#### **AGENDA**

# PLANNING AND ZONING COMMISSION WORK SESSION City Hall, 385 South Goliad, Rockwall, Texas Council Chambers June 25, 2019 6:00 P.M.

#### **CALL TO ORDER**

#### **CONSENT AGENDA**

1. Approval of Minutes for the May 28, 2019 Planning and Zoning Commission meeting.

#### 2. SP2019-015 (David)

Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

#### 3. SP2019-020 (Korey)

Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street, and take any action necessary.

#### 4. P2019-027 (David)

Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

# **APPOINTMENTS**

**5.** Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

#### **ACTION ITEMS**

#### 6. SP2019-014 (Korey)

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [*FM-740*], and take any action necessary.

#### 7. MIS2019-005 (David)

Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W. Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

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#### **DISCUSSION ITEMS**

# 8. P2019-026 (Korey)

Discuss and consider a request by Bill Bricker of Columbia Development Co., LLC for the approval of a preliminary plat for Lots 1-5, Block A, Park Station Addition, being a 16.26-acre tract of land identified as a portion of Lot 1, Block 1, Indalloy Addition (7.409-acres) and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1100 & 1300 E. Washington Street, and take any action necessary.

#### 9. SP2019-021 (David)

Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

# 10. SP2019-022 (Korey)

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing church on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street, and take any action necessary.

#### 11. SP2019-023 (David)

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

#### 12. SP2019-024 (Korey)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

#### 13. SP2019-025 (David)

Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.

- 14. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).
  - ✓ P2019-024: Vacating Plat for Lots 17 & 18, Block B, Lago Vista Addition [Approved]
  - ✓ Z2019-012: Zoning Change (AG to PD) for North Gate (1st Reading) [Approved]
  - ✓ Z2019-013: PD Development Plan in Planned Development District 32 (PD-32) (1st Reading) [Approved]

#### **ADJOURNMENT**

#### **15.** Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code § 55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of June 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

P&Z Agenda: 06.25.2019

# **AGENDA**

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room June 25, 2019 5:00 PM

#### **CALL TO ORDER**

#### **CONSENT AGENDA**

#### 1. SP2019-020 (Korey)

Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street, and take any action necessary.

# 2. SP2019-015 (David)

Discuss and consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

# **ACTION ITEMS**

### 3. SP2019-022 (Korey)

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing church on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street, and take any action necessary.

#### 4. SP2019-023 (David)

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

#### 5. SP2019-024 (Korey)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

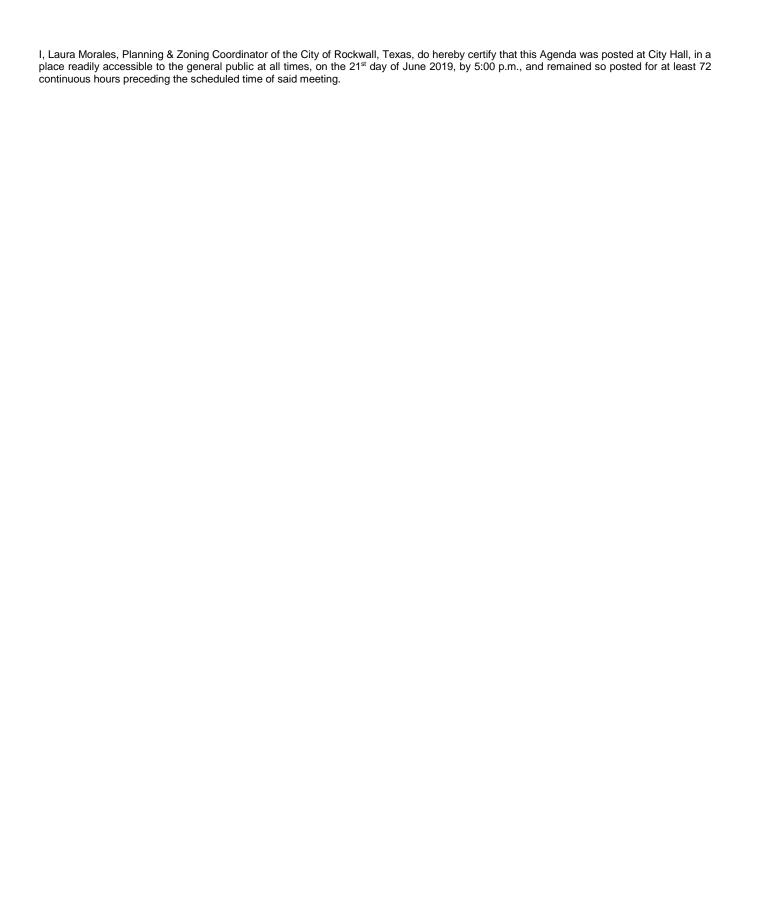
# 6. SP2019-025 (David)

Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.

#### **ADJOURNMENT**

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ARB Agenda: 06.11.2019



ARB Agenda: 06.11.2019

#### **AGENDA**

CAPITAL IMPROVEMENT ADVISORY COMMITTEE
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
June 25, 2019
6:30 P.M.

#### **CALL TO ORDER**

# **APPOINTMENTS**

1. MIS2019-001 (Ryan)

Discuss and consider the proposed Land Use Assumptions (LUA) Report and ten (10) year growth rate for the City of Rockwall, and take any action necessary.

#### **DISCUSSION ITEMS**

2. Additional discussion concerning the Impact Fee Update and Capital Improvements Advisory Committee issues.

# **ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of June 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

CIAC Agenda: 06.25.2019

#### **MINUTES**

# PLANNING AND ZONING COMMISSION WORK SESSION City Hall, 385 South Goliad, Rockwall, Texas Council Chambers May 28, 2019 6:00 P.M.

#### I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:01 p.m. The Commissioners present at the meeting were, Jerry Welch, Mark Moeller, Tracey Logan, John Womble, Eric Chodun and Annie Fishman. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planer Korey Brooks, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, Civil Engineers, Jeremy White and Sarah Hager.

#### II. CONSENT AGENDA

1. Approval of Minutes for the April 30, 2019 Planning and Zoning Commission meeting.

#### 2. P2019-020

Consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of replat for Lot 2, Block A, RISD Elementary School Addition being a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.

#### 3. P2019-021

Consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of Greencrest TPS Hotel, LP for the approval of a final plat of Lots 1-3, Block A, Town Place Marriott Addition being an 8.715-acre tract of land identified as a portion of Lot 1, Block B, Goldencrest Addition and Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

#### 4. P2019-022

Consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus of Atticus Summer Lee Townhomes for the approval of a replat for Lot 5, Block A, Harbor Village Addition, being a 2.12-acre tract of land currently identified as Lot 3, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located on the south side of Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

# 5. SP2019-019

Discuss and consider a request by Jerry Crouse of PS LPT Properties Investors on behalf of Public Storage for the approval of a site plan for an existing mini-warehouse facility on a 4.264-acre of land identified as Lot 1, Block B, Valk Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4028 N. Goliad Street [SH-205], and take any action necessary.

Commissioner Welch made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 7-0.

#### III. APPOINTMENTS

6. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Architectural Review representative gave a brief explanation concerning agenda items that were discussed at the Architectural Review Board meeting.

#### IV. ACTION ITEMS

# 7. SP2017-019

Discuss and consider a request by Himmat Chauhan of Best Western Plus for the approval of an extension of an approved site plan for a hotel on a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 700 E. IH-30, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation and background of the request. The applicant is requesting approval of an amended site plan for an existing mini-warehouse facility. On December 9, 2013, the City entered into a 212 Development Agreement with the then owner of the subject property Ronald C. Valk. On March 19, 2018, the City Council annexed the subject property by Ordinance No. 18-17. At the time of annexation, the subject property became subject to the requirements of the City's Municipal Code of Ordinances and the Unified Development Code.

Mr. Miller further noted that in March 2019, staff was made aware that some of the exterior lighting on the storage facility had been changed without the approval of a photometric plan. In response to this violation, Neighborhood Improvement Services contacted the owner of the property to inform them about the violation. Based on staff's examination of the site, the new light fixtures did not meet the requirements of the UDC. Specifically, the light fixtures were not fully shielded and directed downward causing ambient light to be shed onto the adjacent residential properties. Upon being contacted by the Neighborhood Improvement Services Department, the property owner submitted a photometric plan and lighting cutsheets proposing new light fixtures be installed that meet the requirements of the UDC. The submitted photometric plan shows that the new maximum light intensity at the property line will not exceed 0.2 FC, the maximum allowable light intensity stipulated by the UDC. In addition, the submitted plan does meet all of the requirements of the Unified Development Code. Since the mini-warehouse facility was constructed prior to being annexed, the City does not have a site plan for this facility and felt it necessary to bring this to the Planning and Zoning Commission for review and approval.

Mr. Miller advised the Commission that the applicant was present and available for questions as well as staff.

Chairman Lyons asked the applicant to come forward and speak.

Juan Vasquez 1919 S. Shiloh Road Garland, TX

Mr. Vasquez came forward and provided additional comments in regards to the request.

Chairman Lyons asked for questions from the Commission.

Commissioner Womble asked if any changes were being requested. Mr. Miller indicated no changes were being requested it is the same site plan that was brought initially.

Commissioner Chodun asked the reason the property was for sale. Mr. Vasquez shared that the applicant wasn't sure if he would continue with the project due to his market indicators and wanted to get an idea of what kind of inquires he would get however after four months on the market he has not had any inquiries.

Commissioner Moeller asked if the two year extension would suffice to allow the applicant to complete the project. Mr. Vasquez shared that it is the intent of the applicant to get started on the project and be far along in that two year period.

Chairman Lyons brought the item back to the Commission for discussion or action.

Commissioner Womble made a motion SP2019-019 with staff recommendations. Commissioner Moeller seconded the motion which passed by a vote of 5-2 with Commissioners Chodun and Welch dissenting.

#### 8. MIS2019-005

Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W. Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

#### Chairman Lyons indicated agenda item would be tabled until the next scheduled meeting.

#### 9. MIS2019-006

Discuss and consider a request by Glen Goodrich for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code for an accessory structure on a 0.2296-acre parcel of land identified as Lot 1, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 608 Christian Court, and take any action necessary.

Chairman Lyons indicated the applicant has requested to withdraw the case and no action would need to be taken.

#### V. DISCUSSION ITEMS

#### 10. Z2019-012

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family-1 (SF-1) District land uses on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the west side of Stodgehill Road [FM-3549] north of the intersection of Stodgehill Road [FM-3549] and Cornelius Road, and take any action necessary.

Senior Planner, Korey Brooks, advised the Commission that the applicant was present and would be discussing the case.

Chairman Lyons asked the applicant to come forward.

Ryan Joyce 1189 Waters Edge Drive Rockwall, TX

Mr. Joyce came forward and provided additional remarks in regards to the case. He shared the site plan for a potential development at the southwest corner of Clem Road and Stodgehill Road it is a 62.5 acre tract that has 40 lots on it. It will be a lower density development with all lots being minimum of 1 acre up to 1.8 and 1. 7acres with an additional 5.5 acre that will be a single family home. The development will have 75 foot front yard setbacks along with front facing garages. Mr. Joyce went on to share that he believes this development is a great project and is in high need for the north side of Rockwall. He indicated he was available for questions.

Commissioner Chodun asked if there was an estimated costs for the homes at this time. Mr. Joyce indicated that at this time he did not have the estimated cost for the homes however the lots will be available to retail the lot prices will range from \$100k to \$165k for the lots and all will be custom built.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

#### 11. Z2019-013

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of J-BR2, LLC for the approval of a PD Development Plan within Planned Development District 32 (PD-32), on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Sub-District* of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request. The applicant is requesting to amend an existing Planned Development Plan that had retail shops down Harbor Hills Drive and have since then changed that out to incorporate a parks space in between that and move several buildings also along Sunset Ridge Drive. The differences between this request and the previous plan is the location of the buildings, building placement issues and also the incorporation of the park area. The applicant is requesting to remove the building elevations and that can be dealt with at the time of site planning where they will be required to go before the Architectural Review Board. For the most part however the development requirements being requested are the same as previous and they would be required to adhere to all the design standards contained in Planned Development District 32. Mr. Miller advised the Commission that the applicant was not present and staff could answer any question.

Chairman Lyons asked for questions from the Commission.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

#### 12. SP2019-013

Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a *Freestanding Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as *Yellow Jacket Park*, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [*SH-205*] and Yellow Jacket Lane, and take any action necessary.

Planning Manager, David Gonzales, provided a brief explanation of the request. A Specific Use Permit was approved for this last year and they are going through site plan currently which will then be followed by Engineering and Building Inspections. Mr. Gonzales indicated Mr. John Gatz was present and available for questions as well as staff.

Chairman Lyons asked the applicant to come forward.

John Gatz 309 Edenborough Drive Anna, TX

Mr. Gatz came forward and provided additional comments pertaining to the request. He shared that they have negotiated a lease with the City of Rockwall to lease a portion where they can install a cell tower at the bottom portion of the park. The plans have all been submitted and they have received initial comments from staff and those will be addressed. He indicated he was available for questions.

Chairman Lyons asked for questions from the Commission

Commissioner Womble asked if the height is what was approved with the Specific Use Permit. Mr. Gonzales indicated it was and everything would need to follow the approved Ordinance.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

#### 13. SP2019-014

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on

P&Z Minutes: 05.28.2019

a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

Senior Planner, Korey Brooks, advised the Commission that the applicants were present and would provide details on the request and staff would answer any question.

Chairman Lyons asked the applicant to come forward.

Ahmed Helaluzzaman 545 Coventry Drive Grapevine, TX

Mr. Helaluzzman came forward and provided a brief explanation of the request. They are requesting to have space for worship as well as retail space. He indicated he was available for questions.

Chairman Lyons asked for any questions from the Commission.

Commissioner Chodun asked if there were any variances being requested. Mr. Brooks indicated there are several variances associated with the vertical and horizontal articulation and the applicant will be providing staff revisions.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

#### 14. SP2019-016

Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

Planning Manager, David Gonzales, provided a brief explanation of the request. The applicant is requesting to add additional buildings behind the existing buildings. The request went before the Architectural Review Board and they did recommend approval however they want the wainscot to be included with the existing buildings to have uniformity. Mr. Gonzales advised that the applicant was not present.

Chairman Lyons asked for questions from the Commission.

Commissioner Chodun asked if there were additional variances that the applicant was requesting. Mr. Gonzales indicated there would be for the horizontal articulation and since it is a metal building they do not meet the material requirement.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

#### 15. SP2019-017

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

Planning Manager, David Gonzales, advised the Commission that the request went before the Architectural Review Board and they forwarded their recommendation. Mr. Gonzales stated that the applicant was present and would provide details on the request.

Chairman Lyons asked the applicant to come forward.

Steven Homeyer (No address given)

Mr. Homeyer came forward and provided comments in regards to the request. The request is for a kennel daycare facility as well as night boarding with an outside exercise area. They are proposing an 8foot wooden fence around the exercise area and the intent for the wooden fence is to provide security and to keep the dogs from seeing surrounding activities. Mr. Homeyer indicated he was available to answer any questions the Commission may have.

Mr. Gonzales added that in regards to the fence, it is a screening fence and as far as what the UDC requires is a masonry fence therefore the wooden fence will be an exception they are requesting.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

#### 16. SP2019-018

Discuss and consider a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

Senior Planner, Korey Brooks, advised the Commission that the applicant was present and would provide details of the request and staff would be available to answer any question.

Chairman Lyons asked the applicant to come forward and speak.

Annalyse Valk 1450 TL Townsend suite 100 Rockwall, TX

Ms. Valk came forward and provided details pertaining to the request. They proposing to build a multi-tenant office warehouse building. Ms. Valk indicated she was available for questions.

Mr. Brooks added that two years ago the Planning and Zoning Commission approved a site plan for a similar facility with the applicant just north of the subject property. Since this will be located at a highly visible location the Architectural Review Board made a recommendation for this new facility match the old facility.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

- 17. Director's Report of post Council meeting outcomes of Planning & Zoning cases.
- ✓ Z2019-009: SUP for a Restaurant at 505 N. Goliad Street (1st Reading) [Approved]
- ✓ Z2019-010: SUP for Guest Quarters/Secondary Living Unit and Barn or Agricultural Accessory Building at 777 & 839 Cornelius Road (1st Reading) [Approved]
- ✓ Z2019-011: Amended PD Development Standards for Planned Development District 47 (PD-47) (1<sup>st</sup> Reading) [Approved]

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.

VI. ADJOURNMENT

375 376	Chairman Lyons adjourned the meeting at 6:43 p.m.
377 378	PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF
379	ROCKWALL, Texas, this day of, 2019.
380	
381	
382	
383 384	
385	
386 387	Johnny Lyons, Chairman
388	Attest:
389 390	
391	Laura Morales, Planning Coordinator
392 393	
394	
395 396	
397	40. Operital language and A. Lings Operatives Massives (OLAO) to 00 DMI
398 399	18. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM] Appointment with Eddie Hass of Freese and Nichols, Inc. and Matt Hickey, PE of Birkhoff, Hendricks &
400 401	Carter LLP to discuss Roadway, Water and Wastewater Impact Fees, the Ten-Year Growth Rate for the
401 402	City of Rockwall, and the proposed Land Use Assumptions report, and take any action necessary.
403 404	10. Planning and Zaning Commission Training Session [7:00 PM]
40 <del>4</del> 405	19. Planning and Zoning Commission Training Session [7:00 PM]  The Planning and Zoning Commission will hold a training session with the City Attorney immediately

following the adjournment of the May 28, 2019 Capital Improvements Advisory Committee Meeting.



PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE**: 06/25/2019

**APPLICANT:** Chris Lam, P.E.; Lam Consulting Engineering

CASE NUMBER: SP2019-015; Site Plan for Restaurant Less than 2,000 SF w/o Drive-Through

#### **SUMMARY**

Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

#### **BACKGROUND**

The subject property was a part of the original town incorporation for the City of Rockwall in 1873. On August 5, 2002, the City Council approved *Ordinance No. 02-46* zoning the property *Planned Development District 50 (PD-50)* for Residential Office (RO) District land uses. On June 3, 2019, the City Council approved a Specific Use Permit [i.e. *Ordinance No. 19-22, SUP No. S-208*] allowing the *Restaurant Less Than 2,000 SF without a Drive-Through or Drive-In* land use on the subject property. The existing single-family home is approximately 1,916 SF, and -- according to the City of Rockwall's Historic Resources Survey -- was constructed in 1915 using characteristics of Bungalow style architecture. Bungalow styled homes have a Craftsman influence, and typically have identifying features that include a low-pitched or gabled roof (*which is usually hipped*), wide unenclosed eave overhangs, exposed roof rafters, decorative or false beams under the gables, and full or partial width porches that are supported by tapered square columns.

# **PURPOSE**

The applicant, Chris Lam, P.E. of Lam Consulting Engineering, is requesting approval of a site plan for the purpose of converting a single-family home into a restaurant, without a drive-through or drive-in that is less than 2,000 SF within Planned Development District 50 (PD-50). More specifically, the applicant is proposing to convert the existing single-family home to a commercial property to accommodate the proposed restaurant land use (i.e. Bonafide Betties Pie Company).

# **ADJACENT LAND USES AND ACCESS**

The subject property is located at 505 N. Goliad Street. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property is a local boutique (i.e. Hallie B's), situated on a 0.2296-acre parcel of land. This property is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Beyond this property is a continuation of Planned Development District 50 (PD-50).

<u>South</u>: Directly south of the subject property is a vacant 0.420-acre parcel of land. This property is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Beyond this property is a continuation of Planned Development District 50 (PD-50).

<u>East</u>: Directly east of the subject property are local businesses and residential properties along N. Goliad Street that are zoned Planned Development District 50 (PD-50) for Residential Office District (RO) land uses. Beyond these properties are single-family residential homes zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property are single-family homes zoned Single-Family 7 (SF-7) District.

# **DENSITY AND DIMENSIONAL REQUIREMENTS**

Currently, the applicant is in the process of converting the residential structure to a commercial structure. Since the land use is changing from a residential land use to a commercial land use, the property is required to construct a parking lot and provide ADA compliant access to the proposed residential-office building. The proposed parking lot will have five (5) parking spaces located behind the main structure and two (2) parallel parking spaces located on the north side of the building. The ADA ramp and sidewalk will be located adjacent to the east façade of the building (*i.e. the front of the building*) that faces Goliad Street.

The submitted site plan generally conforms to the technical requirements contained within the UDC for a property located within Planned Development District 50 (PD-50). A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning Standards	District	Conformance to the Standards
Minimum Lot Area	6,000 SF		X=10,019 SF: In Conformance
Minimum Lot Frontage	60-Feet		X=~84-Feet: In Conformance
Minimum Lot Depth	100-Feet		X=~113-Feet: In Conformance
Minimum Front Yard Setback	25-Feet		X=25-Feet: In Conformance
Minimum Rear Yard Setback	30-Feet		X=30-Feet: In Conformance
Minimum Side Yard Setback	10-Feet		X=10-Feet: In Conformance
Maximum Building Height	36-Feet		X=~25-Feet: In Conformance
Max Building/Lot Coverage	40%		X=~19%: In Conformance
Minimum Masonry Requirement	90%		100%: In Conformance Wood Siding
Minimum Number of Parking Spaces	8 Spaces		7 Spaces: In Conformance Per SUP
Minimum Stone Requirement	N/A		N/A Per NGC OV Standards
Minimum Landscaping Percentage	N/A		N/A
Maximum Impervious Coverage	N/A		N/A

# **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 6.04.E, *Parking Area Restrictions*, of Section 6, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), "...any surface parking shall be provided in well-screened parking lots at the rear or behind the main façade of the building..." Additionally, new buildings or alterations shall be compatible with the adjoining area. In this case, the applicant is locating the parking lot to the rear and north side of the property (*i.e. behind the front façade*), which conforms to the NGC OV district standards. Additionally, since the applicant will install a minimum six (6) foot tall *board-on-board* fence, the request appears to be in conformance with the overlay district's requirements with regard to parking lot screening. Since, the structure is being converted from a residential land use to a commercial land use, modifications to

the site will be required. In this case, the applicant has provided a full scope of work detailing all changes to the site.

# <u>INFRASTRUCTURE</u>

Planned Development District 50 (PD-50) requires a cross access easement on all adjoining properties when the use has changed from a residential land use to a non-residential land use. An access plan for PD-50 is also included in the OURHometown Vision 2040 Comprehensive Plan under Appendix 'A', *Small Area Plans*. The subject property will be incorporating a 24-foot wide drive aisle and connecting to the cross access easement on the adjacent property to the north (*i.e. 507 N. Goliad Street*). This will provide ingress/egress for both properties, while meeting the intent of the access plan contained in the Comprehensive Plan.

# **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, the subject property is located in the Downtown District and is designated for <a href="Live/Work">Live/Work</a> land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Contained in the Downtown District is the North Goliad Corridor, which is a unique live/work corridor that offers residential units, offices, event venues, and boutiques. The intent of the North Goliad Corridor is not only to protect and preserve the historic architecture and significance within the district, but to also ensure that infill development does not negatively impact the surrounding properties or the district. In this case, the applicant's request appears to be in conformance with the Future Land Use Plan. Specifically, the proposed office building is an existing single-family home and the applicant is not proposing to make any structural changes to the exterior of the building when the home is converted to an office building.

# **ARCHITECTURAL REVIEW BOARD (ARB):**

The Architectural Review Board (ARB) will review the building elevations at the June 25, 2019 meeting, and will provide a recommendation to the Planning and Zoning Commission.

# **HISTORIC PRESERVATION ADVISORY BOARD (HPAB):**

On June 20, 2019, the Historic Preservation Advisory Board (HPAB) reviewed the applicant's request and passed a motion to approve a Certificate of Appropriateness (COA) by a vote of 4-0 with Board Members Daniels, Mischler, and Bowlin absent.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's site plan request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed;
- (2) Submittal and approval of civil engineering plans and plat are required prior to the approval of a Certificate of Occupancy (CO);
- (3) Adherence to the operational conditions established in the Specific Use Permit (SUP) are required for continued operation; and,
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **City of Rockwall**



5/16/2019 LM

# **Project Plan Review History**

**Project Number Project Name** 

SP2019-015

SITE PLAN

505 N. Goliad Street

Owner Applicant STAINED, GLASS CREATIONS INC LAM CONSULTING ENGINEERING

Lot No

**Applied Approved** Closed

**Expired** 

Status 6/18/2019 DG

Type

Subtype

Status **P&Z HEARING** 

**Site Address** 

Subdivision

City, State Zip

Tract

505 N GOLIAD ST

ROCKWALL, TX 75087

Zoning

**Block** 

**Parcel No** 

**General Plan** 

ARTVENTURES STUDIO ADDN

20B

3050-020B-0023-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	5/16/2019	5/23/2019			
ENGINEERING	Sarah Hager	5/16/2019	5/23/2019	5/24/2019	8 COMMENTS	

(5/24/2019 11:26 AM SH)

- Bump out islands to have 20' long parking space.
- Pave to have 24' drive isle.

The following if for your information for engineering design.

- 4% Engineering Fees.
- Impact fees.
- Must have detention.
- TXDOT permit required if touching the ROW.
- Walls 3' and over must be engineered.
- All walls to be rock or stone face. No smooth concrete walls allowed.
- Must meet all City Standards of Design and Construction

FIRE	Ariana Hargrove	5/16/2019	5/23/2019	5/23/2019	7	APPROVED	
GIS	Lance Singleton	5/16/2019	5/23/2019	5/22/2019	6	APPROVED	
PLANNING	David Gonzales	6/18/2019	6/25/2019	6/18/2019		COMMENTS	See comments

#### PLANNING AND ZONING 2nd ROUND COMMENTS (06.18.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

- \*\* Planning Department General Comments & Requirements:
- 1. Adherence to the SUP Requirements, standards of the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
- 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).
- 3. Submittal and approval of a Certificate of Appropriateness(COA) by the Historic Preservation Advisory Board (HPAB) for the site plan, and any exterior changes requiring approval of a COA.
- \*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

#### Site Plan:

1. The site plan requires a recommendation forwarded to the Planning and Zoning Commission from the Historic Preservation Advisory Board(HPAB).

#### **Building Elevations:**

- 1. Changes to the building elevations require a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.
- \*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

#### Meeting Dates to Attend

Architectural Review Board: June 25, 2019 (5:00 p.m.) [Consent Agenda]

Planning - Consent Agenda: June 25, 2019 (6:00p.m.) [P&Zto take action (i.e. approve, approve with conditions, deny)]

\*\* IF REQUIRED -- City Council - Action: Monday, July 1, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] \*\*

PLANNING David Gonzales 5/16/2019 5/23/2019 6/18/2019 33 COMMENTS See comments

Project Reviews.rpt Page 2 of 4

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

#### PLANNING AND ZONING 1ST ROUND COMMENTS (06.18.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

- \*\* Planning Department General Comments & Requirements to address/acknowledge:
- 1. Adherence to the SUP Requirements, standards of the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
- 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).
- 3. Submittal and approval of a Certificate of Appropriateness(COA) by the Historic Preservation Advisory Board (HPAB) for the site plan, and any exterior changes requiring approval of a COA.
- 4. Label all revised site plan documents with "Case No. SP2019-015" at the lower right corner of each plan.
- \*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

#### Site Plan:

- 1. Delineate and label the minimum 25-foot front yard set-back for the Residential Office (RO) District.
- 2. Label the access easements as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for each).
- 3. The site plan requires a recommendation forwarded to the Planning and Zoning Commission from the Historic Preservation Advisory Board (HPAB).

#### **Building Elevations:**

- 1. Changes to the building elevations require a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.
- \*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

#### Meeting Dates to Attend

Architectural Review Board: June 25, 2019 (5:00 p.m.) [Consent Agenda]

Planning - Action: June 25, 2019 (6:00p.m.) [P&Zto take action (i.e. approve, approve with conditions, deny)]

\*\* IF REQUIRED -- City Council - Action: Monday, July 1, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] \*\*

Police Department David Gonzales 5/23/2019 5/30/2019 5/23/2019 COMMENTS See comments

Project Reviews.rpt Page 3 of 4

(5/23/2019 5:52 PM DG)

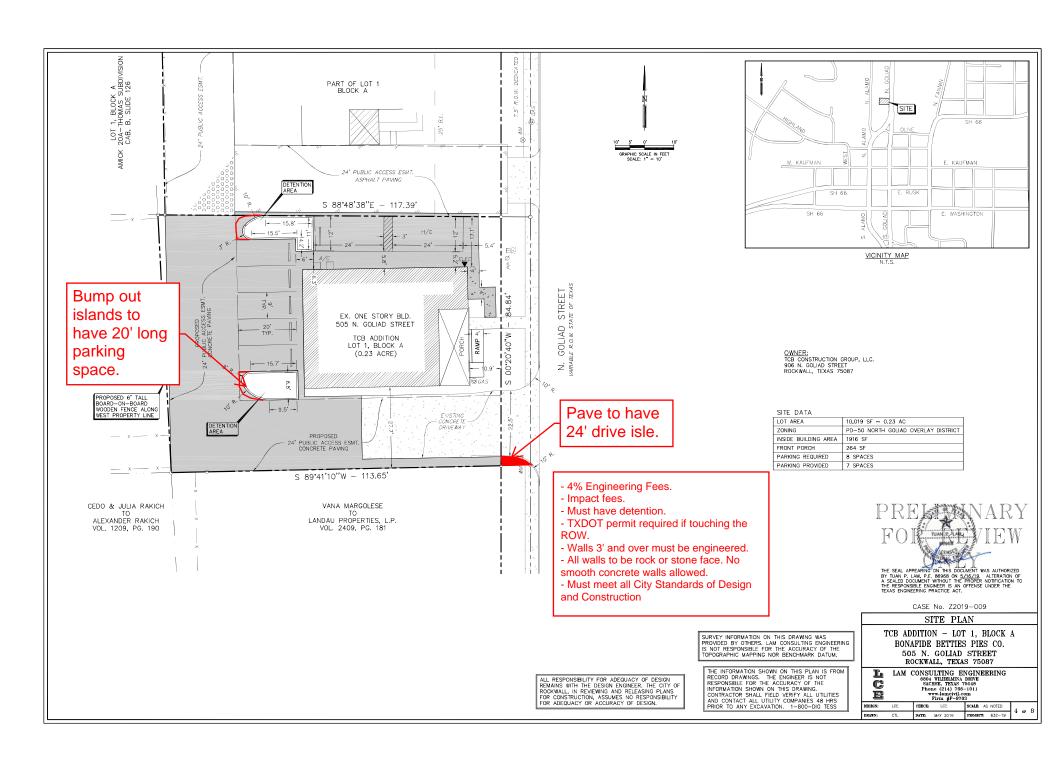
Comments provided by Capt. Ed Fowler - Police

#### SP2019-015 - BONAFIDE BETTIES PIES CO

#### Considerations:

- Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.)
- Place high resolution cameras on corners of building and interior.
- Equip doors with motion sensor alarms, windows with glass break alarms and interior proximity alarms.
- Consider target hardening with industrial standard or greater locking devices for all doors
- Lighting placed upon all sides of the exterior the buildings, over doors and at the rear of property (West) to illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.
- Ensure trees and bushes are trimmed within acceptable standards (Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement ownership and enhance natural lines of sight at night around the business.
- Consider appropriate lighting of parking lot to eliminate hiding places for suspect and prevent accidents

Project Reviews.rpt Page 4 of 4



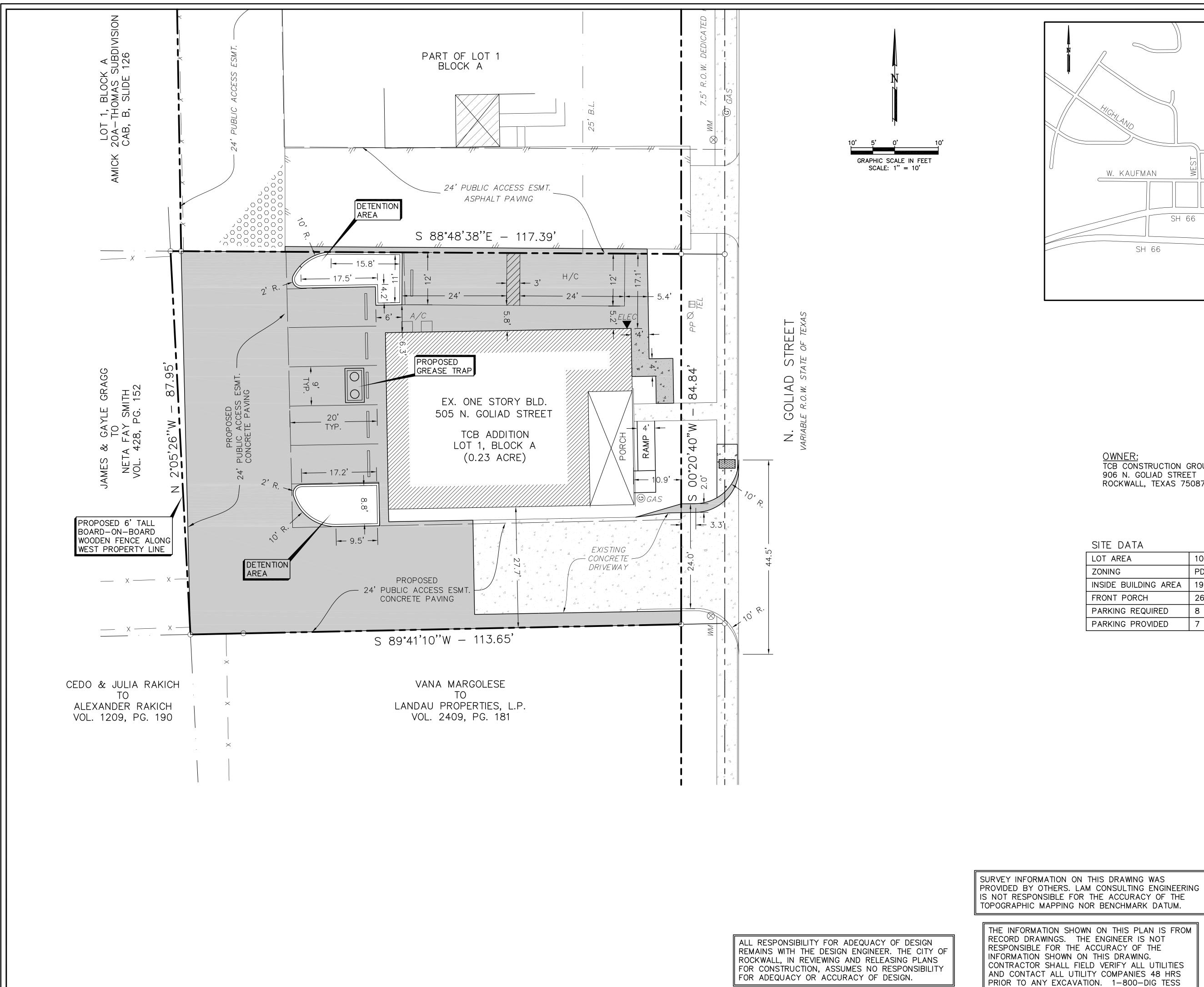


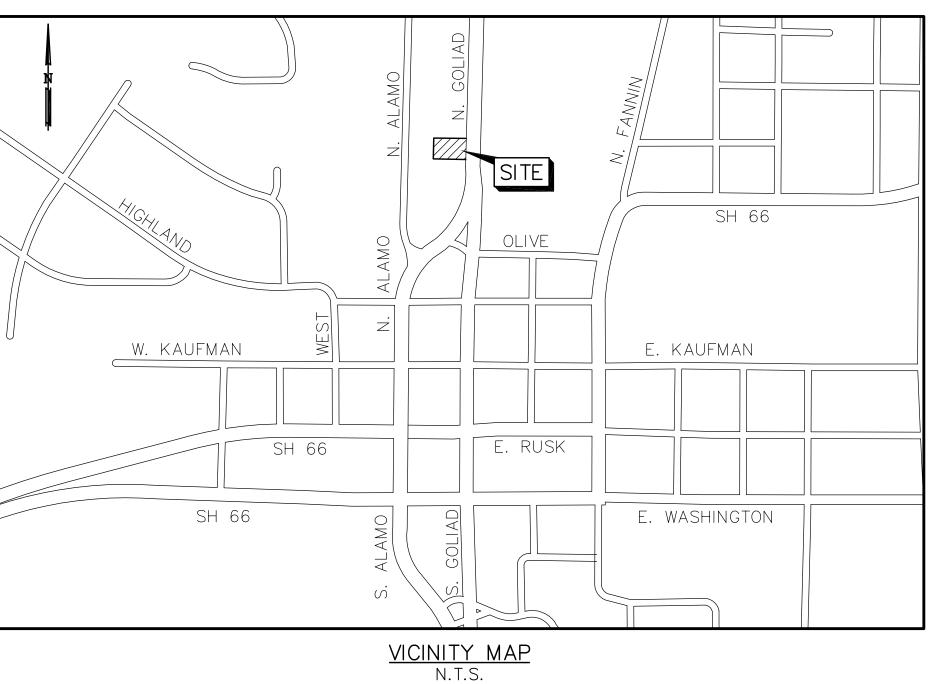


# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







OWNER: TCB CONSTRUCTION GROUP, LLC. 906 N. GOLIAD STREET ROCKWALL, TEXAS 75087

SIIL DAIA	
LOT AREA	10,019 SF ~ 0.23 AC
ZONING	PD-50 NORTH GOLIAD OVERLAY DISTRICT
NSIDE BUILDING AREA	1916 SF
FRONT PORCH	264 SF
PARKING REQUIRED	8 SPACES
PARKING PROVIDED	7 SPACES



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 6/18/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE No. SP2019-015

# SITE PLAN

TCB ADDITION - LOT 1, BLOCK A BONAFIDE BETTIES PIES CO. 505 N. GOLIAD STREET ROCKWALL, TEXAS 75087



LAM CONSULTING ENGINEERING 6804 WILHELMINA DRIVE SACHSE, TEXAS 75048

Phone (214) 766-1011 www.lamcivil.com Firm #F-9763

DESIGN:	LCE	CHECK: LCE	SCALE: AS NOTED	1		Ω
DRAWN:	CTL	<b>DATE:</b> MAY 2019	<b>PROJECT:</b> 632-19	4	OF	U



PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE:** June 25, 2019

**APPLICANT:** Dub Duphrate & Associates

CASE NUMBER: SP2019-020; Site Plan for 4035 N. Goliad Street

# **SUMMARY**

Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street, and take any action necessary.

# **BACKGROUND**

The subject property was annexed in 1983 [Ordinance No. 83-57], is zoned Residential Office (RO) District, is situated within the North SH-205 Overlay (M. SH-205 OV) District, and is addressed as 4035 N. Goliad Street. The home on the subject property was most recently used as a single-family home.

# **PURPOSE**

The applicant is requesting approval of a site plan for the purpose of converting a residential structure into a residential-office facility. The proposed residential-office facility is currently a single-family home and based on the applicant, the intent is to convert the structure into a residential office facility for a real estate office. Since the use is being converted from a residential to a non-residential land use, the construction of a parking lot is required. According to the applicant, no other changes will be made to the exterior of the building.

#### ADJACENT LAND USES AND ACCESS

The subject property is located 4035 N. Goliad Street. The land uses adjacent to the subject property are as follows:

<u>North</u>: Directly north of the subject property is a single-family home that has been converted into a hair salon (*i.e. Big Mama*'s *House*). Beyond this is a large vacant tract of land followed by the city limits of Rockwall. These areas are zoned Residential (R-O) Office and Agricultural (AG) Districts.

<u>South</u>: Directly south of the subject property there is a commercial business (*i.e. ALS Plumbing*) and a single-family residential subdivision (*i.e. Harlan Park Subdivision*). There areas are zoned Residential (R-O) Office and Single-Family 10 (SF-10) Districts.

<u>East</u>: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this is a mini-warehouse facility (i.e. Public Storage), which delineates the city limits of Rockwall.

<u>West.</u> Directly west of the subject property there is a single-family residential subdivision (*i.e. Castle Ridge Subdivision*), which is zoned Single-Family 10 (SF-10) District. Following Lake Ray Hubbard, which is located in the City of Dallas.

# **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, Land Use Schedule, of Article IV, Permissible Uses, of the Unified Development Code (UDC), the proposed use (i.e. a residential-office facility) is allowed by-right in a Residential (R-O) District and will not require any additional approval with regard to land use. The submitted site plan and landscape plan generally conform to the technical requirements contained within the UDC for a property located within a Residential Office (R-O) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	6000 SF	X=13,939 SF; In Conformance
Minimum Lot Frontage	60-Feet	X=97 Feet; In Conformance
Minimum Lot Depth	100-Feet	X=124=Feet; In Conformance
Minimum Front Yard Setback	25-Feet	X=25-Feet; In Conformance
Minimum Rear Yard Setback	30-Feet	X=30-Feet; In Conformance
Minimum Side Yard Setback	10-Feet	X=10-Feet; In Conformance
Maximum Building Height	36-Feet	X=28-Feet; In Conformance
Max Building/Lot Coverage	40%	X=0.08%; In Conformance
Minimum Masonry Requirement	90%	X=90%; In Conformance
Minimum Number of Parking Spaces	4-Spaces	X=10-Spaces; In Conformance
Minimum Stone Requirement	0%	X=0; In Conformance
Minimum Landscaping Percentage	25%	X=42%; In Conformance
Maximum Impervious Coverage	75-80%	X=60%; In Conformance

#### TREESCAPE PLAN

This request does not require a treescape plan since there are no protected trees being removed.

#### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 4.2, Residential Office (R-O) District, of Section 5, Commercial Districts, of Article V, District Development Standards, of the Unified Development Code (UDC), the Residential Office (R-O) District is "...a zoning district intended to recognize the existence of older residential areas of the city where larger houses have been or can be converted from single-family uses to low-intensity office uses in order to extend the economic life of these structures...". The UDC goes on the states that a Residential Office (R-O) District should have principle access to major or secondary thoroughfares and serves as a transition between high intensity, non-residential areas to lower intensity residential areas. In this case, the only exterior improvement will be the construction of the parking lot and will be located behind the existing structure and screened from the residential properties to the west. Given the proposed improvements and the fact that the residential office facility is allowed byright in a Residential Office (RO) District, the applicant's request appears to conform to the intent of the Residential Office (R-O) District (i.e. an older home converted into a low-intensity office use).

# **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OurHometown Vision 2040 Comprehensive Plan designates the subject property as being situated within the North Lakeshore District. This district is an established district that is significantly developed

with medium density housing and it is not anticipated that the district's development patterns will change drastically. Live/work arrangements in this district are intended to provide a low intensity transition from residential properties to N. Goliad Street [SH-205]. Typical live/work should be constructed to a similar residential scale as the adjacent residential properties. In this case, the applicant is proposing to convert a single-family home into a residential office facility (*i.e. live/work arrangements*). Given the zoning district (*i.e. Residential Office (R-O) District*) and the idea that the proposed residential office facility will serve as a transition from a busy roadway and the lower intensity residential land uses, the applicant's request appears to be in conformance with the district strategies of the North Lakeshore District.

# **ARCHITECTURAL REVIEW BOARD (ARB):**

This request does not involve exterior improvements to the exterior of the structure.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The applicant shall plant a thick vegetative screening consisting of three (3) tier vegetation (*i.e. a combination of shrubs, tall grasses, and mature trees*) along the west property line;
- (2) The applicant shall provide an updates site plan and landscape plan reflecting the landscape screening.
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **City of Rockwall**



# **Project Plan Review History**

**Project Number Project Name** 

SP2019-020

4035 N. Goliad Street

Type

Subtype Status

SITE PLAN

Staff Review

**Applicant** 

Owner

CLARK, BRUCE

DUB DOUPHRATE AND ASSOCIATES

**Applied Approved** Closed

6/6/2019 LM

**Expired Status** 

Site Address

City, State Zip

4035 N GOLIAD ROCKWALL, TX 75087

Zoning

Subdivision

Tract

**Block** 

Lot No

**Parcel No** 

**General Plan** 

**CASTLE RIDGE PH 1** 22 22 0187-0000-0022-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
BUILDING	Russell McDowell	6/6/2019	6/13/2019				
ENGINEERING	Sarah Hager	6/6/2019	6/13/2019	6/21/2019	15 COMMENTS		
(6/21/2019 1·44 PM	1 SH)						

- Drive isle to be minimum 24' wide to face of curb.
- New driveway return can't cross property lines without adjacent property owners permission.

The following items are for your information for enginering design.

- Check with fire dept for fire hydrants needed no water line to property w/ capacity for FH
- 4% Engineering
- Impact fees for upsizing tap
- Must have detention
- Detention for any new impervious areas
- Drive isle to be 24' min
- TxDOT permit for driveway
- Walls 3' and over must be engineered
- All retaining walls to be rock or stone face
- Must meet City Standards for Design and Construction
- Need to show existing water & sewer w/size and connections
- ROW dedication for SH 205 (60' from center)

FIRE	Ariana Hargrove	6/6/2019	6/13/2019
GIS	Lance Singleton	6/6/2019	6/13/2019

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	d Status	Remarks
PLANNING	Korey Brooks	6/6/2019	6/13/2019	6/20/2019	14	COMMENTS	Comments
							·

SP2019-020 Site Plan for 4035 N Goliad: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- 1. This is a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street.
- 2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- 3. For reference, include the case number (SP2019-020) in the lower right hand corner of all pages on future submittals.
- 4. Will any exterior lighting be added?
- 5. The parking lot will need to be screened from the adjacent residential properties.
- 6. Please show ADA ramp if one is being added/existing. Also, the accessible path will need to be shown.
- 7. Please show centerline of N. Goliad.
- 8. Please show where the ground mounted equipment will be located and show the proposed screening.
- 9. Please show and label 25-foot setback adjacent to N. Goliad.
- 10. Please show and label the 25-foot landscape buffer adjacent to N. Goliad and note the requirements below. Also, please do not encroach any easements with the LS buffer.
- a. All landscape buffers shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway.
- b. All canopy trees, accent trees, shrubs and ground cover proposed to be planted in any overlay district shall be in conformance to the tables depicted in Appendix F, Landscaping Guidelines and Requirements, of this Unified Development Code (UDC) and shall be subject to the following sizes: a. Canopy Trees shall be a minimum of four (4) caliper inches at DBH. b. Accent Trees shall be a minimum of four (4) feet in total height. c. Deciduous Shrubs shall be a minimum of two (2) gallons in size. d. Evergreen Shrubs shall be a minimum of two (2) gallons in size.
- 11. Will cross access be provided for the adjacent RO building?
- 12. Will there be a dumpster on site?
- 13. Will there be any exterior modifications to the building?
- 14. Can you please show the grass/groundcover as some type of stipple hatch and the concrete areas as a shade of grey?
- 15. Please show all easements.
- 16. Can you please show the new drive vs old drive as some type of hatch?
- 17. Please check with engineering, but it appears that your driveway is too narrow. The min width is 20-feet.
- 18. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2019. The Planning and Zoning Meeting is on June 25th, 2019

Project Reviews.rpt Page 2 of 2

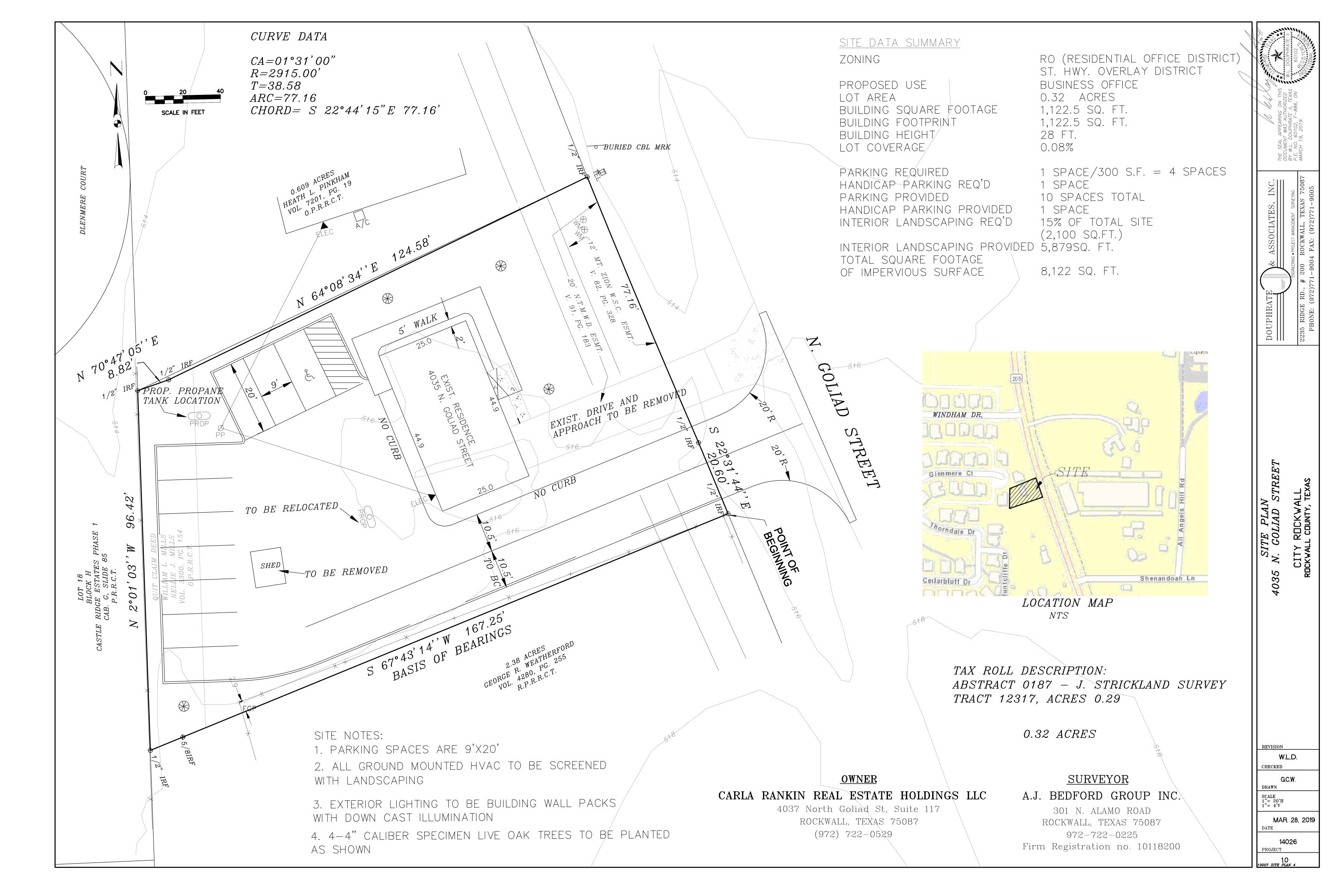




# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**TO:** Planning and Zoning Commission

**DATE:** June 25, 2019

APPLICANT: Kyle Coleman Harris; Pacheco Koch Consulting Engineers

CASE NUMBER: P2019-027; Lot 3, Block A, Channell Subdivision Addition

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

# **SUMMARY**

Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

# **PLAT INFORMATION**

- ☑ The applicant is requesting the approval of a replat for an 18.762-acre parcel of land [i.e. Lot 2, Block A, Channell Subdivision Addition] for purpose of abandoning certain portions of the platted firelane & water easements. Additionally, the replat will realign the western drive aisle. The subject property is located within the SH-205 By-Pass Overlay (SH-205 BY OV) and is addressed as 1700 John King Boulevard.
- ☑ On June 14, 2019, Mark Pross of Pross Design Group, Inc., submitted an amended site plan [i.e. Case NO. SP2019-021] in conjunction with this replat for the purpose of establishing outside storage areas on the subject property and to realign the western drive aisle.
- ☑ On July 8, 2014, the Planning and Zoning Commission approved a site plan for the construction of the warehouse/manufacturing facility. On July 21, 2014, the City Council approved all associated variances, waivers, and exceptions requested by the applicant in conjunction with the site plan.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 3, Block A, Channell Subdivision Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Prior to the filing of this plat, the easements will need to be adjusted in accordance with the approved site plan (i.e. Case No. SP2019-021).
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **City of Rockwall**



6/14/2019 LM

# **Project Plan Review History**

**Project Number** P2019-027

Lot 3, Block A, Channell Subdivision **Project Name** 

Type PLAT **REPLAT** Subtype Status Staff Review Owner WILLCAR HOLDINGS LLC

Applicant PACHECO KOCH CONSULTING ENGINEERS **Applied Approved** Closed

**Expired** Status

**Site Address** 

City, State Zip

1700 JUSTIN RD ROCKWALL, TX 75087 Zoning

Subdivision

Tract

**Block** Α

Lot No

2

**Parcel No** 

3369-000A-0002-00-0R

**General Plan** 

2 **ROCKWALL INDUSTRIAL EAST** 

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3 APPROVED	
ENGINEERING (6/21/2019 11:02 A	Sarah Hager M SH)	6/14/2019	6/21/2019	6/21/2019	7 COMMENTS	

- Plat cannot be filed until Site Plan and Engineering are approved.
- Only hatch the parts of the easements that are being abandoned.
- Re-align the water line in the fire lane.
- Add note 7 under the paragraph that starts, "I further acknowledge that the dedications..." 7. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.

