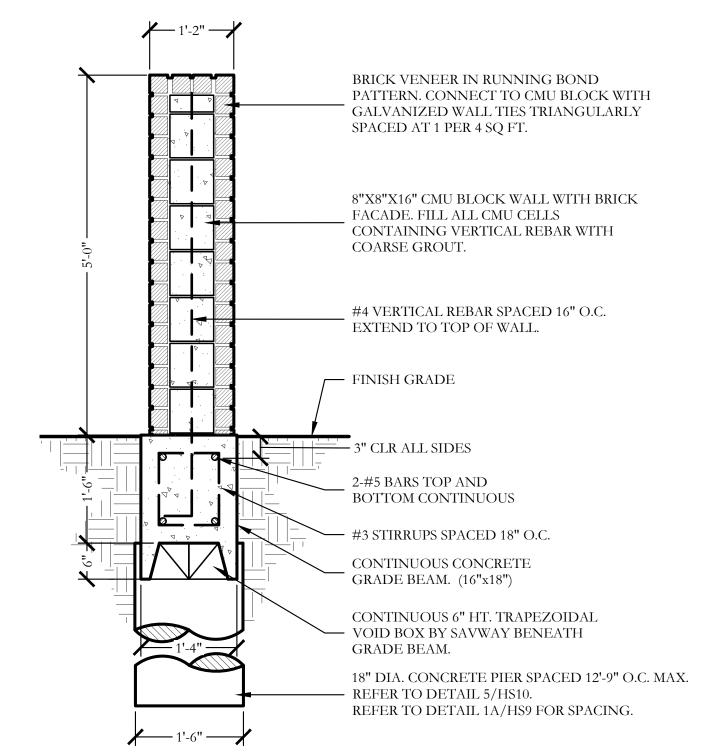






6'-0" HT. ORNAMENTAL METAL FENCE AND COLUMNS





TYP. METAL POST FOOTING

5'-0" HT. BRICK ACCENT WALL

SCALE: 3/4"=1'-0"

SCALE: 3/4"=1'-0"