PLANNING	David Gonzales	6/14/2019	6/21/2019	6/18/2019	4	COMMENTS	See comments
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
FIRE	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7	APPROVED	

Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

\*\* Planning Department General Comments to be addressed:

The following staff comments are to be addressed and resubmitted no later than Tuesday July 2, 2019. Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a final review by staff:

- \*\* Planning Department General Comments to be addressed:
- 1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC) and the staff comments provided by the Planning Engineering, Building Inspections, and Fire Department as indicated in this Project Plan Review document and prior to filing of the plat
- 2. Provide a label indicating "Case No. P2019-027" on the lower right corner on all pages of the revised final plat.
- 3. Change the Title Block and Plat from Lot 2R to "Lot 3" as the City uses a sequential numbering system and not "R" for replat.
- 4. Correct Title Block to read as follows:

Final Plat

Lot 3, Block A, Channell Subdivision

Being a replat of Lot 2, Block A, Channell Subdivision

1 Lot, Being 18.762-Acres

And Being Out of The Nathan Butler Survey, Abstract No. 20,

The Archibald Hanna Survey, Abstract No. 99

And the David Harr Survey, Abstract No. 102,

An Addition to the City of Rockwall, Rockwall County, Texas

- 5. Page 3: Notary Certificates:
- a. remove if not needed for mortgage or lien holder interest
- b. not necessary when plat is stamped by surveyor.

Meeting Dates Scheduled:

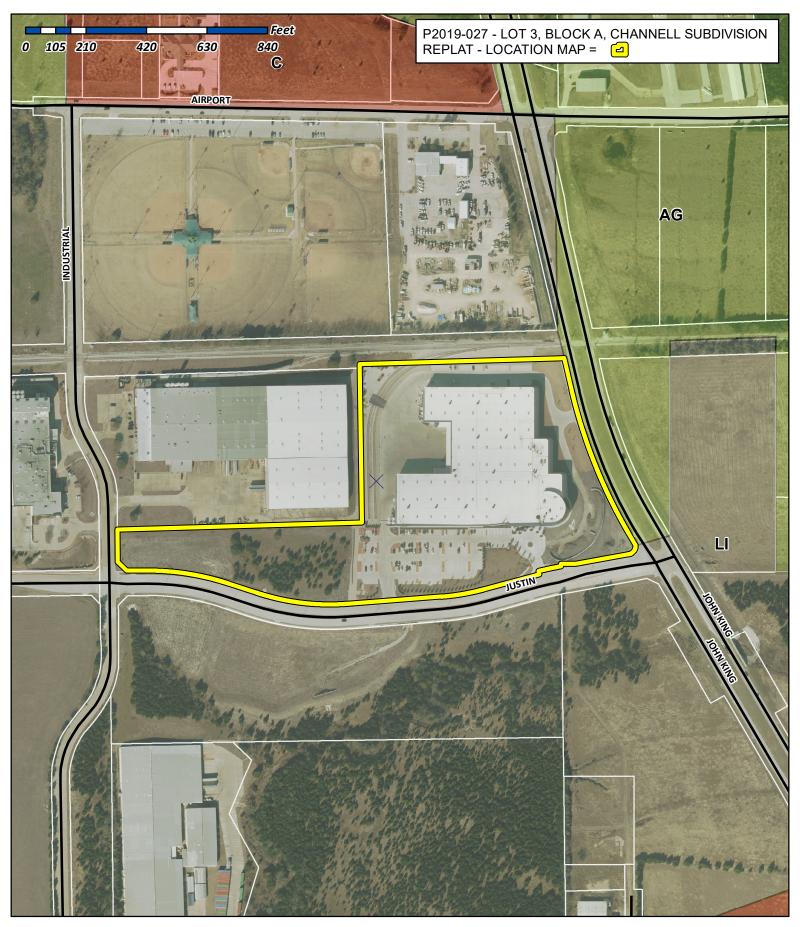
Planning - Consent Agenda: June 25, 2019 (Tuesday at 6:00 p.m.)

City Council - Consent Agenda: July 1, 2019 (Monday at 6:00 p.m.)

Project Reviews.rpt Page 2 of 2

<sup>\*\*</sup> As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing purposes. \*\*

<sup>\*\*</sup> This plat case will be on the Consent Agenda. It is optional for you and/or your representative(s) to be in attendance for this request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

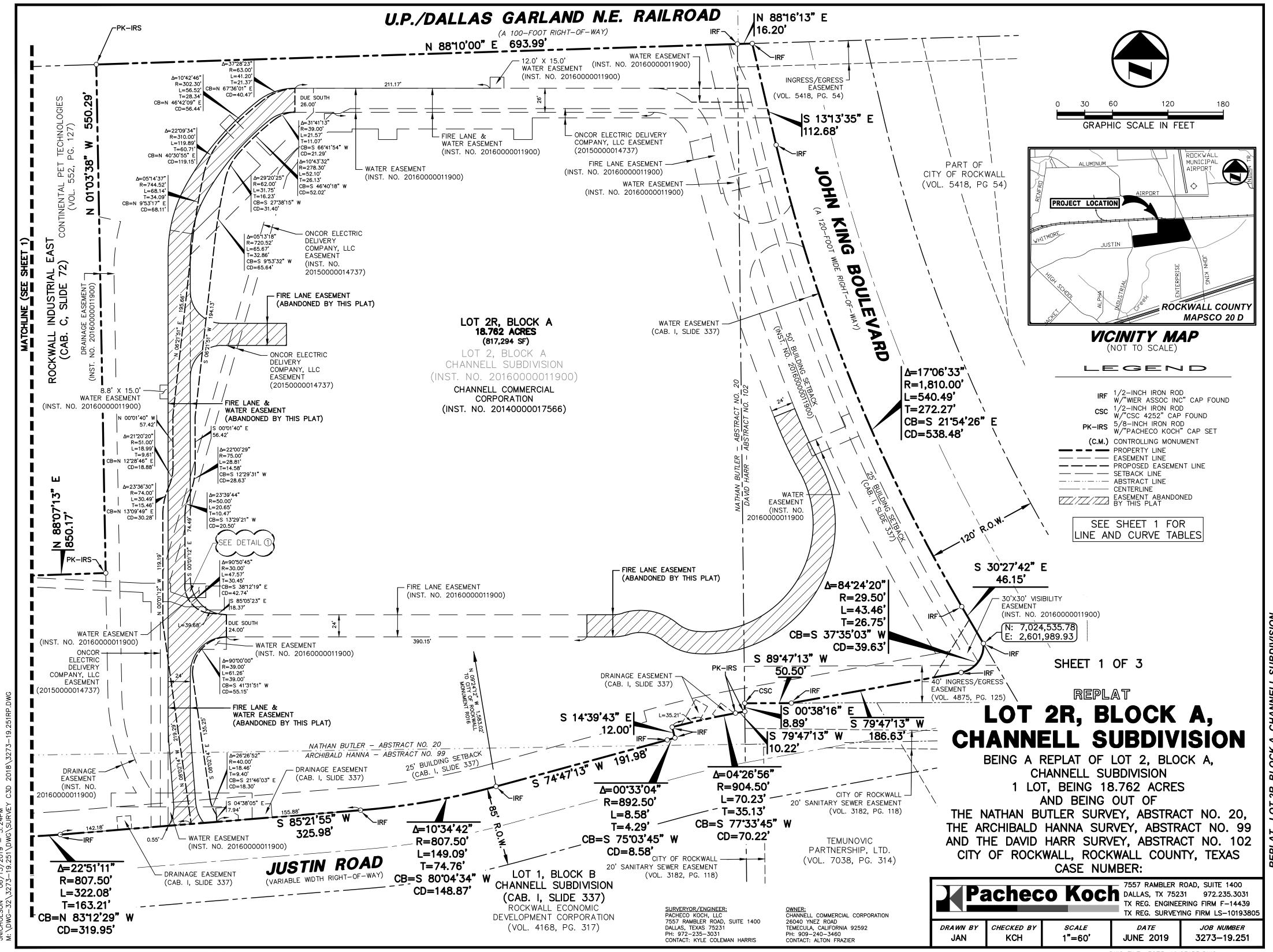




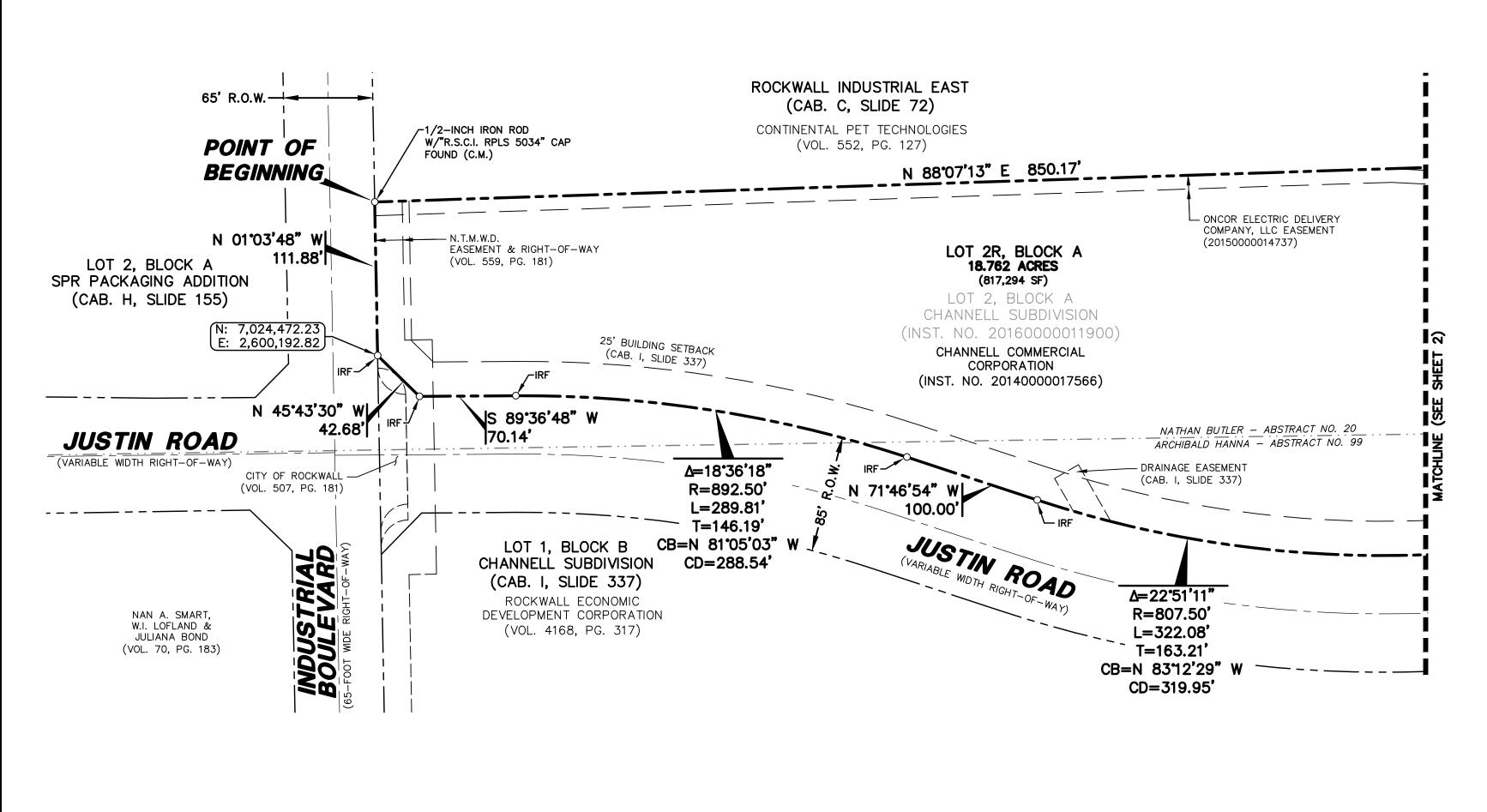
# City of Rockwall

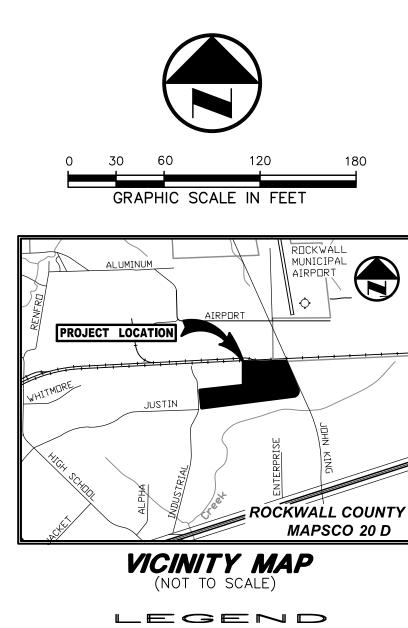
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DWG FILE: 3273-19.251RP.DWG





IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND

PK-IRS 5/8-INCH IRON ROD W/"PACHECO KOCH" CAP SET (C.M.) CONTROLLING MONUMENT - PROPERTY LINE

--- EASEMENT LINE — — SETBACK LINE --- ABSTRACT LINE

--- CENTERLINE EASEMENT ABANDONED BY THIS PLAT

**DETAIL** NOT TO SCALE

— ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT (INST. NO. 20150000014737) N 90°00'00" E | Δ=23°36'15" Δ=29°28'44" 12.58' R=78.00' R=60.00' L=32.13' L=30.87T=16.30' T=15.78 CB=S 19°54'33" E CB=N 10°42'03" W CD = 31.91'CD = 30.53'- WATER EASEMENT (INST. NO. 20160000011900) WATER EASEMENT (BY THIS PLAT)

SHEET 2 OF 3

# LOT 2R, BLOCK A, **CHANNELL SUBDIVISION**

BEING A REPLAT OF LOT 2, BLOCK A, CHANNELL SUBDIVISION 1 LOT, BEING 18.762 ACRES AND BEING OUT OF

THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NUMBER:

**SCALE** 

1"=60'

Pacheco Koch DALLAS, TX 75231 972.235.3031

CHECKED BY

**KCH** 

DRAWN BY

7557 RAMBLER ROAD, SUITE 1400 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-10193805

JOB NUMBER

3273-19.251

2. Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.

protection within such plat, as required under Ordinance 83-54.

It shall be the policy of the City of Rockwall to withhold issuing building

permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute

any representation, assurance or guarantee that any building within such plat

shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City

of the adequacy and availability for water for personal use and fire

**NOTES** 

SURVERYOR/ENGINEER: 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TEXAS 75231 CONTACT: KYLE COLEMAN HARRIS

OWNER: CHANNELL COMMERCIAL CORPORATION 26040 YNEZ ROAD TEMECULA, CALIFORNIA 92592 PH: 909-240-3460 CONTACT: ALTON FRAZIER

DATE

JUNE 2019

COUNTY OF ROCKWALL

WHEREAS, Channell Commercial Corporation, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

## LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 2, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20160000011900 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Channell Commercial Corporation recorded in Instrument No. 20140000017566 of the Official Public Records of Rockwall County, Texas; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 2 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Rockwall Industrial

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point:

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "MER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "MER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "MER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve:

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve:

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

NOW. THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

l, the undersigned owner of the land shown on this plat, and designated herein as the **LOT 2R, BLOCK A,** CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 2R, BLOCK A, CHANNELL SUBDIVISION have been notified and

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall: or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

William H. Channell, President

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires:

Planning and Zoning Commission **APPROVED** I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_\_, 2016. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final WITNESS OUR HANDS, this \_\_\_\_\_, day of \_\_\_\_\_\_, 2019. Mayor, City of Rockwall City Secretary City Engineer Signature of Party with Mortgage or Lien Interest STATE OF TEXAS

RECOMMENDED FOR FINAL APPROVAL

to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this \_\_\_\_\_ Day of \_\_\_\_\_\_\_, 2019.

Before me, the undersigned authority, on this day personally appeared \_\_

COUNTY OF ROCKWALL

Notary Public in and for the State of Texas

My Commission Expires:

known

UBDIVISION

2R, BLOCK A,

# SURVEYOR'S CERTIFICATE

NOW. THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kyle Coleman Harris, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal

# **PRELIMINARY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 6/13/19.

Kyle Coleman Harris Date Registered Professional Land Surveyor kharris@pkce.com

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Kyle Coleman Harris, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ Day of \_\_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires:

SHEET 3 OF 3

# LOT 2R, BLOCK A, **CHANNELL SUBDIVISION**

BEING A REPLAT OF LOT 2, BLOCK A, CHANNELL SUBDIVISION 1 LOT, BEING 18.762 ACRES AND BEING OUT OF

THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NUMBER:

7557 RAMBLER ROAD, SUITE 1400 Pacheco Koch DALLAS, TX 75231 972.235.3031

DRAWN BY CHECKED BY **SCALE** 1"=60' KCH

TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-10193805 JOB NUMBER JUNE 2019 3273-19.251

DWG FILE: 3273-19.251RP.DWG

SURVERYOR/ENGINEER: 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TEXAS 75231 CONTACT: KYLE COLEMAN HARRIS

CHANNELL COMMERCIAL CORPORATION 26040 YNEZ ROAD TEMECULA, CALIFORNIA 92592 PH: 909-240-3460 CONTACT: ALTON FRAZIER



PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE:** June 25, 2019

**APPLICANT:** Ahmed Helaluzzaman

CASE NUMBER: SP2019-014; Site Plan for Retail Shopping Center and House of Worship

#### **SUMMARY**

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

# **BACKGROUND**

The subject property was annexed in 1960 [Ordinance No. 60-04], is situated within the Scenic Overlay (SOV) District, and is zoned Commercial (C) District.

# **PURPOSE**

The applicant is requesting approval of a site plan for a retail shopping center and house of worship on a tract of land that is currently vacant.

# **ADJACENT LAND USES AND ACCESS**

The subject property is located north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a railroad (i.e. Union Pacific Railroad) followed by a single-family residential subdivision (i.e. Turtle Cove Subdivision), that is zoned Planned Development District 2 (PD-2) for single-family residential land uses. Beyond this is a single-family residential subdivision (i.e. Lakeridge Subdivision), that is zoned Single-Family 10 (SF-10) District.

<u>South</u>: Directly south of the subject property are two office buildings followed by Turtle Cove Boulevard, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a vacant tract of land where an office building is being proposed. These areas are zoned Commercial (C) District.

<u>East</u>: Directly east of the subject property is a house of worship (*i.e.* Great Faith Church) followed by a vacant tract of land. Beyond this is Ridge Road [FM-740], which is identified as a M4D (*major collector, four* [4] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this, there is a condo office park (*i.e.* Lakewood Office Park Condos) and several other office uses that are zoned Commercial (C) District.

<u>West</u>: West of the subject property is a railroad (*i.e. Union Pacific Railroad*) followed by a single-family residential subdivision (*i.e. Turtle Cove Subdivision*). These areas are zoned Commercial (C)

District and Planned Development District 2 (PD-2) for single-family detached land uses. Beyond this is Lake Ray Hubbard, which is in the City of Dallas.

### **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, Land Use Schedule, of Article IV, Permissible Use, of the Unified Development Code (UDC), a house of worship and retail shopping center are both permitted by-right on properties zoned Commercial (C) District and no additional approvals are necessary with regard to land use. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District and situated within the N. SH-205 Overlay (N. SH-205 OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards		
Minimum Lot Area	10,000 SF	119,184 SF; In Conformance		
Minimum Lot Frontage	60-Feet	X=144-Feet; In Conformance		
Minimum Lot Depth	100-Feet	X=459-Feet; In Conformance		
Minimum Front Yard Setback	15-Feet	X= 15-Feet; In Conformance		
Minimum Rear Yard Setback	10-Feet	X=10-Feet; In Conformance		
Minimum Side Yard Setback	10-Feet	X=10=Feet; In Conformance		
Maximum Building Height	36-Feet	X=23-Feet; In Conformance		
Max Building/Lot Coverage	60%	X=56 %; In Conformance		
Minimum Masonry Requirement	90%	X=90-95%; In Conformance		
Minimum Number of Parking Spaces	48 Spaces	52 Spaces; In Conformance		
Minimum Stone Requirement	20%	X=20-27%; In Conformance		
Minimum Landscaping Percentage	15%	X=45%; In Conformance		
Maximum Impervious Coverage	85-90%	X=55%; In Conformance		

### TREESCAPE PLAN

According to the treescape plan submitted by the applicant, there are 48 caliper-inches of primary protected trees and 113 caliper-inches of secondary protected trees being removed (i.e. a total of 161-caliper-inches in order to develop the site. Of the total number of trees, 125 caliper-inches require mitigation, which will be satisfied by landscaping being planted on site.

# **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 4.05 Commercial (C) District, of Section 4, Commercial (C) Districts, of Article V, District Development Standards, of the Unified Development Code (UDC), the Commercial (C) District is "the proper zoning classification for most types of commercial development..." and generally consists of large shopping centers at major intersection, and commercial shopping centers along arterial roadways. Areas should not be zoned Commercial (C) District unless they are located close to an arterial or a major collector. The Unified Development Code (UDC) goes on to state that "...(s)ince the Commercial (C) District is general in nature, the development standards are less stringent and do not require as high of standards of development as the Residential Office (RO), Neighborhood Services, (NS), and the General Retail (GR) Districts. When adjacent to neighborhoods the area should have adequate buffering between the Commercial (C) District and the residential development. In this case, the proposed uses (i.e. a house of worship and a retail shopping center) are allowed byright in a Commercial (C) District and is also located in close proximity to Ridge Road [FM-740], which is a major collector. Given the proposed use, zoning district, and its proximity to a major collector, the applicant's request appears to conform to the development standards as stipulated in the Unified Development Code (UDC) with regard to development standards within the Commercial (C) District. The Scenic Overlay (SOV) District requires 90% primary materials and 20% natural stone. Additionally,

all structures that have a footprint of 6,000 SF or less require a pitched roof. The Scenic Overlay (SOV) District also requires four (4) sided architecture and that all rooftop mechanical equipment to be screened by an architectural feature that is integral to the building's design (e.g. a parapet wall). The building elevations submitted by the applicant appear to conform to the requirements stipulated in the Unified Development Code (UDC) with regard to exterior building materials. The proposed building will be 4,535 SF and will utilize a flat roof system. Since this does not conform to the requirements of the Unified Development Code (UDC) an exception is required. Staff should note, the Planning and Zoning Commission has approved similar requests. Additionally, although the building elevations seem to generally conform to the four (4) sided architecture requirements, the proposed building elevations show a portion of the rooftop mechanical equipment. The applicant has provided a line-of sight-study showing that the mechanical equipment will not be visible from the property line. The Unified Development Code (UDC) requires any commercial use or parking lot that has a side or rear contiguous to a residential district to be screened with a masonry fence. As an alternative, berms in conjunction with a minimum six (6) foot wrought iron fence and a combination of trees and shrubs can be utilized to meet this requirement, should the Planning and Zoning Commission determine that the proposed alternative will provide sufficient screening. In this case, the subject property is adjacent to a residential subdivision (i.e. Turtle Cove Subdivision) and the applicant is proposing to utilize six (6) foot tall wrought iron fence in conjunction with a combination of trees and landscaping to provide screening from the adjacent neighborhood.

# VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the Unified Development Code (UDC):

#### (1) Architectural Standards

(a) Roof Design Standards. According to Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all structures having a footprint of less than 6,000 SF shall be constructed of a pitched roof. The proposed house of worship/retail shopping center will utilize a flat roof system and since this does not conform to the requirements of the Unified Development Code (UDC), a variance is required.

This variance is a discretionary decision for the Planning and Zoning Commission and requires approval by a ¾ majority. In the event that the variance is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OurHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Lakeshore District. The South Lakeshore District is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. Since the South Lakeshore District is nearing its buildout capacity, it is anticipated that infill development will consist of residential development that should be compatible with the surrounding neighborhoods. Commercial development is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. In this case, the proposed house of worship/retail shopping center appears to be a similar design and scale of shopping centers within the district.

### **ARCHITECTURAL REVIEW BOARD (ARB):**

On June 11, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval by a vote of 6-0 with Board Member Neill absent.

# **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The developer shall plant a thick vegetative screening consisting of a combination of bushes, grasses, and/or mature trees adjacent to the northwest property line;
- (2) The applicant shall provide an updated landscape plan showing the proposed wrought-iron fence and a thick vegetative screen consisting of a combination of mature trees and shrubs.
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



5/14/2019 LM

Page 1 of 9

# **Project Plan Review History**

**Project Number** 

SP2019-014

Retail shopping/House of Worship

**Project Name** Type

SITE PLAN

Subtype

Status Staff Review

600 TURTLE COVE DR

City, State Zip

ROCKWALL, TX 75087

Subdivision

**Site Address** 

Tract

**Block** 

Lot No

PEACE & MERCY, CENTERS FOR

AHMED HELALUZZAMAN

Parcel No

**General Plan** 

**Applied** 

Closed Expired

Status

Zoning

Approved

HUDSPETH 22 22 0064-0000-0022-00-0R

Owner

**Applicant** 

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	5/14/2019	5/21/2019	5/21/2019	7 APPROVED	
ENGINEERING	Sarah Hager	5/14/2019	5/21/2019	5/24/2019	10 COMMENTS	

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

#### (5/24/2019 1:31 PM SH)

- Must show the location of the NTMWD force main.
- Water line to be centered in a 20' easement.
- No structures in easements.
- One way back drive is not allowed. If you wish to have this access, it will need to be 24' minimum.
- Dumpster to drain to an oil/water separator and then to the storm lines.
- Parking to be 20' x 9'.
- 10' spacing for fire line to all other lines.
- Hydrant to have 5' of clearance behind the curb.
- What are these two extra wide parking spaces? or landscaping?
- Detention needs to be in an easement and no structures are allowed in easements.

The following are for your information for engineering design.

- 4% Engineering Inspection Fees
- Impact Fees
- Drainage release into railroad right-of-way will require railroad approval
- Detention is required
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must loop an 8" water line to take fire protection, water service, and irrigation off of.
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Assembly use may require fire sprinkler. Check with fire department.
- Must meet all engineering standards

(5/24/2019 1:38 PM SH)

- Walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.

ENGINEERING Sarah Hager 6/14/2019 6/21/2019 6/14/2019 COMMENTS Submittal #2

Project Reviews.rpt Page 2 of 9

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

(6/14/2019 9:10 AM SH)

- Must show and label the location of the NTMWD Force Main Line.
- Must label the 15'x24' tunrarounds.
- Label the fire lane as "24' Fire Lane, Utility, and Public Access Easement"
- Label the 40' Water line easement as "40' Utility Easement"

The following items are for your information for engineering design.

- 4% Engineering Inspection Fees
- Impact Fees
- Drainage release into railroad right-of-way will require railroad approval
- Detention is required
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must loop an 8" water line to take fire protection, water service, and irrigation off of.
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Assembly use may require fire sprinkler. Check with fire department.
- Must meet all engineering standards

ENGINEERING Sarah Hager 6/21/2019 6/28/2019 6/21/2019 COMMENTS Submittal #3

Project Reviews.rpt Page 3 of 9

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/21/2019 2:33 PN	1 SH)					
- Chain link fence n	ot allowed.					
<ul> <li>Parking island wit</li> </ul>	h fire hydrant must be	10' wide. Hdra	nt must be s	et back 5' fron	n curb.	
- 18' deep parking	spaces must have 2' cle	ear overhang.				
	nt must also be sewer.					
_	nd is 15'x24' minimum.					
	centered in 20' easeme					
	imum 10' easement fo			the property.		
	VD Force main and eas		า.			
- No trees within 10	o' of NTMWD force ma	in.				
The following item	s are for your informat	ion for enginee	ering design.			
- 4% Engineering Ir	spection Fees					
- Impact Fees						
- Drainage release	into railroad right-of-w	ay will require	railroad app	roval		
- Detention is requ	ired					
- No utilities allowe	ed in detention easeme	ent				
- Add note that the	property owner will b	e responsible f	or maintaini	ng, repair, and	replacement of the detent	cion/drainage systems
•	asement width is 20'					
	etween driveways (mea	asured from ed	lge to edge)			
- All parking to be 2						
	be a minimum of 24' w	vide .				
- No structures in e	asements					
- Max slope is 4:1						
	rater line to take fire p			_		
	water separator that co		-		the storm lines.	
•	y require fire sprinkler.	Check with fire	e departmen	it.		
- Must meet all eng	Ariana Hargrove	5/14/2019	5/21/2019	5/23/2019	9 APPROVED	see comment
 (5/23/2019 1:26 PN	<del>-</del>	3,11,2013	3,21,2013	3,23,2013	3 741110125	see comment
• • •	supply capable of sup	nlying the real	ired fire flov	v for fire prote	ction shall be	
	flow test verifying capa			•		
prior to vertical co	· - ·			.,		
IS	Lance Singleton	5/14/2019	5/21/2019	5/22/2019	8 APPROVED	See comments
(5/22/2019 9:52 AN	ЛLS)					
• • •	e 600 TURTLE CREEK B	LVD, ROCKWAI	L, TX 75087			
		•	-	e (from South	to North) to allow for futur	e unexpected demising walls. Each suite will be
confirmed at its pe		- 1		,	,	
LANNING	Korey Brooks	5/14/2019	5/21/2019	5/23/2019	9 COMMENTS	Comments
	-	•	•			

Project Reviews.rpt Page 4 of 9

SP2019-014 Site Plan for Retail Shopping Center and House of Worship: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- 1. This is a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740].
- 2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- 3. For reference, include the case number (SP2019-014) in the lower right hand corner of all pages on future submittals.
- 4. Sheet No. A001—This sheet is not reviewed—For reference only. Please incorporate Legend and Contact Information on remaining drawings (if not provided).
- 5. Please provide Site Data Table (named Project Data Table on the sheet) on all sheets. Please add parking data and the breakdown of worship/retail SF from Code Table. Also provide pervious vs. imperious SF and percentage. Please add lot coverage SF and %. Please add zoning district and overlay district. Please add % of required landscaping and % of provided.
- 6. Sheet No. A101—This sheet doesn't seem to be necessary. The site plan on sheet C1 is the type of site plan that is needed. Please transfer site data table to remaining sheets.
- 7. Sheet C-1—Please note that in overlay district the dumpster screening is 8-feet, materials matching the main structure, with self-latching opaque gate.
- 8. Sheet C-1—There is a large amount of information on this sheet. Please greyscale topo and utilities.
- 9. Sheet C-1—Since there is large amount of lines on this page, could the firelane change from a hatch pattern to a solid grey? Show any remaining pavement, including sidewalks as a different shade of grey.
- 10. Sheet C-1—There is a reference to a "water easement by this plat" on the building footprint. Please remove along with any other plat references (e.g. the references to state plane coordinates). The plat will be taken care of at a later time.
- 11. Sheet C-1—Please use varying line weights and types to provide clearer differentiation. Also provide those changes in the legend. There are several items that use the same linetype.
- 12. Sheet C-1—Please show all proposed easements and extend of detention.
- 13. Sheet C-1—Please greyscale information on adjacent sites (i.e. any information that is not on your lots).
- 14. Sheet C-1—Please remove water meter schedule.
- 15. Sheet C-1—Please note that parking is 9x20.
- 16. Sheet C-1—Please revise access easements to "Public Access" instead of "Mutual"
- 17. Sheet C-1—Please remove symbols for IRF/similar
- 18. Sheet C-1—Please show division of worship area vs retail.
- 19. Sheet C-1—The parking close to the RR and Turtle Cove is dead end and will probably need a turnaround to allow vehicles to back out of the space.
- 20. Sheet C-1—No parking space shall be more than 80-feet from a canopy tree.
- 21. Sheet C-1—The site plan shows three or four thick grey lines that are not labeled. Some are adjacent to the property line and one is adjacent to Turtle Cove. What are these lines? Also there are several lines in the ROW that are not labeled. Please try to label all lines.
- 22. Sheet C-1—Will the two lots be combined?
- 23. Sheet C-1—What are the two pie shaped "parking spaces" near the play area? They cannot be parking spaces; however, I cannot determine what is being shown.
- 24. Sheet C-1—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.
- 25. Sheet C-1—Please provide dimensions of all walls.
- 26. Sheet C-1—Please provide dimensions from building to all property lines.
- 27. Sheet C-1—Please note that the building does not meet horizontal articulation requirements as drawn and will need a variance. Please review Commercial articulation requirements.

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- 28. Sheet LP.01—please dimension a typical parking space—also as noted, parking must be 9x20.
- 29. Sheet LP.01—The parking and building can be greyscaled so that the landscape plan focuses on the landscaping.
- 30. Sheet LP.01—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.
- 31. Sheet LP.01—Please provide the actual footprint of the building (i.e. show any projections or recesses).
- 32. Sheet LP.01—Please provide adjacent property information as shown on C-1.
- 33. Sheet LP.01—Please darken and label property line for subject property.
- 34. Sheet LP.01—There several dashlines toward the SE of the property that are not labeled. Please label all lines, provide a variety of lineweights/types. A legend can be provided in lieu of labeling each line. As drawn, the utilities and property lines, ROW, etc. have the same line weight and type.
- 35. Sheet LP.01—There are several dark circles with a line projecting and several open circles. Please label or provide a legend.
- 36. Sheet LP.01—As on Sheet C-1, please show firelane as a shade of grey and any remaining concrete as a lighter shade of grey. Please use the stippling pattern currently being used on the firelane to show where grass will be.
- 37. Sheet LP.01—Please add site data table as mentioned above. Some of the needed information is already being provided on the sheet; however, please replace with the same data table so that all sheets have the same data table/same information.
- 38. Sheet LP.01—Please darken visibility triangles
- 39. Sheet LP.01—What are the two hatched areas at the end of the parking toward the rear of the building?
- 40. Sheet LP.01—For consistency purposes, please change title from Planting Plan to "Landscape/Treescape Plan"
- 41. Sheet LP.01—Please note that the min caliper inch for trees is 4-inches.
- 42. Sheet LP.01—Please note that headlight screening may be required along the property line adjacent to the RR.
- 43. Sheet ESP—Please removed the details of the light pole. Just show the pole from the ground up and provide height.
- 44. Sheet ESP—The Electrical Notes may not be necessary on the photometric plan; those notes seem to be needed later when the building permit is being requested. Please note that this is a "Photometric Plan" instead of an Electrical Site Plan.
- 45. Sheet ESP—Please label adjacent properties as shown on Sheet C-1.
- 46. Sheet ESP—Please remove building footprints from adjacent properties.
- 47. Sheet ESP—Please label "Future Development" phase.
- 48. Sheet ESP—Please provide a combination of lineweights and types to differentiate between the subject property and the adjacent properties. Please label property line of subject property.
- 49. Sheet ESP—please show the site (i.e. parking building, etc) as the same shade but please greyscale. In addition, please provide a larger, darker font for FC grid.
- 50. Sheet ESP—Please note, the light intensity at the property line shall be no greater that 0.2 FC. Please check photometric plan and ensure compliance.
- 51. Sheet ESP—Please note that all fixtures shall be fully shielded and pointed downward.
- 52. Sheet ESP—Please provide graphic and numeric scale, north arrow and vicinity map.
- 53. Sheet ESP—Please see above for the correct LS buffer and setback.
- 54. Sheet ESP—Please note that no light pole shall exceed 20-feet
- 55. Sheet ESP—Please provide cut sheets for fixtures.
- 56. Sheet A501—Please remove all signage.
- 57. Sheet A501—Please add cardinal direction to all elevation.
- 58. Sheet A501—Please provide height of "tower element" closest to the building material percentage on elevation 2 and the element directly below on elevation 1.
- 59. Sheet A501—Please provide site data table.60. Sheet A501—Are the tower elements flush with the façade or do they project?
- 61. Sheet A501—Please note, as shown, the building elevations will require a variance to 4-sided architecture, and vertical and horizontal articulation.
- 62. Sheet A501—Please note that all buildings shall be architecturally finished on all 4 sides with the same elements and materials.
- 63. Sheet A501—Please note that elevation 1 exceeds the max of 10% EIFS—this will require a variance.
- 64. Sheet A501—Please label the material above the window as provide type of material for awnings.
- 65. Sheet A501—Please provide elevation of dumpster enclosure.

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- 66. Sheet A501—Please dash-in all rooftop equipment and provide information on how it will be screened.
- 67. Please label at least one set of light fixtures on each of the elevations.
- 68. Sheet A501—What material is the small squares on the building elevations?
- 69. Sheet A501—is the stone a natural stone?
- 70. Sheet A502—Please note that the two elevations are labeled the same as the elevations on A501.
- 71. Sheet A502—Please see comments from A501
- 72. Sheet A502—Please note that as drawn, the rear elevation will need several variances: vertical and horizontal articulation, 4 sided architecture, 20% stone requirement.
- 73. Sheet A502—There are three vertical lines drawn between the doors. What are these lines?
- 74. Sheet A502—Please label the element directly on top of the brick.
- 75. Sheet A502—Please note, the back of the parapets is visible. The back of the parapets will need to be finished and revised so that it is not a flat parapet (i.e. it will need to look like a "box" rather than a "panel"
- 76. Sheet A502—Please provide a perspective drawing.
- 77. Sheet A201—Please note that this sheet is for reference and was not reviewed or approved. That will be taken care of at time of Building Permit submission.
- 78. The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m.
- 79. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019

PLANNING Korey Brooks 6/14/2019 6/21/2019 6/20/2019 6 COMMENTS Comments to Revisions.

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- 1. Please ensure that nothing encroaches the landscape buffer
- 2. Please note, the parking for retail is 1:250
- 3. Please show and label the rear setback.
- 4. Please note that proposed metal fence does not meet the screening requirements and will require a special exception. Typically wrought iron with landscaping is utilized.
- a. Sec. 5.6. Screening from residential uses.
- b. A. Any commercial or industrial use or parking lot that has a side or rear contiguous to any residential district, or any multi-family use with more than five dwelling units or parking lot that has a side or rear contiguous to any single-family, townhouse, or duplex district, shall be screened with a masonry fence (tilt wall or concrete block are prohibited; however, precast walls may be approved by the planning and zoning commission), six feet in height. As an alternative, berms in conjunction with a minimum of a six-foot wrought fence and a combination of trees and shrubs can be utilized to meet the screening requirements if the planning and zoning commission determines that the proposed alternative will provide sufficient screening. The screen shall be located no closer to the street than the property line. Any ordinances concerning sight obstructions of intersections shall be applicable to the screen where it is intersected by a street or driveway. B. Prior to construction of any required screens, complete plans showing type of material, depth of beam, and structural support shall be analyzed by the building permit office to determine whether or not: 1. The screen will withstand the pressures of time and nature; 2. The screen adequately accomplishes the purpose for which it was intended; 3. Plans shall be sealed by a registered engineer or they shall conform to the city's standard design for screening walls. C. Such screen shall be constructed prior to the issuance of a certificate of occupancy for any building or portion thereof. D. The areas adjacent to the required screening wall, or areas adjacent to a public street or right-of-way, shall be maintained by the property owner in a clean and orderly condition, free of debris and trash in accordance with the applicable codes of the city.
- 5. Please note that it is difficult to see the grid on the photometric plan.
- 6. Treescape Plan—Your treescape plan shows 4 trees being saved; however, the tree listing only shows 1tree.
- 7. Please note the requirements for the landscape buffer
- a. All landscape buffers shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway
- b. All canopy trees, accent trees, shrubs and ground cover proposed to be planted in any overlay district shall be in conformance to the tables depicted in Appendix F, Landscaping Guidelines and Requirements, of this Unified Development Code (UDC) and shall be subject to the following sizes: a. Canopy Trees shall be a minimum of four (4) caliper inches at DBH. b. Accent Trees shall be a minimum of four (4) feet in total height. c. Deciduous Shrubs shall be a minimum of two (2) gallons in size.
- d. Evergreen Shrubs shall be a minimum of two (2) gallons in size.
- 8. Please note, this will need to be sod instead of hydromulch.
- 9. A variance to the pitched roof requirement is being requested.

Police Department	Police Department	6/14/2019 6/21/2019			
Police Department	Police Department	5/24/2019 5/31/2019 5/24/2019	COMMENTS	Comments	

Project Reviews.rpt Page 8 of 9

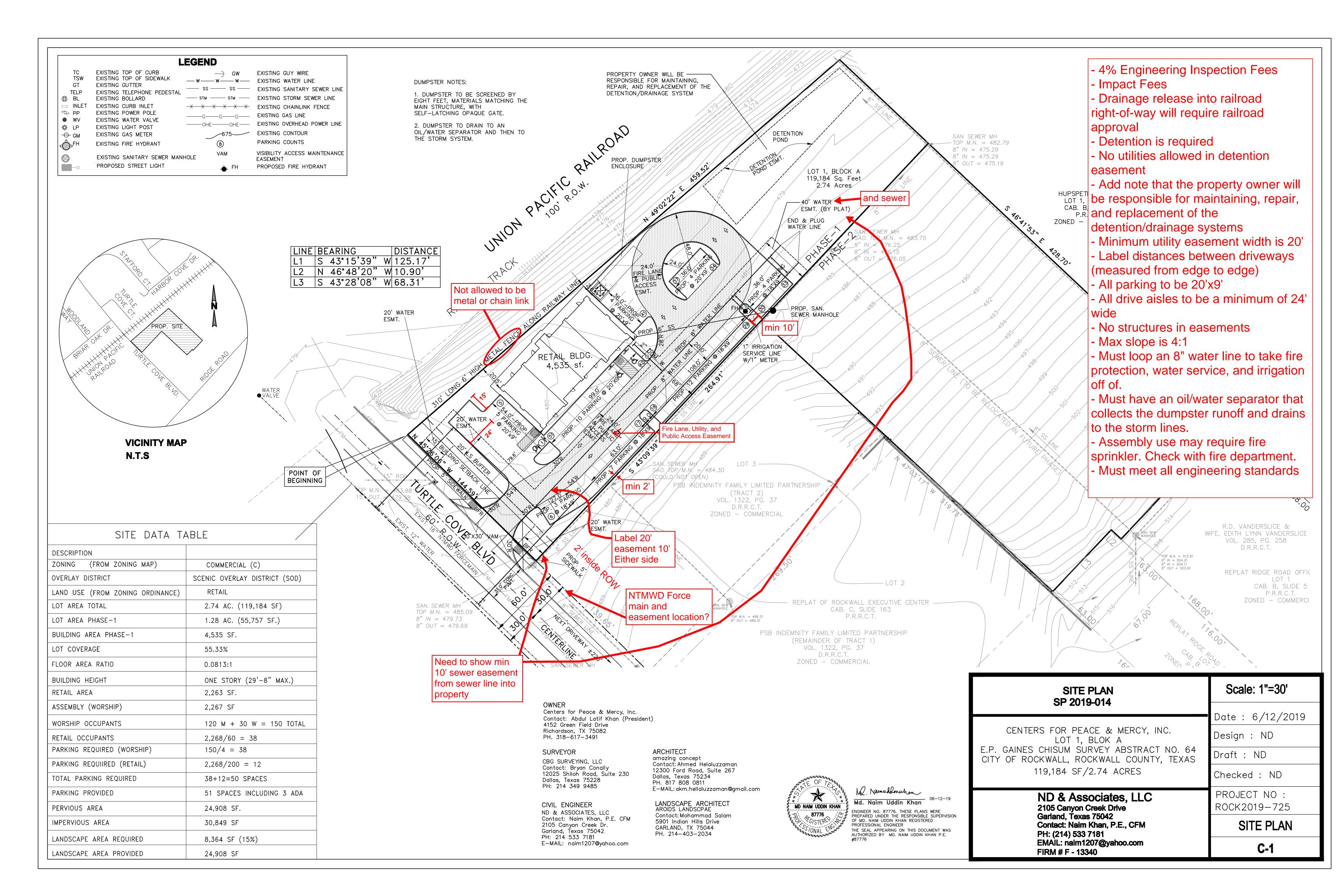
SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP

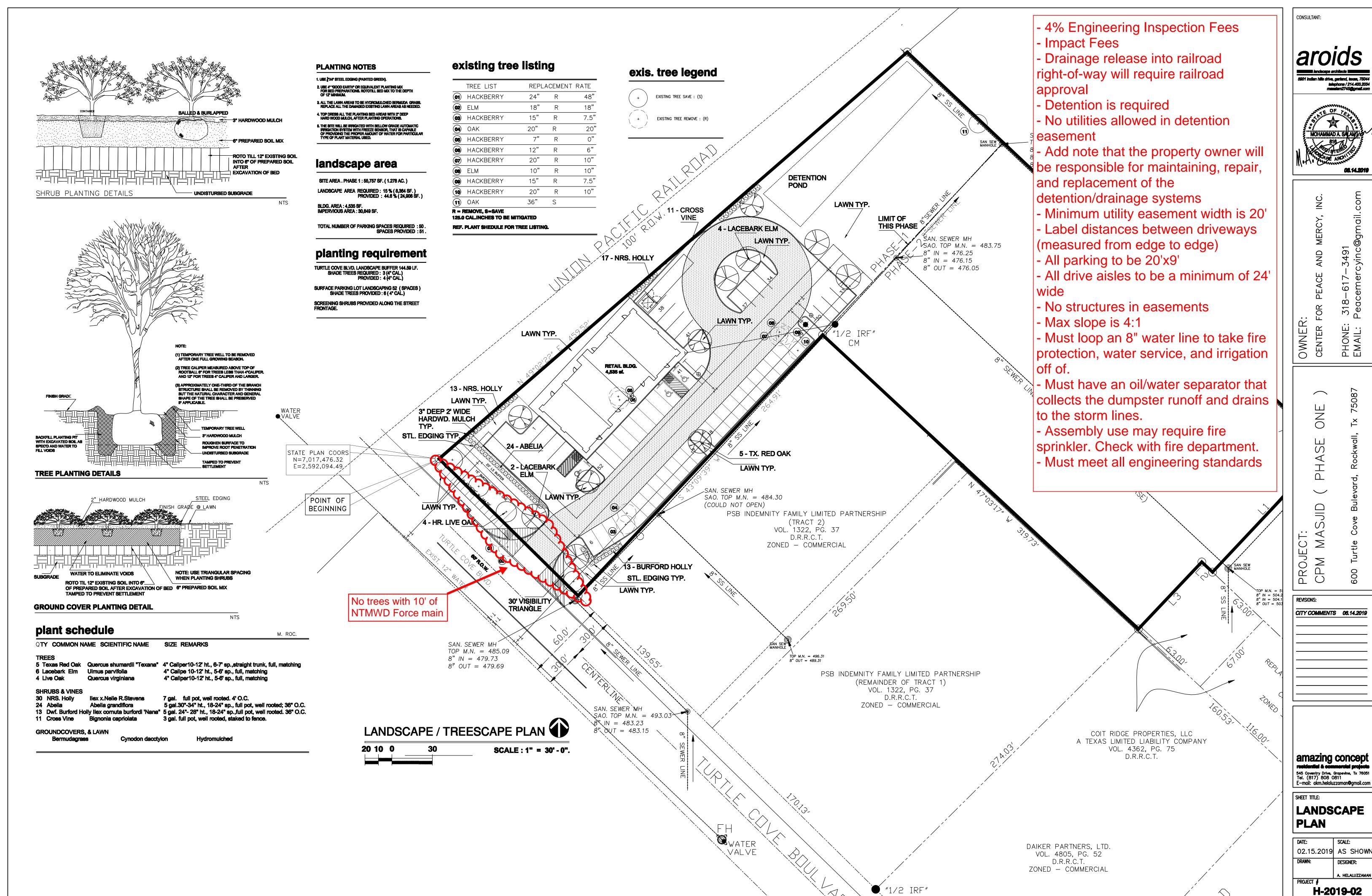
#### Considerations:

- Lighting placed upon all sides of the exterior the buildings, entry ways and especially controlled access gate entrances. This should illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.
- Place high resolution cameras on corners of building, controlled access gate entrances, door entrances into buildings and common areas inside the business.
- If case is kept on sights, consider a safe room that contains a money safe with an hardened outward opening door with deadbolt and key control. Consider an internal distress alarm for the sale and limited access by management.
- UL appropriate safe (Money vs. Fire)
- Consider bollards with appropriate a at soft access points
- Consider mirror(s) corners and enclosed areas to reveal anyone that might be present (suspect)

I'm available to speak with or make recommendations on this projects. Please do hesitate to contact me for any assistance.

Project Reviews.rpt Page 9 of 9





aroids

**LANDSCAPE** 

| 02.15.2019| AS SHOWN DESIGNER:

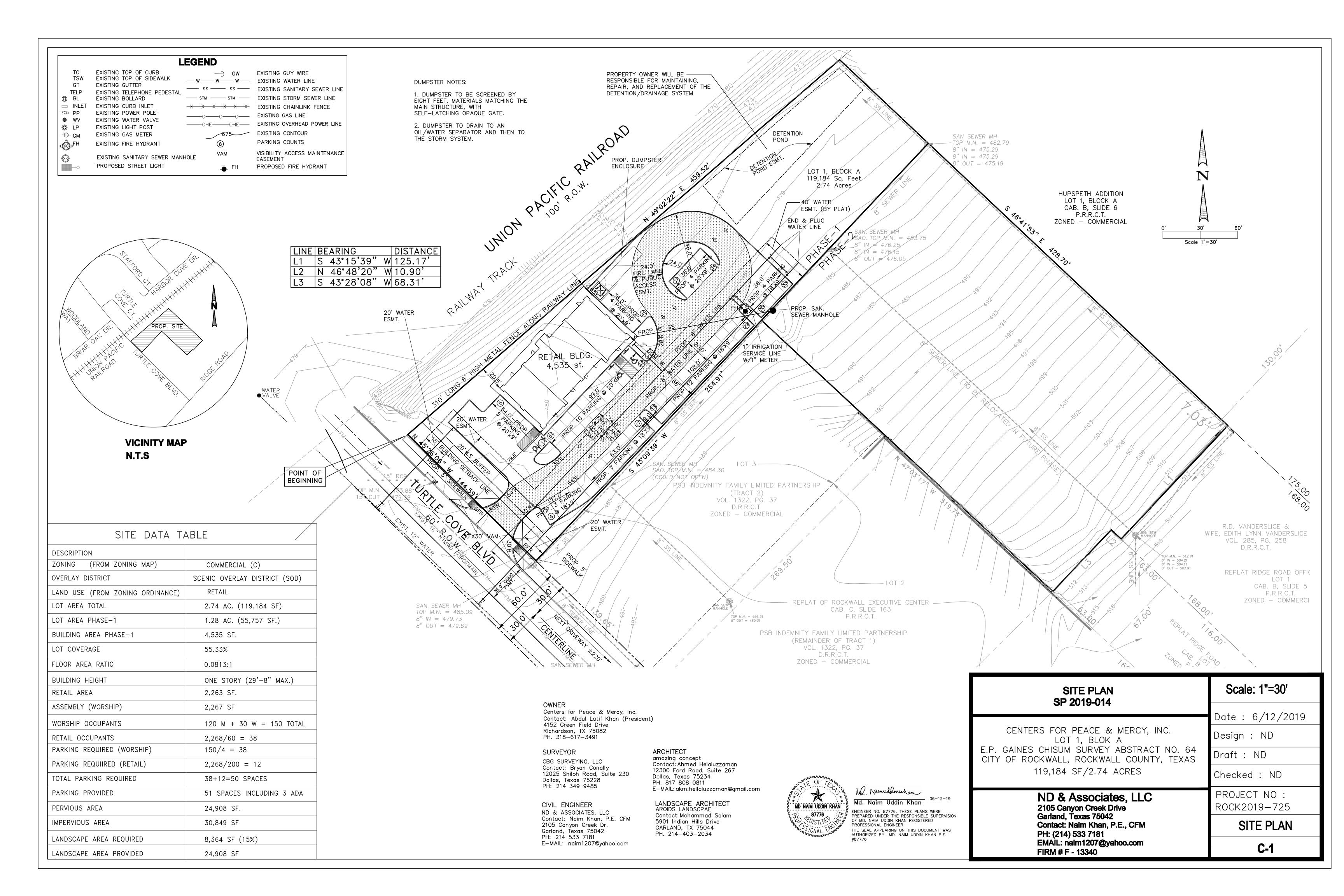
H-2019-02

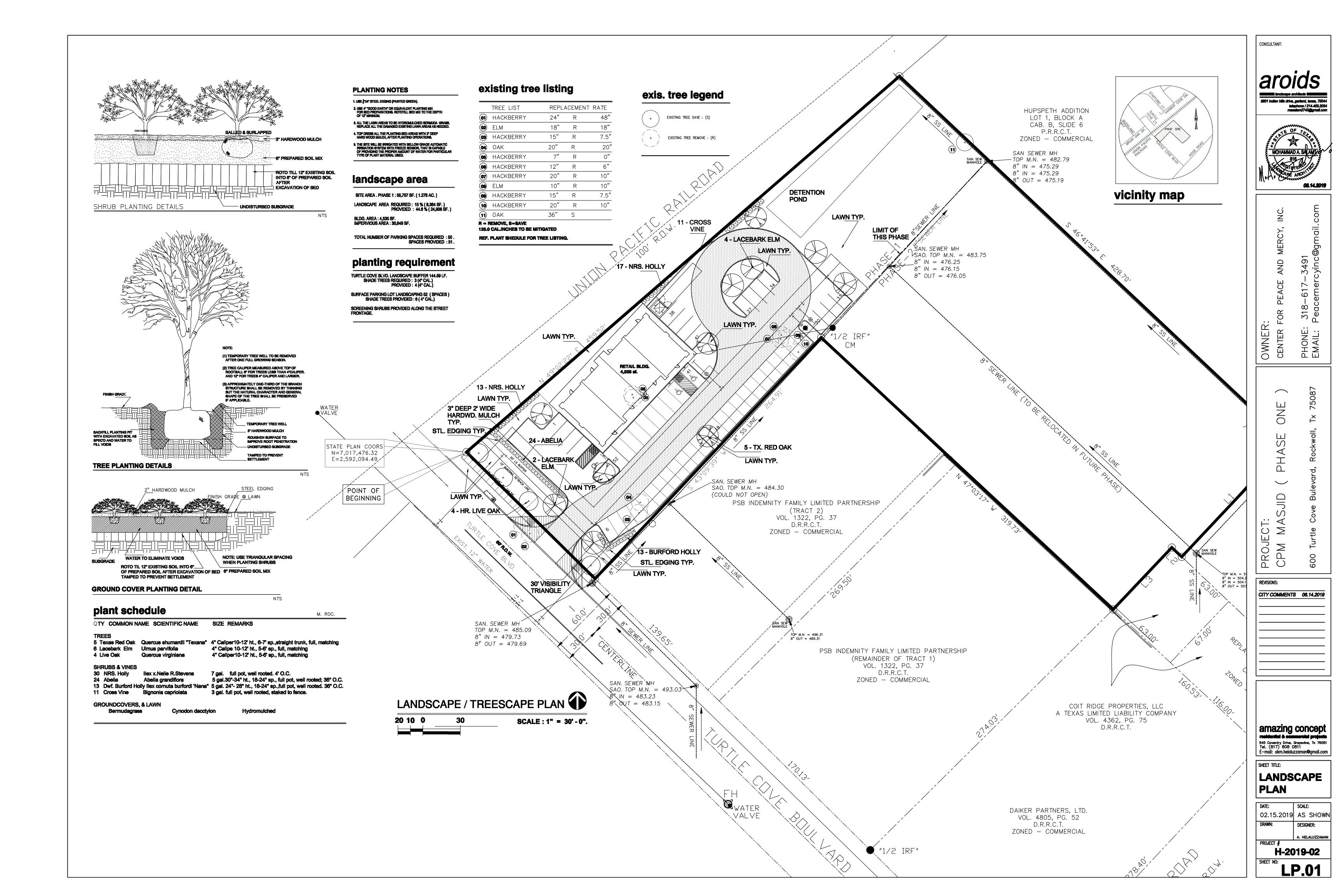




Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







 $02 \quad \frac{\text{VICINHTY MAP}}{\text{SCALE: 1" = 40'-0"}}$ 

LIGHT FIXTURE REFER TO SPECS. 15'-0" MAX.

03 TYPICAL SITE POLE SCALE: N.T.S

Calculation Summ							
Label	CalcType	Units	Avg	Max	Min	Ava/Min	Max/Min
Free Grid	Illuminance	Fc	1.08	9.0	0.0	N.A.	N.A.

Lum	inaire Sc	chedule				
LAB	EL Qty	Symbol	[MANUFAC]	Description	Lum. Lumens	Lum. Watts
P1	4		Lithonia Lighting	DSX1 LED P3 40K BLC MVOLT	10439	102
P2	1	<b>→</b>	Lithonia Lighting	DSX1 LED P2 50K T5M MVOLT	9351	70
WP	10		Lithonia Lighting	WSQ LED 1 10A700_40K SR2 MVOLT	2159	24

CASE NO.: SP2019-014

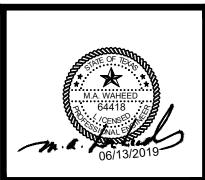
1.28 AC. (55,757 SF.) 4,535 SF. 8.13% 0.038:1 ONE STORY (29'-8" MAX.) 2,263 SF. 2,267 SF. 120 M + 30 W = 150 TOTAL2,268 / 60 = 37.8 (SAY 38)150/4 = 37.5 (SAY 38)2,268/200 = 11.34 (SAY 12)38+12 = 50

52 INCLUDING 3 ADA

COMMERCIAL (C) DISTRICT

COMMERCIAL (C) DISTRICT

SCENIC OVERLAY DISTRICT (SOD)



PHOTOMETRIC PLAN

SCALE: 1" = 40'-0"

40

80 120

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP

(TRACT 2)

VOL. 1322, PG. 37

D.R.R.C.T. ZONED — COMMERCIAL R.D. VAN WIFE, EDITH L' VOL. 28 REPLAT RI ZON SITE DATA TABLE

HUPSPETH ADDITION LOT 1, BLOCK A CAB. B, SLIDE 6 P.R.R.C.T. ZONED — COMMERCIAL

PROPERTY LINE

LOT 1, BLOCK A 119,184 Sq. Feet 2.74 Acres

DESCRIPTION

OVERLAY DISTRICT

LOT AREA PHASE-1

FLOOR AREA RATIO

ASSEMBLY (WORSHIP)

WORSHIP OCCUPANTS

PARKING REQUIRED (WORSHIP)

PARKING REQUIRED (RETAIL)

TOTAL PARKING REQUIRED

TOTAL PARKING PROVIDED

RETAIL OCCUPANTS

BUILDING HEIGHT

RETAIL AREA

LOT COVERAGE

BUILDING AREA PHASE-1

(FROM ZONING MAP)

ZONING

ZONING

WAHEED CONSULTING

OWNER: CENTER FOR PEACE AND MERCY, INC.

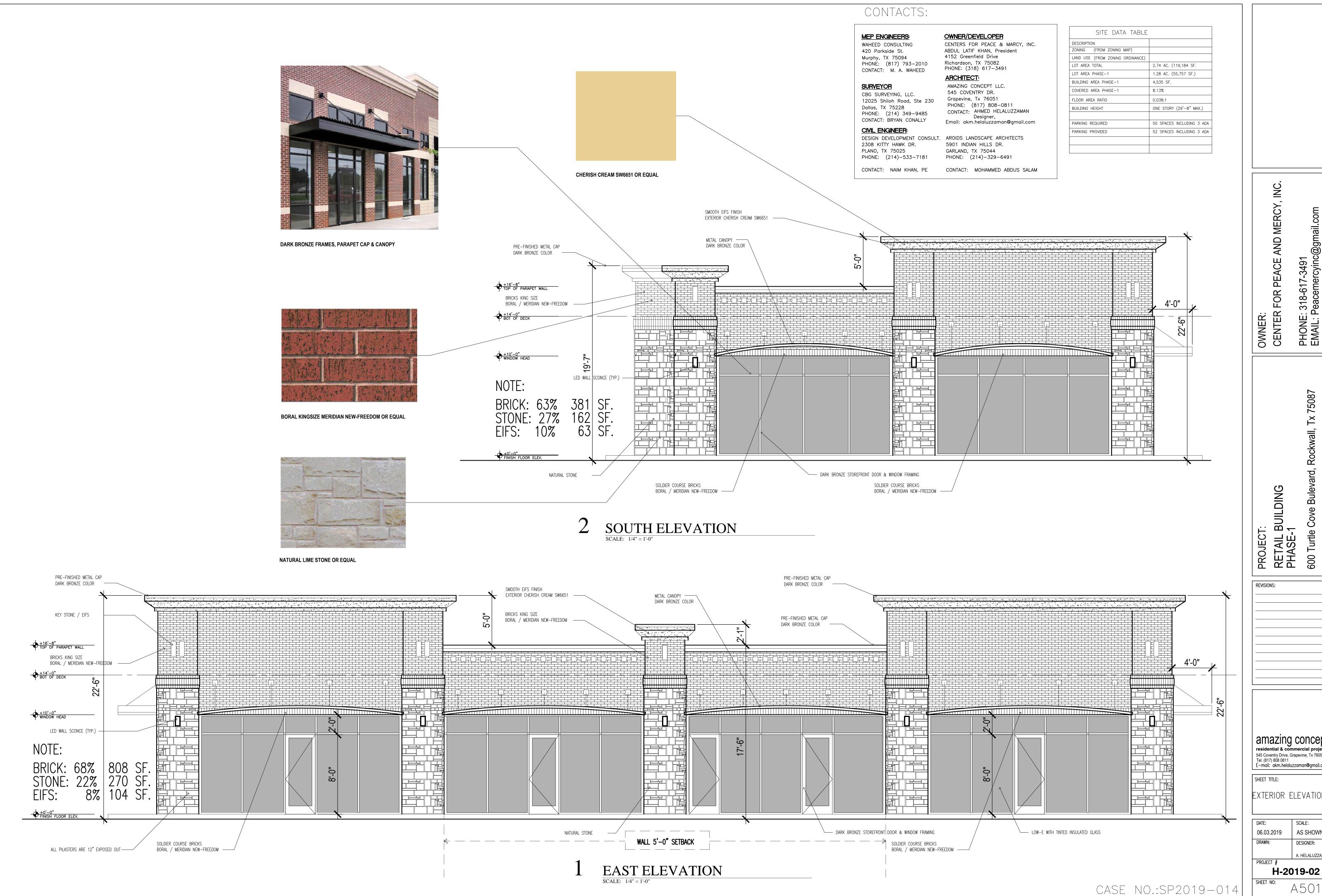
PROJECT: RETAIL BUILDING PHASE-1

amazing concept residential & commercial projects 545 Coventry Drive, Grapevine, Tx 76051 Tel. (817) 808 0811 E-mail: akm.helaluzzaman@gmail.com

PHOTOMETRIC PLAN

AS SHOWN DESIGNER: H-2019-02

ESP

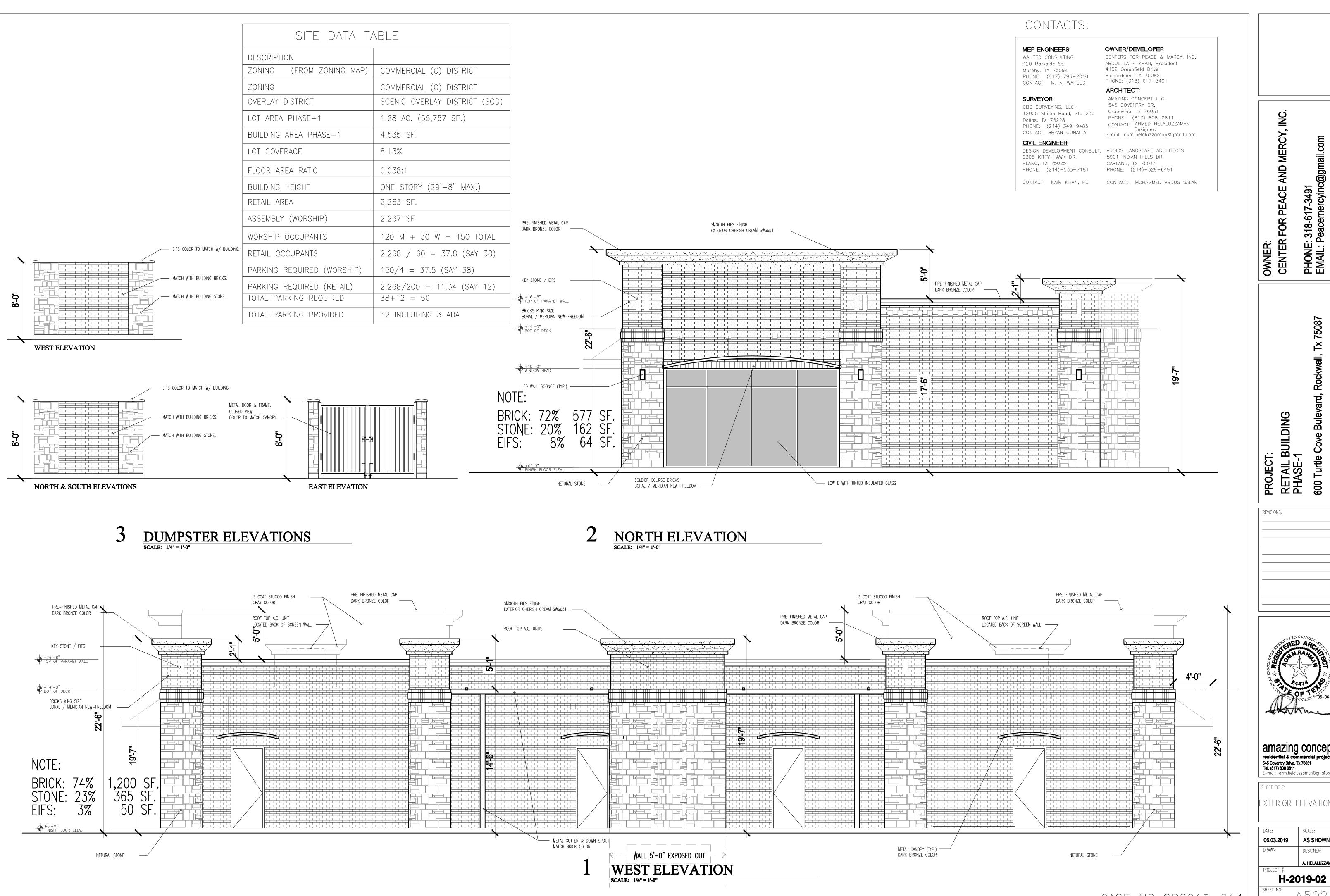


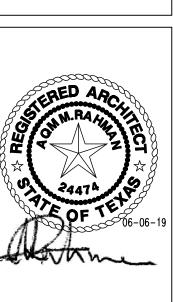
amazing concept residential & commercial projects 545 Coventry Drive, Grapevine, Tx 76051 Tel. (817) 808 0811 E-mail: akm.helaluzzaman@gmail.com EXTERIOR ELEVATIONS SCALE: 06.03.2019 AS SHOWN DESIGNER: A. HELALUZZAMAN

A501

PROJECT:
RETAIL BUILDING
PHASE-1

PHONE: 318-617-3491 EMAIL: Peacemercyinc@gmail.com



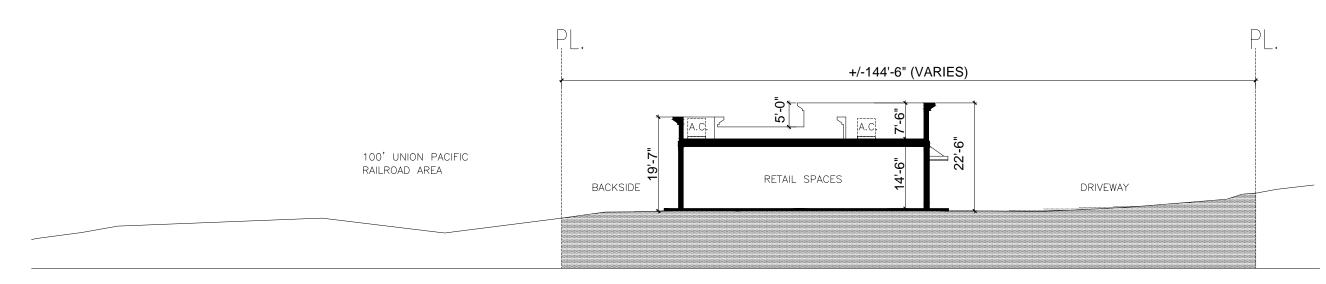


545 Coventry Drive, Tx 76051 Tel. (817) 808 0811

EXTERIOR ELEVATIONS

AS SHOWN DESIGNER:

CASE NO.:SP2019-014



RETAIL BUILDING

CONCEPT SITE SECTION

600 TURTLE COVE BLVD. SCALE: 1" = 20' 06.20.2019



# **CITY OF ROCKWALL**

# PLANNING AND ZONING COMMISSION MEMORANDUM

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**FROM:** David Gonzales, *Planning and Zoning Manager* 

**DATE:** June 25, 2019

**SUBJECT:** MIS2019-005; Alternative Tree Mitigation Settlement Agreement

The applicant, John Delin of R. W. Ladera, LLC, is requesting an *Alternative Tree Mitigation Settlement Agreement* in conjunction with the Ladera of Rockwall Addition for the purpose of offsetting a portion of the required tree mitigation. Specifically, the applicant is requesting relief associated with the trees (*i.e.* 699.5-caliper inches of trees) that will be removed to construct an off-site, 12-inch sanitary sewer line that will serve the development. On June 26, 2018, the Planning and Zoning Commission approved an amended treescape plan allowing for the removal of an additional 977.75-caliper inches that were associated with the construction of this sanitary sewer line. This approval brought the total mitigation balance due to 1,443.25 caliper-inches. On March 12, 2019, a revised treescape plan was submitted with the final plat application [Case No. P2019-010] indicating the need for the removal of an additional 283.5-caliper inches of tree to allow the installation of the 12-inch sanitary sewer line. This increased the total mitigation balance due to 1,726.75-caliper inches. Currently, the applicant's approved mitigation plan calls for providing all 1,726.75-caliper inches on-site.

The applicant's proposal requests that the City Council consider one (1) of the two (2) following alternatives:

- 1. The City Council waive the 699.5-caliper inches associated with the offsite installation of the 12-inch sanitary sewer line; or,
- 2. The City Council consider reducing the tree mitigation balance associated with the off-site improvements by ½ the amount (i.e. 349.75-caliper inches). This balance would then be donated to the Parks Department to save the applicant the expense of planting and caring for the trees on-site.

If the City Council does not approve one (1) of the two (2) alternatives, the applicant has stated that they intend to provide the full balance to the Parks Department to be used in other areas of the City. According to Section 7, Alternative Tree Mitigation Settlement Agreement, of Article X, of the Unified Development Code (UDC), the City Council -- upon recommendation from the Planning and Zoning Commission -- may consider an Alternative Tree Mitigation Settlement Agreement where, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant.

Attached to this memo is the applicant's letter requesting the alternatives and an exhibit indicating the tree's that will be required to be removed with the 12-inch sanitary sewer line. Should the Planning and Zoning Commission have any questions staff will be available at the <u>June 25</u>, <u>2019</u> meeting.



4/16/2019 LM

# **Project Plan Review History**

**Project Number** P2019-019

Lot 11, Block A, 205 Business Park

Type PLAT Subtype **FINAL** 

**P&Z HEARING** Status

Owner RACK, PARTNERS LTD Applicant

MIKE SAMPLES

**Applied** Approved Closed

Expired Status

4/25/2019 DG

**Site Address** 

**Project Name** 

City, State Zip

125 NATIONAL DR ROCKWALL, TX 75032 Zoning

Subdivision

Tract

Block

Lot No

Parcel No

**General Plan** 

2-16 2-16 0128-0000-0002-16-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	4/16/2019	4/23/2019	4/18/2019	2	APPROVED	
ENGINEERING (4/18/2019 11:36 A	Sarah Hager	4/16/2019	4/23/2019	4/18/2019	2	COMMENTS	
• • •	•	e responsible	for all maint	enance, repair, a	nd recon	struction of all drainage and	detention systems in easements."
FIRE	Ariana Hargrove	4/16/2019	4/23/2019	4/22/2019	6	APPROVED	
GIS	Lance Singleton	4/16/2019	4/23/2019	4/18/2019	2	APPROVED	
PLANNING	David Gonzales	4/16/2019	4/23/2019	4/25/2019	9	COMMENTS	See comments

Consider a request by Mike Samples for the approval of a final plat for Lot11, Block A, 205 Business Park Addition being a 1.50-acre tract of land identified as Tract 2-16 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 125 National Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday May 7, 2019. Please provide one (1) large copy [24" X 36" FOLDED] and one PDF version for a final review by staff:

\*\* Planning Department General Comments to be addressed:

The following staff comments are to be addressed and resubmitted no later than Tuesday May 7, 2019. Please provide one (1) large copy [24" X 36" FOLDED] and one PDF version for a final review by staff:

- \*\* Planning Department General Comments to be addressed:
- 1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document
- 2. Provide a label indicating "Case No. P2019-019" on the lower right corner on all pages of the revised final plat.
- 3. Correct Title Block to read as follows:

Final Plat

Lot 11, Block A, 205 Business Park Addition

being 1-Lot containg 1.50-acres or 65,338 SF

Identifed as Tract 2-15 of the J.R. Johnson Survey, Abstract 128

An Addition to the City of Rockwall, Rockwall County, Texas

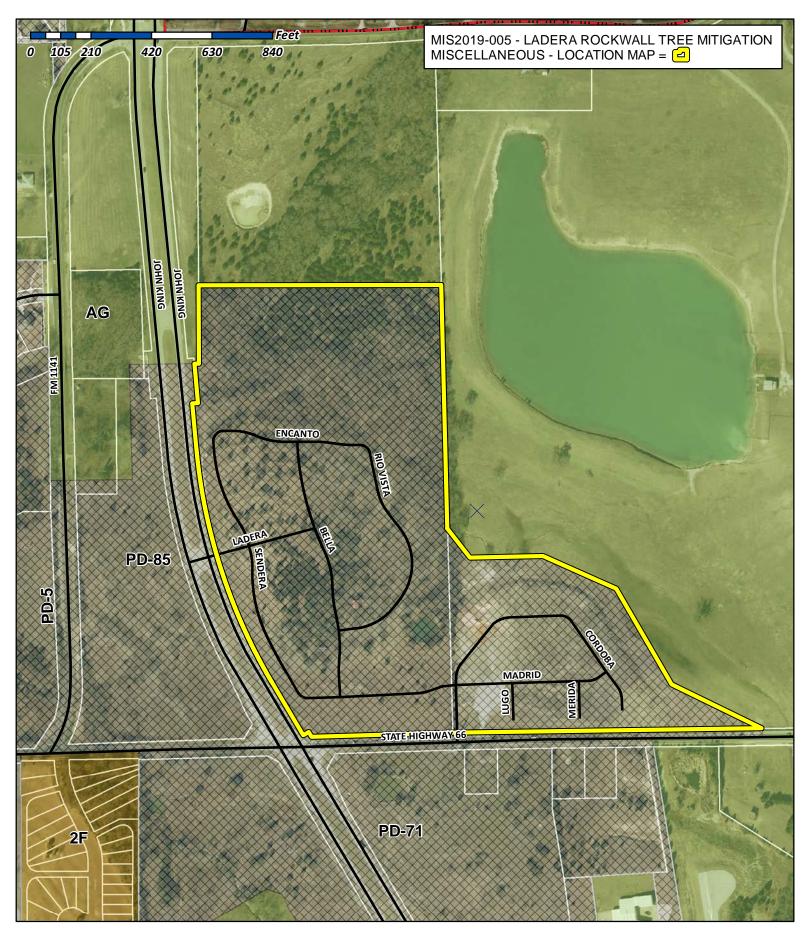
- \*\* As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing. \*\*
- \*\* Although on this case is on the Consent Agenda, staff would recommend that you and/or your representative(s) are in attendance for this request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend

Planning - Consent Agenda: April 30, 2019 (Tuesday at 6:00 p.m.)

City Council - Consent Agenda: May 6, 2019 (Monday at 6:00 p.m.)

Project Reviews.rpt Page 2 of 2





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



# **Gonzales, David**

From: Miller, Ryan Sent:

Wednesday, April 17, 2019 11:51 AM

To: Gonzales, David

**Subject:** Fwd: Request for Hearing on Tree Mitigation

Importance: High

Follow up **Follow Up Flag:** Flag Status: Flagged

Attached is John Delin's request. I will prepare a caption this afternoon. Thanks.

## Rvan C. Miller, AICP

Director of Planning and Zoning Planning and Zoning Department City of Rockwall, Texas

Please excuse any errors, this was sent from my mobile device.

----- Original message -----

From: John Delin < john@integritygroups.com>

Date: 4/17/19 10:16 AM (GMT-06:00)

To: "Miller, Ryan" < RMiller@rockwall.com> Subject: Request for Hearing on Tree Mitigation

Ryan,

Per our phone call earlier, we are submitting a request to have a hearing on the Tree Mitigation associated with our Ladera Rockwall project, only in reference to the Offsite Utilities portion of the project.

As you know we are installing \$500,000 for water & sewer expansion for the City which will feed future growth and unfortunately receive no Pro-rata return for this work. Additionally we are faced with almost 500 inches of tree mitigation for areas which there is considerable tree growth anyway. We would propose;

- 1. A waiver of the Mitigation in Total for the Offsite Utility portion of the project or,
- 2. Reduce by ½ the amount to be Mitigated and provide the balance as a donation to the City for its use, without us expensing the cost for labor for planting and care.
- 3. Provide the appropriate number of inches in a donation to the City for use in other areas, without us expensing the cost for labor for planting and care.

Let me know if we can get this on the agenda.

Best.

John Delin

817.252.4281 **D** 817.919.8111 **C** john@integritygroups.com

IntegrityGroups.com | LaderaTexas.com 361 W Byron Nelson Blvd Ste. 104, Roanoke, TX 76262 Main Office (817) 430-3318



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201 Country View Drive Roanoke, Texas 76262 940. 240. 1012

TBPE: 19762 TBPLS: 10194440 www.gacon.com www.mcadamsco.com



6/14/2019 LM

# **Project Plan Review History**

**Project Number** P2019-026 **Project Name** Park Station

PLAT Type

Subtype **PRELIMINARY** Status Staff Review

Owner COLUMBIA, EXTRUSION CORP **Applicant** COLUMBIA DEVELOPMENT CO, LLC **Applied** Approved Closed Expired

Status

Zoning

**Site Address** 

Subdivision

City, State Zip

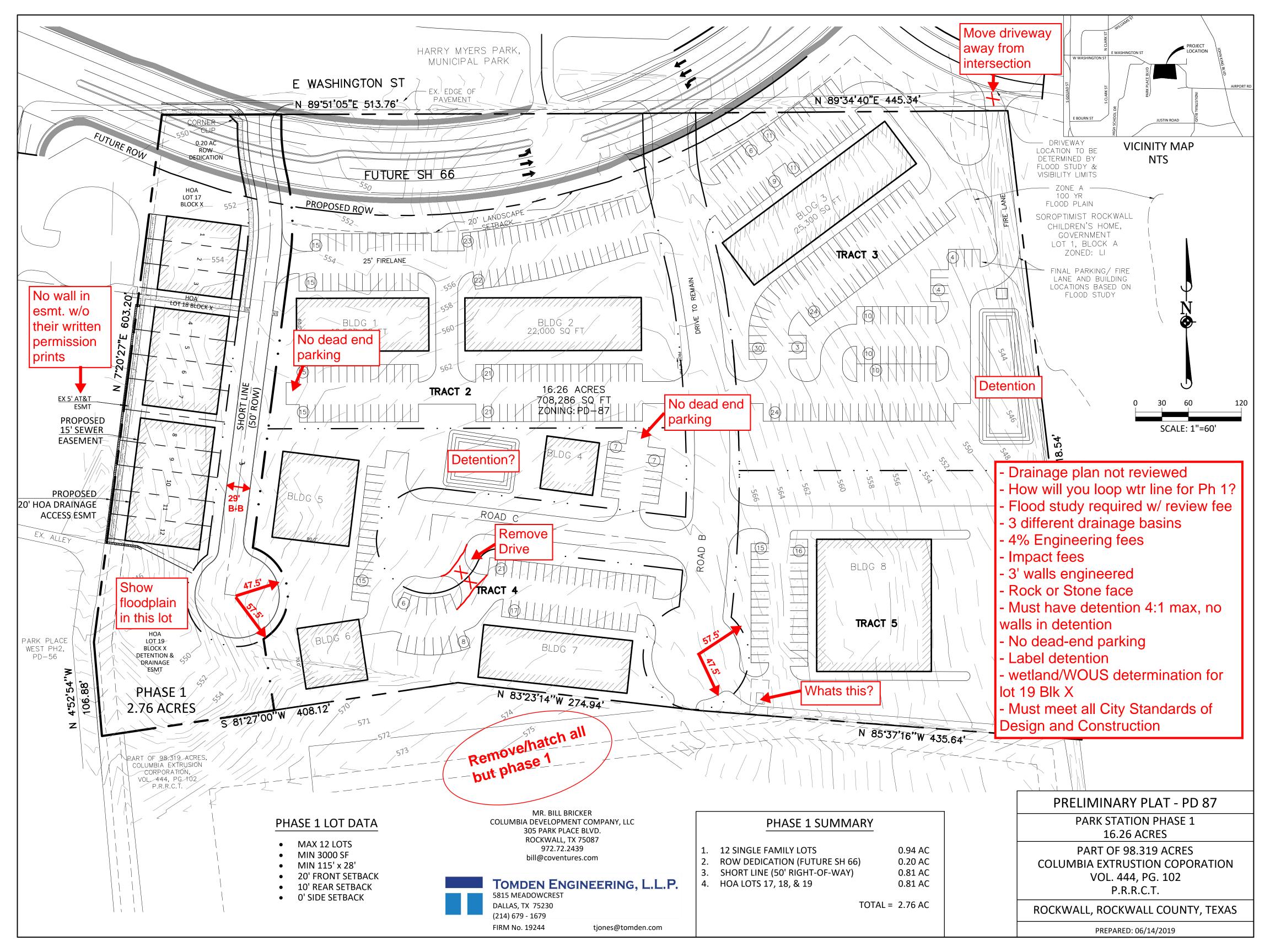
1200 E WASHINGTON ROCKWALL, TX 75087

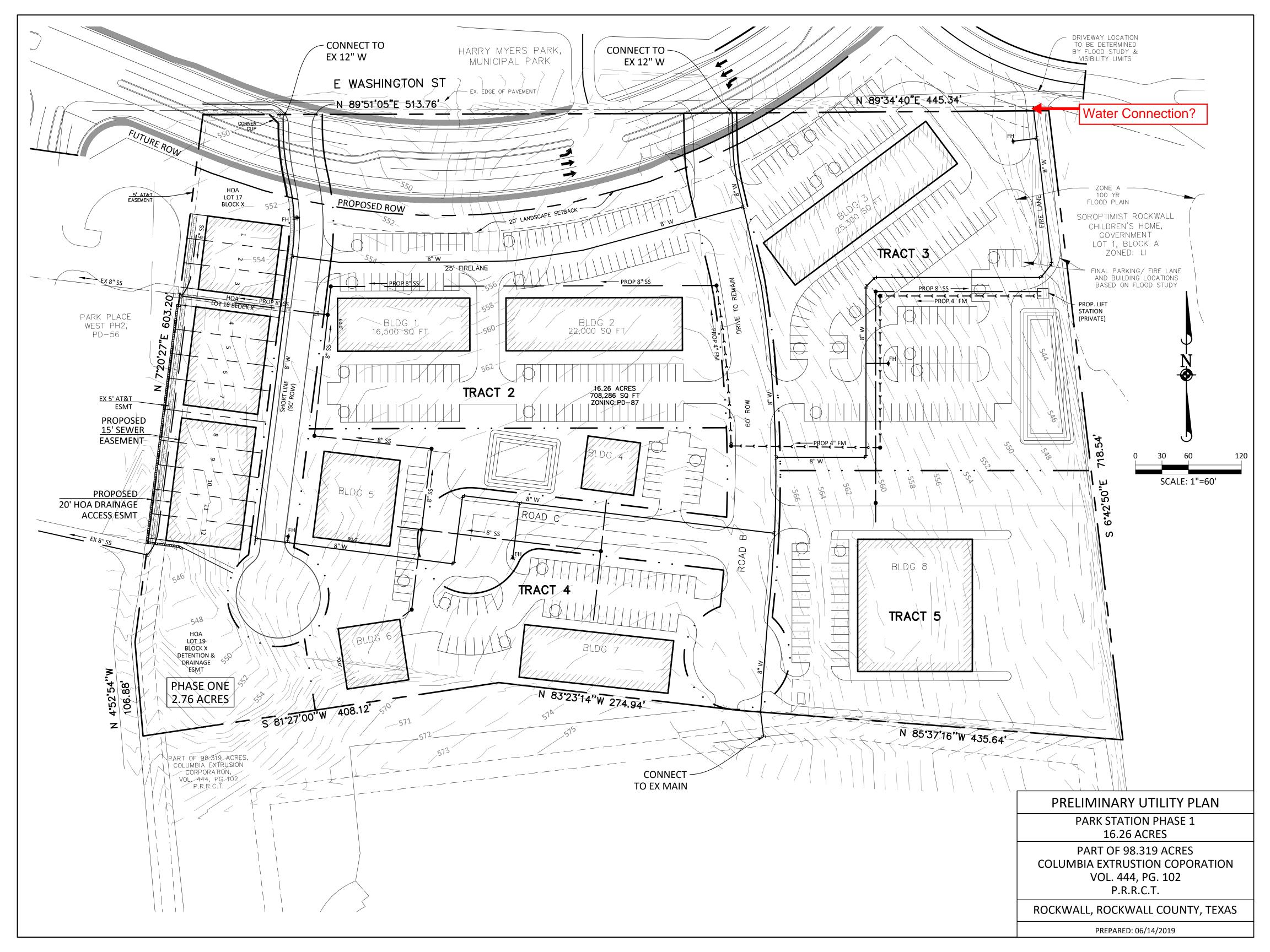
> Tract **Block** Lot No Parcel No **General Plan**

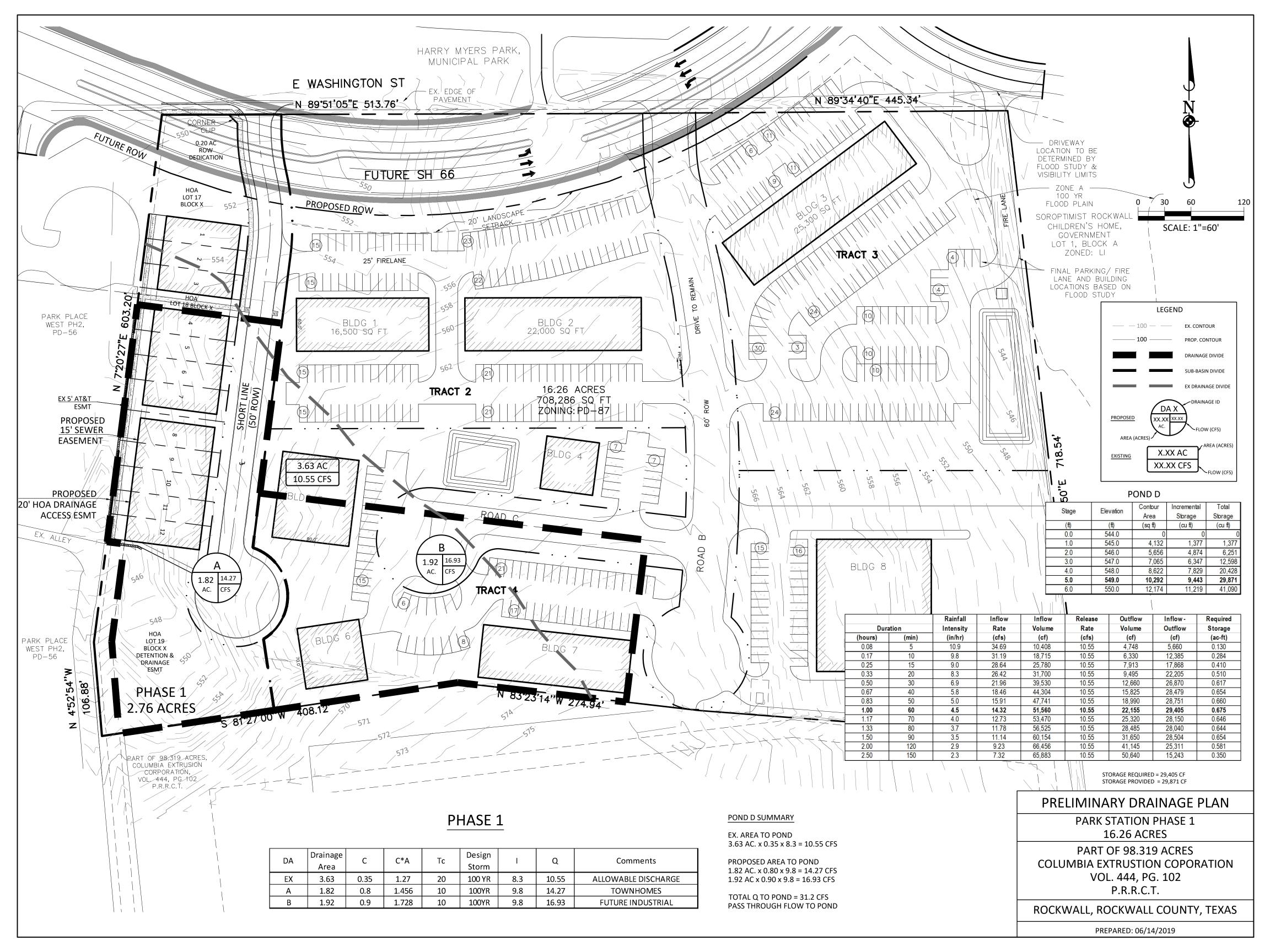
**INDALLOY ADDITION** 31 31 0029-0000-0031-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks	
BUILDING	Russell McDowell	6/14/2019	6/21/2019					
ENGINEERING	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS		

Project Reviews.rpt Page 2 of 2





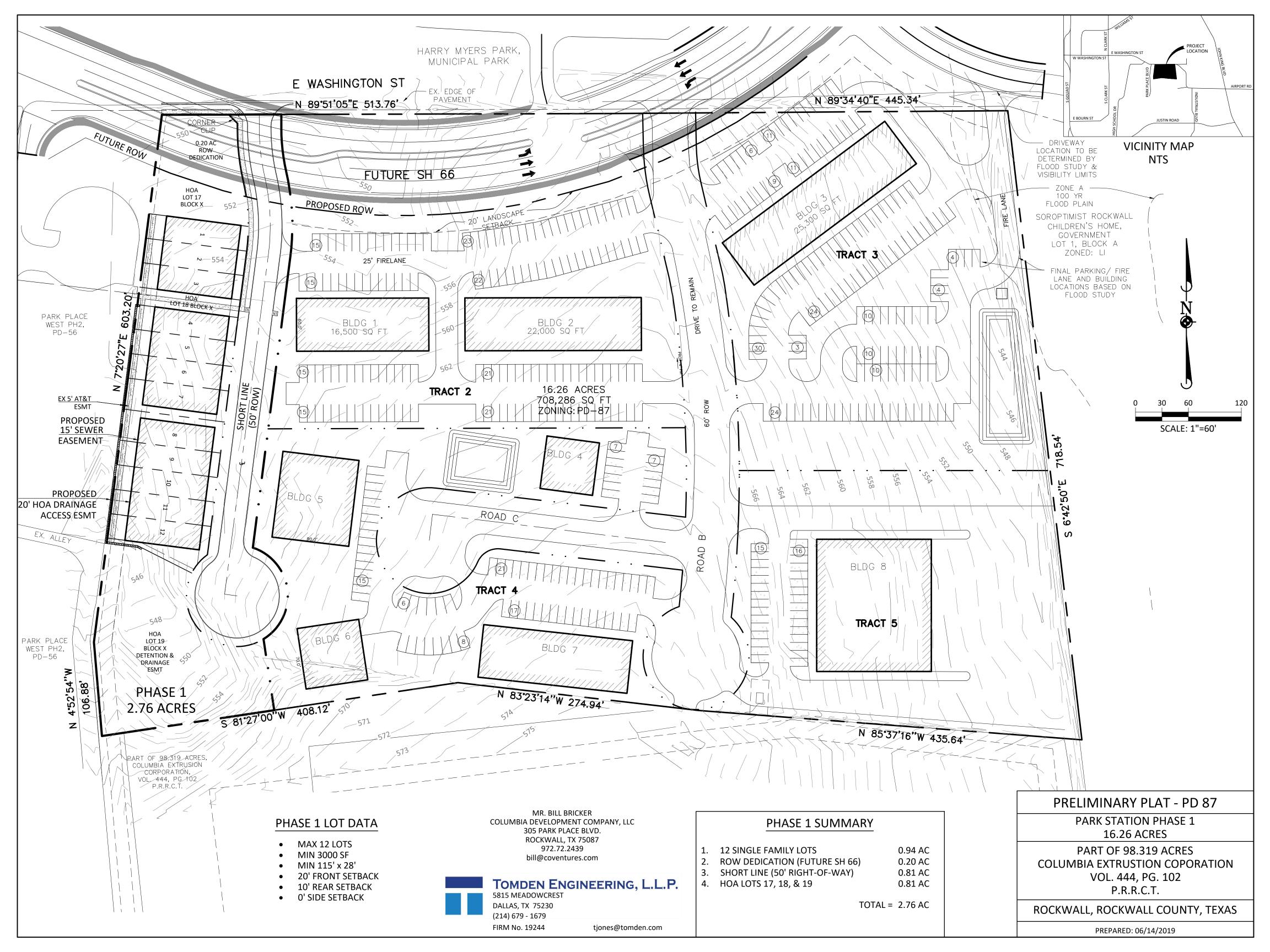


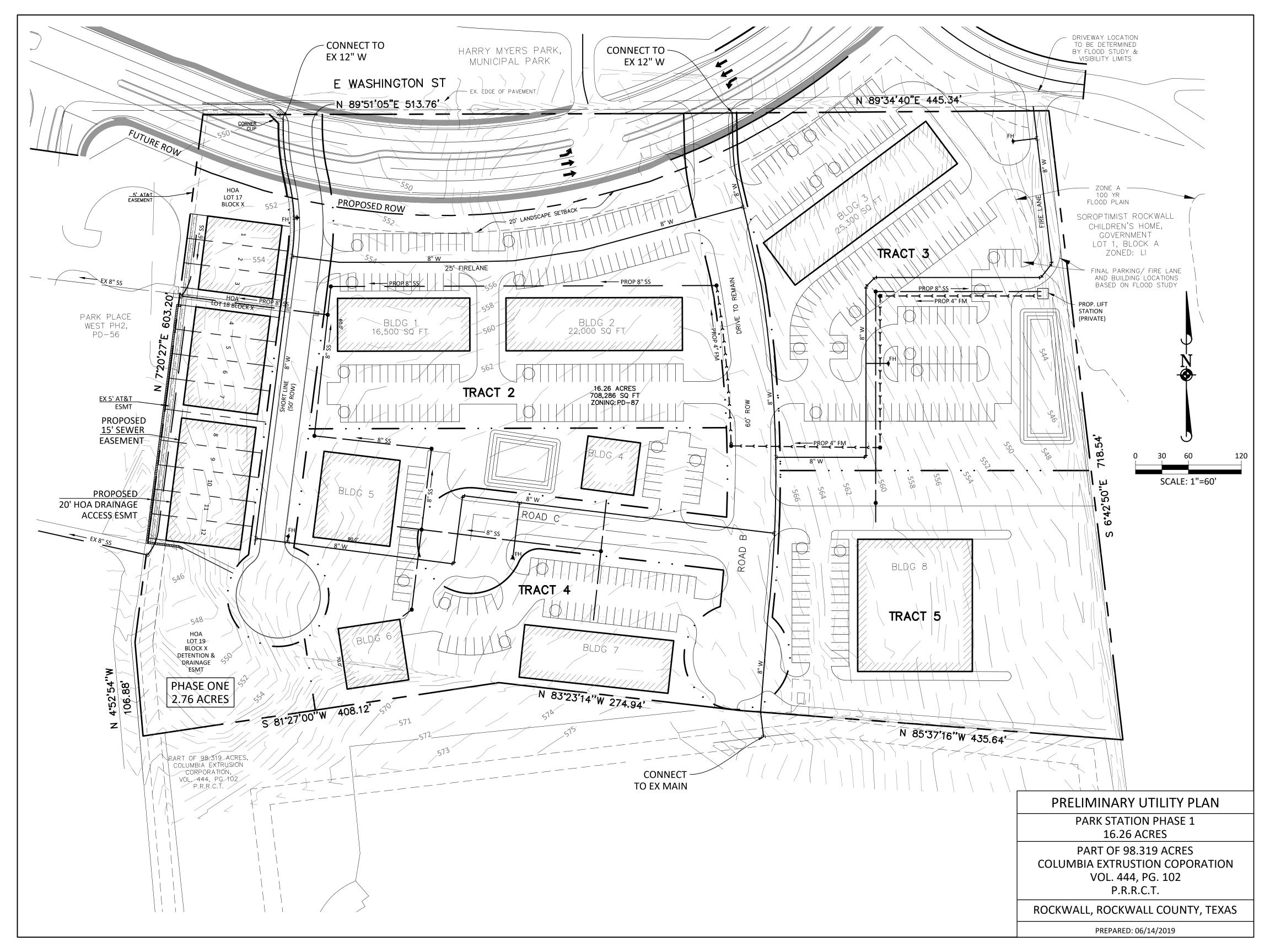


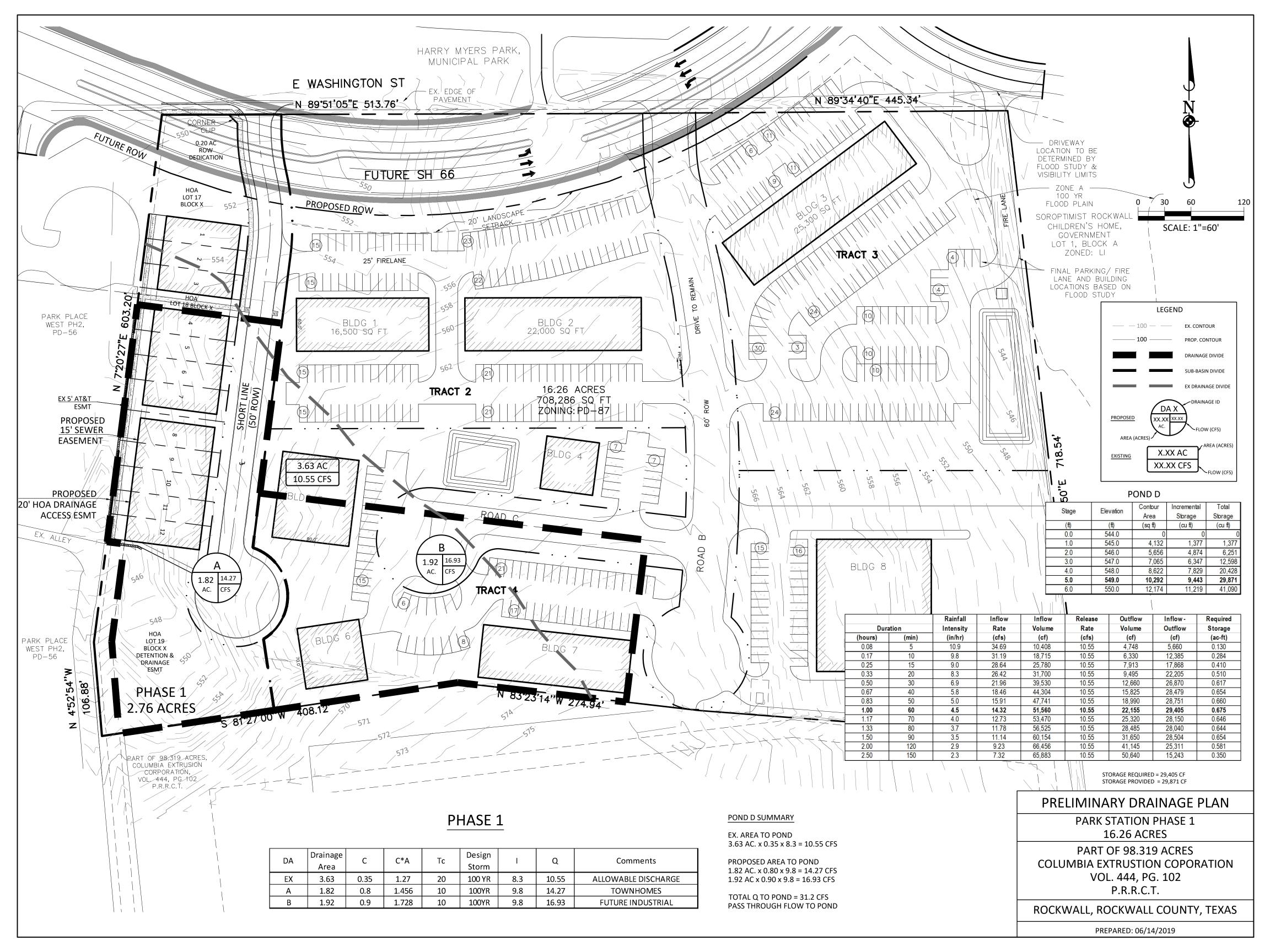


Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









#### **City of Rockwall**



#### **Project Plan Review History**

**Applied** Approved 6/14/2019 LM

**Project Number** SP2019-021 **Project Name** 

**Channel Corp** 

SITE PLAN Type Subtype **AMENDING** Status Staff Review Owner DALLAS, EAST

Applicant MULLIKEN CONSTRUCTION MANAGEMENT, INC.

Closed **Expired** Status

Site Address

City, State Zip

2400 S GOLIAD ROCKWALL, TX 75032 Zoning

Subdivision

Tract

**Block** 

Lot No

**Parcel No** 

**General Plan** 

4832-000B-0001-00-0R **ROCKWALL BUSINESS PARK EAST PH 2** 1 В 1

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3 APPROVED		
ENGINEERING (6/21/2019 10:00 A	Amy Williams	6/14/2019	6/21/2019	6/21/2019	7 COMMENTS		

- Fire lane radius is minimum of 20'. If the building is more than 36' tall, then the radius must be 30' minimum.
- All additional parking to be 20'x9'.
- The as-built plans show a curb inlet where you are proposing a parking island. This location may conflict with the plan.
- How are you getting water and sewer to the new guard shack?
- No storage in easements.

The following items are for your information for engineering design.

- Need to show TXDOT Row for John King
- Must show existing/proposed utilities
- 4% Engineering fees
- Impact fees for new taps
- Walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- 20'x9' parking
- 20' R min for fire lane
- No storage on any easements
- Need to show ex. easements
- Must meet all City Standards of Design and Construction.

FIRE

Ariana Hargrove

6/14/2019 6/21/2019 6/21/2019

7 COMMENTS

see comment

(6/21/2019 9:32 AM AA)

Remove "storage" label from fire lane along north end of the property.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3 APPROVED	
PLANNING	David Gonzales	6/14/2019	6/21/2019	6/20/2019	6 COMMENTS	See comments

Project Reviews.rpt Page 2 of 4

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

#### PLANNING AND ZONING 1ST ROUND STAFF COMMENTS (06.20.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

- \*\* Planning Department General Comments & Requirements to address/acknowledge:
- 1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
- 2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy (CO).
- 3. Label all revised site plan documents with "Case No. SP2019-021" at the lower right corner of each plan.

#### EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

- 1. Screening fence existing chain link screening fence to be upgraded to meet code requirement for screening fence Sec. 5.6, of Art. V, of the UDC requires screening fences to be constructed with a masonry fence, minimum six (6)-feet in height. As an alternative, berms in conjunction with a minimum of a six-foot wrought fence and a combination of trees and shrubs can be utilized to meet the screening requirements if the planning and zoning commission determines that the proposed alternative will provide sufficient screening
- \*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

#### Site Plan:

- 1. Delineate, label and hatch all proposed storage areas. Provide detail of screening mechanism. What is the total square footage of outside storage?
- 2. Under symbology, define 'work area'. The UDC requires all work areas to be within a completely enclosed building. Update Symbology legend.
- 3. What is happening with the areas shaded in gray on the east side of the building that faces John King Blvd? Will parking be eliminated? Are these outdoor work areas?
- 4. Move label with arrows indicating "Storage" from the drive aisle along the northern portion of the property and define the storage areas
- 5. Remove the label indicating "new 2 story office expansion." This will require submittal and approval of a separate building permit
- 6. Remove label indicating 24-ft firelane along the western portion of building as this is currently under request to abandon the firelane
- 7. Ghost in all areas indicating "Future" (i.e. building, shelter, restrooms, parking, etc.).
- 8. Provide elevations for guard shack. Materials to match existing (i.e. masonry structure).

#### Landscape Plan:

- 1. Landscaping to be installed as defined on the approved landscape plan [SP2014-011] subfmitted in June 2014.
- 2. Proposed storage areas along Justin Road and the area located on the western portion of the building where the rail spur tracks are located are to be screened meeting the requirements of Sec. 5.6, of Article V, of the UDC as indicated above.

Project Reviews.rpt Page 3 of 4

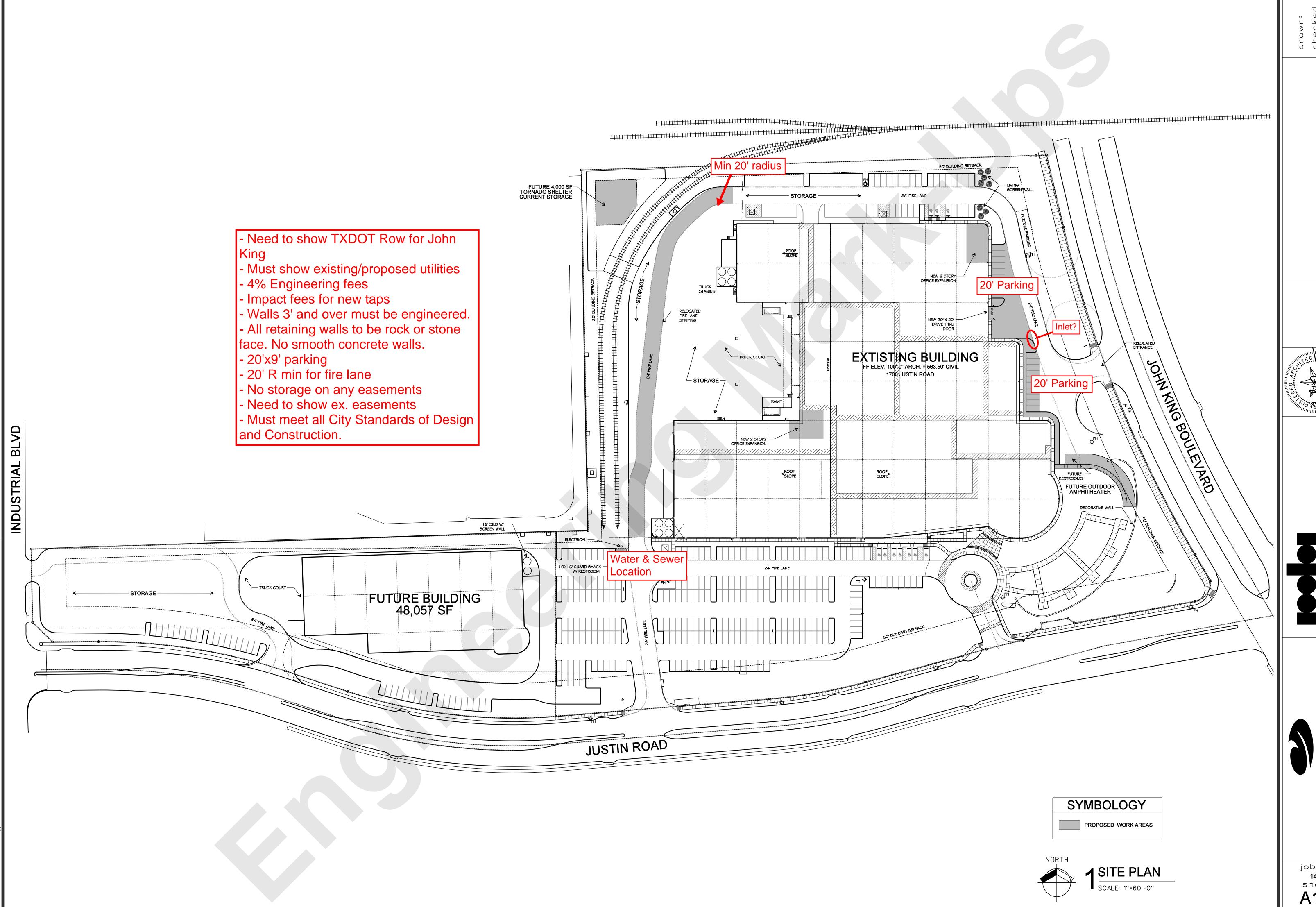
\*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend

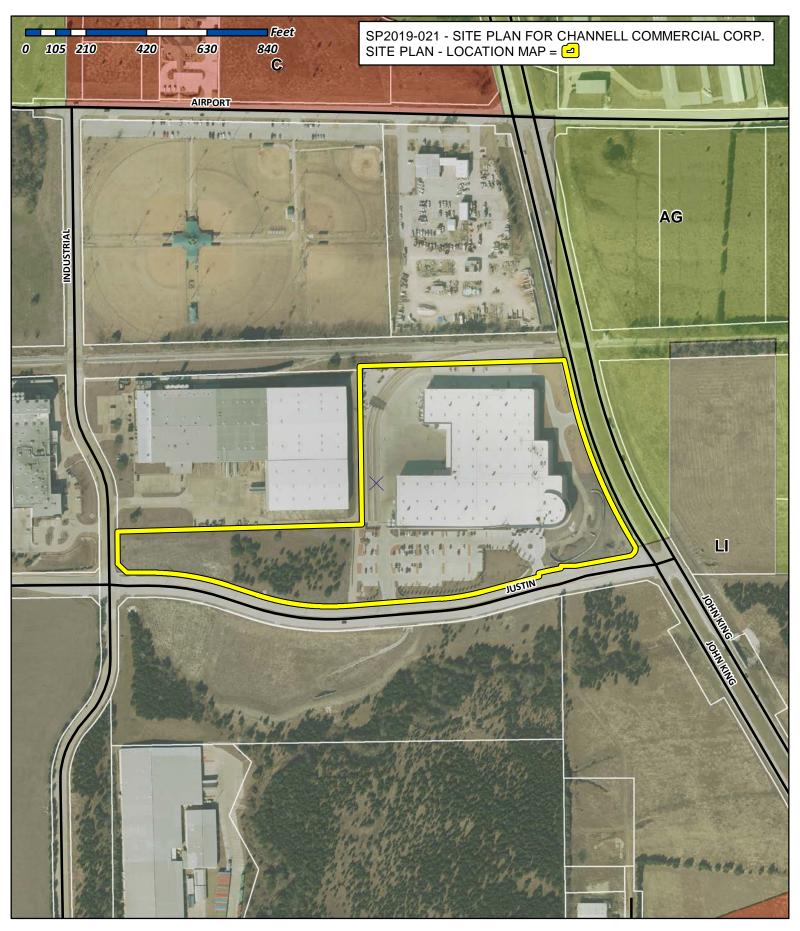
Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]

Planning - Action: July 9, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

Project Reviews.rpt Page 4 of 4



job no sheet A1.0





# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



drawn: checked **MARK W. PROS**; date **06/14/2019** 

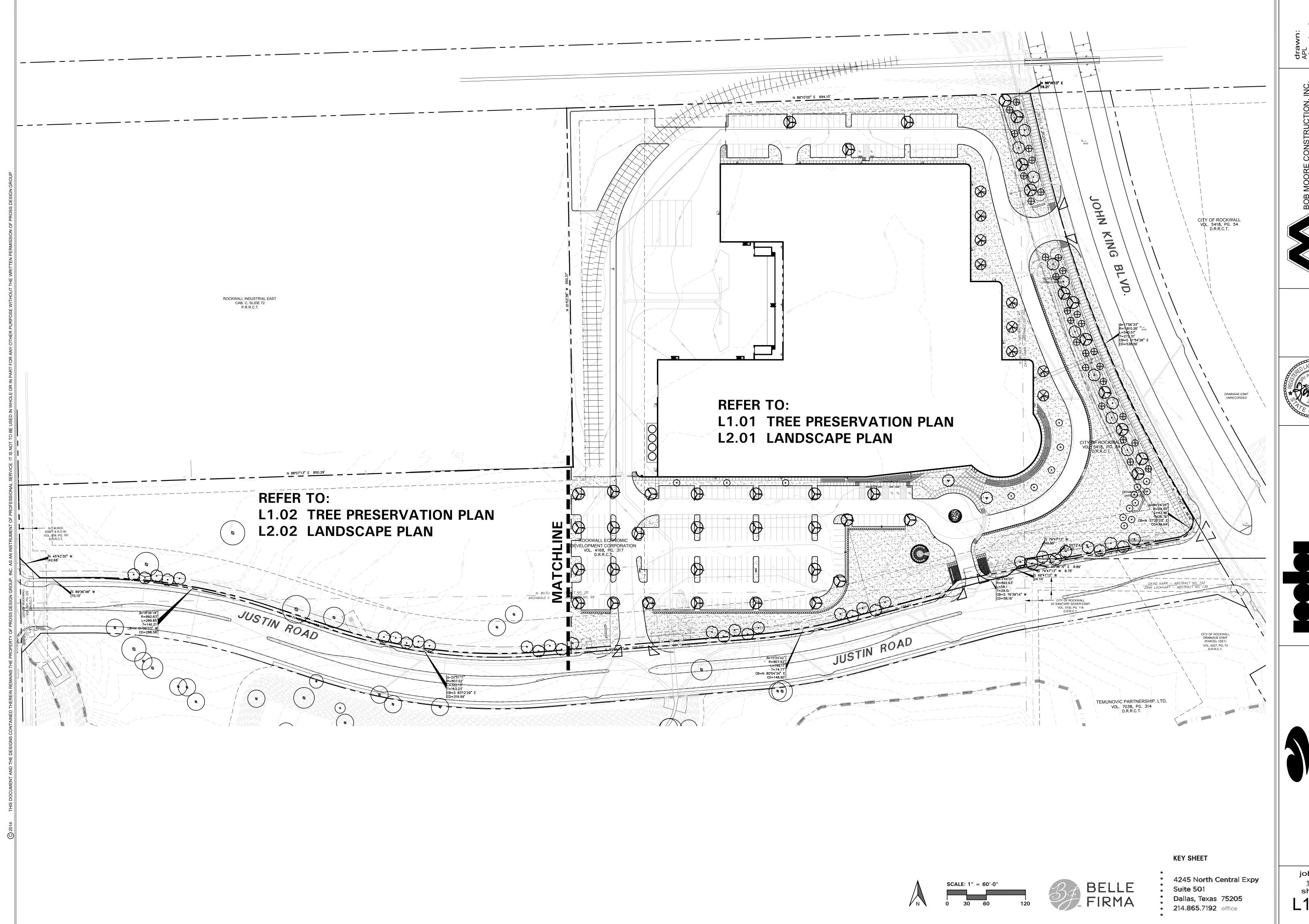
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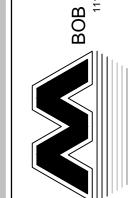
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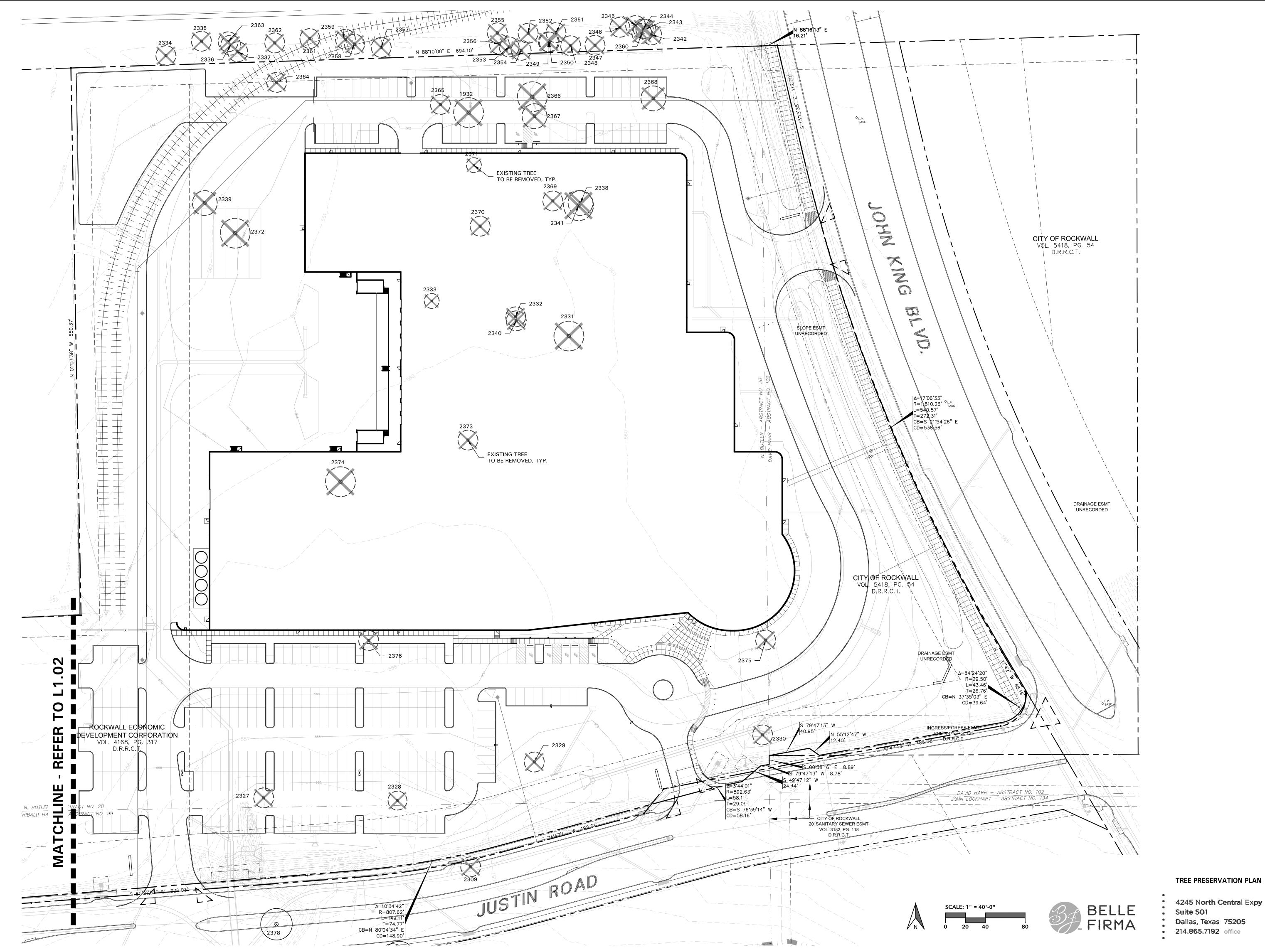
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1110 N. WATSON ROAD
(817)
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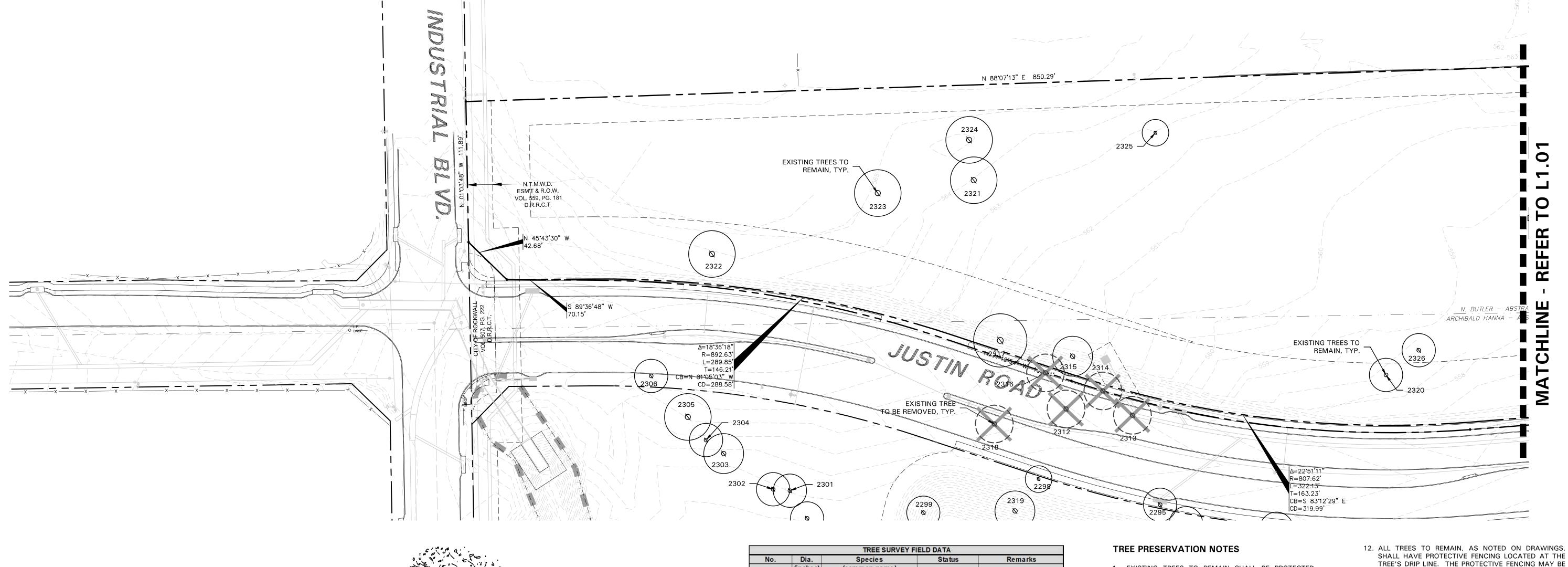
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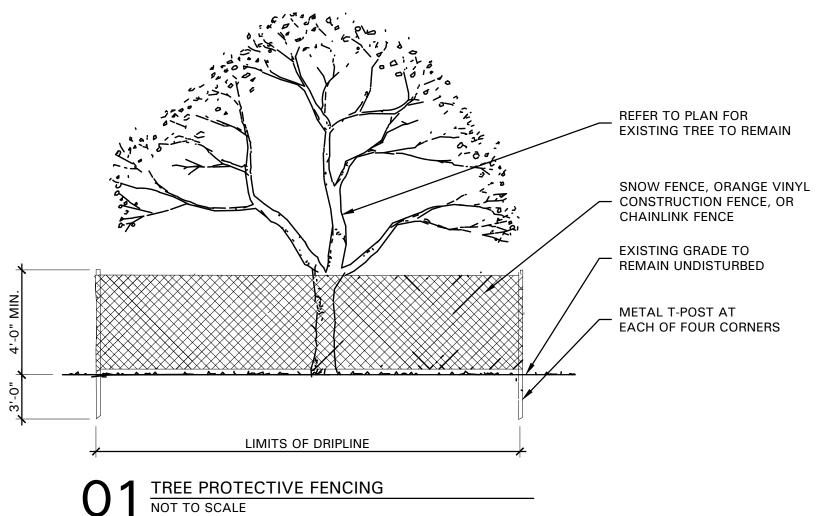
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		TREE SURVEY	FIELD DATA		
No.	Dia.	Species	Status	Remarks	
	(inches)	(common name)			
1932	13	MULTI-TRUNK CEDAR	TO BE REMOVED		
2309	11	MULTI-TRUNK CEDAR	TO REMAIN		
2312	14	MULTI-TRUNK CEDAR		FUTURE RIGHT OF WAY	
2313	19	MULTI-TRUNK CEDAR	TO BE REMOVED	FUTURE RIGHT OF WAY	
2314	16	MULTI-TRUNK CEDAR		FUTURE RIGHT OF WAY	
2315	18	MULTI-TRUNK CEDAR	TO REMAIN		
2316	11	CEDAR	TO BE REMOVED	FUTURE RIGHT OF WAY	
2317	20	MULTI-TRUNK CEDAR	TO BE REMOVED	FUTURE RIGHT OF WAY	
2320	16	MULTI-TRUNK CEDAR	TO REMAIN		
2321	18	MULTI-TRUNK CEDAR	TO REMAIN		
2322	21	MULTI-TRUNK CEDAR	TO REMAIN		
2323	23	MULTI-TRUNK CEDAR	TO REMAIN		
2324	20	MULTI-TRUNK CEDAR	TO REMAIN		
2325	12	MULTI-TRUNK CEDAR	TO REMAIN		
2326	12	MULTI-TRUNK CEDAR	TO REMAIN		
2327	15	MULTI-TRUNK CEDAR	TO BE REMOVED		
2328	13	MULTI-TRUNK CEDAR	TO BE REMOVED		
2329	11	CEDAR	TO BE REMOVED		
2330	20	MULTI-TRUNK CEDAR	TO BE REMOVED		
2331	20	MULTI-TRUNK CEDAR	TO BE REMOVED		
2332	11	MULTI-TRUNK CEDAR	TO BE REMOVED		
2333	12	MULTI-TRUNK CEDAR	TO BE REMOVED		
2338	14	MULTI-TRUNK CEDAR	TO BE REMOVED		
2339	14	CEDAR	TO BE REMOVED		
2340	14	MULTI-TRUNK CEDAR	TO BE REMOVED		
2341	18	MULTI-TRUNK CEDAR	TO BE REMOVED		
2364	13	CEDAR	TO BE REMOVED		
2365	11	CEDAR	TO BE REMOVED		
2366	11	CEDAR	TO BE REMOVED		
2367	15	MULTI-TRUNK CEDAR	TO BE REMOVED		
2368	13	CEDAR	TO BE REMOVED		
2369	13	MULTI-TRUNK CEDAR	TO BE REMOVED		
2370	11	CEDAR	TO BE REMOVED		
2371	11	MULTI-TRUNK CEDAR	TO BE REMOVED		
2372	12	CEDAR	TO BE REMOVED		
2373	11	HACKBERRY	TO BE REMOVED		
2374	15	MULTI-TRUNK CEDAR	TO BE REMOVED		
2375	12	CEDAR	TO BE REMOVED		
2376	11	CEDAR	TO BE REMOVED		

Total Caliper Inches on Site Total Caliper Inches Removed Total Mitigation Inches Required Total Mitigation Inches Provided

- 3. NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- 4. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR WITH TRACKS IS ALLOWED WITHIN THE CRITICAL
- 5. NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- 6. NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS,
- 8. NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- 9. BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.

250.5

- 10. IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- 11. ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- 2. IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT ROOT ZONE OF THE TREES.

- 7. NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.

- COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- 13. WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

### **EXISTING TREE LEGEND**



TO REMAIN

EXISTING TREE TO BE REMOVED

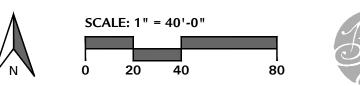
TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.02

# TREE PRESERVATION PLAN

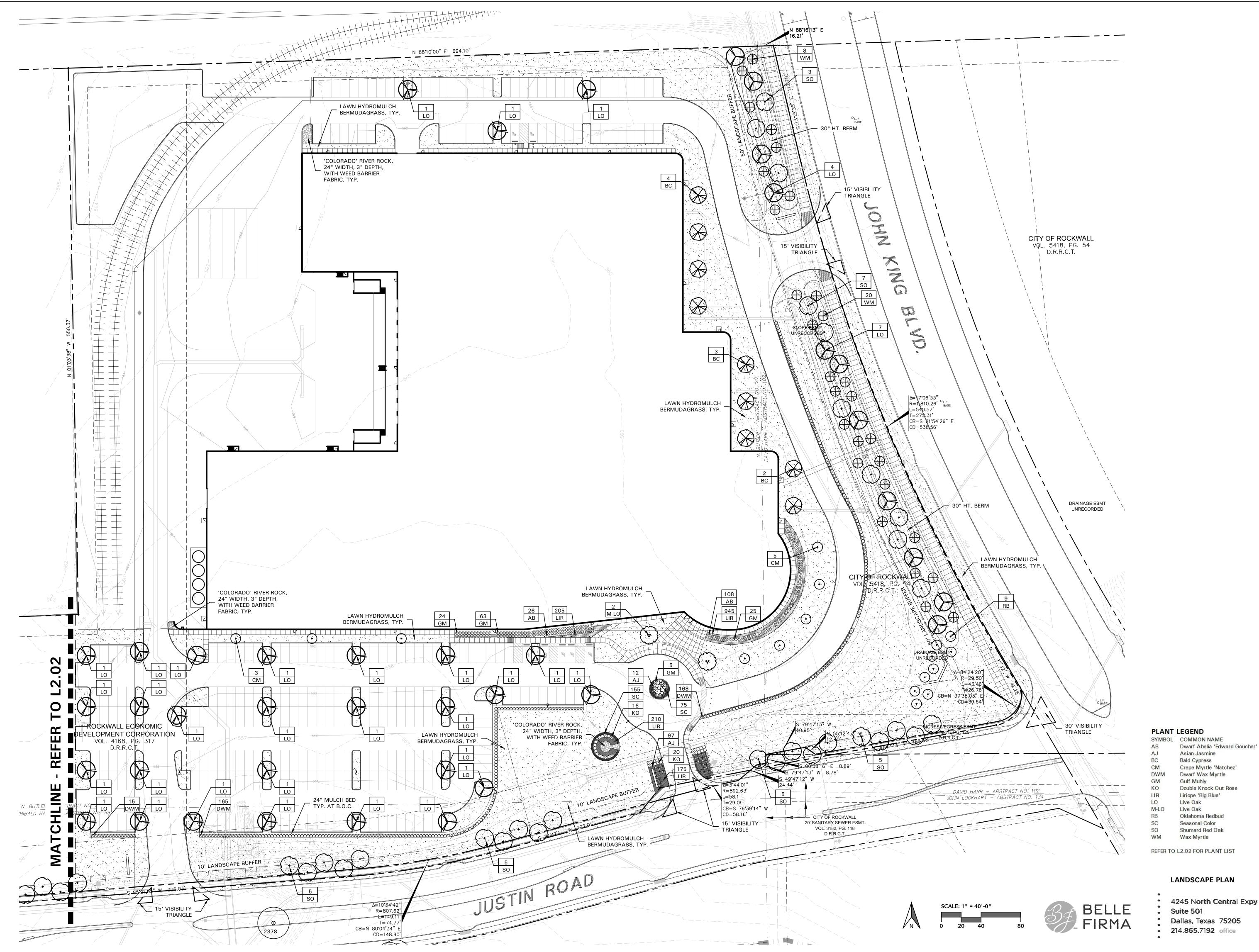
4245 North Central Expy

Dallas, Texas 75205

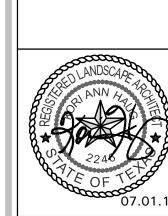
• 214.865.7192 office













4245 North Central Expy

job no <u>1423</u> sheet L2.01

### PLANT LIST

SYMBOL	BOTANICAL NAME TREES	COMMON NAME	QTY.	SIZE	REMARKS
BC	Taxodium distichum	Bald Cypress	9	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CM	Lagerstroemia indica 'Natchez'	Crepe Myrtle 'Natchez'	8	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
LO	Quercus virginiana	Live Oak	40	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
M-LO	Quercus virginiana	Live Oak	2	3" cal.	container grown, 3-5 trunk, 12' ht., 4' spread, 4' branching ht., matching
RB	Cercis canadensis 'Oklahoma'	Oklahoma Redbud	9	30 gal.	container grown, 8' ht., 4' spread min.
SO	Quercus shumardii	Shumard Red Oak	45	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
WM	Myrica cerifera	Wax Myrtle	28	6' ht.	container grown, full to base, 3' spread
AB AJ DWM GM	SHRUBS/GROUNDCOVER Abelia grandiflora 'Edward Goucher' Juniperus tobira 'Andorra' Myrica pusilla Muhlenbergia capillaris	Dwarf Abelia 'Edward Goucher' Andorra Juniper Dwarf Wax Myrtle Gulf Muhly	134 109 348 117	3 gal. 5 gal. 5 gal. 5 gal.	container full, 18" spread, 24" o.c. container full, 20" spread, 36" o.c. container full, 20" spread, 24" o.c. container full, 36" o.c.
КО	Rosa hybrida 'Radtko'	Double Knock Out Rose	36	5 gal.	container full, 20" spread, 36" o.c.
LIR SC	Liriope muscari 'Big Blue'	Liriope 'Big Blue' Seasonal Color	1535 230	4" pots 4" pots	container full top of container, 12" o.c. container full, 12" o.c., selection by Owner
	Cynodon dactylon	Common Bermudagrass			refer to notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

### LANDSCAPE NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- 5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- 6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE HYDROMULCH BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

### MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- 2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- 4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- 6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

#### **GENERAL LAWN NOTES**

CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.

CD=319.99'

- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- 3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- 4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- 6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- 7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

### **HYDROMULCH NOTES**

- 1. CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- 2. BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- 3. FIBER SHALL BE ONE HUNDRED PERCENT (100%)
  WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN
  ITS ORIGINAL UNOPENED CONTAINER AS
  MANUFACTURED BY 'CONWEB' OR EQUAL.
- 4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
- 5. HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- 6. USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
- 7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER

RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON

8. ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

# LANDSCAPE TABULATIONS THE CITY OF ROCKWALL, TEXAS

AS PART OF THIS CONTRACT.

SITE SUMMARY
Site Area = 18.95 AC; 825,439 s.f.
Impervious Area = 9.64 AC; 419,872 s.f.
Landscape Area = 9.31 AC; 405,567 s.f.
Building Area = 206,024 s.f.

## STREET LANDSCAPING 1. 10' wide landscape buffer with one tree per 50 l.f. along

- Justin Rd.
  2. 50' wide landscape buffer with a built-up berm (30"-40"
- ht.), shrubs or combination along John Kind Boulevard.

  3. 3 canopy trees and 4 accent trees per every 100 l.f. along John King Boulevard.

JUSTIN RD. - 1,833 l.f.
Required Provided
10' buffer 10' buffer
(37) canopy trees, 4" cal. (35) trees, 4" cal.

PARKING LOT LANDSCAPING

JOHN KING PARKWAY - 700 l.f.
Required Provided
50' buffer 50' buffer

Required Provided 50' buffer (21) canopy trees, 4" cal. (28) accent trees, 4' ht. (28) accent trees, 4' ht.

# 5% of the interior parking lot shall be landscape. One (1) large tree per 10 spaces No required parking space more than 80' from a tree Screening of parking lot along Justin Rd.

Total interior parking lot area = 107,727 s.f.
Total parking spaces = 277 spaces

Required Provided 5,386 s.f. (5%) 10,224 s.f. (9%)

5,386 s.f. (5%) 10,224 s.f. (9%) (28) trees, 3" cal. all spaces within 80' of tree all spaces within 80' of tree

# SITE LANDSCAPING 1. 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.

100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

Total site = 18.95 AC; 825,439 s.f.

82,543 s.f. (10%) 129,079 s.f. (15%) 125,052 s.f. (151%)

NO TREES WITHIN 5'-O" OF ANY UTILITIES

IRRIGATION WILL MEET REQUIREMENTS OF UDC

Suite 501

LANDSCAPE PLAN

4245 North Central Expy

Dallas, Texas 75205

214.865.7192 office

job no

1423
sheet

L2.02

BELLE

DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT O

#### 1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

#### 1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- 1. Planting (trees, shrubs and grasses)
- 2. Bed preparation and fertilization
- 3. Notification of sources
- 4. Water and maintenance until final acceptance
- 5. Guarantee

#### 1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 Cornell University
- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS
- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before

#### 1.5 JOB CONDITIONS

use on the project.

- A. General Contractor to complete the following punch list: Prior to 1.7 QUALITY ASSURANCE Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

#### 1.6 MAINTENANCE AND GUARANTEE

#### A. Maintenance:

- 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING immediately.
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be
- included under "Work" of this section. 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods
- and cultivate beds once a month after final acceptance. 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

#### Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
- 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
- 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules
- 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

### do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

#### A. Preparation:

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on iob site.
- 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.

5. Notify Owner's Authorized Representative of delivery

- schedule 72 hours in advance job site. 6. Remove rejected plant material immediately from job site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

#### **PART 2 - PRODUCTS**

#### 2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant. not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. 2.3 MISCELLANEOUS MATERIALS Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken ranches, bjectionable distigurements, insect eggs and larvae, and are to be of specimen quality.
- Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

### specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken PART 3 - EXECUTION root ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, 3.1 BED PREPARATION & FERTILIZATION measured six (6") inched above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

#### 2.2 SOIL PREPARATION MATERIALS

#### A. Sandy Loam:

- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
  - 2. Physical properties as follows: a. Clay – between 7-27 percent
  - b. Silt between 15-25 percent c. Sand – less than 52 percent
  - 3. Organic matter shall be 3%-10% of total dry weight.
  - 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of 3.2 INSTALLATION course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved
- Sharp Sand: Sharp sand must be free of seeds, soil particles and
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be
- delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis. G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

icronutrients.

- A. Steel Edging: 3/16" x 4" x 16' dark green, DURAEDGE® steel landscape edging manufactured by The J.D. Russell Company under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch. D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products
- available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
  - River Rock: 'Colorado' or native river rock, 2" 4" dia.

#### F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed

earth base.

- A. Landscape Contractor to inspect all existing conditions and
- report any deficiencies to the Owner.

#### B. All planting areas shall be conditioned as follows:

- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- 2. All planting areas shall receive a two (2") inch layer of specified mulch.
- 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

#### C. Grass Areas:

1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter  $(\frac{3}{4})$  inch in diameter. Plants should be thoroughly moist before removing 3.3 CLEANUP AND ACCEPTANCE containers.
- neight of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or H. Percolation Test: Fill the hole with water. If the water level does

location or have drainage added. Install a PVC stand pipe per

G. Dig a wide, rough sided hole exactly the same depth as the

- tree planting detail as approved by the Landscape Architect if the percolation test fails.
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top  $\frac{1}{3}$  of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
- J. Do not wrap trees.
- K. Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
- 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- 2. Pruning shall be done with clean, sharp tools.
- 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

#### Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- 2. All steel curbing shall be free of kinks and abrupt bends.
- 3. Top of curbing shall be  $\frac{1}{2}$ " maximum height above final finished grade.

4. Stakes are to be installed on the planting bed side of the

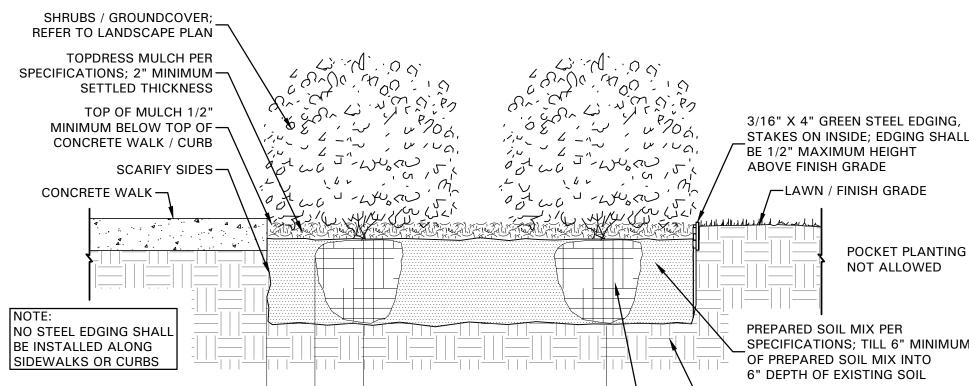
- curbing, as opposed to the grass side.
- 5. Do not install steel edging along sidewalks or curbs.

#### 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each

not percolate within 24 hours, the tree needs to move to another END OF SECTION

job no <u>1423</u> sheet



**AND NOTES** 

B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE

AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.

ROOT FLARE IS NOT APPARENT. E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK

F. 'U' BRACKET.

RING.

G. NAIL STAKE: REFER MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT

(no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

MULCH: DOUBLE SHREDDED

HARDWOOD MULCH 2 INCH SETTLED

THICKNESS, WITH 2" HT. WATERING

AVAILABLE FROM Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143

STAKE' BELOW GROUND MODEL

K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY MANUFACTURER'S THE SPECIFICATIONS INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE

INSTALLATION.

TREE PLANTING DETAIL
NOT TO SCALE

(H.)

# TREE PLANTING DETAIL LEGEND

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- SOIL. C. ROOT BALL: REMOVE TOP  $\frac{1}{3}$  BURLAP
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT &
- SHOULD BE IN THE CENTER OF THE
- DISTURB ROOTBALL).

H. BACKFILL: USE EXISTING NATIVE SOIL

RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY

jeff@treestakesolutions.com www.treestakesolutions.com

SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE

4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office

**AND DETAILS** 

LANDSCAPE SPECIFICATIONS

POCKET PLANTING NOT ALLOWED SPECIFICATIONS; TILL 6" MINIMUM OF PREPARED SOIL MIX INTO 6" DEPTH OF EXISTING SOIL REFER TO LANDSCAPE PLAN -NATIVE SOIL FOR SPACING ROOTBALL DO NOT DISTURB

### **City of Rockwall**



6/14/2019 LM

#### **Project Plan Review History**

ROCKWALL, ASSEMBLY OF GOD

Lot No

MERSHAWN ARCHITECTS

**Project Number Project Name** 

SP2019-022

The Lakes Assembly SITE PLAN

Subtype

Type

Staff Review Status

**Site Address** 

Subdivision

City, State Zip

Tract

901 WILLIAMS , TX

Owner

**Applicant** 

**Block** 

Parcel No

**General Plan** 

**Applied** 

Closed

Expired

Status

Zoning

Approved

**GREEN MEADOWS** 0029-0000-0008-00-0R 8 8

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019			
ENGINEERING (6/21/2019 9:53 AM	Sarah Hager 1 SH)	6/14/2019	6/21/2019	6/21/2019	7 COMMENTS	
<ul><li>- 4% engineering fe</li><li>- Impact fees for ro</li></ul>						
FIRE	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7 APPROVED	
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3 APPROVED	
PLANNING	Korey Brooks	6/14/2019	6/21/2019	6/20/2019	6 COMMENTS	Comments

SP2019-022 Site Plan for The Lakes Assembly: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

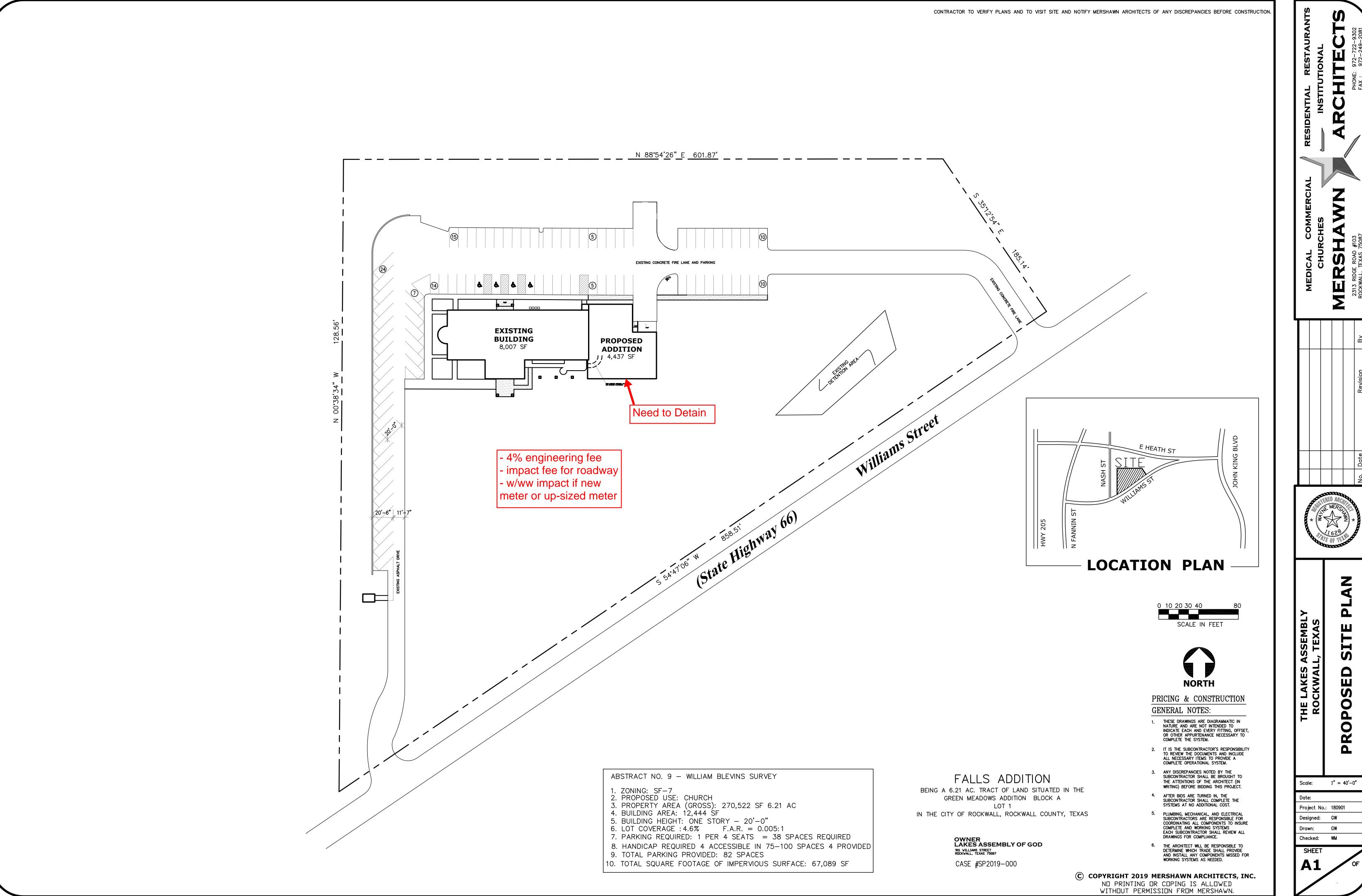
- 1. This is a request by Greg Wallis of Mershawn Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing churc on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street.
- 2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- 3. For reference, include the case number (SP2019-022) in the lower right hand corner of all pages on future submittals.
- 4. Site Plan--Will any additional exterior lighting be added?
- 5. Site Plan--Is additional parking being added?
- 6. Site Plan--Please show landscape buffer and setback adjacent to SH-66
- 7. Site Plan--Please dimension all walls
- 8. Site Plan—Please provide a light crosshatch to the existing areas.
- 9. Site Plan--Please provide a floorplan to indicate the use of the addition to ensure the parking requirement is accurate.
- 10. Site Plan--Please show and label where the mechanical equipment is and how it will be screened?
- 11. Site Plan--Please show centerline of SH-66
- 12. Site Plan--Please provide total number of seat and breakdown of existing building.
- 13. Site Plan--Please provide width of drive and radii
- 14. Site Plan--Please provide lot information on within the lot (e.g. SF, acreage, zoning, legal description, etc).
- 15. Site Plan--Please increase the font size of the items labeled on the site. Also, please note that the accessible symbols are blurry.
- 16. Site Plan--Please show and label adjacent properties.
- 17. Site Plan--Please note that a 10-foot landscape buffer including headlight screening is required along the property lines that are adjacent to residential.
- 18. Site Plan--Asshown, an exception to the horizontal articulation requirements is needed on the south elevation of the addition.
- 19. Site Plan—Please show all easements.
- 20. Landscape Plan—Please provide dimensions of all walls on the structure.
- 21. Landscape Plan—Please label the detention, building, firelane, parking, etc. as labeled on site plan
- 22. Landscape Plan—Please provide the same site data table and property information as shown on site plan.
- 23. Landscape Plan—Please note, hydromulch isn't typically allowed—sod may be required
- 24. Landscape Plan—Please note, there are some extra characters in the Total Landscape Area section of the plan.
- 25. Landscape Plan—Please show headlight screening from adjacent residential properties.
- 26. Landscape Plan—Are any trees being removed? Please indicate either way.
- 27. Landscape Plan--Please note that a 10-foot landscape buffer including headlight screening is required along the property lines that are adjacent to residential.
- 28. Landscape Plan—Please show vicinity map and the other labels as the site plan (e.g. label SH-66, etc.)
- 29. Building Elevations—Please provide the west elevation and indicate which elevation faces the street.
- 30. Building Elevations—Please provide dimension, heights, scale, etc.
- 31. Building Elevations—It appears that the ease elevation may be a different scale than the others. Please provide all 4 elevations at the same scale.
- 32. Building Elevations—Please note that a variance to horizontal articulation will be required for the south elevation of the addition.
- 33. Building Elevations—Would it be possible to provide an additional elevations page that shows existing greyed out? It is difficult to understand where the addition starts.
- 34. Building Elevations—Please provide shadows to show where projections, recesses are.
- 35. Building Elevations—Please take a look at the east elevation-it appears that there may be a discrepancy in the roofline.
- 36. Building Elevations—Please take a look at the north elevation. There appears to be some extra lines in the roof (right below the two labels for the roof).

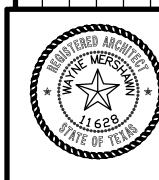
37. Building Elevations—Please show and label where the mechanical equipment is and how it will be screened?

Project Reviews.rpt Page 2 of 3

- 38. Building Elevations—Please show building materials and percentages.
- 39. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2019. The Planning and Zoning Worksession is on June 25th, 2019. The Planning and Zoning Meeting will be July 9th, 2019. Both meetings start at 6:00 p.m. The ARB meetings will be at 5:00 p.m. on the meeting dates.

Project Reviews.rpt Page 3 of 3





Project No.: 180901

Designed: GW Drawn: GW Checked: WM

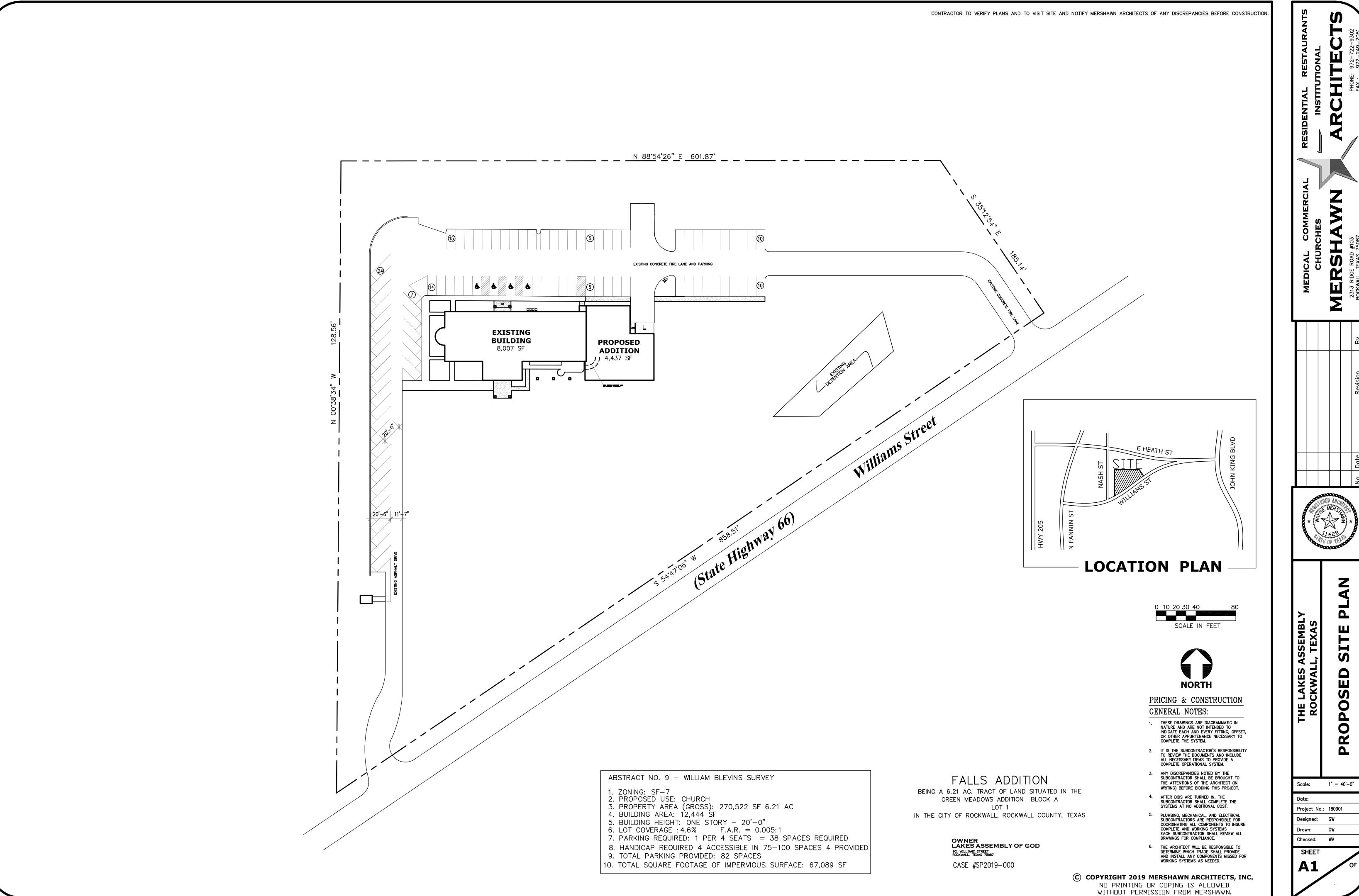




# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

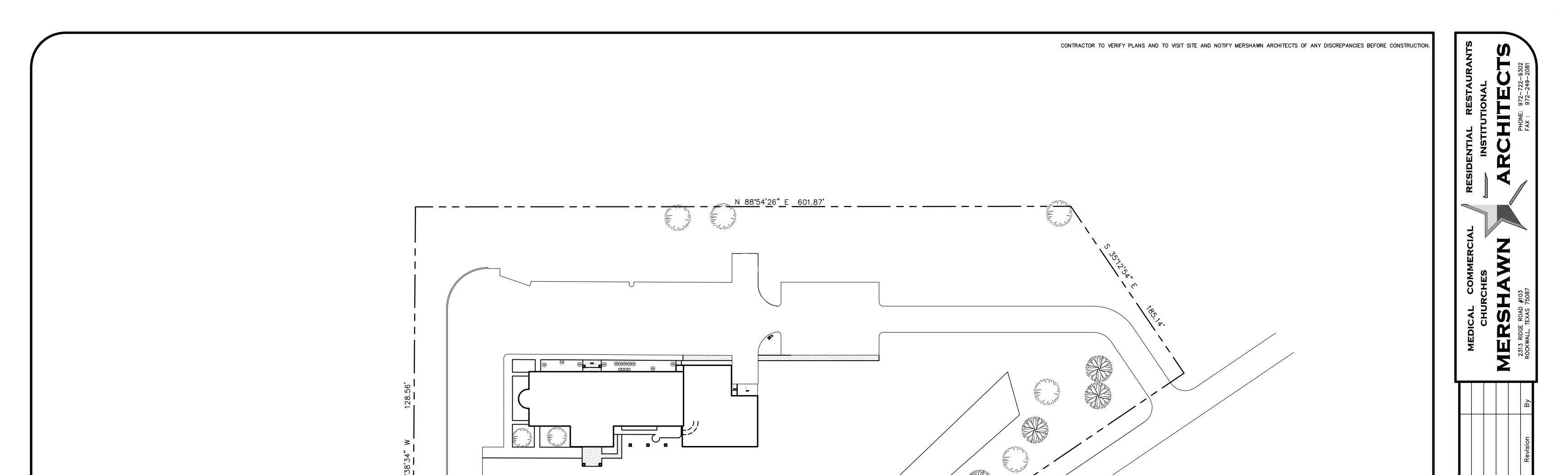






Project No.: 180901 Designed: GW

Drawn: GW Checked: WM



STREET TREES

LANDSCAPE BUFFER

1 CANOPY PER 50' LINEAR OF R.O.W.

TOTAL LANDSCAPE AREA 1ed5% REQUIRED



LIVE OAKS (17) INSTALLED WITH A MIN. 4"



REQUIRED PROVIDED

40,578 SF 203,433 SF

16

EXISTING TREE TO REMAIN



ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

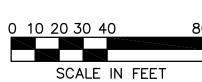
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

## FALLS ADDITION

BEING A 6.21 AC. TRACT OF LAND SITUATED IN THE GREEN MEADOWS ADDITION BLOCK A

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER LAKES ASSEMBLY OF GOD 901 WILLIAMS STREET ROCKWALL, TEXAS 75087 CASE #SP2019-000





PRICING & CONSTRUCTION GENERAL NOTES:

- 1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN
- WRITING) BEFORE BIDDING THIS PROJECT. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

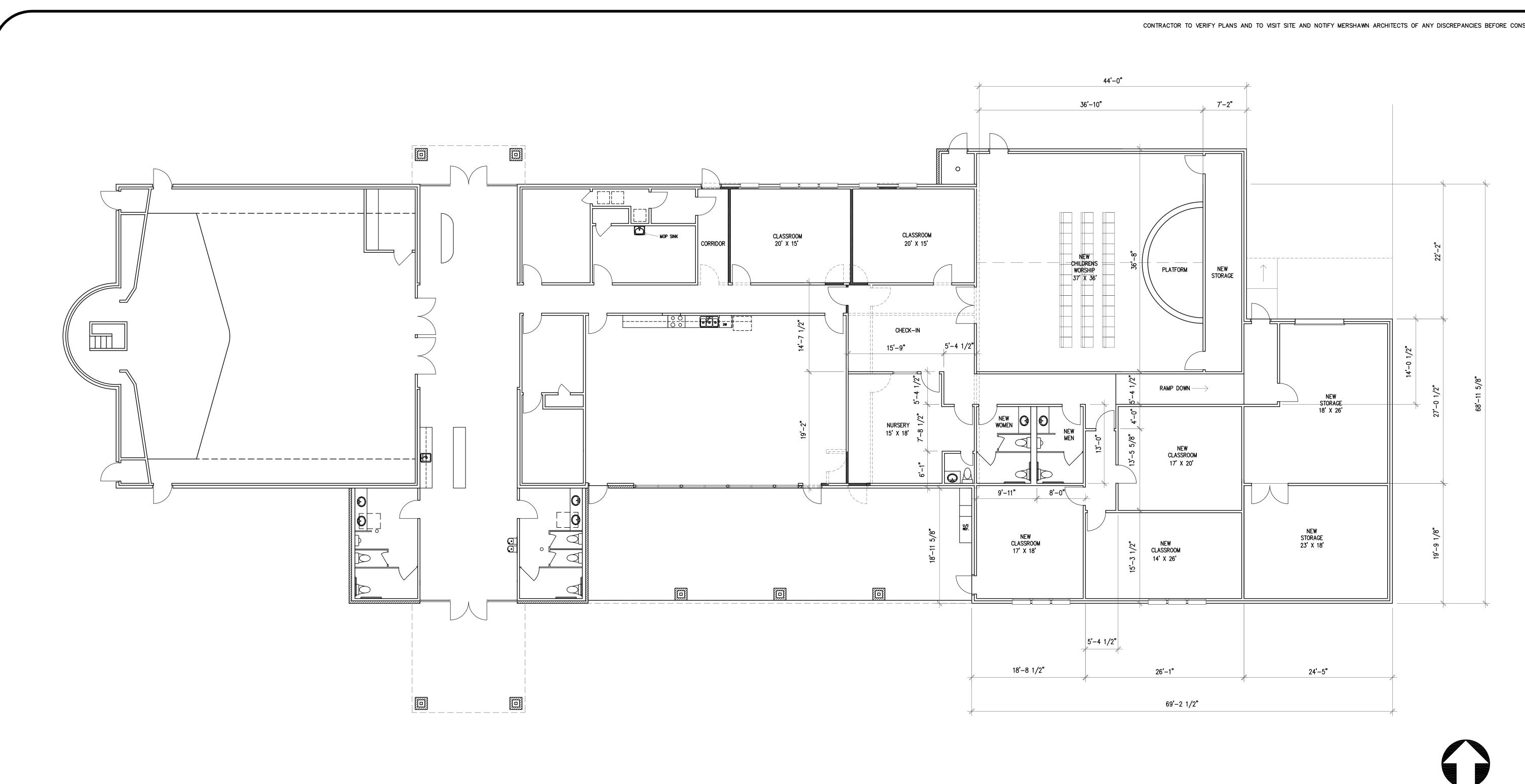
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THE LAKES ASSEMBI ROCKWALL, TEXAS Z

Scale: 1" = 40'-0"Project No.: 180901 Designed: GW Drawn: GW

Checked: WM SHEET





PRICING & CONSTRUCTION

## GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
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- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS
  EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

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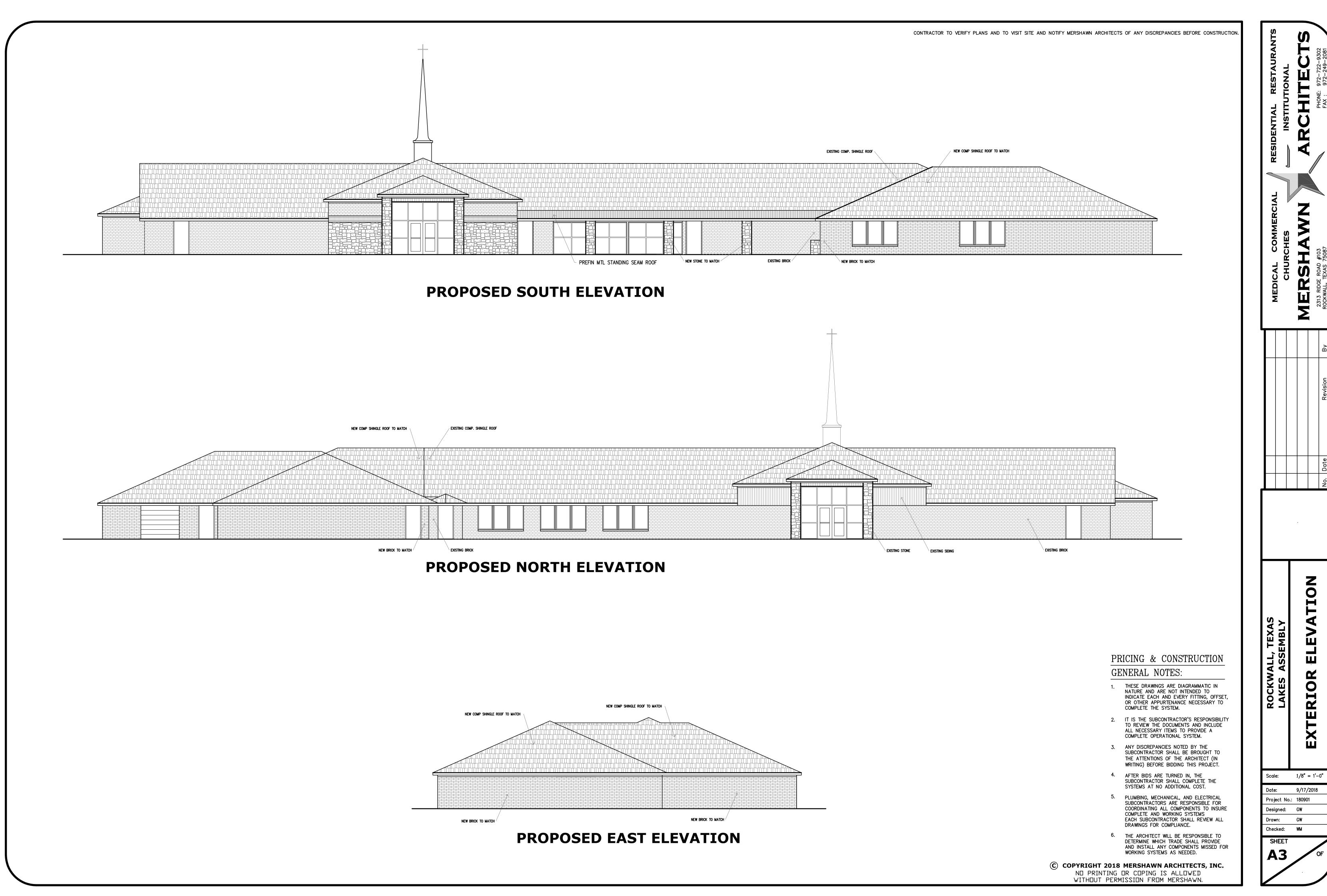
THE CHURCH WILL STILL BE OPEN FOR USE, ALL SUBCONTRACTORS ARE REQUIRED TO CLEAN UP ALL DEBRIS AT THE END OF EACH WORK DAY. IF GENERAL CLEAN UP IS DONE BY THE G.C. BACK CHARGES SHALL APPLY.

ROCKWALL, TEXAS LAKES ASSEMBLY

Scale: 1/8" = 1'-0"Date: 9/17/2018 Project No.: 180901

Designed: GW Drawn: GW Checked: WM

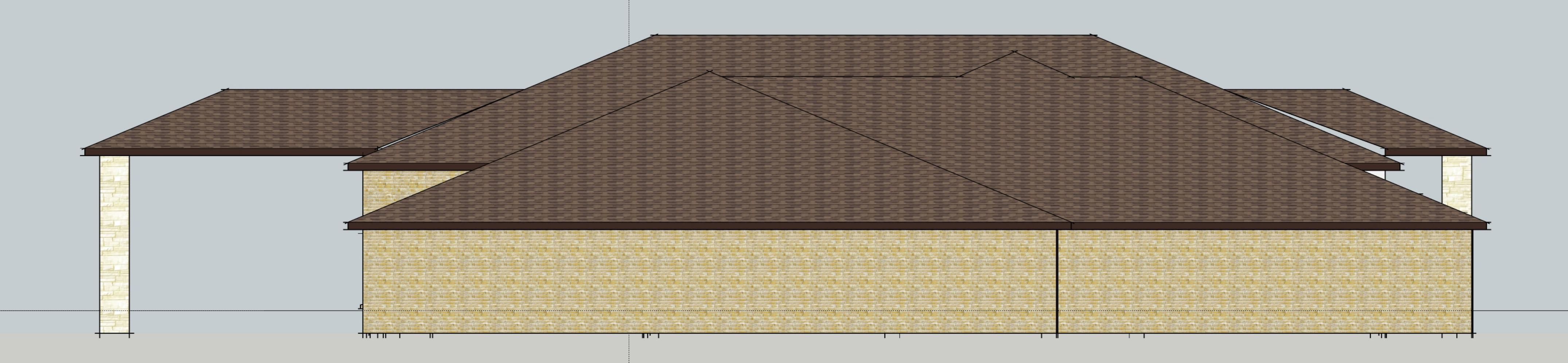
SHEET



Date: 9/17/2018











### **City of Rockwall**



#### **Project Plan Review History**

**Project Number** 

SP2019-023

Owner **Applicant**  GOLIAD REAL, ESTATE LLC

**Applied** Approved 6/14/2019 LM

**Project Name** Type

Site Plan for Mixed-Use Development SITE PLAN

WIER & ASSOCIATES, INC

Closed Expired

Status

Subtype

Status

Staff Review

**Site Address** 

City, State Zip

3005 N GOLIAD ST

ROCKWALL, TX 75087

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

**General Plan** 

1

1

0131-0000-0001-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3 APPROVED	
ENGINEERING	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7 COMMENTS	

Remarks Type of Review / Notes Contact Sent Due Received **Elapsed Status** (6/21/2019 10:29 AM SH) - Dumpster to drain to an oil/water separator and then the storm lines. - Parking spaces near the wall must have 2' clear overhang. Wall to have a traffic rated guardrail on top - Show the 10' ROW dedication of SH 205. - No signs can be in easements, ROW, or visiblity trainagles. - Minimum driveway spacing is 100'. - Must show the existing and proposed utilities. The existing lift station is in the coffe house drive isle - Parking against the bulding must be 20'x9'. Landscape Plan - Must show existing and proposed utilities - Trees must be at least 5' away from utilities - Need to show 10' SH 205 ROW dedication & Trees out of ROW The following items are for your information for engineering design - 4% Engineering fees - Impact fees - Parking against the building must be 20'x9'. - Must Complete Flood Study - Review Fees apply for review - Dumpster area to drain to oil water separator then storm - Retaining walls 3' and over must be engineered. - All retaining walls to be rock or stone face. No smooth concrete walls. - TxDOT permit for driveway on SH205 - Must have detention above floodplain elevations for tract - Must show existing and proposed utilities. - TIA is required - Wetland/WOUS determination for work in floodplain/creek - Erosion Hazard setback requirement - Show all fire lanes - 5' sidewalk in 10' Row dedication for SH 205 - No walls in Easements or ROW - Must meet all City Standards of Design and Construction FIRE 6/14/2019 6/21/2019 6/21/2019 **COMMENTS** Ariana Hargrove See comments (6/21/2019 9:44 AM AA) The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.

A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.

GIS Lance Singleton 6/14/2019 6/21/2019 6/19/2019 5 APPROVED See comments

Project Reviews.rpt Page 2 of 5

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/19/2019 12:06 P	M LS)					
Address assignmen	ts will be:					
11000sf Bldg:						
3005 N GOLIAD ST,	ROCKWALL TX 75087 (	*Suites to be r	numbered 10	1, 103, 105, 107,	109, 111 from South to North)	
460sf Bldg:						
150 PECAN VALLET	DR, ROCKWALL, TX 750	87				
PLANNING	David Gonzales	6/14/2019	6/21/2019	6/20/2019	6 COMMENTS	See comments

Project Reviews.rpt Page 3 of 5

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N Goliad Street [SH-205], and take any action necessary.

#### PLANNING AND ZONING 1ST ROUND STAFF COMMENTS (06.20.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

- \*\* Planning Department General Comments & Requirements to address/acknowledge:
- 1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
- 2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy (CO).
- 3. Label all revised site plan documents with "Case No. SP2019-023" at the lower right corner of each plan.

#### EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

- 1. Horizontal articulation for the primary and secondary building facade standards of the UDC for the north south, east and west facing facades extend for more than 60-ft with out a projection or recess.
- 2. Wall projection minimum required for primary and secondary facades is 5-ft. All facades do not meet.
- 3. Architectural Element above wall is required to have a minimum of width of 10-ft on primary facade and a minimum of 3-ft on secondary facades. Not indicated or present.
- 4. Vertical projection-minimum for primary facade is 5-ft, secondary building facade requires 3-ft. All projections do not meet this standards.
- 5. Materials standards of the UDC and the N SH-205 OV to allow for stucco being located within the first 4 feet of grade on both buildings.
- 6. Materials standards of the N SH205 OV to allow for the use of cultured stone rather than natural stone
- 7. For not meeting the 4-side architect requirements of the N SH-205 OV for both buildings.
- 8. For not meeting the minimum 20% natural stone requirement for building number 2.
- 9. To allow for dumpster enclosure to face a public street(building no. 2).
- \*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

#### Site Plan:

- 1. Provide a minimum 10-ft landscape buffer along the property lines that face Pecan Valley Drive and Quail Run Road
- 2. Correct building setbacks from 10-ft to 15-ft along Pecan Valley Drive and Quail Run Road
- 3. Hatch area to be dedicated as right of way along Quail Run Road
- 4. Provide screening detail at L2 from residential properties.
- 5. Parking space dimensions adjacent to building are to be a minimum of 20-ft x 9-ft.
- 6. Relabel parking count "7" to 5 spaces on east side of parking lot (adjacent to SH-205).
- 7. SH-205 is a 120-ft right of way. Indicate where center line is at 60-ft and hatch any area that requires ROW dedication
- 8. Relabel firelane as "24-ft Firelane, Public Access, and Utility Easement (as appropriate) for both building areas.
- 9. All utilities are to be placed undergound, no overhead utilities.

Project Reviews.rpt Page 4 of 5

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

10. Submittal and approval of a separate building permit for signage

#### Landscape Plan:

- 1. Provide landscape buffers for all streets
- a. N SH-205 minimum 20-ft
- b. Pecan Valley Drive-minimum 10-ft
- c. Quail Run Road minum 10-ft
- 2. Provide a minimum of one (1), three (3)-caliper inch canopy tree for each 50 linear feet within the landscape buffers for Pecan Valley& Quail Run.
- 3. Correct Plant Schedule Table to indicate a minimum four(4)-caliper inch canopy tree(s) to be Icoated within the N SH-205 landscape buffer.

#### Treescape Plan:

- 1. Correct table and recalculate mitigation due for all Bois DArc trees & Chinaberry trees as these are non-protected trees and do not count towards mitigation
- 2. Tree number 2598 is greater than 25-inches and requires mitigation to count as double the number of inches being removed (i.e. 29" x 2 = 58").
- 3. Tree number 2834 is being saved and is greater than 25-inches. Since this is an Elm tree, this should count as credit towards mitigation, which equals 1:1 (i.e. 48-inches of credit).

#### Photometric Plan:

- 1. High readings detected at the property lines. All readings are not to exceed 0.2-FC at the property lines. Revise plan.
- 2. Pole height not to exceed 20-ft OAH (include base, pole, and attachments). Revise Plan.
- 3. Provide cut sheets for all exterior lighting fixtures

#### **Building Elevations:**

- 1. See all exceptions being requested based on sumbittal at top of report
- 2. Provide color renderings of both buildings for Architectural Review Board(ARB) review.
- 3. Provide a materials sample board for ARB review.
- 4. Dash in RTU's on elevations. RTU's and other roof top equipement must be visually screened from adjacent properties and rights of way.
- 5. Provide calculations of exterior building materials for each facade of building no 2.
- \*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

#### Meeting Dates to Attend

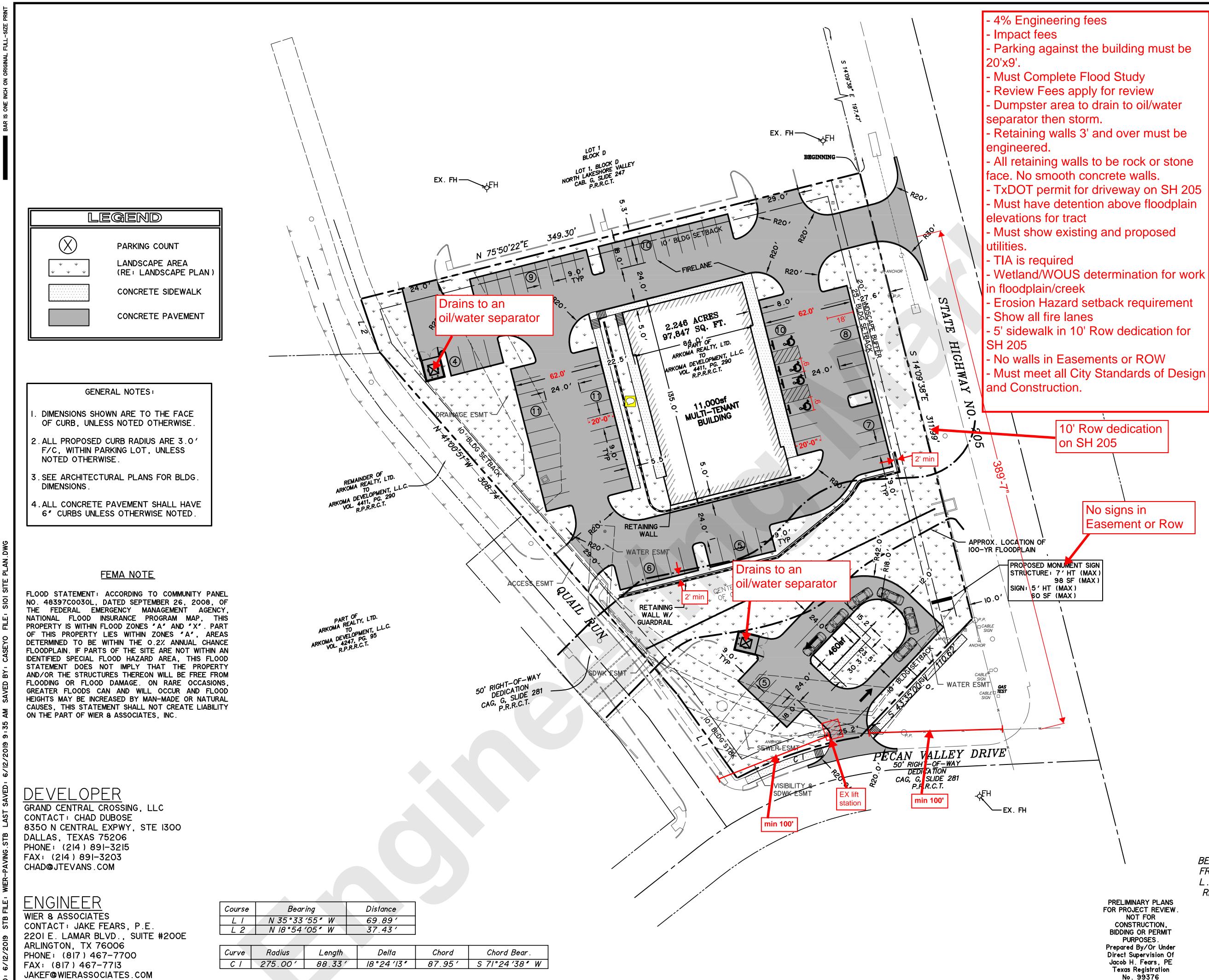
Architectural Review Board- June 25, 2019 (5:00 p.m.) [ARB to provide comments]

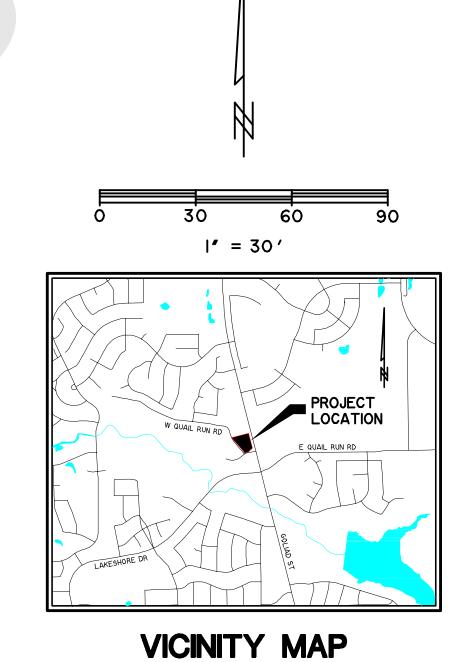
Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]

Architectural Review Board-July 9, 2019 (5:00 p.m.) [ARB to provide recommendation]

Planning - Action: July 9, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

Project Reviews.rpt Page 5 of 5





SITE DATA CHART ZONING PD-65 W/ N. SH-205 OVERLAY EXISTING USE VACANT / UNDEVELOPED PROPOSED USE MIXED-USE (COMMERCIAL) BUILDING AREA NORTH BUILDING: II,000 SF SOUTH BUILDING: 460 SF **BUILDING HEIGHT** 25'-0" **BUILDING SETBACKS** HIGHWAY 205: 25' PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10' 2.246± AC (97,847 SF) LOT AREA PARKING REQ'D. NORTH BUILDING 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 SOUTH BUILDING 460 SF RESTAURANT: I/IOO SF = 5 TOTAL = 67HANDICAP-ACCESSIBLE PROVIDED TOTAL PARKING PROVIDED 11.7% BUILDING/LOT COVERAGE LANDSCAPE AREA 40,290 SF LANDSCAPE COVERAGE 41.2%

# SITE PLAN MIXED-USE DEVELOPMENT 3009 N. GOLIAD ST ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

June 12, 2019



On Date Shown Below.

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700 Texas Firm Registration No. F-2776 www.WierAssociates.com

DATE: 6/12/2019 CASE No.:

W.A. No. 19022

**GENERAL LAWN NOTES** 

EROSION CONTROL AND SOIL PREPARATION:
THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS UNLESS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF

Must show existing and proposed

Trees must be at least 5' away from

LANDSCAPE TABULATIONS

**ROCKWALL, TEXAS - SH205 Overlay** 

I-30 OVERLAY REQUIREMENTS

1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery

or a combination of both along the entire length of the property's frontage along

the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a

 $\sqrt{2}$ . Three canopy trees along with four accent trees are required per 100 feet of

PROVIDED

20' wide buffer

shrubs 36" ht.

PARKING LOT LANDSCAPE

neighboring sites. The screen must extend along all edges and be a min. 3' in

2. There shall be a landscape island every 10 parking spaces. One shade tree

PROVIDED 36" screen

1. Surface parking shall be screened from all adjacent public streets and

shall be provided for every 10 cars. (84 parking spaces)

12 accent trees, 4' ht.

4 canopy trees, 4" cal.; 5 existing trees

9 canopy trees, 4" cal.; 1 existing 20" Elm

maximum height of 48".

SH205 = 312 l.f.

REQUIRED

20' wide buffer

berm and/or shrubs

9 canopy trees, 4" cal.

12 accent trees, 4' ht.

height, 80% opaque.

8 canopy trees, 4" cal.

36" screen

Need to show 10' SH 205 ROW

dedication & Trees out of ROW

SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

### HYDROMULCH:

SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEEDED CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMAS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDORMUI CH AREAS SHALL BE OVER-SEEDED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION. ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

### LANDSCAPE NOTES

OF ANY CONFLICTS.

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE. ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK, EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

SETTLEMENT AND ENSURE PROPER DRAINAGE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4.1 OZ WOVEN, WEED BARRIER FABRIC OR APPROVED EQUAL. WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT 'WEED BARRIER' OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY, BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS. VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

## MISCELLANEOUS MATERIALS:

STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

#### PLANT SCHEDULE **QTY LABEL COMMON NAME SCIENTIFIC NAME** SIZE NOTES **SHADE TREES** 4 CE Cedar Elm 3" cal. 12' ht., 4' spread, matching Ulmus crassifolia 9 SO Shumard Oak 3" cal. 12' ht., 5' spread Quercus shumardii ORNAMENTAL TREES 12 MP Mexican Plum Prunus mexicana 30 gal. 8' ht., 4' spread min. SHRUBS **Dwarf Burford Holly** Ilex cornuta ' Burford Nana' full, 20" spread, 36" o.c. full, 24" sprd, 24" o.c. 28 DY Dwarf Yaupon Holly Ilex vomitoria 'Condeaux' 7 MS Morning Light Miscanthus Miscanthus sinensis 'Morning Light' full, 20" spread, 36" o.c. Texas Sage 'Thundercloud' Leucophyllum frutescens 'Thundercloud' 5 gal. full, 24" sprd, 30" o.c. GROUNDCOVER/VINES/GRASS 1 gal. full, 18" o.c. 35 BBL Big Blue Liriope Liriope muscari 'Big Blue' 4" pots full, 12" o.c. 35 SC Seasonal Color Bermuda Solid Sod Cynodon dactylon Decomposed Granite

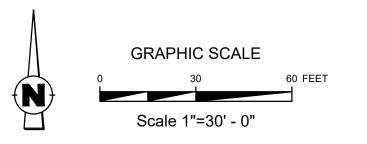
Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

OWNER/DEVELOPER

GRAND CENTRAL CROSSING, LLC **CONTACT: CHAD DUBOSE** 8350 N CENTRAL EXPWY, STE 1300 DALLAS, TEXAS 75206 PHONE: (214) 891-3215 FAX: (214) 891-3203 CHAD@JTEVANS.COM

# **ENGINEER**

WIER & ASSOCIATES CONTACT: JAKE FEARS, P.E. 2201 E. LAMAR BLVD., SUITE #200E ARLINGTON, TX 76006 PHONE: (817) 467-7700 FAX: (817) 467-7713 JAKEF@WIERASSOCIATES.COM







# LANDSCAPE PLAN RETAIL/RESTAURANT ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

June 10, 2019

# **VIII** WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700 Texas Firm Registration No. F-2776 www.WierAssociates.com

DATE: 6/12/2019 CASE No.: \_\_\_\_\_ W.A. No. 19022

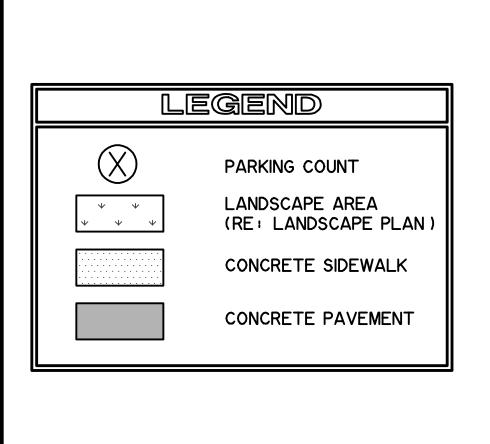




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





## GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- . ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
- . SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS
- . ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

## FEMA NOTE

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES "A" AND "X". PART OF THIS PROPERTY LIES WITHIN ZONES "A". AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

# DEVELOPER

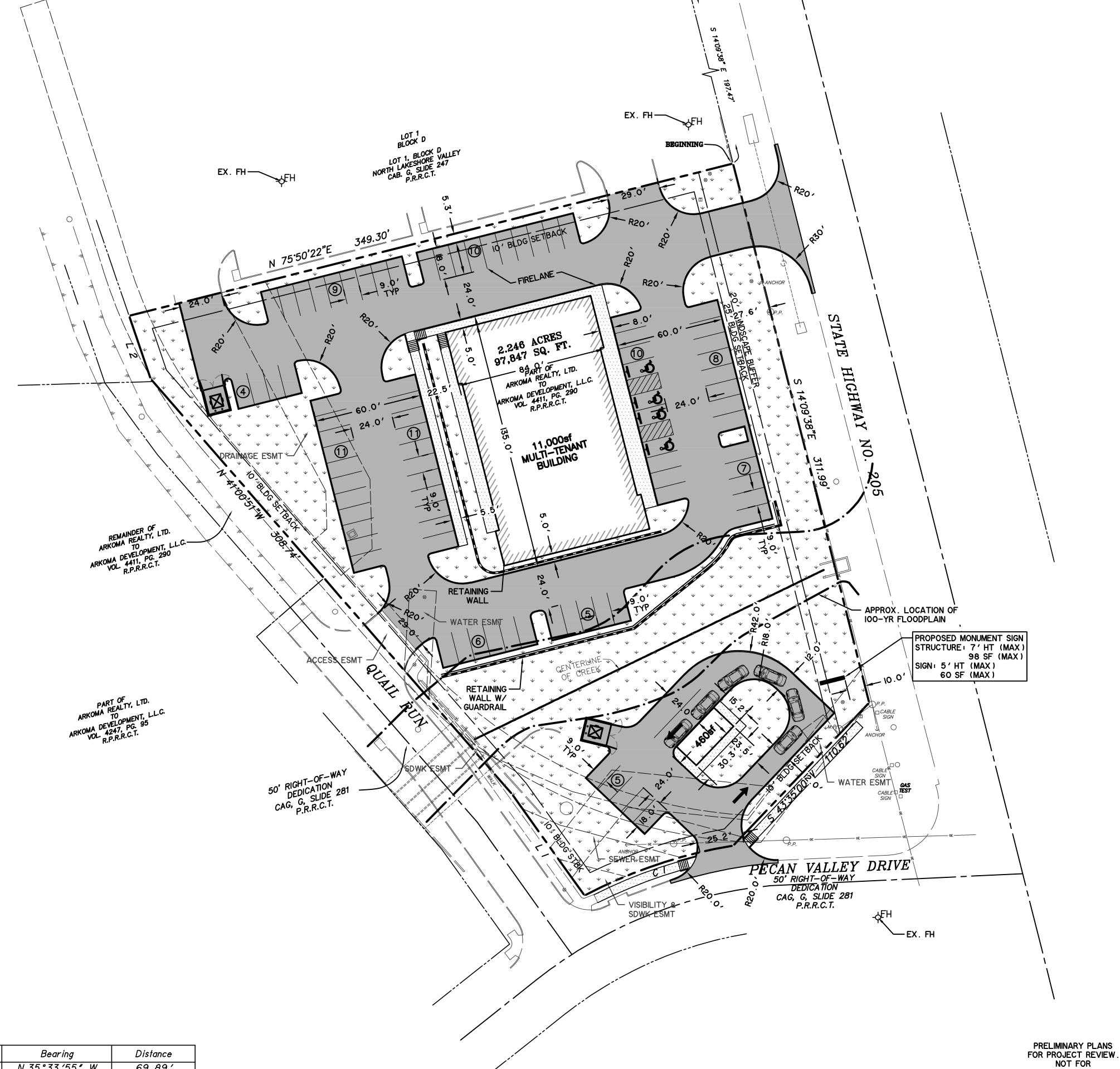
GRAND CENTRAL CROSSING, LLC CONTACT: CHAD DUBOSE 8350 N CENTRAL EXPWY, STE 1300 DALLAS, TEXAS 75206 PHONE: (214) 891-3215 FAX: (214) 891-3203 CHAD@JTEVANS.COM

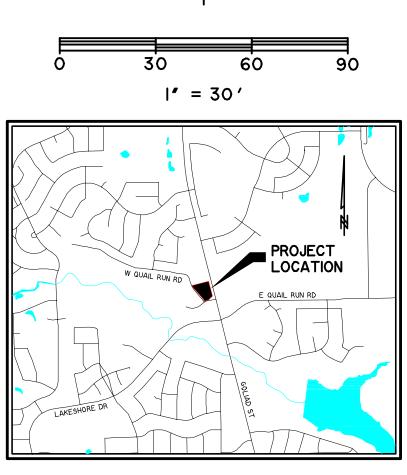
ENGINEER

WIER & ASSOCIATES CONTACT: JAKE FEARS, P.E. 2201 E. LAMAR BLVD., SUITE #200E ARLINGTON, TX 76006 PHONE: (817) 467-7700 FAX: (817) 467-7713 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
LI	N 35°33′55″ W	69.89′
L 2	N 18°54′05″ W	<i>37.43′</i>

Curve	Radius	Length	Delta	Chord	Chord Bear.
C I	275.00′	88.33 ′	18°24′13″	87.95 ′	S 71°24′38″ W





# **VICINITY MAP**

SITE DATA CHART ZONING PD-65 W/ N. SH-205 OVERLAY EXISTING USE VACANT / UNDEVELOPED PROPOSED USE MIXED-USE (COMMERCIAL) BUILDING AREA NORTH BUILDING: II,000 SF SOUTH BUILDING: 460 SF BUILDING HEIGHT 25′-0**″ BUILDING SETBACKS** HIGHWAY 205: 25 PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10' 2.246± AC (97,847 SF) LOT AREA NORTH BUILDING PARKING REQ'D. 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 SOUTH BUILDING 460 SF RESTAURANT: I/IOO SF = 5 TOTAL = 67HANDICAP-ACCESSIBLE PROVIDED TOTAL PARKING PROVIDED 11.7% BUILDING/LOT COVERAGE LANDSCAPE AREA 40,290 SF LANDSCAPE COVERAGE 41.2%

# SITE PLAN MIXED-USE DEVELOPMENT 3009 N. GOLIAD ST ROCKWALL, TEXAS

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June 12, 2019



CONSTRUCTION, **BIDDING OR PERMIT** 

PURPOSES.

Prepared By/Or Under

Direct Supervision Of

Texas Registration

No. 99376

On Date Shown Below.

Jacob H. Fears, PE

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700 Texas Firm Registration No. F-2776 www.WierAssociates.com

DATE: 6/12/2019 CASE No.:

W.A. No. 19022

 $TOP \ LID = 472.55'$ PCI

VEBERWINDALSOLID SOD, TYP.

50' RIGHT-OF-WAY
DEDICATION

50' RIGHT-OF-WAY-**DEDICATION** CAG, G, SLIDE 281 P.R.R.C.T.

TOP = 471.49'

UNABLE TO GET FLOW

ACCESS ESMT

 $TOP = 471.40^{\circ}$ 

NEED METER KEY TO OPEN

TOP CONCRETE = 470.88' -

DECOMPOSED GRANITE, TYP.

WATER VALVE  $TOP \ LID = 472.85'$  $TOP \ NUT = 471.14'$  **GENERAL LAWN NOTES** 

EROSION CONTROL AND SOIL PREPARATION:
THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS UNLESS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING. CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD. FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

### HYDROMULCH:

SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEEDED CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMAS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDORMULCH AREAS SHALL BE OVER-SEEDED WITH ANNUAL RYF GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION. ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

### LANDSCAPE NOTES

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK, EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS

SHALL BE PLANTED PER DETAILS. CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE

AND QUALITY INDICATED ON THE PLANT MATERIAL LIST. TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR

CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS. 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4.1 OZ WOVEN, WEED BARRIER FABRIC OR APPROVED EQUAL. WEED BARRIER

FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE

WITT 'WEED BARRIER' OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR

RUBBER LANDSCAPE MULCH, PINE STRAW MULCH IS PROHIBITED. CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE

RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY, BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS: VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

INT SCH	IEDULE			
LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
	SHADE TREES			
CE	Cedar Elm	Ulmus crassifolia	3" cal.	12' ht., 4' spread, matching
SO	Shumard Oak	Quercus shumardii	3" cal.	12' ht., 5' spread
	ORNAMENTAL TREES			
MP	Mexican Plum	Prunus mexicana	30 gal.	8' ht., 4' spread min.
	SHRUBS			
DBH	Dwarf Burford Holly	llex cornuta ' Burford Nana'	5 gal.	full, 20" spread, 36" o.c.
DY	Dwarf Yaupon Holly	Ilex vomitoria 'Condeaux'	5 gal.	full, 24" sprd, 24" o.c.
MS	Morning Light Miscanthus	Miscanthus sinensis 'Morning Light'	5 gal.	full, 20" spread, 36" o.c.
TS	Texas Sage 'Thundercloud'	Leucophyllum frutescens 'Thundercloud'	5 gal.	full, 24" sprd, 30" o.c.
	GROUNDCOVER/VINES/G	RASS		
BBL	Big Blue Liriope	Liriope muscari 'Big Blue'	1 gal.	full, 18" o.c.
SC	Seasonal Color	-	4" pots	full, 12" o.c.
	Bermuda Solid Sod	Cynodon dactylon		
	Decomposed Granite			
	CE SO MP DBH DY MS TS BBL	SHADE TREES  CE Cedar Elm  SO Shumard Oak  ORNAMENTAL TREES  MP Mexican Plum  SHRUBS  DBH Dwarf Burford Holly  DY Dwarf Yaupon Holly  MS Morning Light Miscanthus  TS Texas Sage 'Thundercloud'  GROUNDCOVER/VINES/G  BBL Big Blue Liriope  SC Seasonal Color  Bermuda Solid Sod	LABEL SHADE TREES  CE Cedar Elm Ulmus crassifolia SO Shumard Oak Quercus shumardii  ORNAMENTAL TREES  MP Mexican Plum Prunus mexicana  SHRUBS  DBH Dwarf Burford Holly Ilex cornuta ' Burford Nana' DY Dwarf Yaupon Holly Ilex vomitoria 'Condeaux' MS Morning Light Miscanthus Miscanthus sinensis 'Morning Light' TS Texas Sage 'Thundercloud' Leucophyllum frutescens 'Thundercloud'  GROUNDCOVER/VINES/GRASS  BBL Big Blue Liriope Liriope muscari 'Big Blue' SC Seasonal Color Bermuda Solid Sod Cynodon dactylon	LABEL SHADE TREESCedar Elm Shumard OakUlmus crassifolia Quercus shumardii3" cal. 3" cal.SOShumard OakQuercus shumardii3" cal.MPMexican PlumPrunus mexicana30 gal.SHRUBSDBHDwarf Burford HollyIlex cornuta ' Burford Nana'5 gal.DYDwarf Yaupon HollyIlex vomitoria 'Condeaux'5 gal.MSMorning Light MiscanthusMiscanthus sinensis 'Morning Light'5 gal.TSTexas Sage 'Thundercloud'Leucophyllum frutescens 'Thundercloud'5 gal.SCGROUNDCOVER/VINES/GRASSBBL SCBig Blue LiriopeLiriope muscari 'Big Blue'1 gal. 4" potsSCSeasonal Color Bermuda Solid SodCynodon dactylon

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

# OWNER/DEVELOPER

ARKOMA DEVELOPMENT, L.L.C.

VOL. 4411, PG. 290

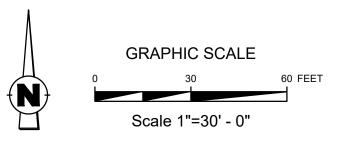
R.P.R.R.C.T.

4RKOMA DEVELOPMENT, L.L.C. VOL. 4247, PG. 95 R.P.R.R.C.T.

GRAND CENTRAL CROSSING, LLC **CONTACT: CHAD DUBOSE** 8350 N CENTRAL EXPWY, STE 1300 DALLAS, TEXAS 75206 PHONE: (214) 891-3215 FAX: (214) 891-3203 CHAD@JTEVANS.COM

## **ENGINEER**

WIER & ASSOCIATES CONTACT: JAKE FEARS, P.E. 2201 E. LAMAR BLVD., SUITE #200E ARLINGTON, TX 76006 PHONE: (817) 467-7700 FAX: (817) 467-7713 JAKEF@WIERASSOCIATES.COM



LANDSCAPE TABULATIONS

**ROCKWALL, TEXAS - SH205 Overlay** 

I-30 OVERLAY REQUIREMENTS

1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery

or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a

2. Three canopy trees along with four accent trees are required per 100 feet of

PROVIDED

20' wide buffer

shrubs 36" ht.

PARKING LOT LANDSCAPE

2. There shall be a landscape island every 10 parking spaces. One shade tree

PROVIDED

36" screen

1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in

shall be provided for every 10 cars. (84 parking spaces)

12 accent trees, 4' ht.

4 canopy trees, 4" cal.; 5 existing trees

9 canopy trees, 4" cal.; 1 existing 20" Elm

maximum height of 48".

SH205 = 312 l.f.

20' wide buffer

36" screen

ੀberm and/or shrubs

9 canopy trees, 4" cal.

12 accent trees, 4' ht.

8 canopy trees, 4" cal.

 $FLOW = 482.89^{\circ}$ 

STORM DRAIN MANHOLE

TOP LID = 484.84°

 $TOP \ NUT = 481.54'$ 

--- TOP = 484.47

 $BOTTOM = 479.60^{\circ}$ 





# LANDSCAPE PLAN RETAIL/RESTAURANT ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS June 10, 2019

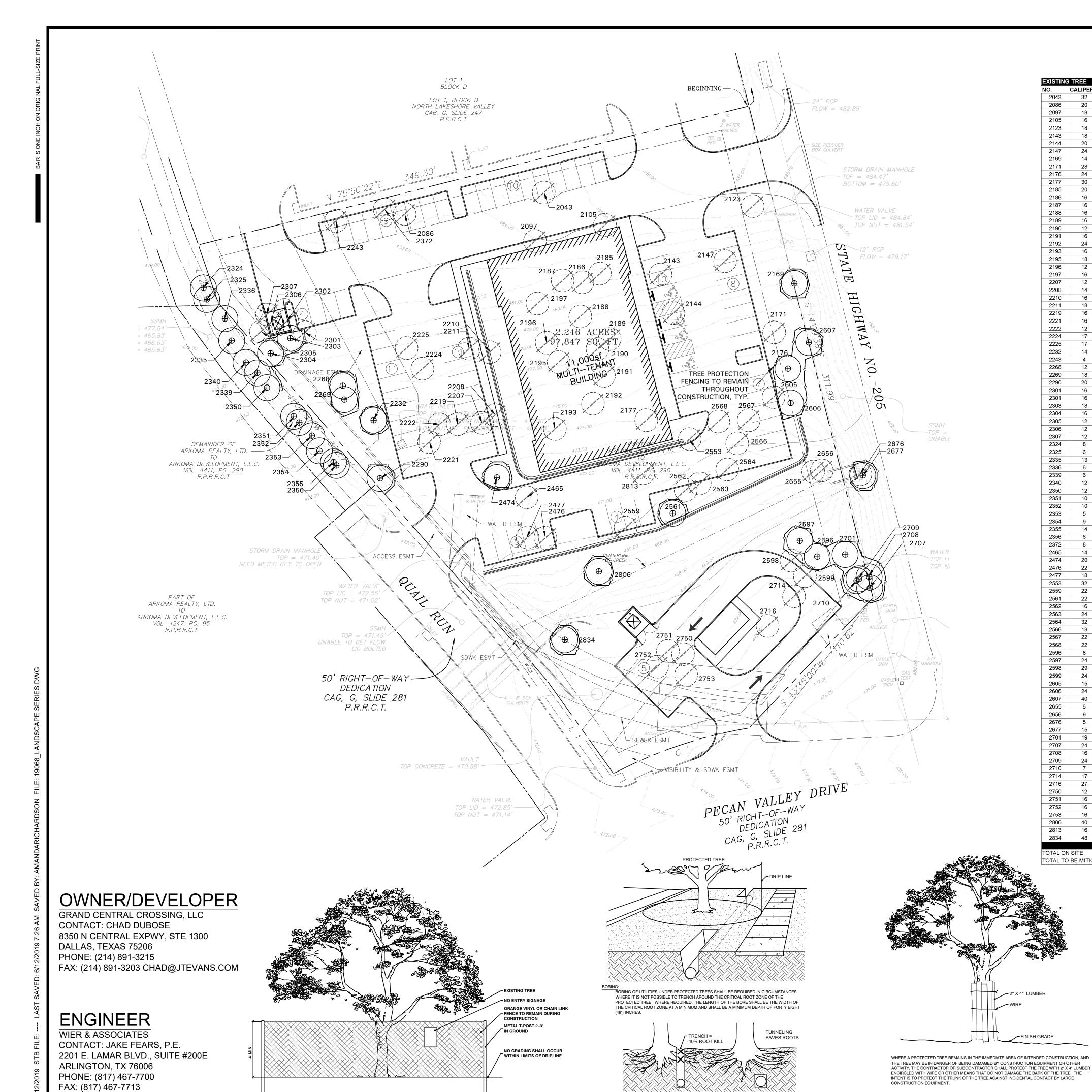
PREPARED BY:

WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700 Texas Firm Registration No. F-2776 www.WierAssociates.com

DATE: 6/12/2019 CASE No.: \_\_\_\_\_

W.A. No. 19022



2 BORING AND TUNNELING

JAKEF@WIERASSOCIATES.COM

1 TREE PROTECTION FENCING

	CALIPER	TREE SPECIES	REMAIN/REMOVE	MITIGATION REQ.	NOTES
2043	32	Pecan	To Be Removed	2 to 1	
2086	20 18	Elm Elm	To Be Removed To Be Removed	1 to 1	
2105	16	Elm	To Be Removed	1 to 1	
2123	18	Hackberry	To Be Removed	50%	
2143	18	Elm	To Be Removed	1 to 1	
2144	20	Elm	To Be Removed	1 to 1	
2147	24	Cedar	To Be Removed	50%	
2169	14	Elm	To Be Removed	1 to 1	
2171	28 24	Bois D'Arc Pecan	To Be Removed To Remain	50% 1 to 1	
2177	30	Walnut	To Be Removed	2 to 1	
2185	20	Elm	To Be Removed	1 to 1	
2186	16	Elm	To Be Removed	1 to 1	
2187	16	Elm	To Be Removed	1 to 1	
2188	16	Elm	To Be Removed	1 to 1	
2189	16	Elm	To Be Removed To Be Removed	1 to 1	
2190	12 16	Elm Elm	To Be Removed	1 to 1	
2192	24	Cedar	To Be Removed	50%	
2193	16	Elm	To Be Removed	1 to 1	
2195	18	Elm	To Be Removed	1 to 1	
2196	12	Elm	To Be Removed	1 to 1	
2197	16	Elm	To Be Removed	1 to 1	
2207	12	Elm	To Be Removed	1 to 1	
2208	14 16	Elm Elm	To Be Removed To Be Removed	1 to 1	
2210	18	Elm	To Be Removed	1 to 1	
2219	16	Elm	To Be Removed	1 to 1	
2221	16	Elm	To Be Removed	1 to 1	
2222	12	Elm	To Be Removed	1 to 1	
2224	17	Elm	To Be Removed	1 to 1	
2225	17	Elm	To Be Removed	1 to 1	
2232	14	Elm	To Remain	1 to 1	
2243	4 12	Elm Elm	To Be Removed To Remain	1 to 1	
2268	12 18	Elm	To Remain To Remain	1 to 1	
2290	20	Elm	To Remain	1 to 1	
2301	16	Elm	To Be Removed	1 to 1	
2301	16	Elm	To Be Removed	1 to 1	
2303	18	Elm	To Remain	1 to 1	
2304	16	Elm	To Remain	1 to 1	
2305	12	Elm	To Be Removed	1 to 1	
2306	12 12	Elm Elm	To Be Removed To Be Removed	1 to 1	
2324	8	Elm	To Be Removed To Remain	1 to 1	Not on Property
2325	6	Elm	To Remain	1 to 1	Not on Property
2335	13	Elm	To Remain	1 to 1	Not on Property; Multi-
2336	6	Elm	To Remain	1 to 1	Not on Property
2339	6	Elm	To Remain	1 to 1	Not on Property; Be
2340	12	Elm	To Remain	1 to 1	Not on Property
2350	12 10	Elm Elm	To Remain To Remain	1 to 1	Not on Property  Not on Property
2352	10	Elm	To Remain	1 to 1	Not on Property
2353	5	Elm	To Remain	1 to 1	Not on Property
2354	9	Elm	To Remain	1 to 1	Not on Property
2355	14	Elm	To Remain	1 to 1	Not on Property
2356	6	Elm	To Remain	1 to 1	Not on Property
2372	8	Bean Tree	To Be Removed	0%	
2465 2474	14 20	Elm Elm	To Be Removed To Remain	1 to 1	
2474	22	Pecan	To Be Removed	1 to 1	
2477	18	Pecan	To Be Removed	1 to 1	
2553	32	Walnut	To Be Removed	2 to 1	Multi-trunk
2559	22	Pecan	To Be Removed	1 to 1	
2561	22	Pecan	To Remain	1 to 1	
2562	16	Pecan	To Be Removed	1 to 1	
2563	24	Pecan	To Be Removed	1 to 1	
2564 2566	32 18	Pecan Pecan	To Be Removed To Be Removed	2 to 1	
2567	22	Pecan	To Be Removed	1 to 1	
2568	22	Walnut	To Be Removed	1 to 1	
2596	8	Pecan	To Remain	1 to 1	
2597	24	Pecan	To Remain	1 to 1	
2598	29	Pecan	To Be Removed	1 to 1	
2599	24	Pecan	To Be Removed	1 to 1	
2605 2606	15 24	Walnut Pecan	To Be Removed To Remain	1 to 1	
2607	40	Bois D'Arc	To Remain	50%	
2655	6	Chinaberry	To Be Removed	0%	Multi-trunk
2656	9	Chinaberry	To Be Removed	0%	
2676	5	Chinaberry	To Be Removed	0%	Multi-trunk
2677	15	Pecan	To Remain	1 to 1	
2701	19	Pecan	To Remain	1 to 1	
2707 2708	24 16	Pecan Pecan	To Remain To Remain	1 to 1	
2708	16 24	Pecan	To Remain	1 to 1	
2710	7	Pecan	To Remain	1 to 1	
2714	17	Pecan	To Be Removed	1 to 1	
2716	27	Bois D'Arc	To Be Removed	50%	Multi-trunk
2750	12	Elm	To Be Removed	1 to 1	
2751	16	Elm	To Be Removed	1 to 1	
2752	16	Elm	To Be Removed	1 to 1	
0750	16	Elm	To Be Removed To Be Removed	1 to 1 2 to 1	Multi-trunk
2753	40	LIM.		/ IU I	⊤ iviuiti-ti'UΠK
2753 2806 2813	40 16	Elm Walnut	To Be Removed	1 to 1	

3 BARK PROTECTION

TREE PRESERVATION NOTES

### CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (48)

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE:
THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE.

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION. OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION:
PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNERS'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2"X4" LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

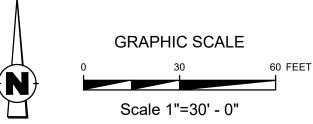
## TREE PRESERVATION LEGEND





TREE TO REMAIN





# TREE PRESERVATION PLAN RETAIL/RESTAURANT ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS June 10, 2019

**VIII** WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

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Aledo, Texas 76008

amanda@awr-designs.com

DATE: 6/12/2019 CASE No.: \_\_\_\_\_ W.A. No. 19022



I. Surface reflectances: Vertical/Horizontal - 50/20.

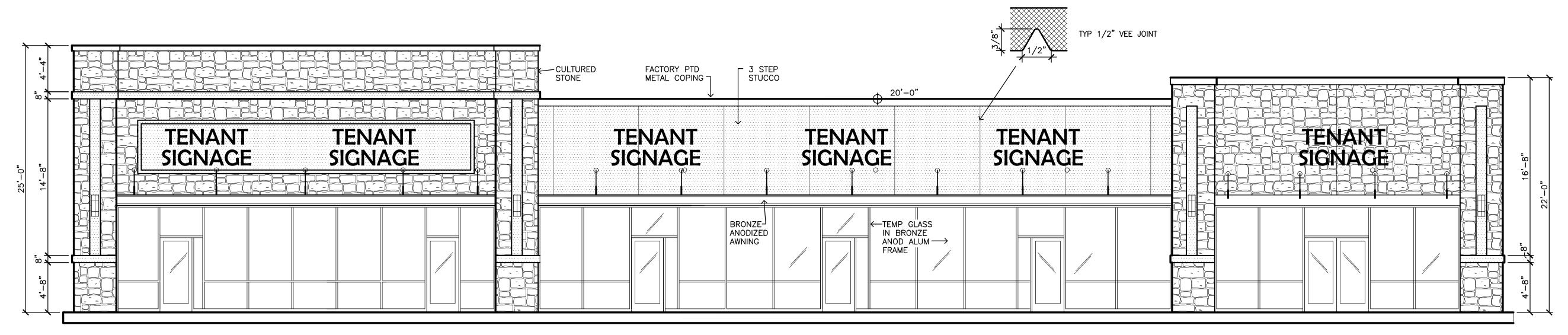
2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH." 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

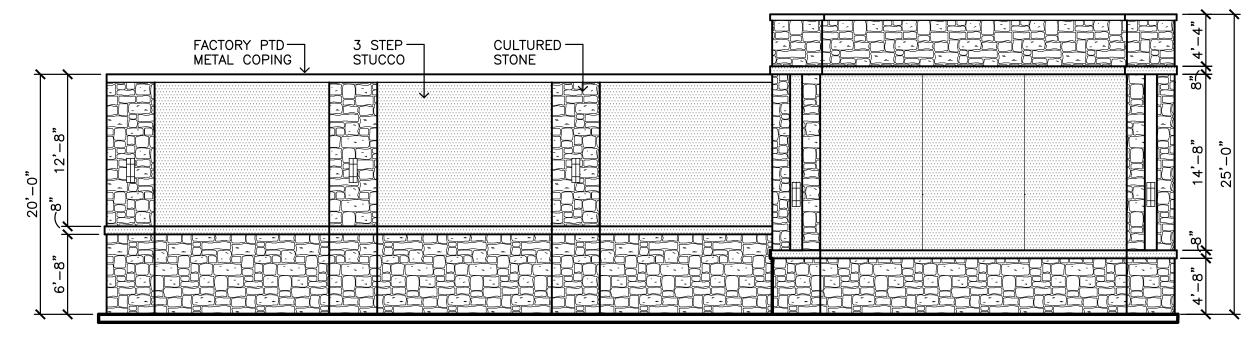
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify. 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

> Architectural Lighting Alliance 101 Turtle Creek Blvd. Dallas TX 75207 O 214-658-9000 | F 214-658-9002 www.alatx.com



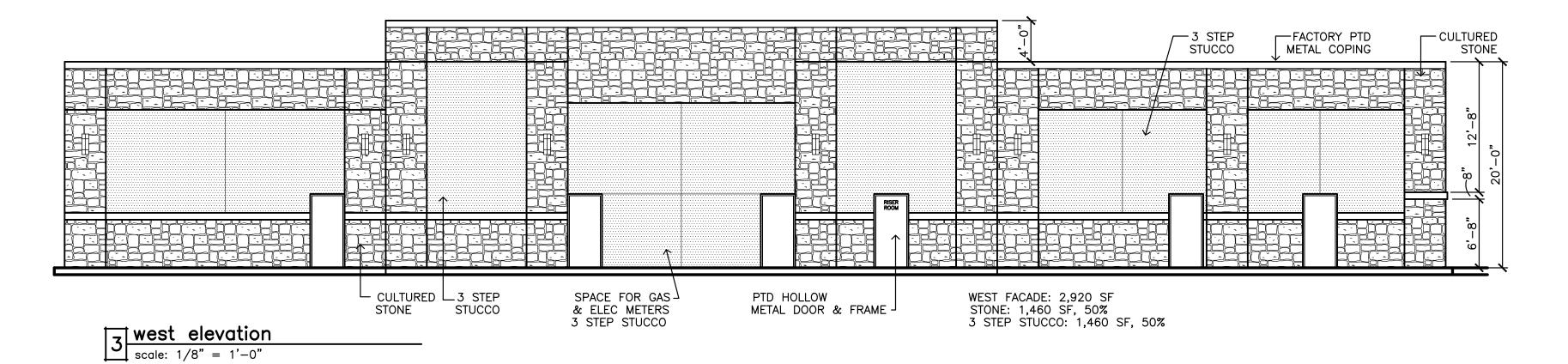
east elevation
scale: 3/16" = 1'-0"

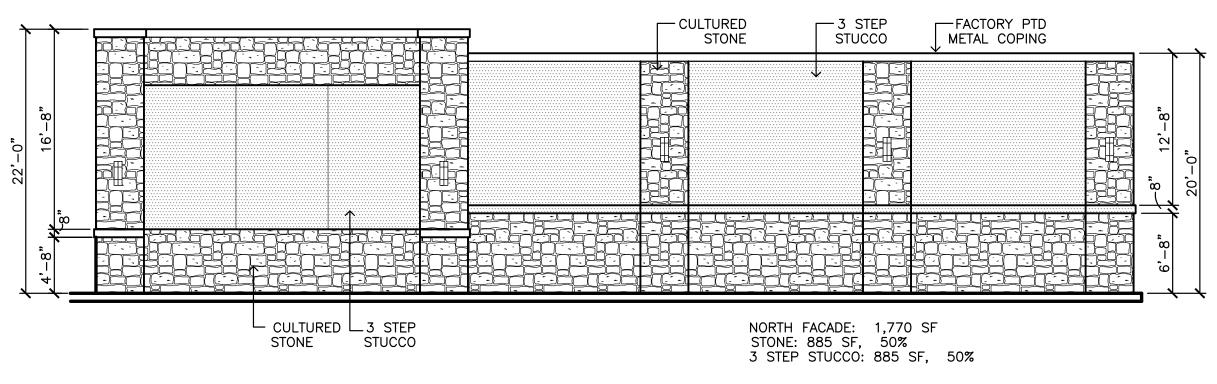
EAST FACADE: 1,472 SF (NO WINDOWS & DOORS) STONE: 828 SF, 56% 3 STEP STUCCO: 644 SF, 44%



SOUTH FACADE: 1,930 SF STONE: 1,034 SF, 53% 3 STEP STUCCO: 896 SF, 47%

scale: /8" = 1'-0"





north elevation

| scale: 1/8" = 1'-0"



5 awning photo scale: nts

AWNING EXAMPLE. COLOR (BRONZE TO MATCH STOREFRONT)
OWNER. DIMENSIONS AS SHOWN ON ROOF PLAN. TIE BACKS TO MATCH.
CORNER DRAINS AS SHOWN.
VENDOR: VICTORY AWNINGS 817-759-1600

MATTHEW KING ARCHITECT
Architecture • Design • Planning
Phone: 469-742-0678
mattking@mkingarchitect.com
www.mkingarchitect.com

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FOR REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.
FOR INTERIM REVIEW ONLY.
MATTHEW P. KING
ARCHITECT
TX REGISTRATION

June 6, 2019

NO. 17957

Owner:

DA ENNIS 45 PARTNERS LP 14114 Dallas Parkway #670 Dallas, Texas 75254

Project:

Shell Building
Ridge Road

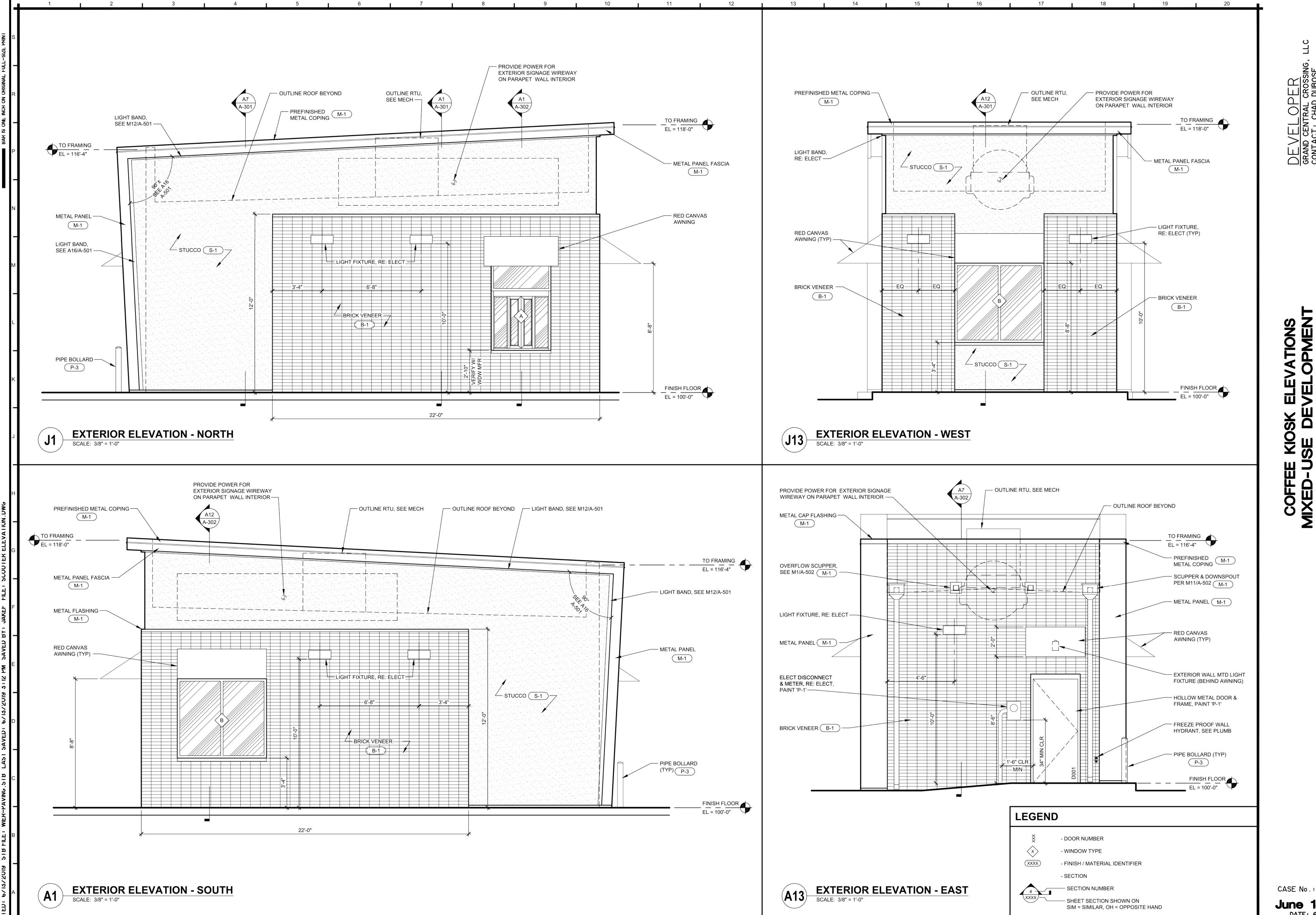
Rockwall, Texas

Scale: as noted

Issue For:

Site plan submittal 6-6-19

Sheet Number:



CASE No.: \_\_\_\_\_ June 13, 2019
DATE: 6/13/2019
W.A. No. 19022

## **City of Rockwall**



6/17/2019 KB

### **Project Plan Review History**

Project Number Project Name SP2019-024

Friendship Baptist Church

Туре

SITE PLAN

Subtype

Status Staff Review

Site Address

Subdivision

City, State Zip

1820 JUSTIN RD

ROCKWALL, TX 75087

Tract

2-4

Owner

**Applicant** 

Lot No

2-4

ATHEY, BOBBY FRANK

ROCKWALL FRIENDSHIP BAPTIST CHURCH

Parcel No

0102-0000-0002-04-0R

Zoning

**Applied** 

Closed Expired

Status

Approved

**General Plan** 

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	6/17/2019	6/24/2019	6/20/2019	3 APPROVED	
ENGINEERING	Sarah Hager	6/17/2019	6/24/2019	6/21/2019	4 COMMENTS	

Block

#### (6/21/2019 9:44 AM SH)

- Minimum 20' wide easements. Water line to be centered in easement with 10' of easement on either side of the line.
- Dumpster to drain to an oil/water separator.
- 12" water line to be installed along John King and tie into Airport Rd. Water line to be in 20' easement, not the ROW.
- No sand allowed under paving.
- Drainage culvert to be out of TXDOT ROW.
- Fire Hydrant to have 10' parking island for safety.
- 4:1 maximum slope.
- Monument sign can't be in the detention easement.
- Each of the storm outfalls must have a 1% sloped concrete flume to prevent erosion. This flume will connect the outfall to the next intake.
- No grate inlets allowed.
- Median in Justin Road to be stamped and stained in the truck.
- Must have 20' offiste sewer easement for the connection.
- Can't tie the water line under John King.
- Water line can't be in City property.
- All parking agianst the building to be 20'x9'.
- All fire hyrdants to be placed 5' back from the curb.

The following is for your information for engineering design.

- 4% Engineering fees
- Impact fees
- Walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- No utilities in Detention Must have 2' of freeboard from the 100-year water surface to the detention easement.
- Utilities to have 10' Easement on both sides of the line
- Min 20' easements
- No structures or utilities in detention easement
- 4:1 Max slope
- Must build Justin Rd.
- TxDOT permit for John King utilities
- Off-site esmts required for sewer
- Sidewalk along Justin
- Show dedication of rows for Justin
- Show dedication (future) of row for TxDOT Plans for John King. No detention allowed in future row of John King
- Need Note: Dimensions are to face curb or edge of paving? (unless stated)
- Must meet all City Standards of Design and Construction

### (6/21/2019 9:45 AM SH)

Landscaping: No trees are allowed to be within 5' of any utility.

FIRE Ariana Hargrove 6/17/2019 6/24/2019 6/21/2019 4 COMMENTS see comments

Project Reviews.rpt Page 2 of 4

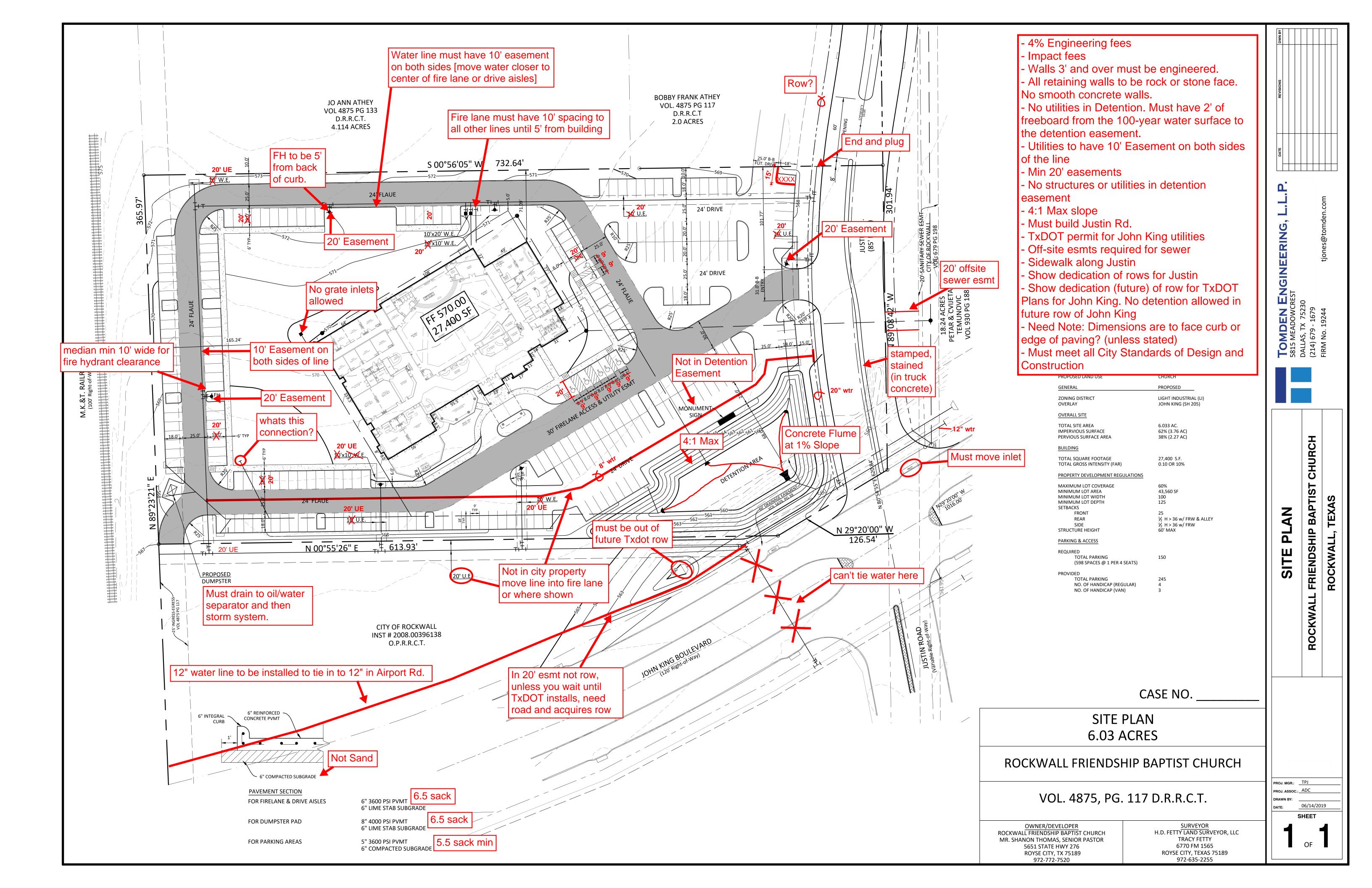
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks			
(6/21/2019 9:53 AM AA)										
The FDC is required	The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.									
A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.										
GIS	Lance Singleton	6/17/2019	6/24/2019	6/19/2019	2	APPROVED	See comments			
(6/19/2019 11:51 A	M LS)									
Address assignmen	Address assignment will be:									
1820 JUSTIN RD, RC	CKWALL TX 75087									
PLANNING	Korey Brooks	6/17/2019	6/24/2019	6/20/2019	3	COMMENTS	Comments			

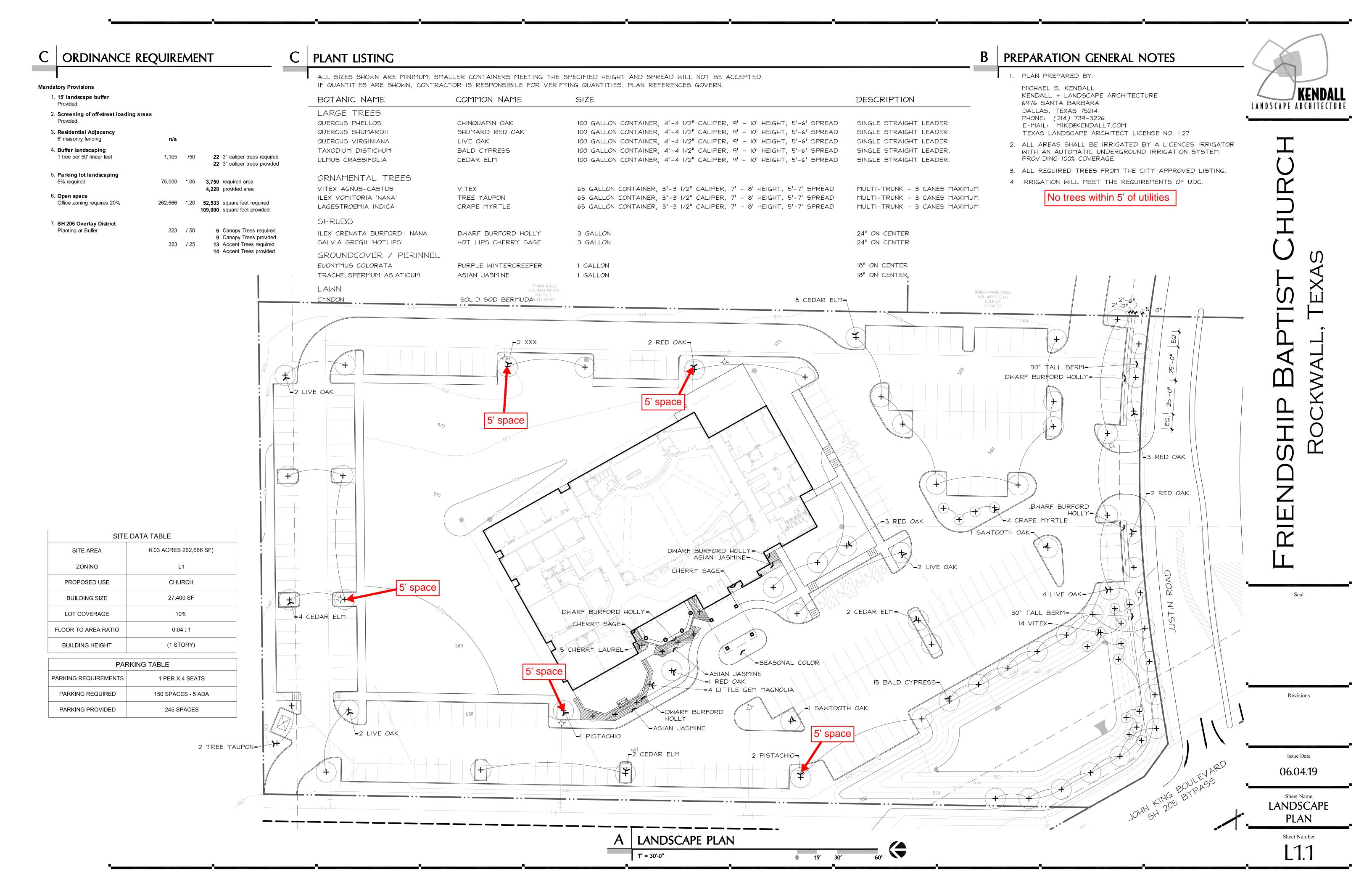
Project Reviews.rpt Page 3 of 4

SP2019-024 Site Plan for Friendship Baptist Church: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- 1. This is a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard
- 2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- 3. For reference, include the case number (SP2019-024) in the lower right hand corner of all pages on future submittals.
- 4. Site Plan—Please show and label the landscape buffers along John King and Justin Road.
- 5. Site Plan—Please note, the landscape buffer is 25-feet.
- 6. Site Plan—Please provide radii
- 7. Site Plan—Please provide a separate floorplan at a larger size and remove it from other plans. It is difficult to read the floorplan on the site plan.
- 8. Site Plan—Please breakdown each use (e.g. office, classroom, etc.)
- 9. Site Plan—Please remove monument sign—That is taken care of with a separate process.
- 10. Site Plan—Although there are labels within the building and close surrounding areas, it is not legible.
- 11. Site Plan—Please show grass as a stipple hatch pattern to differentiate from concrete.
- 12. Site Plan—For clarity, please show the property line as a solid, bold line and label.
- 13. Site Plan—It appears that some of your 18-foot parking spaces will need to be 20-feet—Please see engineering comments.
- 14. Site Plan—Please label all utilities and sidewalks.
- 15. Site Plan—Please show and label required sidewalk adjacent to John King Blvd. and Justin Rd.
- 16. Site Plan—Please dimension all walls (e.g. the recesses on the west side of the building are not dimensioned).
- 17. Landscape Plan—Please label the property line
- 18. Landscape Plan—Please show and label the landscape buffers
- 19. Landscape Plan—Please show grass/groundcover as a stipple hatch pattern.
- 20. Landscape Plan—Please indicate all sidewalks
- 21. Landscape Plan—Please note, the dumpster cannot face the street.
- 22. Please Provide a photometric plan.
- 23. Building Elevations—Please note, the John King Overlay requires 4-sided architecture. The rear of the building will have to have a parapet.
- 24. Building Elevations—Please show rooftop equipment and how it will be screen on all elevations.
- 25. Building Elevations—Please provide a different hatch for each building material being utilized.
- 26. Building Elevations—Please do not include windows and doors in your calculations or materials tables.
- 27. Building Materials—It would be helpful to have renderings from the rear of the building. It is difficult to understand the elevations. For instance, on the east elevation, there is a parapet, however, on the west elevation, there is a metal roof. Additionally, there is a show wall on the lefthand side of the north elevation, however, it blends with the building and makes it appear that the doors are cut off.
- 28. Building Elevations—Please provide shadows to help show projections and recesses on the building.
- 29. Building Elevations—The west elevation does not appear to show the projecting element with the pitched roof.
- 30. Building Elevations—Please use a different lineweight/type for dimensions vs structure. It is confusing as drawn.
- 31. Building Elevations—Please note that there is a min 20% natural stone and a maximum 50% stucco requirement. The tile is a secondary material that has a max of 10%. As shown, masonry exceptions will be required.
- 32. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2019. The Planning and Zoning Worksession is on June 25th, 2019. The Planning and Zoning Meeting will be July 9th, 2019. Both meetings start at 6:00 p.m. The ARB meetings will be at 5:00 p.m. on the meeting dates.

Project Reviews.rpt Page 4 of 4



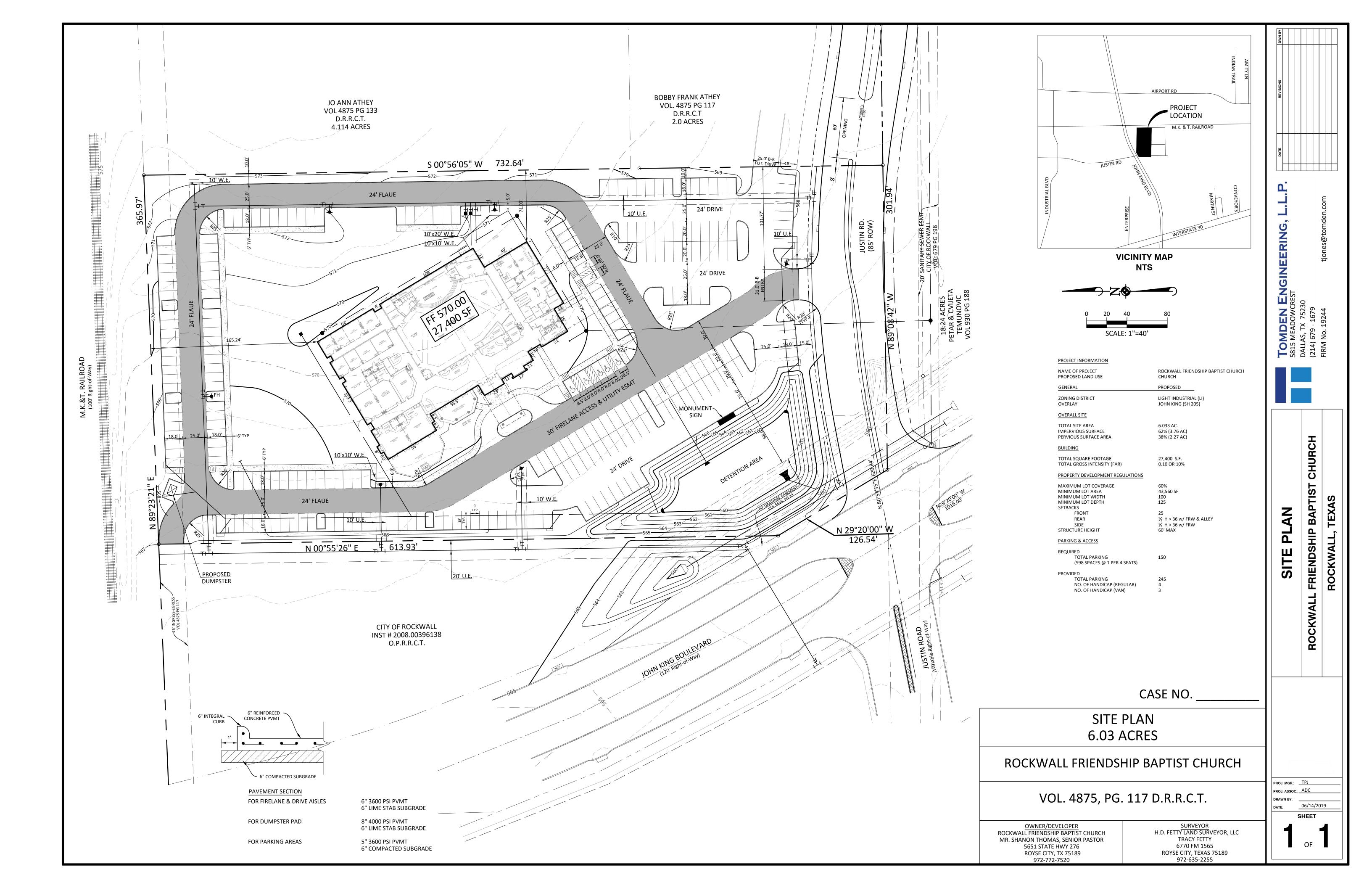


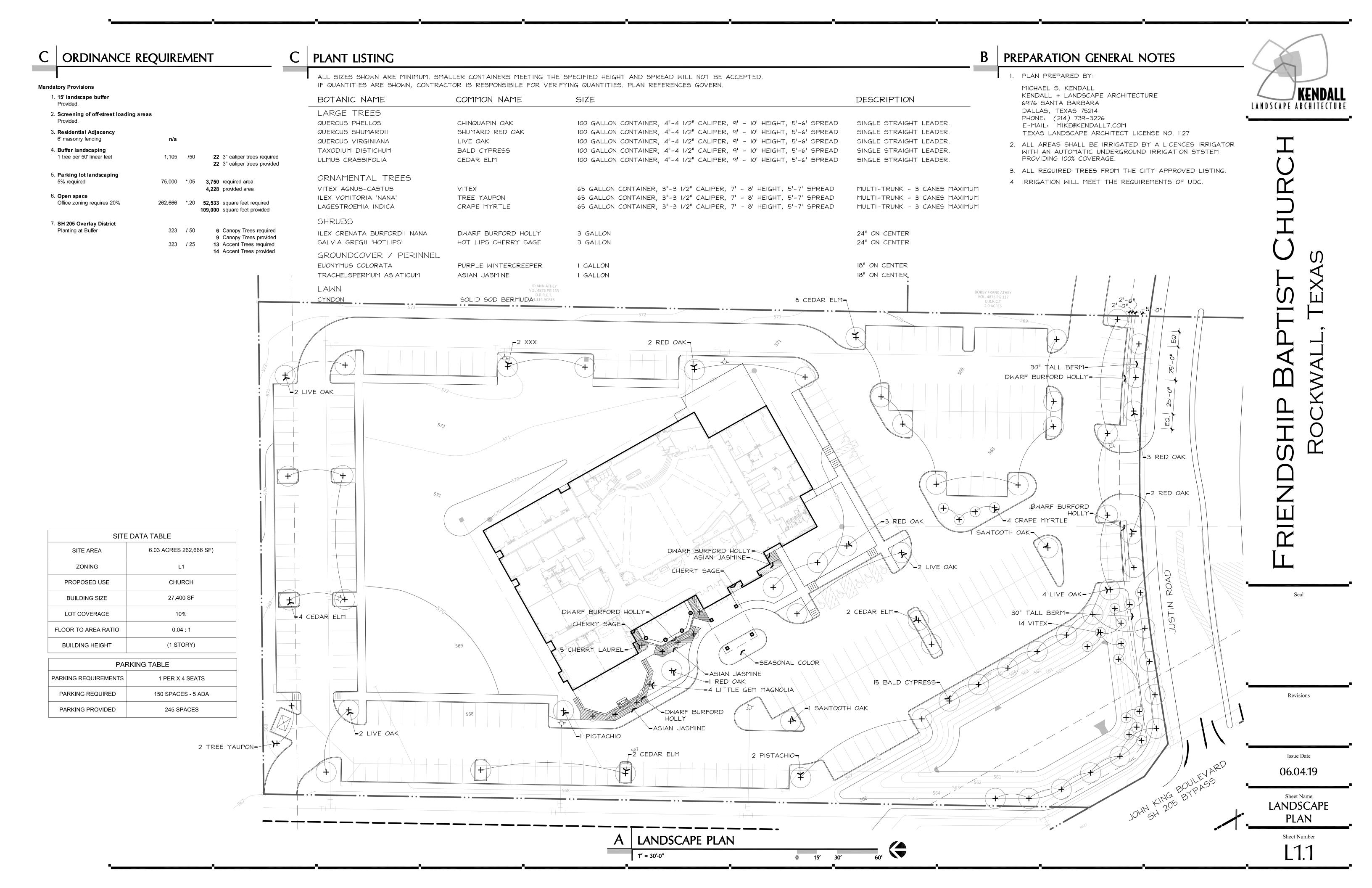


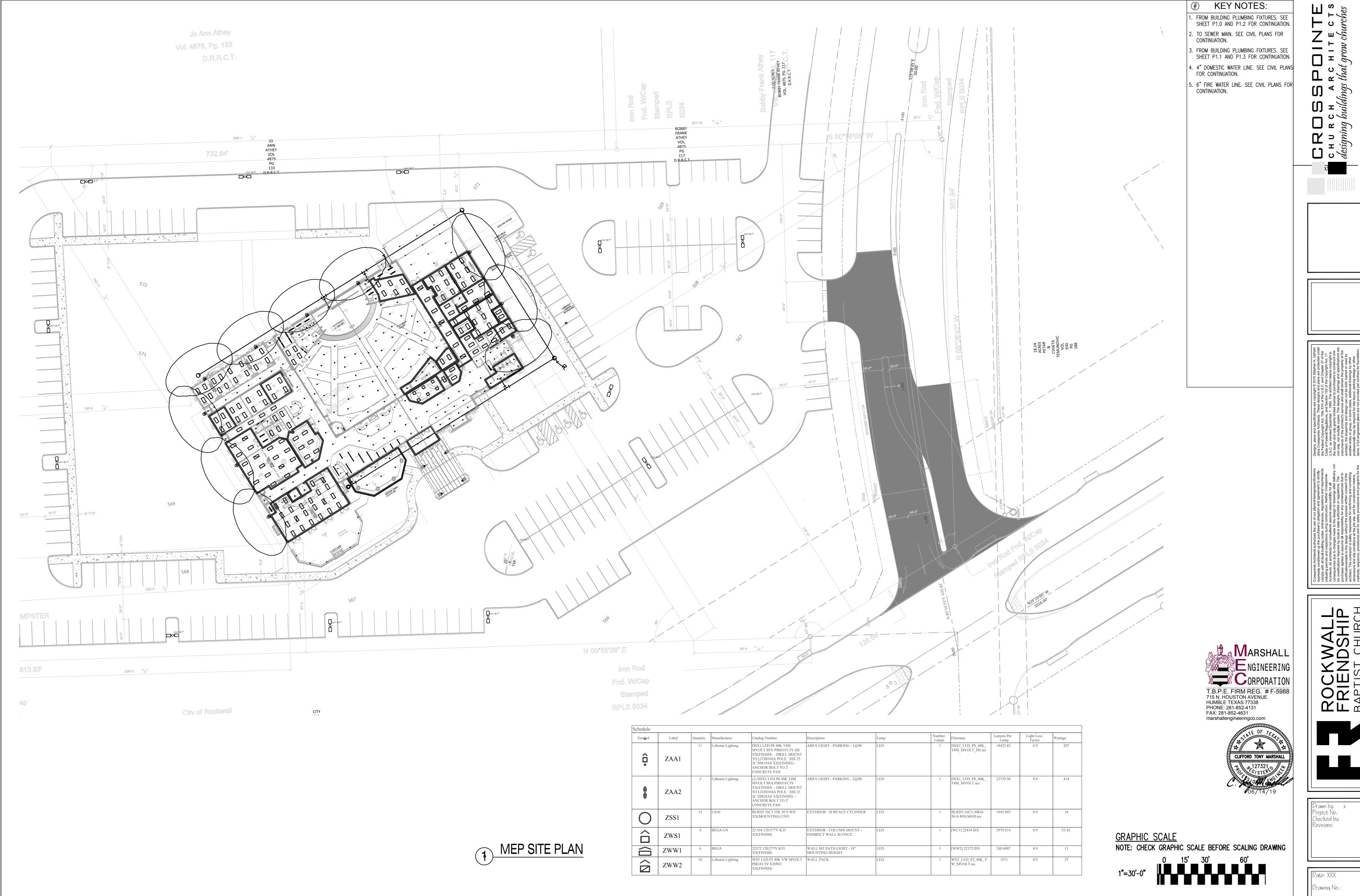
# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









ROCKWALL FRIENDSHIP BAPTIST CHURCH

The Drawings, Specifications and other documents prepared by the Engineer for this Project are instruments of the Engineer's service for use solely with respect to this Project, and the Engineer shall be permitted to retain copies, including reproducible copies, of the Engineer's Drawings, Specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project or for completion of this Project by agreement in writing and with appropriate compensation to the Engineer.



copies, of the Engineer's Drawings, Specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Engineer's Drawings, Specifications or others, except by agreement in writing and with

appropriate compensation to the Engineer.

**KEY NOTES:** 

SHEET P1.0 AND P1.2 FOR CONTINUATION. TO SEWER MAIN. SEE CIVIL PLANS FOR

CONTINUATION. FROM BUILDING PLUMBING FIXTURES. SEE

SHEET P1.1 AND P1.3 FOR CONTINUATION. 4" DOMESTIC WATER LINE. SEE CIVIL PLAN FOR CONTINUATION.

6" FIRE WATER LINE. SEE CIVIL PLANS FO CONTINUATION.

715 N. HOUSTON AVENUE **HUMBLE TEXAS 77338** PHONE: 281-852-4131 FAX: 281-852-4631 marshallengineeringco.com



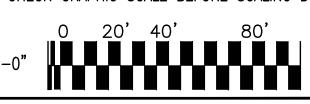
ROCKWALL
RIENDSHIP
SAPTIST CHURCH

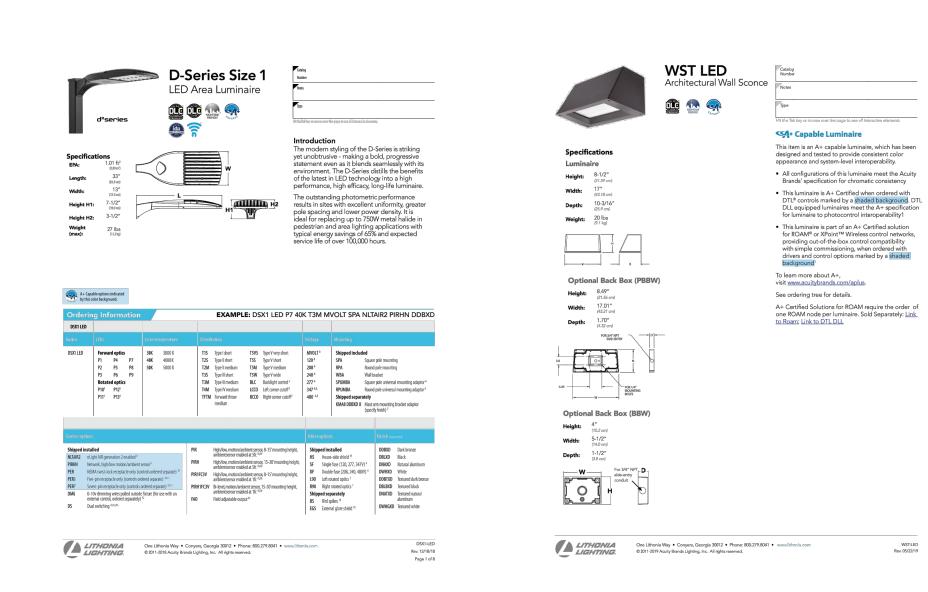
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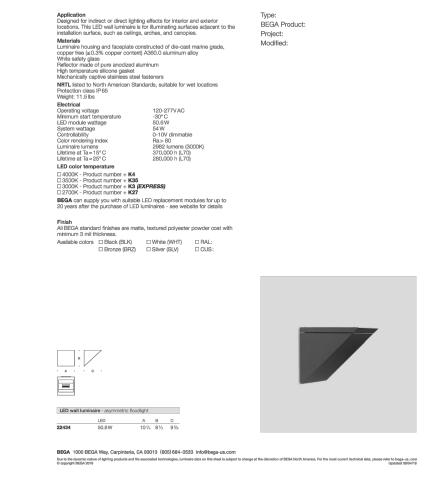
Pate: XXX

rawing No.

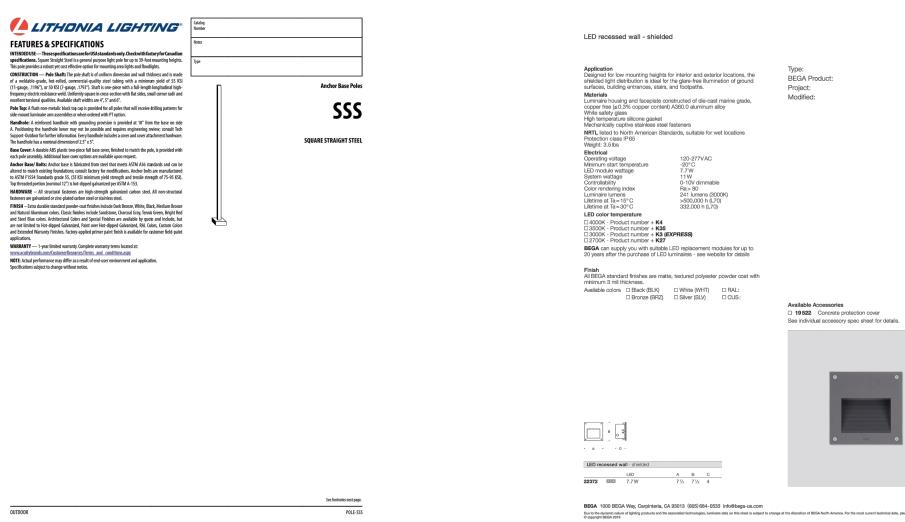
NOTE: CHECK GRAPHIC SCALE BEFORE SCALING DRAWING







LED wall luminaire - asymmetric floodlight









Thecked by:

ROCKWALL FRIENDSHIP BAPTIST CHURCH

7070

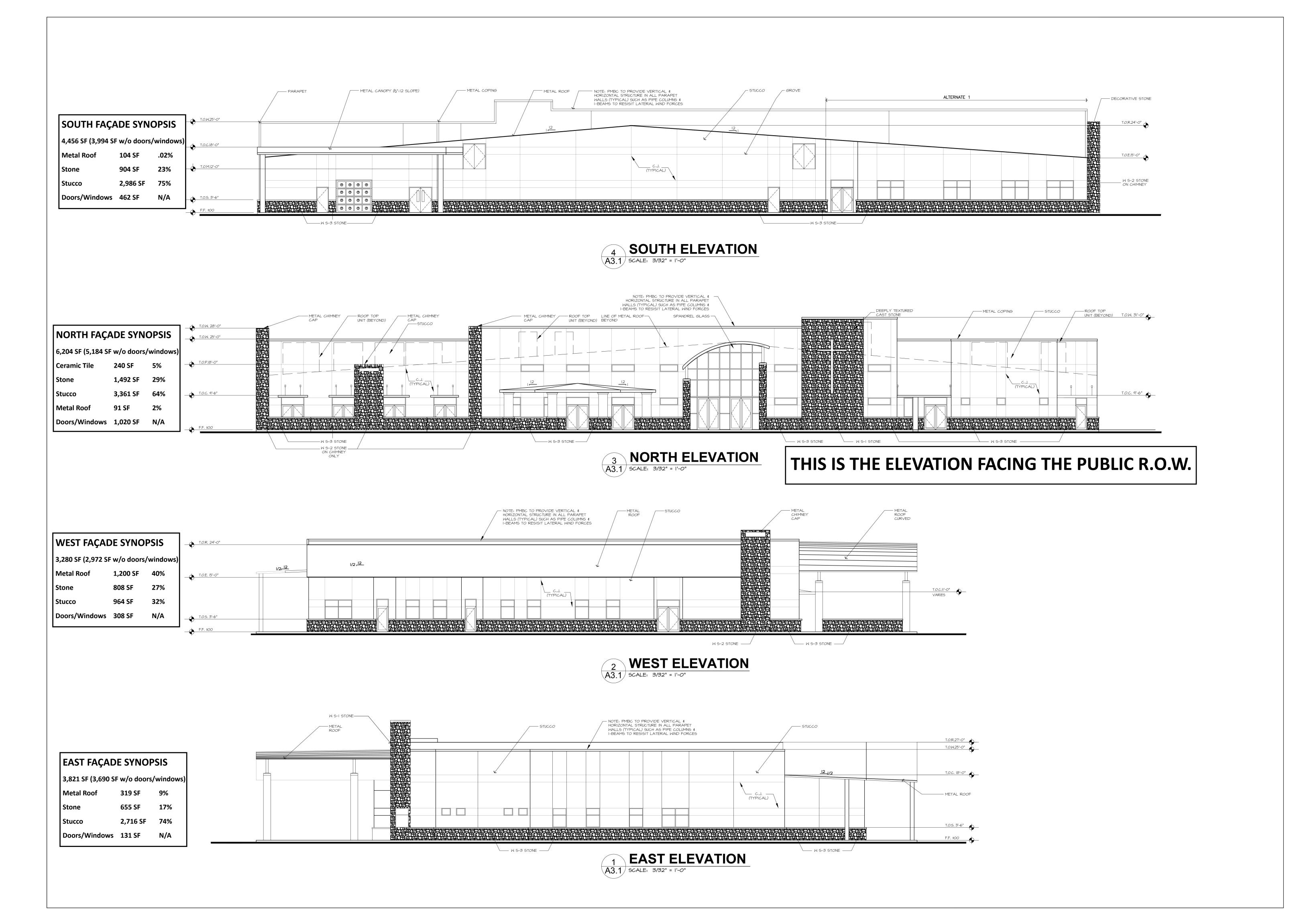
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Date: XXX Orawing No.:



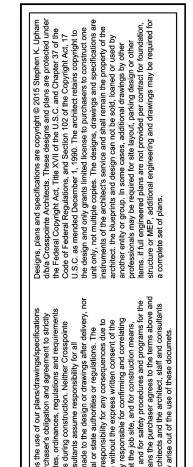
CHURCH ARCHITECTS

designing buildings that grow churches

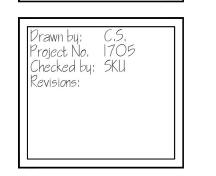
10924 GRANT ROAD #112, HOUSTON, TX 77070



NOTE: These drawings are preliminary and shall not be used for construction or final bidding unless sealed by the architect above



ROCKWALL FRIENDSHIP BAPTIST CHURCH



Date: 05/14/2019

Drawing No.:

A3.1





1. 3-coat Stucco—color: Dryvit (finish coat only)



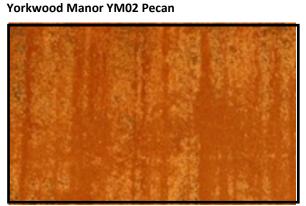
5. Manufactured stone:



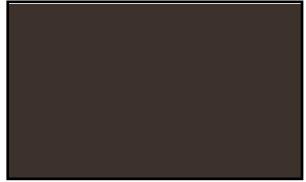
2. Manufactured stone: Boral Pro-Fit Alpine Ledgestone—Color: Chardennay



6. Ceramic Tile—"reclaimed wood" look—Daltile



10. Metal cross and logo: custom made from CorTen steel



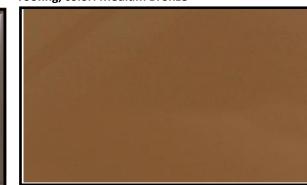
3. Metal trim:



7. Metal window/door frames: Bronze finish on aluminum



4. Metal Roofing: MBCI Signature 300 metal roofing, color: Medium Bronze



8. Glass: Bronze glass

- 1. Stucco—color:
- 2. Manufactured stone:
- 3. Metal trim: bronze finish
- 4. Metal roof (exposed): bronze
- 5. Manufactured stone:
- 6. Ceramic tile "reclaimed wood" look:
- 7. Window frames: bronze
- 8. Glass: bronze tint everywhere (except clear glass at heavily shaded main entrance)
- 9. Metal trim: (match the stucco) color:
- 10. Cross and sign: CorTen steel (rust color)

Metal roof (where not seen): white

## **Applicant Info:**

## **Crosspointe Architects**

Steve Upham 10924 Grant Road, #112 Houston, TX 77070 281-404-2236 Steve@CrosspointeArchitects.com

### **Owner Info:**

## **Rockwall Friendship Baptist**

**Church** — Pastor Shanon Thomas 5651 State Highway 276 Royse City, TX 75189 972-772-7520 info@rockwallfbc.org

**Rockwall Friendship Baptist Church** Case No: \_

9. Metal trim (painted to match stucco): Sherwin Willaims Moderate White SW 6140

## **City of Rockwall**



ΚB

6/17/2019

### **Project Plan Review History**

REALTY LLC, 2424 MTA

KIMLEY HORN

Owner

Applicant

Project Number SI Project Name K

Type Subtype

**Site Address** 

Status

SP2019-025 KE Andrews SITE PLAN

Staff Review

City, State Zip

2460 RIDGE RD ROCKWALL, TX 75087

Subdivision Tract 15

ROCKWALL, 1X 7508

Block

Lot No 15 Parcel No

**General Plan** 

0064-0000-0015-00-0R

Zoning

**Applied** 

Closed

Expired

Status

Approved

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	6/17/2019	6/24/2019	6/18/2019	1 APPROVED	
ENGINEERING	Sarah Hager	6/17/2019	6/24/2019	6/21/2019	4 COMMENTS	

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

#### (6/21/2019 11:48 AM SH)

- KE Andrews Pkwy must be 37' back to back with a 60' ROW.
- Water line must be centered in a 20' easement.
- Minimum easement is 20'.
- No grate inlets allowed.
- All parking against the building to be 20'x9'. All other parking to be 18'x9' with a 2' clear overhang.
- If parking isle median is planned to have lights and trees, the median must be 5' minimum. Two feet of clear overhang is required
- Parking islands for fire hydrants must be 10' wide. The hydrant must be set 5' back from the curb.
- No aerial sewer crossing allowed.
- Include the lot and block numbers for the small parcel to the west of KE Andrews Pkwy.
- Must label all driveway spacing.
- Show wetland/WOUS dedication per IES report
- Must show dedicated 100yr water surface in eng. plans w/ erosion hazard set back.
- show proposed and ex. utilities on plan

#### (water & sewer)

- Retaining wall along the floodplain must have a traffic rated guardrail
- Trees close to the sidewalk will cause uplifting later on
- No trees within 5' of any utility.
- Move the water connection out from under the bushes.
- Dumpster to drian to an oil/water separator and then to the storm lines.
- Retaining wall is not allowed in the ROW.
- Must show existing and proposed utilities.

### The following is for your information for engineering design

- 4% Engineering fees
- Impact fees
- Walls 3' and over must be engineered
- All retaining walls must be rock or stone face. No smooth concrete walls allowed.
- Must have detention
- Must complete a flood study if touching the creek. Review fees apply
- Detention must be above the existing 100-year water surface
- Parking against the building must be 20'x9' min.
- Dumpster area to drawn to oil/water separator then storm.
- wall along road and creek may not be needed if fire lane can be looped below building.
- Any disturbed areas in ROW will be required to be sodded prior to engineering acceptance and certificate of occupancy.
- Show wetland/WOUS dedication per IES report
- Must show dedicated 100yr water surface in eng. plans w/ erosion hazard set back.
- show proposed and ex. utilities on plan

### (water & sewer)

- Must meet all City Standards of Design and Construction

Project Reviews.rpt Page 2 of 5

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	l Status	Remarks
FIRE	Ariana Hargrove	6/17/2019	6/24/2019	6/21/2019	4	APPROVED	
GIS (6/19/2019 11:40 A Address assignment 2460 RIDGE RD, RO	t will be:	6/17/2019	6/24/2019	6/19/2019	2	APPROVED	See comments
PLANNING	David Gonzales	6/17/2019	6/24/2019	6/20/2019	3	COMMENTS	See comments

Project Reviews.rpt Page 3 of 5

Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified at Tract15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.

### PLANNING AND ZONING 1ST ROUND STAFF COMMENTS (06.20.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

- \*\* Planning Department General Comments & Requirements to address/acknowledge:
- 1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
- 2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy (CO).
- 3. Label all revised site plan documents with "Case No. SP2019-025" at the lower right corner of each plan.

#### EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

- 1. To allow for allow for secondary materials to exceed a maximum of 10% (i.e. MP-1 & MP-2).
- \*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

#### Site Plan:

- 1. Delineate and label the minimum 20-ft landscape buffer along the property line Ridge Road and minimum 10-ft along Andrews Parkway.
- 2. Provide a hatch or use a lighter gray scale for 10 future parking spaces.
- 3. Remove label "Medium Duty Firelance..."
- 4. Provide detail for minimum 10-ft tall masonry screening wall for loading zone/dock.
- 5. Label firelane as "24-ft Firelane, Public Access, and Utility Easement".
- 6. Provide label on unused portion of lot next to rail road tracks as "Open Space to be Maintained by Property Owner."

#### Landscape Plan:

- 1. 1. Delineate and label the minimum 20-ft landscape buffer along the property line Ridge Road and minimum 10-ft along KE Andrews Parkway.
- 2. Provide a minimum of two (2), four (4)-caliper inch canopy trees and four (4) accent trees for each 100 linear feet within the 20-ft landscape buffer along Ridge Road.
- 3. Provide one (1), three (3)-caliper inch canopy tree for each 50 linear feet within the landscape buffer along KE Andrews Parkway.
- 4. Correct Planting Details Plant Schedule Table to indicate a minimum four(4)-caliper inch canopy tree(s) to be Icoated within the Ridge Road landscape buffer.
- 5. Planting Plan Sheet LP 1.01: Correct table to indicate minimum 20-ft Landscape Buffer for Scenic Overlay (Ridge Road).
- 6. Planting Plan Sheet LP1.01: Correct table to indicate a minimum of two (2), four (4)-caliper inch trees (i.e. 7 trees) & four (4) accent trees (i.e. 13) per 100 linear feet within the 20-ft Landscape Buffer (Scenic Overlay District Standard).

#### Treescape Plan:

1. Recalculate tree mitigation based on city's tree preservation ordinance. Call to discuss if necessary.

Project Reviews.rpt Page 4 of 5

#### Photometric Plan:

- 1. Provide foot candle reading coverage for site to all property lines All readings are not to exceed 0.2-FC at the property lines. Revise plan.
- 2. Pole height not to exceed 20-ft OAH (include base, pole, and attachments). Provide detail.
- 3. Provide cut sheets for all exterior lighting fixtures (i.e. wall mounted fixtures). Exterior lighting fixtures are to be shielded with a full cut-off so as to not create glare.

### **Building Elevations:**

- 1. See all exception being requested based on sumbittal at top of report
- 2. Provide color rendering for Architectural Review Board(ARB) review.
- 3. Dash in RTU's on elevations. RTU's and other roof top equipement must be visually screened from adjacent properties and rights of way.
- \*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend

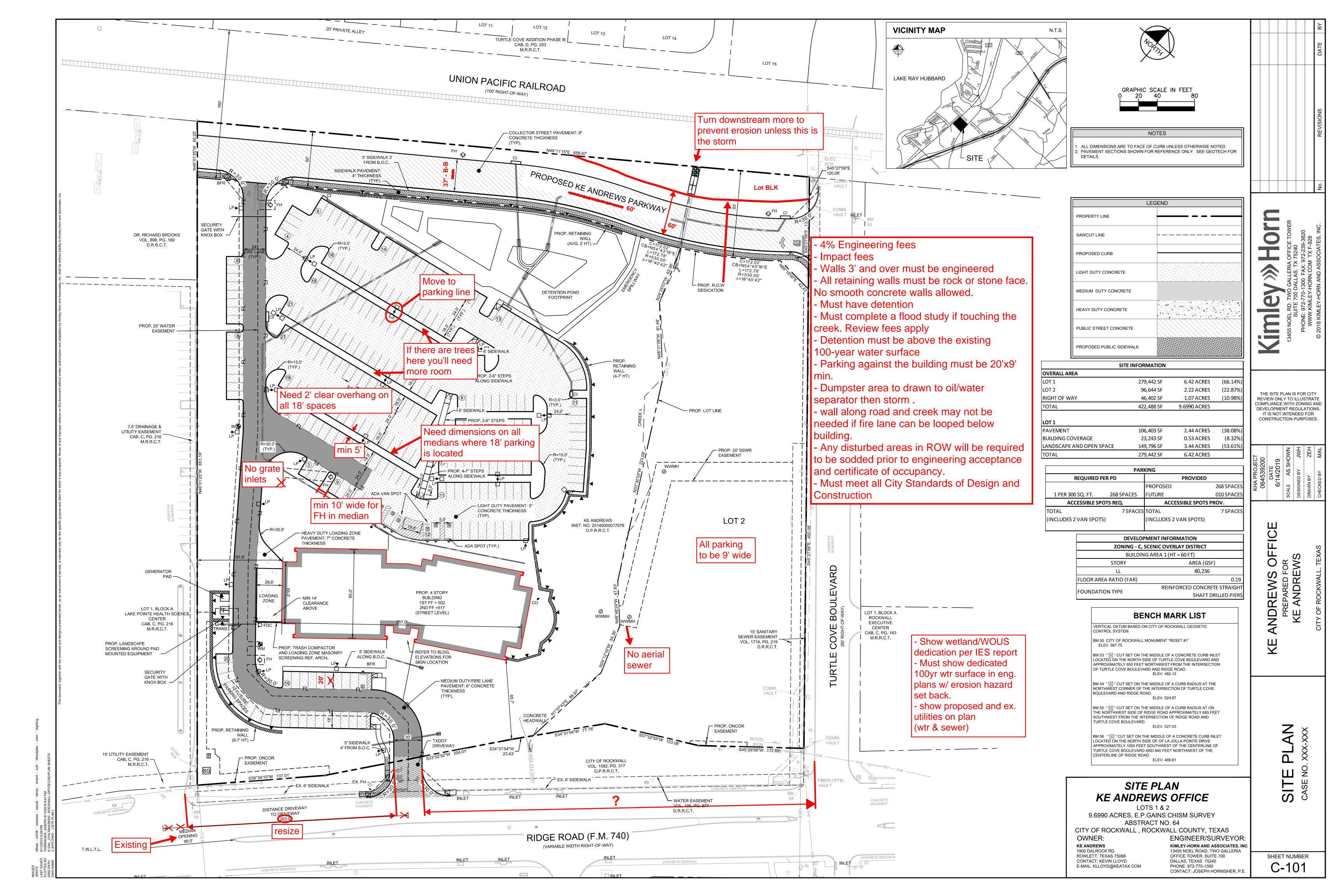
Architectural Review Board- June 25, 2019 (5:00 p.m.) [ARB to provide comments]

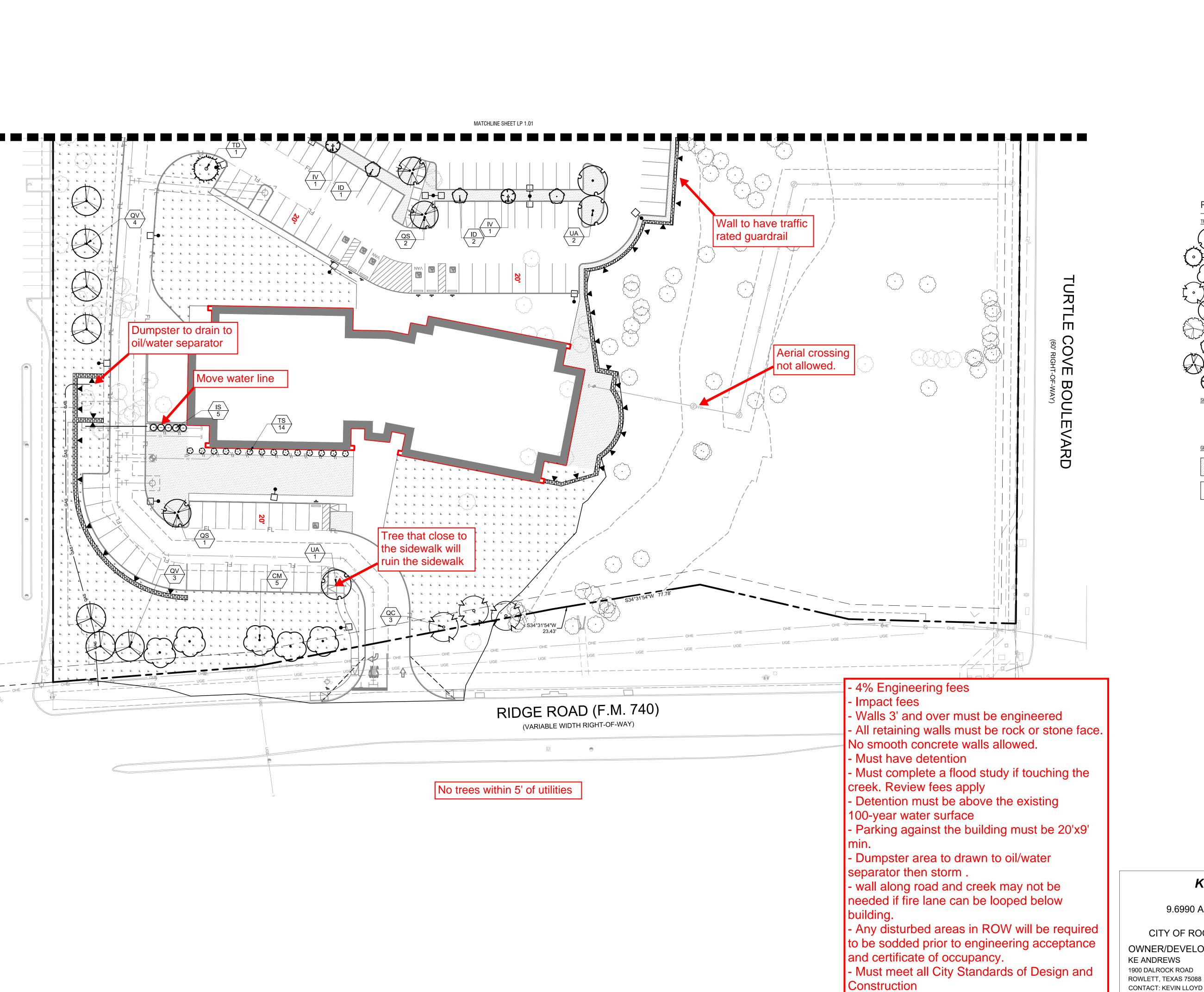
Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]

Architectural Review Board-July 9, 2019 (5:00 p.m.) [ARB to provide recommendation]

Planning - Action: July 9, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

Project Reviews.rpt Page 5 of 5







CM ACER SACCHARUM `CADDO` / CADDO MAPLE QC QUERCUS MUEHLENBERGII / CHINKAPIN OAK IV ILEX VOMITORIA / YAUPON HOLLY

CODE BOTANICAL / COMMON NAME

UA ULMUS PARVIFOLIA `ALLEE` / ALLEE LACEBARK ELM

TD TAXODIUM DISTICHUM / BALD CYPRESS

QV QUERCUS VIRGINIANA / LIVE OAK

CI CARYA ILLINOINENSIS / PECAN

ID ILEX DECIDUA / POSSUMHAW HOLLY

QS QUERCUS SHUMARDII / SHUMARD RED OAK

CODE BOTANICAL / COMMON NAME

IS ILEX X `NELLIE R. STEVENS` / NELLIE R. STEVENS HOLLY

TS LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE

GROUND COVERS CODE BOTANICAL / COMMON NAME

SOD CYNODON DACTYLON / BERMUDA GRASS

WF NATIVE MIX / WILDFLOWER SEED

FOR REVIEW ONLY of for construction or permit pur

Kimley»Horn

L.A. No. 2839 Date 06/2019

ANDREWS OFFICE
PREPARED FOR
KE ANDREWS

7 **PLANTING** 

## KE ANDREWS OFFICE

LOTS 1 & 2 9.6990 ACRES, E.P. GAINS CHISM SURVEY

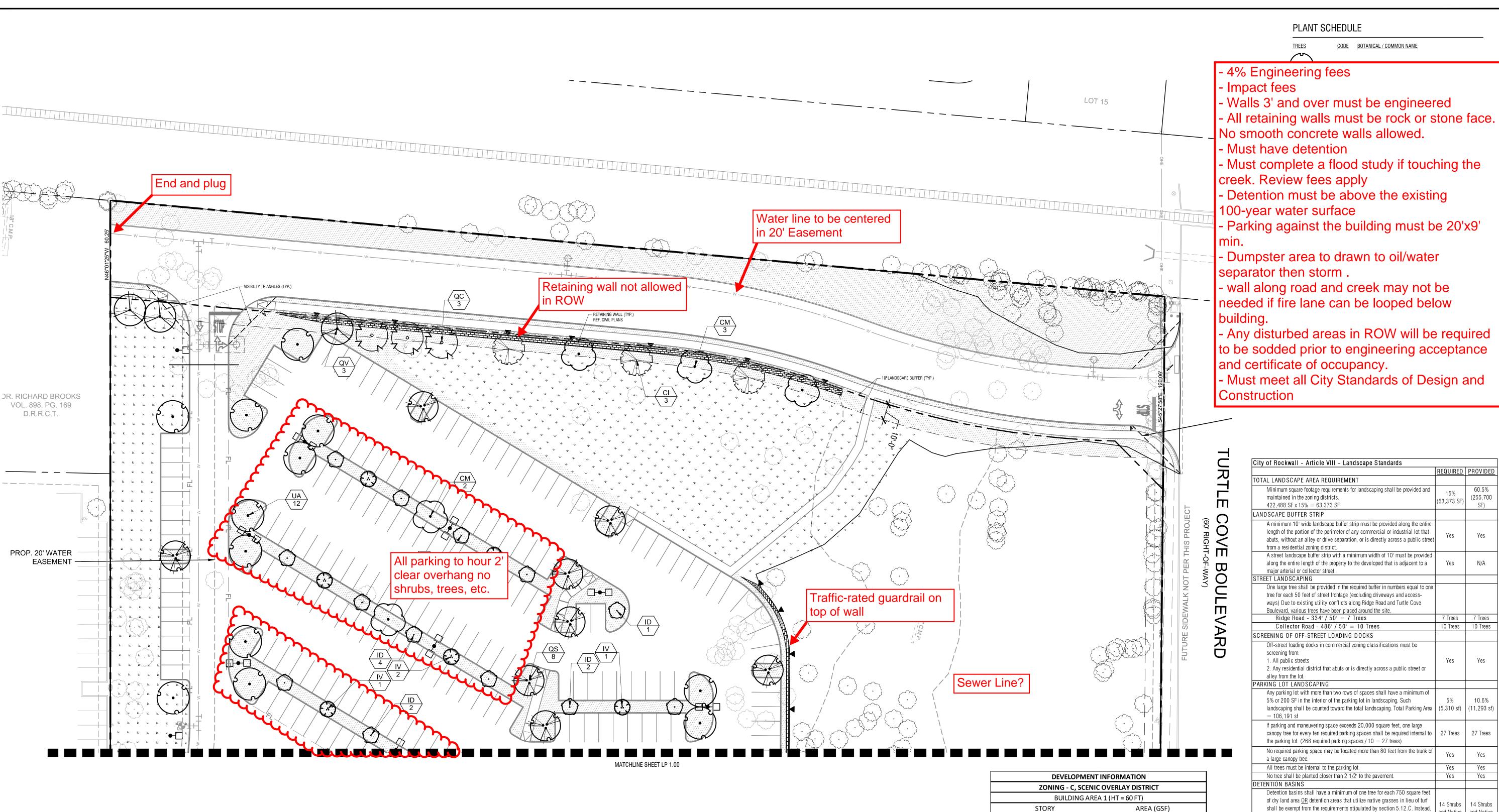
ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: **KE ANDREWS** 1900 DALROCK ROAD

SUITE 700, DALLAS, TX 75240 CONTACT: KEVIN LLOYD TEL. NO. 972-770-1300 EMAIL: KLLOYD@KEATAX.COM CONTACT: PAT HART, PLA

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,

SHEET NUMBER LP 1.00



No trees within 5' of utilities

SITE INFORMATION							
OVERALL AREA							
LOT 1	279,442 SF	6.42 ACRES	(66.14%)				
LOT 2	96,644 SF	2.22 ACRES	(22.87%)				
RIGHT OF WAY	46,402 SF	1.07 ACRES	(10.98%)				
TOTAL	422,488 SF	9.6990 ACRES					
LOT 1							
PAVEMENT	106,403 SF	2.44 ACRES	(38.08%)				
BUILDING COVERAGE	23,243 SF	0.53 ACRES	(8.32%)				
LANDSCAPE AND OPEN SPACE	149,796 SF	3.44 ACRES	(53.61%)				
TOTAL	279,442 SF	6.42 ACRES					
	<u> </u>	<u> </u>					

DEVELOPN	DEVELOPMENT INFORMATION					
ZONING - C, SC	ENIC OVERLAY DISTRICT					
BUILDING AREA 1 (HT = 60 FT)						
STORY	AREA (GSF)					
LL	80,236					
LOOR AREA RATIO (FAR)	0.19					
OLINDATION TVDE	REINFORCED CONCRETE STRAIGHT					
OUNDATION TYPE	SHAFT DRILLED PIERS					

PARKING									
REQUIRED	PER PD	PRO	VIDED						
		PROPOSED	268 SPACES						
1 PER 300 SQ. FT.	268 SPACES	FUTURE	010 SPACES						
ACCESSIBLE SI	POTS REQ.	ACCESSIBLE SPOTS PROV.							
TOTAL	7 SPACES	TOTAL	7 SPACES						
(INCLUDES 2 VAN SPO	ΓS)	(INCLUDES 2 VAN SF	POTS)						

NOTE: AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS AND MEET THE REQUIREMENTS OF THE UDC. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: NO TREES TO BE PLANTED WITHIN 5' OF ANY UTILITIES

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

KE ANDREWS OFFICE	-
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LOTS 1 & 2

9.6990 ACRES, E.P. GAINS CHISM SURVEY ABSTRACT NO. 64

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: **KE ANDREWS** 1900 DALROCK ROAD ROWLETT, TEXAS 75088 CONTACT: KEVIN LLOYD

EMAIL: KLLOYD@KEATAX.COM

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 TEL. NO. 972-770-1300 CONTACT: PAT HART, PLA

shall be exempt from the requirements stipulated by section 5.12.0. Instead, 1 shrub or ornamental grass per every 1,500 sf of dry land area shall be required to be planted on site or around the detention area. $(20,813 \text{ sf}/1500 \text{ sf} = 14 \text{ Shrubs})$	and Native Grasses	and Native Grasses	
NO PIN			
GRAPHIC SCALE IN FE 0 15 30	EET 60		

FOR REVIEW ONLY for construction or permit p

**Kimley** Horn

R.L.A. <u>PATRICK B. HART</u> L.A. No. <u>2839</u> <u>Date</u> <u>06/2019</u>

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SHEET NUMBER LP 1.01

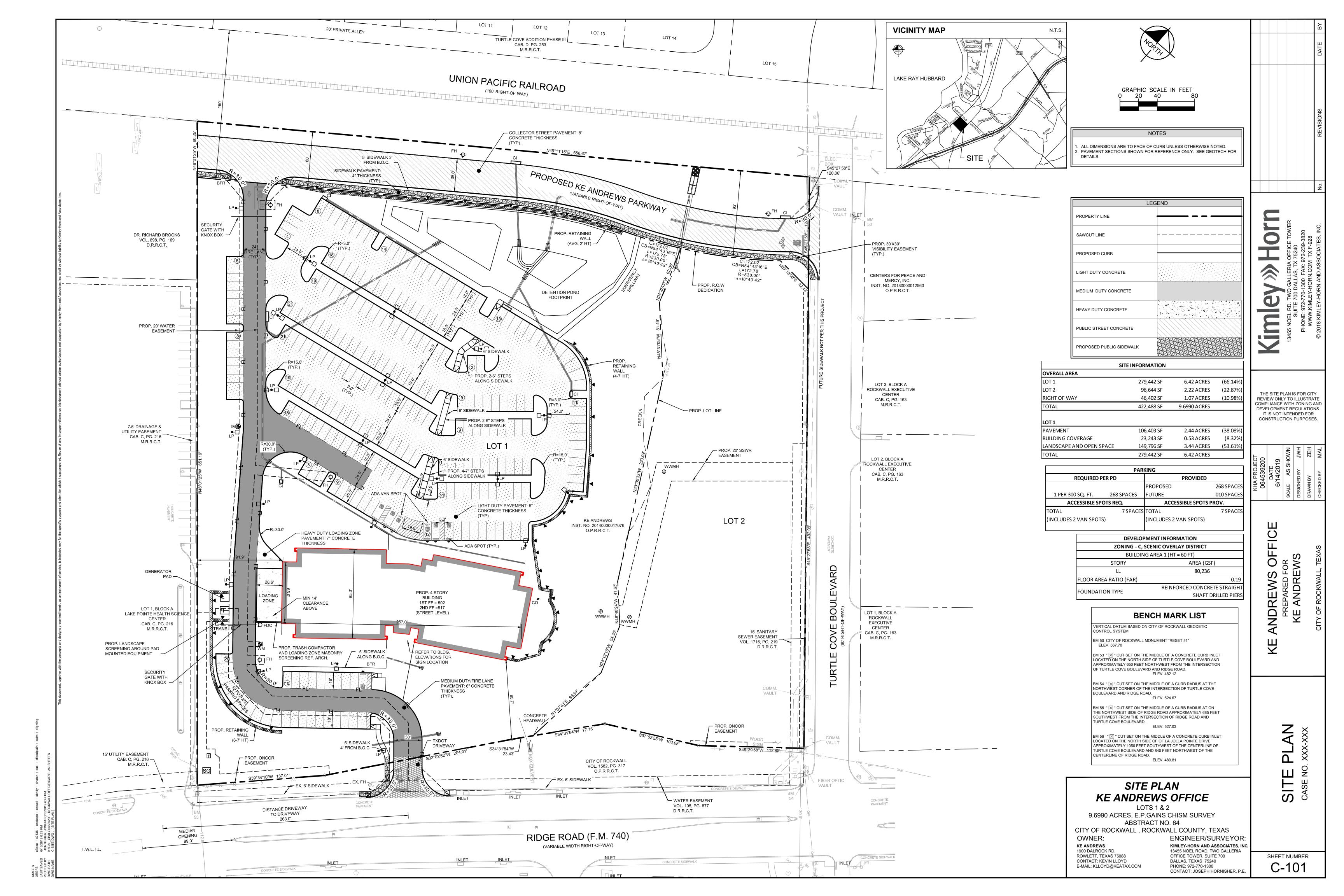


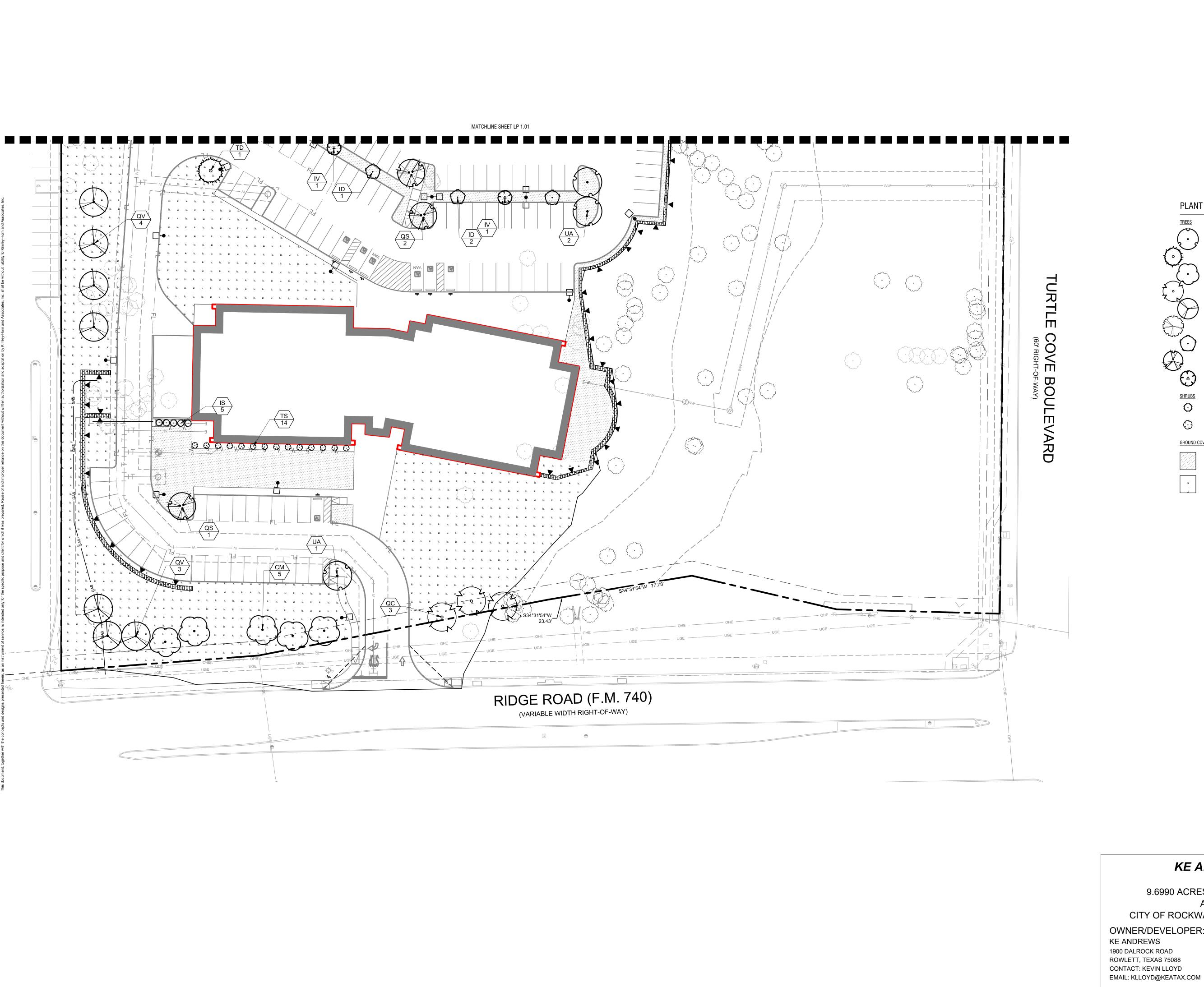


## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









CODE BOTANICAL / COMMON NAME UA ULMUS PARVIFOLIA `ALLEE` / ALLEE LACEBARK ELM TD TAXODIUM DISTICHUM / BALD CYPRESS CM ACER SACCHARUM `CADDO` / CADDO MAPLE QC QUERCUS MUEHLENBERGII / CHINKAPIN OAK QV QUERCUS VIRGINIANA / LIVE OAK CI CARYA ILLINOINENSIS / PECAN ID ILEX DECIDUA / POSSUMHAW HOLLY QS QUERCUS SHUMARDII / SHUMARD RED OAK IV ILEX VOMITORIA / YAUPON HOLLY CODE BOTANICAL / COMMON NAME IS ILEX X `NELLIE R. STEVENS` / NELLIE R. STEVENS HOLLY TS LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE

GROUND COVERS CODE BOTANICAL / COMMON NAME

SOD CYNODON DACTYLON / BERMUDA GRASS

WF NATIVE MIX / WILDFLOWER SEED

FOR REVIEW ONLY Not for construction or permit purpo

**Kimley Morn** 

R.L.A. PATRICK B. HART
L.A. No. 2839 Date 06/2019

LANDSCAPE ARCHITECT:

SHEET NUMBER LP 1.00

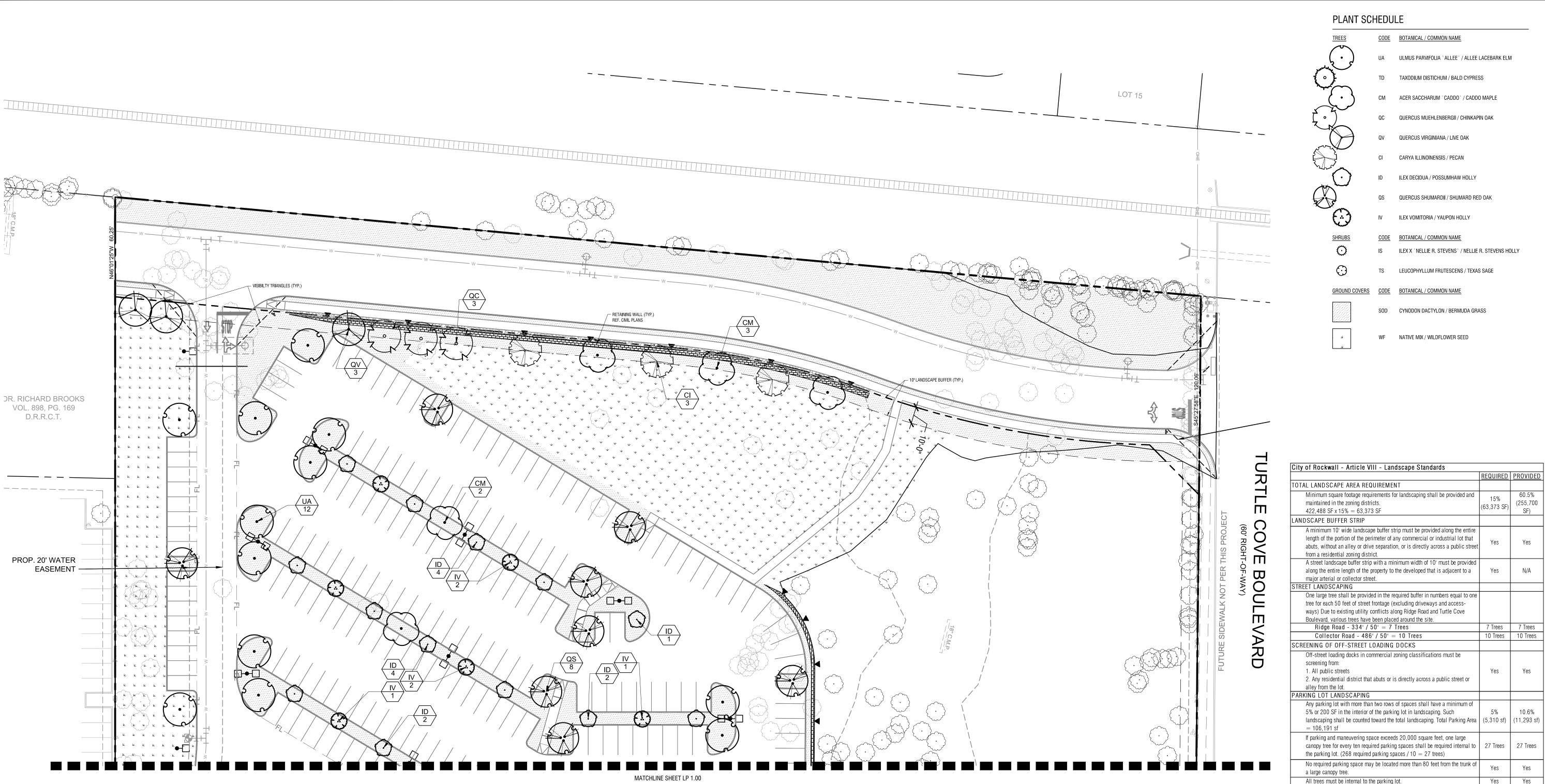
## KE ANDREWS OFFICE

LOTS 1 & 2 9.6990 ACRES, E.P. GAINS CHISM SURVEY ABSTRACT NO. 64

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROWLETT, TEXAS 75088 CONTACT: KEVIN LLOYD

KIMLEY-HORN AND ASSOCIATES, INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 TEL. NO. 972-770-1300 CONTACT: PAT HART, PLA



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DEVELOPMENT INFORMATION				
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STORY	AREA (GSF)			
LL	80,236			
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	REINFORCED CONCRETE STRAIGHT			
DUNDATION TYPE	SHAFT DRILLED PIERS			

	PAR	KING		
REQUIRED PE	R PD	PROVIDED		
		PROPOSED	268 SPACES	
1 PER 300 SQ. FT.	268 SPACES	FUTURE	010 SPACES	
ACCESSIBLE SPO	TS REQ.	ACCESSIBLE SPOTS PROV.		
TOTAL	7 SPACES	TOTAL	7 SPACES	
(INCLUDES 2 VAN SPOTS)		(INCLUDES 2 VAN SPO	OTS)	

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0.19		sf = 14 Shrubs
TRAIGHT		
ED PIERS		
VIDED		
	268 SPACES	
	010 SPACES	
SPOTS P	ROV.	
	7 SPACES	

# KE ANDREWS OFFICE

LOTS 1 & 2 9.6990 ACRES, E.P. GAINS CHISM SURVEY ABSTRACT NO. 64

PLANT SCHEDULE

CODE BOTANICAL / COMMON NAME

UA ULMUS PARVIFOLIA `ALLEE` / ALLEE LACEBARK ELM

TD TAXODIUM DISTICHUM / BALD CYPRESS

CM ACER SACCHARUM `CADDO` / CADDO MAPLE

QC QUERCUS MUEHLENBERGII / CHINKAPIN OAK

QUERCUS VIRGINIANA / LIVE OAK

CARYA ILLINOINENSIS / PECAN

ILEX VOMITORIA / YAUPON HOLLY

SOD CYNODON DACTYLON / BERMUDA GRASS

NATIVE MIX / WILDFLOWER SEED

CODE BOTANICAL / COMMON NAME

GROUND COVERS CODE BOTANICAL / COMMON NAME

Minimum square footage requirements for landscaping shall be provided and

A minimum 10' wide landscape buffer strip must be provided along the entire

length of the portion of the perimeter of any commercial or industrial lot that

along the entire length of the property to the developed that is adjacent to a

One large tree shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage (excluding driveways and accessways) Due to existing utility conflicts along Ridge Road and Turtle Cove

Boulevard, various trees have been placed around the site. Ridge Road - 334' / 50' = 7 Trees Collector Road - 486' / 50' = 10 Trees

No tree shall be planted closer than 2 1/2' to the pavement.

Detention basins shall have a minimum of one tree for each 750 square feet of dry land area <u>OR</u> detention areas that utilize native grasses in lieu of turf

shall be exempt from the requirements stipulated by section 5.12.C. Instead,

1 shrub or ornamental grass per every 1,500 sf of dry land area shall be

required to be planted on site or around the detention area. (20,813 sf / 1500

TENTION BASINS

from a residential zoning district.

major arterial or collector street.

ILEX DECIDUA / POSSUMHAW HOLLY

QUERCUS SHUMARDII / SHUMARD RED OAK

LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE

ILEX X `NELLIE R. STEVENS` / NELLIE R. STEVENS HOLLY

15%

(63,373 SF)

14 Shrubs

and Native and Native

Grasses Grasses

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: KE ANDREWS 1900 DALROCK ROAD ROWLETT, TEXAS 75088 CONTACT: KEVIN LLOYD EMAIL: KLLOYD@KEATAX.COM

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				DATE	
				. REVISIONS	
				No.	

FOR REVIEW ONLY Not for construction or permit purpo Kimley»Horn R.L.A. PATRICK B. HART L.A. No. 2839 Date 06/2019

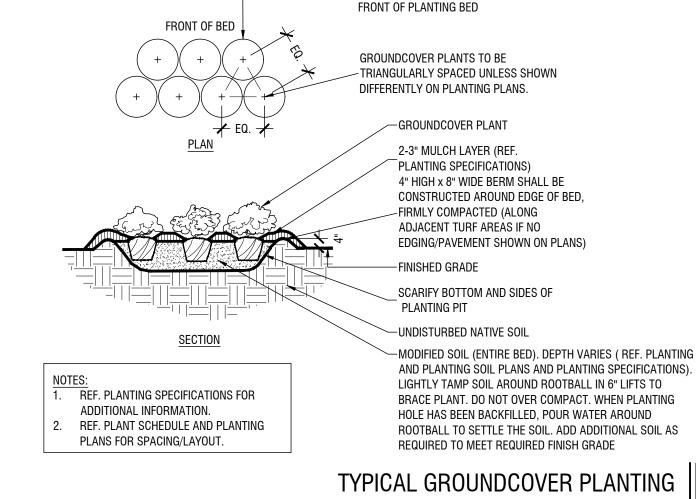
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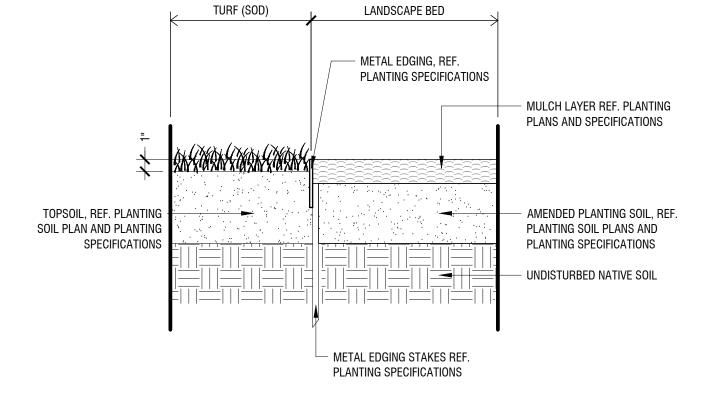
SHEET NUMBER LP 1.01

	TREES	CODE	QTY	BOTANICAL / COMMON NAME	<u>R00T</u>	CAL	SIZE	REMARKS
	$\left(\begin{array}{c} \cdot \\ \cdot \end{array}\right)$	UA	15	ULMUS PARVIFOLIA `ALLEE` / ALLEE LACEBARK ELM	B & B	3" CAL.	12`-14` HT.	
0	)	TD	1	TAXODIUM DISTICHUM / BALD CYPRESS	B & B	3" CAL.	14`-16` HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
(	$\bigcirc$	СМ	10	ACER SACCHARUM `CADDO` / CADDO MAPLE	B & B	3" CAL.	12`-14` HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
Z.		QC	6	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	B & B	3" CAL.	14`-16` HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
~		QV	10	QUERCUS VIRGINIANA / LIVE OAK	B & B	3" CAL.	14`-16` H.	FULL AND MATCHING
		CI	3	CARYA ILLINOINENSIS / PECAN	B & B	3" CAL.	14`-16` HT.	FULL AND MATCHING
٠,	$\bigcirc$	ID	16	ILEX DECIDUA / POSSUMHAW HOLLY	B & B	3 - 1" CANES MIN.	8`-10` HT.	
Z.	2	QS	11	QUERCUS SHUMARDII / SHUMARD RED OAK	B & B	3" CAL.	14`-16` HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	0	IV	8	ILEX VOMITORIA / YAUPON HOLLY	CONT.	3- 1.5" CANES	8`-10` HT.	MULTI-TRUNK (3-5 STEMS), FULL AND MATCHING
	SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	<u>R00T</u>	SIZE	<u>SPACING</u>	REMARKS
	0	IS	5	ILEX X `NELLIE R. STEVENS` / NELLIE R. STEVENS HOLLY	CONT.	36" HT.	60" O.C.	
	$\odot$	TS	14	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	CONT.	30" H X 24" W	48" O.C.	FULL AND MATCHING
	GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	<u>R00T</u>	SIZE	SPACING	REMARKS
		SOD	44,280 SF	CYNODON DACTYLON / BERMUDA GRASS	N/A	N/A	N/A	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS.
	٦	WF	76,646 SF	NATIVE MIX / WILDFLOWER SEED	SEED			PREPARE SOIL AND BROADCASE AT RECOMMENDED



BEST FACE OF PLANT TO FACE

Scale: NTS



## METAL EDGING (AT TURF & LANDSCAPE BED)

REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION. WHEN SHRUBS MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS) WHEN SHRUBS ARE USED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.

REF. TO PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.

BEST FACE OF SHRUB TO FACE FRONT OF PLANTING BED FRONT OF BED SHRUBS TO BE TRIANGULARLY SPACED UNLESS SHOWN DIFFERENTLY ON PLANTING PLANS. LEAVE 6" OF TOP OF ROOTBALL EXPOSED AROUND BASE OF STEMS. PLANT ROOTBALL TO BE INSTALLED CENTERED AND PLUMB/LEVEL IN PLANTING PIT 4" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED — AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY, FIRMLY COMPACTED. 2-3" MULCH LAYER (REF. PLANTING SPECIFICATIONS) -UNDISTURBED NATIVE SOIL LOOSENED SOIL. DIG AND TURN THE SOIL TO REDUCE THE COMPACTION TO THE AREA AND DEPTH SHOWN. LIGHTLY TAMP SOIL AROUND ROOTBALL IN 6" LIFTS TO BRACE -SHRUB. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND ROOTBALL TO SETTLE THE SOIL. ADD ADDITIONAL SOIL AS NEEDED ROOTBALL WIDTH TO MEET REQUIRED FINISH GRADE. SCARIFY BOTTOM AND SIDES OF PLANTING PIT -SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL

SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL-

TAMPING SOIL FIRMLY AROUND THE LOWER 1/4 OF

SO THAT TOP OF ROOTBALL IS 2-3" ABOVE

THE ROOTBALL.

CONTAINER.

FINISHED GRADE. STABILIZE/PLUMB TREE BY

FOR CONTAINER STOCK: REMOVE ENTIRE

1/2 OF THE ENTIRE WIRE BASKET.

BURLAP/SYNTHETIC FABRICS AND

COMPLETELY REMOVE ALL

FOR B&B STOCK: COMPLETELY REMOVE TOP

TYPICAL SHRUB PLANTING Scale: NTS

TRUNK/ROOTBALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT 6" DIA. CLEAR OF MULCH AT ROOT FLARE. IF - REQUIRED, REMOVE EXCESS SOIL ON TOP OF ROOTBALL (MAX 2") AND EXPOSE TREE ROOT FLARE. 4" MULCH LAYER. PLACE NO MORE THAN 1" OF MULCH ON - TOP OF ROOTBALL (REF. PLANTING SPECIFICATIONS FOR

3 X ROOTBALL WIDTH —

8' DIA. MULCH RING (MIN.) FOR INDIVIDUAL

TREES NOT IN LANDSCAPE BEDS

SECTION

4" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED AROUND — THE ROOTBALL. BERM SHALL BEGIN AT ROOTBALL PERIPHERY, FIRMLY COMPACTED. FINISHED GRADE.

REF. PLANTING AND SPECIFICATIONS FOR

PERFORM PERCOLATION TEST PER PLANTING SPECIFICATIONS. IF SUBSURFACE DRAINAGE PROBLEMS ARE ENCOUNTERED, NOTIFY PROJECT LANDSCAPE ARCHITECT.

ADDITIONAL INFORMATION.

ARBOR STAKE TYP., INSTALL 4"

MIN. FROM EDGE OF ROOTBALL.

- ROOTBALL

TREE TRUNK

TREE CANOPY

— ORIGINAL GRADE. UNDISTURBED NATIVE SOIL

> NATIVE LOOSENED PLANTING SOIL BACKFILL. DIG AND TURN THE SOIL TO REDUCE COMPACTION TO THE AREA AND DEPTH SHOWN. LIGHTLY TAMP SOIL AROUND ROOTBALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. IN THE TOP 1/3 DEPTH OF BACK FILL, MIX 1/2" LAYER OF COMPOST INTO EACH 6" LIFT OF BACKFILL. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND ROOTBALL

MEET REQUIRED FINISH GRADE. - SCARIFY BOTTOM AND LOOSEN SIDES OF PLANTING PIT

TO SETTLE THE SOIL. ADD ADDITIONAL SOIL AS NEEDED TO

ARBOR STAKE TYP., INSTALL 4" MIN. FROM EDGE OF

TYPICAL TREE PLANTING

PRELIMINARY

FOR REVIEW ONLY ot for construction or permit purpo

**Kimley** »Horn

R.L.A. PATRICK B. HART L.A. No. 2839 Date 06/2019

SHEET NUMBER LP 3.00

# PLANTING NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.

- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PERMITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- 3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION AND MUST BE REPLACED WITHIN 30 DAYS WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- 5. FINAL FINISH GRADING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO
- 6. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. ALL PLANT QUANTITIES ARE LISTED FOR INFORMATION PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SHOWN ON THE PLANS AND SPECIFIED IN THE PLANT SCHEDULE.
- 7. CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- 8. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS GIVEN IN THE PLANT SCHEDULE, PLANTING DETAILS, AND PLANTING SPECIFICATIONS.
- 9. ALL PLANT MATERIAL SHALL MEET INDUSTRY STANDARDS AS INDICATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- 10. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- 11. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- 12. ALL PLANTING AREAS SHALL RECEIVED SOIL AMENDMENTS AS NOTED ON THE PLANTING SOIL PLANS, DETAILS, AND SPECIFICATIONS.
- 13. PLANT MATERIAL SHALL BE PRUNED PER PLANTING SPECIFICATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
- 14. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- 15. ALL LIME STABILIZED SOIL AND INORGANIC SELECT FILL FOR BUILDING OR PAVING CONSTRUCTION SHALL BE REMOVED FROM ALL PLANTING BEDS TO A MINIMUM DEPTH OF 24" UNLESS OTHERWISE NOTED ON PLANTING SOILS PLANS. REPLACE MATERIAL REMOVED WITH IMPORTED TOPSOIL.
- 16. TREES OVERHANGING PEDESTRIAN WALKS SHALL BE LIMBED TO A HEIGHT OF SEVEN FEET (7'). TREE OVERHANGING PUBLIC STREETS AND FIRELANES SHALL BE LIMBED TO A HEIGHT OF FOURTEEN FEET (14').
- 17. TREES PLANTED NEXT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL BE LIMBED TO 7'6" (80" MIN.) AFF.
- 18. ALL PROPSED TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM AS SHOWN IN THE PLANTING DETAILS AND SPECIFICATIONS. NO ABOVE-GROUND STAKING SYSTEMS, GUY WIRES/WIRES, HOSES, STRAPS, POSTS (METAL OR WOOD) SHALL BE ALLOWED UNLESS AURTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.

1.1 SECTION INCLUDES A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT RELATED SERVICES AND SUPERVISION NECESSARY FOR OR INCIDENTAL TO THE INSTALLATION OF THE LAWNS AND GRASSES AS SHOWN OR INDICATED ON THE DRAWINGS AND/OR AS

B. WORK INCLUDED:

AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

- SOIL PREPARATION AND FINE GRADING. FERTILIZATION.
- GRASS SODDING

### 1.2 SUBMITTALS A. DELIVERY RECEIPTS AND INVOICES: SUBMIT ORIGINAL DELIVERY RECEIPTS AND INVOICES FOR MATERIALS USED.

- B. PRODUCT DATA: SUBMIT SAMPLE LABEL OR SPECIFICATION OF FERTILIZER.
- C. CERTIFICATE: SUBMIT STATE CERTIFICATE STATING VARIETY AND PURITY OF GRASS SOD. D. SOIL FERTILITY TEST REPORTS:
- 1. SUBMIT ANALYSIS, TEST RESULTS AND CORRECTIVE RECOMMENDATIONS TO THE OWNER'S REPRESENTATIVE. 2. ONE TEST PER MEDIAN IS REQUIRED OF EXISTING SOIL TAKEN AT DIFFERENT LOCATIONS ON THE PROJECT SITE

- A. PROTECT PAVING SURFACES, CURBS, UTILITIES, PLANT MATERIALS, AND OTHER EXISTING IMPROVEMENTS FROM DAMAGE BY HEAVY EQUIPMENT.
- B. LOCATE AND STAKE IRRIGATION HEADS, VALVE RISERS AND EQUIPMENT PRIOR TO BEGINNING SOIL PREPARATION
- C. DURING WORK AND MAINTENANCE PERIOD, MAINTAIN TOPSOIL IN PLACE AT ESTABLISHED GRADES. REPLACE TOPSOIL AND GRASS LOSSES DUE TO FROSION.
- D. PROTECT IN PLACE WORK FROM DAMAGE BY HEAVY EQUIPMENT. PREPARE, GRADE, LEVEL, AND REPLANT DAMAGED

### 1.4 SUBSTANTIAL COMPLETION & PROJECT CLOSEOUT

- A. A CERTIFICATE OF SUBSTANTIAL COMPLETION WILL BE ISSUED WHEN THE WORK PERFORMED UNDER THE CONTRACT HAS BEEN REVIEWED AND FOUND, TO THE OWNER'S REPRESENTATIVE'S BEST KNOWLEDGE, INFORMATION, AND BELIEF, TO BE SUBSTANTIALLY COMPLETE. SUBSTANTIAL COMPLETION IS THE STAGE IN THE PROGRESS OF THE WORK WHEN THE WORK OR DESIGNATED PORTION THEREOF IS SUFFICIENTLY COMPLETE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS SO THE OWNER CAN OCCUPY OR UTILIZE THE WORK FOR ITS INTENDED USE. THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT OR PORTION THEREOF IS ALSO THE DATE OF COMMENCEMENT OF
- APPLICABLE GUARANTEES AS SPECIFIED. B. A LIST OF ITEMS TO BE COMPLETED OR CORRECTED WILL BE ATTACHED TO THE CERTIFICATE OR SUBSTANTIAL COMPLETION. THE FAILURE TO INCLUDE ANY ITEMS ON SUCH LIST DOES NOT ALTER THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- C. THE CONTRACTOR WILL COMPLETE OR CORRECT THE WORK ON THE LIST OF ITEMS WITHIN A SPECIFIC NUMBER OF DAYS AS SHOWN ON THE CERTIFICATE OF SUBSTANTIAL COMPLETION.
- D. UPON COMPLETION AND RE-INSPECTION OF ALL CORRECTED ITEMS LISTED, THE OWNER'S REPRESENTATIVE WILL RECOMMEND TO THE OWNER THAT THE WORK OF THIS SECTION IS READY FOR FINAL ACCEPTANCE.

- A. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. PERSONNEL: EMPLOY ONLY EXPERIENCED PERSONNEL WHO ARE FAMILIAR WITH THE REQUIRED WORK. PROVIDE SUPERVISION BY A QUALIFIED FOREMAN.

- A. GUARANTEE LAWNS AND GRASSES FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE AT THE END OF THIS GUARANTEE PERIOD, ALL LAWN AND GRASS AREAS WILL HAVE ACHIEVED COVERAGE OF THE SPECIFIED GRASS AT A DENSITY OF 100% COVERAGE, FREE OF WEEDS, UNDESIRABLE GRASS SPECIES, DISEASE, AND INSECTS. REPLACE DEAD MATERIALS AND MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AND ON NOTIFICATION BY THE OWNER'S REPRESENTATIVE.
- B. REPLACE LAWNS AND GRASSES WITH SAME KIND AS ORIGINALLY PLANTED, AT NO COST TO THE OWNER. PROTECT IRRIGATION SYSTEM AND OTHER PIPING, CONDUIT, OR OTHER WORK DURING REPLACEMENT. REPAIR DAMAGE IMMEDIATELY.

- A. DO NOT INSTALL SOD ON SATURATED OR FROZEN SOIL.
- B. SOD INSTALLATION SHALL BE SUBJECT TO SUITABILITY OF THE WEATHER AND OTHER CONDITIONS AFFECTING SOD GROWTH.

## 1.8 PROGRESS MEETINGS

A. CONTRACTOR SHALL ATTEND ALL PROGRESS MEETINGS AS REQUESTED BY THE OWNER'S REPRESENTATIVE DURING

## 1.9 QUANTITY VERIFICATION

A. THE BIDDING CONTRACTOR IS RESPONSIBLE FOR THE INCLUSION OF ALL MATERIALS, LABOR AND EQUIPMENT AS OUTLINED IN THE PLANS AND SPECIFICATION. THE PLANT LIST IS PROVIDED TO THE BIDDING CONTRACTOR AS A CONVENIENCE AND THE QUANTITIES ARE APPROXIMATE. VERIFICATION OF ALL QUANTITIES IS THE SOLE RESPONSIBILITY OF THE BIDDING CONTRACTOR. ANY DISCREPANCIES MUST BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO SUBMITTAL OF BID.

## PART 2 PRODUCTS

### 2.1 GRASS A. GENERAL:

- 1. SOD SHALL BE NURSERY GROWN ON CULTIVATED AGRICULTURAL SOILS. SOD SHALL HAVE BEEN MOWED REGULARLY AND CAREFULLY AND OTHERWISE MAINTAINED FROM PLANTING TO HARVEST.
- SOD SHALL BE OF SPECIES INDICATED. 3. THICKNESS OF CUT: SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE PLUS OR MINUS .25 INCHES ON WIDTH AND PLUS OR MINUS 5% ON LENGTH.
- 4. BROKEN STRIPS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTED.
- 5. STRENGTH OF SOD STRIPS: SOD STRIPS SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND
- RETAIN THEIR SIZE AND SHAPE IF SUSPENDED VERTICALLY WHEN GRASPED IN THE UPPER 10% OF THE SECTION. 6. MOISTURE CONTENT: SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY WET OR DRY) MAY ADVERSELY AFFECT ITS SURVIVAL. SOD SHALL BE STORED IN A COMPACT GROUP TO PREVENT DRYING OUT OR FREEZING.
- 7. TIME LIMITATIONS: SOD SHALL BE HARVESTED, DELIVERED, AND TRANSPLANTED WITHIN A 30-HOUR PERIOD UNLESS A SUITABLE PRESERVATION METHOD IS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ITS INSTALLATION.
- 8. THATCH: SOD SHALL BE FREE OF THATCH.
- 9. DISEASES. NEMATODES AND INSECTS: SOD SHALL BE FREE OF DISEASES, NEMATODES, AND SOIL-BORNE
- 10. WEEDS: SOD SHALL BE FREE OF OBJECTIONABLE GRASSY AND BROADLEAF WEEDS. B. SOD:
- 1. CYNODON DACTYLON (COMMON BERMUDA GRASS)

### 2.2 FERTILIZER A. GENERAL:

- 1. FERTILIZER SHALL BE COMMERCIAL PRODUCT, UNIFORM IN COMPOSITION, FREE FLOWING, AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
- 2. DELIVER FERTILIZER TO SITE IN FULLY LABELED ORIGINAL CONTAINERS.
- 3. FERTILIZER WHICH HAS BEEN EXPOSED TO HIGH HUMIDITY AND MOISTURE HAS BECOME CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL NOT BE ACCEPTABLE.
- B. INITIAL APPLICATION:
- 17% NITROGEN 2. 17% PHOSPHORIC ACID
- 17% POTASH
- C. SECOND APPLICATION:
- 21% NITROGEN 2. 0% PHOSPHORIC ACID
- 0% POTASH

### PART 3 EXECUTION

### 3.1 GENERAL

A. EXECUTE GRASS PLANTING OPERATIONS ACROSS SLOPE AND PARALLEL TO FINISHED GRADE CONTOURS.

### 3.2 PRE-PLANT WEED CONTROL

- A. IRRIGATED AND NON-IRRIGATED GRASS AREAS:
- 1. IF GRASSY OR BROADLEAF WEEDS EXIST ON SITE AT THE BEGINNING OF WORK, SPRAY WITH A NON-SELECTIVE SYSTEMIC CONTACT HERBICIDE, AS RECOMMENDED AND APPLIED BY AN APPROVED LICENSED LANDSCAPE PEST CONTROL ADVISOR AND APPLICATOR. LEAVE SPRAYED PLANTS INTACT FOR AT LEAST 15 DAYS TO ALLOW
- SYSTEMIC KILL. 2. CLEAR AND REMOVE THESE EXISTING WEEDS BY MOWING OR GRUBBING OFF ALL PLANT PARTS AT LEAST 0.25
- INCHES BELOW THE SURFACE OF THE SOIL OVER THE ENTIRE AREA TO BE PLANTED. B. IRRIGATED GRASS AREAS ONLY:
- 1. AFTER IRRIGATION SYSTEM IS OPERATIONAL, APPLY WATER FOR 5 TO 10 DAYS AS NEEDED TO ACHIEVE WEED GERMINATION. APPLY CONTACT HERBICIDES AND WAIT AS NEEDED BEFORE PLANTING. REPEAT AS NEEDED. 2. MAINTAIN LAWN AND GRASS AREAS WEED FREE UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE

## 3.3 SOIL PREPARATION

- A. TILLAGE: 1. TILLAGE SHALL BE ACCOMPLISHED TO LOOSEN ALL AREAS OF COMPACTED SOIL. WHEN PLACEMENT OF
- TOPSOIL IS SPECIFIED, TILL COMPACTED AREAS PRIOR TO PLACEMENT. 2. TILL WITH HEAVY DUTY DISC, ROTOTILLER, OR CHISEL-TYPE BREAKING PLOW, CHISELS SET NOT MORE THAN 10
- INCHES APART. TILL TO A DEPTH OF 1 TO 3 INCHES. 3. INITIAL TILLAGE SHALL BE DONE IN CROSSING PATTERN FOR DOUBLE COVERAGE THEN FOLLOWED BY A DISC
- B. CLEANING:
- 1. REMOVE DEBRIS, BUILDING MATERIALS, RUBBISH, WEEDS, AND STONES LARGER THAN 1 INCH IN DIAMETER. 2. USE ROCK PICK OR OTHER MACHINERY TO GATHER SURFACE STONES LARGER THAN 1 INCH IN DIAMETER.
- 1. AFTER TILLAGE AND PLACEMENT OF TOPSOIL, LEVEL, FINE GRADE, AND DRAG WITH A WEIGHTED SPIKE HARROW
- OR FLOAT DRAG. 2. ELIMINATE RUTS, DEPRESSIONS, HUMPS, AND OBJECTIONABLE SOIL CLODS.

UTILIZING MECHANICAL AND CHEMICAL TREATMENT.

## 3.4 FERTILIZING

- A. THE FERTILIZER TYPES AND RATES SPECIFIED HEREIN ARE APPLICABLE UNLESS COUNTERMANDED BY THE SOIL FERTILITY TEST CORRECTIVE RECOMMENDATIONS, IN WHICH CASE THEY WILL BE APPLICABLE.
- 1. INITIAL APPLICATION: APPLY NO MORE THAN 5 DAYS PRIOR TO COMMENCEMENT OF SODDING OPERATIONS AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET. INCORPORATE INTO SOIL WITH A CHAIN HARROW. 2. SECOND AND THIRD APPLICATIONS: APPLY EVERY 25 DAYS AFTER SODDING AT A RATE OF 10 POUNDS PER
- 1,000 SQUARE FEET. 3. IRRIGATE THE AREA WITH A MINIMUM OF .25 INCHES OF WATER TO PROPERLY INCORPORATE THE FERTILIZER

## 3.5 PLANTING SOD

### A. WEATHER CONDITIONS:

- SCHEDULE WORK FOR PERIODS OF FAVORABLE WEATHER.
- 2. SOD PLACEMENT ON DAYS WHICH, IN THE JUDGMENT OF THE OWNER'S REPRESENTATIVE, ARE TOO HOT, COLD, SUNNY, DRY, OR WINDY FOR OPTIMAL INSTALLATION MAY BE PROHIBITED.

### B. PLACEMENT PATTERN:

INTO THE TURF.

- 1. THE FIRST ROW SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PARALLEL TO THE FIRST ROW
- AND TIGHTLY ABUTTING EACH OTHER. 2. LATERAL JOINTS SHALL BE STAGGERED. CARE SHALL BE EXERCISED TO ENSURE THAT THE SOD IS NEITHER STRETCHED NOR OVERLAPPED. JOINTS MUST BE BUTTED TIGHTLY TO PREVENT VOIDS THAT COULD PERMIT AIR
- TO DRY OUT ROOT. 3. IMMEDIATELY AFTER PLACING, SOD SHALL BE PRESSED FIRMLY INTO CONTACT WITH BED BY TAMPING OR ROLLING TO ELIMINATE AIR POCKETS. FOLLOWING TAMPING, SCREENED TOPSOIL SHALL BE USED TO FILL ALL CRACKS AND EXCESS SOIL SHALL BE WORKED INTO THE SOD WITH RAKES OR OTHER SUITABLE EQUIPMENT.
- SOD SHALL NOT BE SMOTHERED WITH EXCESS FILL SOIL. 4. ON SLOPES STEEPER THAN 3 TO 1, SOD SHALL BE SECURED BY GALVANIZED PINS, WOOD PEGS OR OTHER
- METHODS APPROVED BY THE OWNER'S REPRESENTATIVE. 5. IMMEDIATELY AFTER SODDING OPERATIONS HAVE BEEN COMPLETED, THE ENTIRE SURFACE SHALL BE COMPACTED WITH A ROLLER OR OTHER APPROVED EQUIPMENT. THE COMPLETED AREA AFTER SODDING SHALL BE UNIFORMLY EVEN, FIRM, AND TRUE TO FINISHED GRADE LINES.

- 1. INITIAL INSTALLATION: WATER MUST BE APPLIED WITHIN 2 HOURS OF EXPOSURE OF THE SOD TO SUN OR WIND. WATER NEWLY LAID SOD UNTIL SATURATION OF THE ENTIRE AREA IS APPARENT. AS A RESULT OF INITIAL IRRIGATION, STANDING WATER MAY BE PRESENT AND MODERATE TO HEAVY RUN OFF MAY OCCUR. CONTINUE TO IRRIGATE DAILY IN SHORTER DURATIONS SO THE ENTIRE AREA STAYS THOROUGHLY WET BUT WITHOUT STANDING WATER. THE LENGTH OF IRRIGATION TIME AND FREQUENCY OF APPLICATIONS WILL VARY AT
- DIFFERENT LOCATIONS DUE TO WEATHER CONDITIONS AND INDIVIDUAL SITE CHARACTERISTICS. 2. AFTER 7 TO 10 DAYS: CHECK FOR NEW ROOT GROWTH BY LIFTING CORNERS OF SOD BLOCKS. IF CONSISTENT ROOT GROWTH OVER THE ENTIRE SITE IS OBSERVED. WATER APPLICATIONS CAN BE REDUCED TO ONCE EVERY
- 3. AFTER 12 TO 14 DAYS: RECHECK FOR ADDITIONAL ROOTING. IF SOD BLOCKS ARE DIFFICULT TO PULL UP OR ADDITIONAL NEW ROOTS ARE PRESENT ALLOW THE AREA TO DRY TO THE EXTENT THAT MOWING CAN BE

## 3.6 GRADING

A. MAINTAIN EXISTING ESTABLISHED GRADES. PROTECT TRUE AND EVEN DURING OPERATIONS.

A. DURING WORK AND MAINTENANCE PERIOD, MAINTAIN TOPSOIL IN PLACE AT ESTABLISHED GRADES. REPLACE TOPSOIL AND TURE GRASS LOSSES DUE TO EROSION.

## 3.8 CLEAN-UP

A. REMOVE EXCESS MATERIAL AND DEBRIS FROM SITE.

## 3.9 MAINTENANCE

- A. UNTIL FINAL ACCEPTANCE, MAINTAIN LAWN AND GRASS AREAS BY WATERING, MOWING, WEEDING, SPRAYING, CLEANING AND REPLACING AS NECESSARY TO KEEP THE TURF AND GRASS IN A VIGOROUS, HEALTHY CONDITION. WATERING: AS NECESSARY.
- MOWING:
- a) MOW NEWLY PLANTED GRASS AREAS WEEKLY AFTER INITIAL GROWTH REACHES 1.5 TO 2 INCHES. 3. WEEDING: REMOVE WEEDS AND FOREIGN GRASS OVER LAWN AND GRASS AREAS AT LEAST ONCE A WEEK. HERBICIDES MAY BE USED ONLY WHEN APPROVED BY THE OWNER'S REPRESENTATIVE.

## END OF SECTION 329210

PRELIMINARY FOR REVIEW ONLY or construction or permit purp Kimley»Horn R.L.A. PATRICK B. HART L.A. No. 2839 Date 06/2019

REPARED I

LOTS 1 & 2 9.6990 ACRES, E.P. GAINS CHISM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

KE ANDREWS OFFICE

OWNER/DEVELOPER: **KE ANDREWS** 1900 DALROCK ROAD

ROWLETT, TEXAS 75088

CONTACT: KEVIN LLOYD

EMAIL: KLLOYD@KEATAX.COM

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 TEL. NO. 972-770-1300 CONTACT: PAT HART, PLA

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SHEET NUMBER LP 4.02

## **PART 1 GENERAL**

- A. THE SCOPE OF WORK INCLUDES ALL LABOR, MATERIALS, APPLIANCES, TOOLS, EQUIPMENT, FACILITIES, TRANSPORTATION AND SERVICES NECESSARY FOR. AND INCIDENTAL TO PERFORMING ALL OPERATIONS IN CONNECTION WITH FURNISHING, DELIVERY, AND INSTALLATION OF PLANT (ALSO KNOWN AS "LANDSCAPING") COMPLETE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- B. THE SCOPE OF WORK IN THIS SECTION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- LOCATE, PURCHASE, DELIVER AND INSTALL ALL SPECIFIED PLANTS.
- 2. WATER ALL SPECIFIED PLANTS.
- 3. MULCH, FERTILIZE, STAKE, AND PRUNE ALL SPECIFIED PLANTS.

6. CLEAN UP AND DISPOSAL OF ALL EXCESS AND SURPLUS MATERIAL.

- 4. MAINTENANCE OF ALL SPECIFIED PLANTS UNTIL THE BEGINNING OF THE WARRANTY PERIOD.
- PLANT WARRANTY.
- 7. MAINTENANCE OF ALL SPECIFIED PLANTS DURING THE WARRANTY PERIOD.

#### 1.2 CONTRACT DOCUMENTS

A. SHALL CONSIST OF SPECIFICATIONS AND GENERAL CONDITIONS AND THE CONSTRUCTION DRAWINGS. THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE DOCUMENTS ARE TO BE CONSIDERED AS ONE. WHATEVER IS CALLED FOR BY ANY PARTS SHALL BE AS BINDING AS IF CALLED FOR IN ALL PARTS.

## 1.3 RELATED DOCUMENTS AND REFERENCES

- A. RELATED DOCUMENTS:
- 1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION
- 2. RELATED SPECIFICATION SECTIONS
- a. IRRIGATION
- b. LAWN AND GRASSES
- B. REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERETO. IN THE EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS SPECIFICATION SECTION THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER THE MORE STRINGENT REQUIREMENT SHALL PREVAIL OR AS DETERMINED BY THE OWNERS REPRESENTATIVE.
- 1. ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, MOST CURRENT EDITION.
- 2. ANSI A 300 STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE, MOST CURRENT EDITION AND ALL PARTS.
- 3. INTERPRETATION OF PLANT NAMES AND DESCRIPTIONS SHALL REFERENCE THE FOLLOWING DOCUMENTS. WHERE THE NAMES OR PLANT DESCRIPTIONS DISAGREE BETWEEN THE SEVERAL DOCUMENTS, THE MOST CURRENT DOCUMENT SHALL PREVAIL.
- a. USDA THE GERMPLASM RESOURCES INFORMATION NETWORK (WWW.ARS-GRIN.GOV/NPGS.HTML) b. MANUAL OF WOODY LANDSCAPE PLANTS; MICHAEL DIRR; STIPES PUBLISHING, CHAMPAIGN, ILLINOIS; MOST CURRENT EDITION.
- c. The New Sunset Western Garden Book, Oxmoor House, Most Current Edition.
- 4. PRUNING PRACTICES SHALL CONFORM TO RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY" MOST CURRENT EDITION; PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA.
- 5. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST CURRENT EDITION.

#### 1.4 VERIFICATION

- A. ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS. REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE OWNER'S REPRESENTATIVE.
- B. IN THE CASE OF A DISCREPANCY IN THE PLANT QUANTITIES BETWEEN THE PLAN DRAWINGS AND THE PLANT CALL OUTS, LIST OR PLANT SCHEDULE, THE NUMBER OF PLANTS OR SQUARE FOOTAGE OF THE PLANTING BED ACTUALLY DRAWN ON THE PLAN DRAWINGS SHALL BE DEEMED CORRECT AND PREVAIL.

# 1.5 PERMITS AND REGULATIONS

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE OPERATION OR CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING FROM CHANGES IN THE WORK.
- B. WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED OR TESTED. THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH.
- C. IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS, THE MORE RESTRICTIVE STANDARD SHALL APPLY OR OWNER'S REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

# 1.6 PROTECTION OF WORK, PROPERTY AND PERSON

A. THE CONTRACTOR SHALL ADEQUATELY PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS.

# 1.7 CHANGES IN THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK, AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED.
- B. ALL CHANGES IN THE WORK, NOTIFICATIONS AND CONTRACTOR'S REQUEST FOR INFORMATION (RFI) SHALL

#### CONFORM TO THE CONTRACT GENERAL CONDITION REQUIREMENTS. 1.8 CORRECTION OF WORK

A. THE CONTRACTOR, AT THEIR OWN COST, SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S REPRESENTATIVE, AT THE SOONEST AS POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL WEATHER DEMANDS.

- ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS MODIFIED BELOW.
- A. BOXED TREES: A CONTAINER ROOT BALL PACKAGE MADE OF WOOD IN THE SHAPE OF A FOUR-SIDED BOX.
- B. CONTAINER PLANT: PLANTS THAT ARE GROWN IN AND/OR ARE CURRENTLY IN A CONTAINER INCLUDING BOXED C. DEFECTIVE PLANT: ANY PLANT THAT FAILS TO MEET THE PLANT QUALITY REQUIREMENT OF THIS SPECIFICATION.
- D. END OF WARRANTY FINAL ACCEPTANCE: THE DATE WHEN THE OWNER'S REPRESENTATIVE ACCEPTS THAT THE PLANTS AND WORK IN THIS SECTION MEET ALL THE REQUIREMENTS OF THE WARRANTY. IT IS INTENDED THAT THE MATERIALS AND WORKMANSHIP WARRANTY FOR PLANTING, PLANTING SOIL, AND IRRIGATION WORK RUN CONCURRENT WITH EACH OTHER.
- E. FIELD GROWN TREES (B&B): TREES GROWING IN FIELD SOIL FOR AT LEAST 12 MONTHS PRIOR TO HARVEST.
- F. HEALTHY: PLANTS THAT ARE GROWING IN A CONDITION THAT EXPRESSES LEAF SIZE, CROWN DENSITY, COLOR; AND WITH ANNUAL GROWTH RATES TYPICAL OF THE SPECIES AND CULTIVAR'S HORTICULTURAL DESCRIPTION, ADJUSTED FOR THE PLANTING SITE SOIL, DRAINAGE AND WEATHER CONDITIONS.

H. MAINTENANCE: ACTIONS THAT PRESERVE THE HEALTH OF PLANTS AFTER INSTALLATION AND AS DEFINED IN

- G. KINKED ROOT: A ROOT WITHIN THE ROOT PACKAGE THAT BENDS MORE THAN 90 DEGREES.
- THIS SPECIFICATION. I. MAINTENANCE PERIOD: THE TIME PERIOD, AS DEFINED IN THIS SPECIFICATION, WHICH THE CONTRACTOR IS TO
- PROVIDE MAINTENANCE.
- J. NORMAL: THE PREVAILING PROTOCOL OF INDUSTRY STANDARD(S).
- K. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK.

- L. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION RELATIVE TO PLANT QUALITY, IT IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT IT IS NOT POSSIBLE TO PRODUCE PLANTS FREE OF ALL DEFECTS, BUT THAT SOME ACCEPTED INDUSTRY PROTOCOLS AND STANDARDS RESULT IN PLANTS UNACCEPTABLE TO THIS PROJECT.
- WHEN REASONABLE OR REASONABLY IS USED IN RELATION TO OTHER ISSUES SUCH AS WEEDS, DISEASED, INSECTS, IT SHALL MEAN AT LEVELS LOW ENOUGH THAT NO TREATMENT WOULD BE REQUIRED WHEN APPLYING RECOGNIZED INTEGRATED PLANT MANAGEMENT PRACTICES.
- THIS SPECIFICATION RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSIONAL JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S REPRESENTATIVE'S EXPERT SHALL DETERMINE WHEN CONDITIONS ARE JUDGED AS REASONABLE.
- M. ROOT BALL: THE MASS OF ROOTS INCLUDING ANY SOIL OR SUBSTRATE THAT IS SHIPPED WITH THE TREE WITHIN THE ROOT BALL PACKAGE.
- N. ROOT BALL PACKAGE. THE MATERIAL THAT SURROUNDS THE ROOT BALL DURING SHIPPING. THE ROOT PACKAGE MAY INCLUDE THE MATERIAL IN WHICH THE PLANT WAS GROWN, OR NEW PACKAGING PLACED
- O. ROOT COLLAR (ROOT CROWN, ROOT FLARE, TRUNK FLARE, FLARE): THE REGION AT THE BASE OF THE TRUNK WHERE THE MAJORITY OF THE STRUCTURAL ROOTS JOIN THE PLANT STEM, USUALLY AT OR NEAR GROUND
- P. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 15 FEET.
- Q. SPADE HARVESTED AND TRANSPLANTED: FIELD GROWN TREES THAT ARE MECHANICALLY HARVESTED AND IMMEDIATELY TRANSPLANTED TO THE FINAL GROWING SITE WITHOUT BEING REMOVED FROM THE DIGGING
- R. STEM: THE TRUNK OF THE TREE.
- S. SUBSTANTIAL COMPLETION ACCEPTANCE: THE DATE AT THE END OF THE PLANTING, PLANTING SOIL, AND IRRIGATION INSTALLATION WHERE THE OWNER'S REPRESENTATIVE ACCEPTS THAT ALL WORK IN THESE SECTIONS IS COMPLETE AND THE WARRANTY PERIOD HAS BEGUN. THIS DATE MAY BE DIFFERENT THAN THE
- DATE OF SUBSTANTIAL COMPLETION FOR THE OTHER SECTIONS OF THE PROJECT. T. STEM GIRDLING ROOT: ANY ROOT MORE THAN 1/4 INCH DIAMETER CURRENTLY TOUCHING THE TRUNK, OR WITH THE POTENTIAL TO TOUCH THE TRUNK, ABOVE THE ROOT COLLAR APPROXIMATELY TANGENT TO THE TRUNK CIRCUMFERENCE OR CIRCLING THE TRUNK. ROOTS SHALL BE CONSIDERED AS STEM GIRDLING THAT HAVE, OR
- U. STRUCTURAL ROOT: ONE OF THE LARGEST ROOTS EMERGING FROM THE ROOT COLLAR.
- V. TREE: SINGLE AND MULTI-STEMMED PLANTS WITH MATURE HEIGHT APPROXIMATELY GREATER THAN 15 FEET.

A. SEE CONTRACT GENERAL CONDITIONS FOR POLICY AND PROCEDURE RELATED TO SUBMITTALS. B. SUBMIT ALL PRODUCT SUBMITTALS 4 WEEKS PRIOR TO INSTALLATION OF PLANTINGS.

ARE LIKELY TO HAVE IN THE FUTURE, ROOT TO TRUNK BARK CONTACT.

- C. PRODUCT DATA: SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL FOUR WEEKS BEFORE THE INSTALLATION OF PLANTS.
- D. SAMPLES: SUBMIT SAMPLES OF EACH PRODUCT AND MATERIAL WHERE REQUIRED BY THE SPECIFICATION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. LABEL SAMPLES TO INDICATE PRODUCT, CHARACTERISTICS, AND LOCATIONS IN THE WORK. SAMPLES WILL BE REVIEWED FOR APPEARANCE ONLY. COMPLIANCE WITH ALL OTHER REQUIREMENTS IS THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
- E. CLOSE OUT SUBMITTALS: SUBMIT TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- PLANT MAINTENANCE DATA AND REQUIREMENTS.
- F. WARRANTY PERIOD SITE VISIT RECORD: IF THERE IS NO MAINTENANCE DURING THE WARRANTY PERIOD, AFTER EACH SITE VISIT DURING THE WARRANTY PERIOD, BY THE CONTRACTOR, AS REQUIRED BY THIS SPECIFICATION, SUBMIT A WRITTEN RECORD OF THE VISIT, INCLUDING ANY PROBLEMS, POTENTIAL PROBLEMS, AND ANY RECOMMENDED CORRECTIVE ACTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.

#### 1.11 OBSERVATION OF THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY OBSERVE THE WORK AT ANY TIME. THEY MAY REMOVE SAMPLES OF MATERIALS FOR CONFORMITY TO SPECIFICATIONS. REJECTED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED AT THE CONTRACTOR'S EXPENSE. THE COST OF TESTING MATERIALS NOT MEETING SPECIFICATIONS SHALL BE PAID BY THE CONTRACTOR.
- THE OWNER'S REPRESENTATIVE SHALL BE INFORMED OF THE PROGRESS OF THE WORK SO THE WORK MAY BE OBSERVED AT THE FOLLOWING KEY TIMES IN THE CONSTRUCTION PROCESS. THE OWNER'S REPRESENTATIVE SHALL BE AFFORDED SUFFICIENT TIME TO SCHEDULE VISIT TO THE SITE. FAILURE OF THE OWNER'S REPRESENTATIVE TO MAKE FIELD OBSERVATIONS SHALL NOT RELIEVE THE CONTRACTOR FROM MEETING ALL THE REQUIREMENTS OF THIS SPECIFICATION.
- SITE CONDITIONS PRIOR TO THE START OF PLANTING: REVIEW THE SOIL AND DRAINAGE CONDITIONS.
- 2. COMPLETION OF THE PLANT LAYOUT STAKING: REVIEW OF THE PLANT LAYOUT
- 3. PLANT QUALITY: REVIEW OF PLANT QUALITY AT THE TIME OF DELIVERY AND PRIOR TO INSTALLATION. REVIEW TREE QUALITY PRIOR TO UNLOADING WHERE POSSIBLE, BUT IN ALL CASES PRIOR TO PLANTING.
- 4. COMPLETION OF THE PLANTING: REVIEW THE COMPLETED PLANTING.

# 1.12 PRE-CONSTRUCTION CONFERENCE

A. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.

- A. SUBSTANTIAL COMPLETION ACCEPTANCE ACCEPTANCE OF THE WORK PRIOR TO THE START OF THE WARRANTY PERIOD:
- 1. ONCE THE CONTRACTOR COMPLETES THE INSTALLATION OF ALL ITEMS IN THIS SECTION. THE OWNER'S REPRESENTATIVE WILL OBSERVE ALL WORK FOR SUBSTANTIAL COMPLETION ACCEPTANCE UPON WRITTEN REQUEST OF THE CONTRACTOR. THE REQUEST SHALL BE RECEIVED AT LEAST TEN CALENDAR DAYS BEFORE
- THE ANTICIPATED DATE OF THE OBSERVATION. 2. SUBSTANTIAL COMPLETION ACCEPTANCE BY THE OWNER'S REPRESENTATIVE SHALL BE FOR GENERAL CONFORMANCE TO SPECIFIED SIZE, CHARACTER AND QUALITY AND NOT RELIEVE THE CONTRACTOR OF
- RESPONSIBILITY FOR FULL CONFORMANCE TO THE CONTRACT DOCUMENTS, INCLUDING CORRECT SPECIES 3. ANY PLANTS THAT ARE DEEMED DEFECTIVE AS DEFINED UNDER THE PROVISIONS BELOW SHALL NOT BE
- B. THE OWNER'S REPRESENTATIVE WILL PROVIDE THE CONTRACTOR WITH WRITTEN ACKNOWLEDGMENT OF THE DATE OF SUBSTANTIAL COMPLETION ACCEPTANCE AND THE BEGINNING OF THE WARRANTY PERIOD AND PLANT
- MAINTENANCE PERIOD (IF PLANT MAINTENANCE IS INCLUDED). C. CONTRACTOR'S QUALITY ASSURANCE RESPONSIBILITIES: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR
- QUALITY CONTROL OF THE WORK. D. INSTALLER QUALIFICATIONS: THE INSTALLER SHALL BE A FIRM HAVING AT LEAST 5 YEARS OF SUCCESSFUL EXPERIENCE OF A SCOPE SIMILAR TO THAT REQUIRED FOR THE WORK, INCLUDING THE HANDLING AND PLANTING OF LARGE SPECIMEN TREES IN URBAN AREAS. THE SAME FIRM SHALL INSTALL PLANTING SOIL (WHERE APPLICABLE) AND PLANT MATERIAL.
- 1. INSTALLER FIELD SUPERVISION: WHEN ANY PLANTING WORK IS IN PROGRESS, INSTALLER SHALL MAINTAIN, ON SITE, A FULL-TIME SUPERVISOR WHO CAN COMMUNICATE IN ENGLISH WITH THE OWNER'S REPRESENTATIVE.
- 2. INSTALLER'S FIELD SUPERVISOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE AS A FIELD SUPERVISOR INSTALLING PLANTS AND TREES OF THE QUALITY AND SCALE OF THE PROPOSED PROJECT, AND WHO CAN COMMUNICATE IN ENGLISH WITH THE OWNER'S REPRESENTATIVE. 3. THE INSTALLER'S CREW SHALL HAVE A MINIMUM OF 3 YEARS EXPERIENCED IN THE INSTALLATION OF
- PLANTING SOIL, PLANTINGS, AND IRRIGATION (WHERE APPLICABLE) AND INTERPRETATION OF SOIL PLANS, PLANTING PLANS AND IRRIGATION PLANS. 4. SUBMIT REFERENCES OF PAST PROJECTS, EMPLOYEE TRAINING CERTIFICATIONS THAT SUPPORT THAT THE
- CONTRACTORS MEETS ALL OF THE ABOVE INSTALLER QUALIFICATIONS AND APPLICABLE LICENSURES.

- A. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS. THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THESE SPECIFICATIONS OR THAT
- B. PLANTS WARRANTY SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION ACCEPTANCE AND CONTINUE FOR THE FOLLOWING PERIODS, CLASSED BY PLANT TYPE:
- 1. TREES 1 YEAR. 2. SHRUBS - 1 YEAR.
- 3. GROUND COVER AND PERENNIAL FLOWER PLANTS 1 YEAR.
- 4. BULBS, ANNUAL FLOWER AND SEASONAL COLOR PLANTS FOR THE PERIOD OF EXPECTED BLOOM OR
- PRIMARY DISPLAY.
- WHEN THE WORK IS ACCEPTED IN PARTS, THE WARRANTY PERIODS SHALL EXTEND FROM EACH OF THE PARTIAL SUBSTANTIAL COMPLETION ACCEPTANCES TO THE TERMINAL DATE OF THE LAST WARRANTY PERIOD.

- THUS, ALL WARRANTY PERIODS FOR EACH CLASS OF PLANT WARRANTY, SHALL TERMINATE AT ONE TIME.
- D. ALL PLANTS SHALL BE WARRANTIED TO MEET ALL THE REQUIREMENTS FOR PLANT QUALITY AT INSTALLATION IN THIS SPECIFICATION. DEFECTIVE PLANTS SHALL BE DEFINED AS PLANTS NOT MEETING THESE REQUIREMENTS. THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION THAT PLANTS ARE
- E. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD.
- F. ANY WORK REQUIRED BY THIS SPECIFICATION OR THE OWNER'S REPRESENTATIVE DURING THE PROGRESS OF THE WORK, TO CORRECT PLANT DEFECTS INCLUDING THE REMOVAL OF ROOTS OR BRANCHES, TO OBSERVE FOR OR CORRECT ROOT DEFECTS SHALL NOT BE CONSIDERED AS GROUNDS TO VOID ANY CONDITIONS OF THE WARRANTY. IN THE EVENT THAT THE CONTRACTOR DECIDES THAT SUCH REMEDIATION WORK MAY COMPROMISE THE FUTURE HEALTH OF THE PLANT, THE PLANT OR PLANTS IN QUESTION SHALL BE REJECTED AND REPLACED WITH PLANTS THAT DO NOT CONTAIN DEFECTS THAT REQUIRE REMEDIATION OR CORRECTION.
- G. THE CONTRACTOR IS EXEMPT FROM REPLACING PLANTS, AFTER SUBSTANTIAL COMPLETION ACCEPTANCE AND DURING THE WARRANTY PERIOD, THAT ARE REMOVED BY OTHERS, LOST OR DAMAGED DUE TO OCCUPANCY OF PROJECT, LOST OR DAMAGED BY A THIRD PARTY, VANDALISM, OR ANY NATURAL DISASTER.
- H. REPLACEMENTS SHALL CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES. REPLACEMENTS SHALL BE SUBJECT TO ALL REQUIREMENTS STATED IN THIS SPECIFICATION. MAKE ALL NECESSARY REPAIRS
- DUE TO PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER. I. THE WARRANTY OF ALL REPLACEMENT PLANTS SHALL EXTEND FOR AN ADDITIONAL ONE-YEAR PERIOD FROM THE DATE OF THEIR ACCEPTANCE AFTER REPLACEMENT. IN THE EVENT THAT A REPLACEMENT PLANT IS NOT ACCEPTABLE DURING OR AT THE END OF THE SAID EXTENDED WARRANTY PERIOD, THE OWNER'S REPRESENTATIVE MAY ELECT ONE MORE REPLACEMENT ITEMS OR CREDIT FOR EACH ITEM. THESE TERTIARY
- J. DURING AND BY THE END OF THE WARRANTY PERIOD, REMOVE ALL ABOVE GROUND TREE ASSESSMENTS PRESENT (IE.: TREE WRAP, TIES, AND GUYING) UNLESS AGREED TO BY THE OWNER'S REPRESENTATIVE TO REMAIN IN PLACE. ALL TREES THAT DO NOT HAVE SUFFICIENT CALIPER TO REMAIN UPRIGHT, OR THOSE REQUIRING ADDITIONAL ANCHORAGE IN WINDY LOCATIONS, SHALL BE STAKED OR REMAIN STAKED, IF REQUIRED BY THE OWNER'S REPRESENTATIVE.

REPLACEMENT ITEMS ARE NOT PROTECTED UNDER A WARRANTY PERIOD.

- K. END OF WARRANTY FINAL ACCEPTANCE ACCEPTANCE OF PLANTS AT THE END OF THE WARRANTY PERIOD.
- 1. AT THE END OF THE WARRANTY PERIOD. THE OWNER'S REPRESENTATIVE SHALL OBSERVE ALL WARRANTED WORK, UPON WRITTEN REQUEST OF THE CONTRACTOR. THE REQUEST SHALL BE RECEIVED AT LEAST TEN CALENDAR DAYS BEFORE THE ANTICIPATED DATE FOR FINAL OBSERVATION.
- 2. END OF WARRANTY FINAL ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL THE REQUIREMENTS OF THE WORK UNDER THIS SPECIFICATION AND IN SPECIFICATION SECTION IRRIGATION HAVE BEEN MET.

## 1.15 SELECTION AND OBSERVATION OF PLANTS

- A. THE OWNER'S REPRESENTATIVE MAY REVIEW ALL PLANTS SUBJECT TO APPROVAL OF SIZE, HEALTH, QUALITY, CHARACTER, ETC. REVIEW OR APPROVAL OF ANY PLANT DURING THE PROCESS OF SELECTION, DELIVERY, INSTALLATION AND ESTABLISHMENT PERIOD SHALL NOT PREVENT THAT PLANT FROM LATER REJECTION IN THE EVENT THAT THE PLANT QUALITY CHANGES OR PREVIOUSLY EXISTING DEFECTS BECOME APPARENT THAT WERE
- B. PLANT SELECTION: THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO SELECT AND OBSERVE ALL PLANTS AT THE NURSERY PRIOR TO DELIVERY AND TO REJECT PLANTS THAT DO NOT MEET SPECIFICATIONS AS SET FORTH IN THIS SPECIFICATION. IF A PARTICULAR DEFECT OR SUBSTANDARD ELEMENT CAN BE CORRECTED AT THE NURSERY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, THE AGREED UPON REMEDY MAY BE APPLIED BY THE NURSERY OR THE CONTRACTOR PROVIDED THAT THE CORRECTION ALLOWS THE PLANT TO MEET THE REQUIREMENTS SET FORTH IN THIS SPECIFICATION. ANY WORK TO CORRECT PLANT DEFECTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 1. THE OWNER'S REPRESENTATIVE MAY MAKE INVASIVE OBSERVATION OF THE TREE'S ROOT SYSTEM IN THE AREA OF THE ROOT COLLAR AND THE TOP OF THE ROOT BALL IN GENERAL IN ORDER TO DETERMINE THAT THE TREE MEETS THE QUALITY REQUIREMENTS FOR DEPTH OF THE ROOT COLLAR AND PRESENCE OF ROOTS
- ABOVE THE ROOT COLLAR. SUCH OBSERVATIONS WILL NOT HARM THE PLANT. 2. CORRECTIONS ARE TO BE UNDERTAKEN AT THE NURSERY PRIOR TO SHIPPING.
- C. THE CONTRACTOR SHALL BEAR ALL COST RELATED TO PLANT CORRECTIONS. D. ALL PLANTS THAT ARE REJECTED SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND ACCEPTABLE
- REPLACEMENT PLANTS PROVIDED AT NO COST TO THE OWNER. E. SUBMIT TO THE OWNER'S REPRESENTATIVE, FOR APPROVAL, PLANT SOURCES INCLUDING THE NAMES AND LOCATIONS OF NURSERIES PROPOSED AS SOURCES OF ACCEPTABLE PLANTS, AND A LIST OF THE PLANTS THEY WILL PROVIDE. THE PLANT LIST SHALL INCLUDE THE BOTANICAL AND COMMON NAME AND THE SIZE AT THE TIME OF SELECTION. OBSERVE ALL NURSERY MATERIALS TO DETERMINE THAT THE MATERIALS MEET THE
- REQUIREMENTS OF THIS SECTION. F. TREES SHALL BE PURCHASED FROM THE GROWING NURSERY. RE-WHOLESALE PLANT SUPPLIERS SHALL NOT BE USED AS SOURCES UNLESS THE CONTRACTOR CAN CERTIFY THAT THE REQUIRED TREES ARE NOT DIRECTLY AVAILABLE FROM A GROWING NURSERY. WHEN RE-WHOLESALE SUPPLIERS ARE UTILIZED, THE CONTRACTOR SHALL SUBMIT THE NAME AND LOCATION OF THE GROWING NURSERY FROM WHERE THE TREES WERE OBTAINED BY THE RE-WHOLESALE SELLER. THE RE-WHOLESALE NURSERY SHALL BE RESPONSIBLE FOR ANY
- G. THE CONTRACTOR SHALL REQUIRE THE GROWER OR RE-WHOLESALE SUPPLIER TO PERMIT THE OWNER'S REPRESENTATIVE TO OBSERVE THE ROOT SYSTEM OF ALL PLANTS AT THE NURSERY OR JOB SITE PRIOR TO PLANTING INCLUDING RANDOM REMOVAL OF SOIL OR SUBSTRATE AROUND THE BASE OF THE PLANT. OBSERVATION MAY BE AS FREQUENT AND AS EXTENSIVE AS NEEDED TO VERIFY THAT THE PLANTS MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND CONFORM TO REQUIREMENTS.
- H. EACH TREE SHALL HAVE A NUMBERED SEAL APPLIED BY THE CONTRACTOR. THE SEAL SHALL BE PLACED ON A LATERAL BRANCH ON THE NORTH SIDE OF THE TREE. THE SEAL SHALL BE A TAMPER PROOF PLASTIC SEAL BEARING THE CONTRACTORS NAME AND A UNIQUE SEVEN-DIGIT NUMBER EMBOSSED ON THE SEAL.
- 1. DO NOT PLACE SEALS ON BRANCHES THAT ARE SO LARGE THAT THERE IS NOT SUFFICIENT ROOM FOR THE BRANCH GROWTH OVER THE PERIOD OF THE WARRANTY.

I. THE OWNER'S REPRESENTATIVE MAY CHOOSE TO ATTACH THEIR SEAL TO EACH PLANT, OR A REPRESENTATIVE

SAMPLE. VIEWING AND/OR SEALING OF PLANTS BY THE OWNER'S REPRESENTATIVE AT THE NURSERY DOES NOT

PRECLUDE THE OWNER'S REPRESENTATIVE'S RIGHT TO REJECT MATERIAL WHILE ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ANY UP CHARGE FOR THE OWNER'S REPRESENTATIVE TO ATTACH THEIR SEAL TO SPECIFIC PLANTS. J. WHERE REQUESTED BY THE OWNER'S REPRESENTATIVE, SUBMIT PHOTOGRAPHS OF PLANTS OR REPRESENTATIVE SAMPLES OF PLANTS. PHOTOGRAPHS SHALL BE LEGIBLE AND CLEARLY DEPICT THE PLANT

SPECIMEN. EACH SUBMITTED IMAGE SHALL CONTAIN A HEIGHT REFERENCE, SUCH AS A MEASURING STICK. THE

APPROVAL OF PLANTS BY THE OWNER'S REPRESENTATIVE VIA PHOTOGRAPH DOES NOT PRECLUDE THE

#### OWNER'S REPRESENTATIVE'S RIGHT TO REJECT MATERIAL WHILE ON SITE. 1.16 PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE

REQUIRED PLANT QUALITY CERTIFICATIONS.

A. SUBMIT ALL REQUESTS FOR SUBSTITUTIONS OF PLANT SPECIES, OR SIZE TO THE OWNER'S REPRESENTATIVE, FOR APPROVAL, PRIOR TO PURCHASING THE PROPOSED SUBSTITUTION. REQUEST FOR SUBSTITUTION SHALL BE ACCOMPANIED WITH A LIST OF NURSERIES CONTACTED IN THE SEARCH FOR THE REQUIRED PLANT AND A RECORD OF OTHER ATTEMPTS TO LOCATE THE REQUIRED MATERIAL. REQUESTS SHALL ALSO INCLUDE SOURCES OF PLANTS FOUND THAT MAY BE OF A SMALLER OR LARGER SIZE, OR A DIFFERENT SHAPE OR HABIT THAN SPECIFIED, OR PLANTS OF THE SAME GENUS AND SPECIES BUT DIFFERENT CULTIVAR ORIGIN, OR WHICH MAY OTHERWISE NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS, BUT WHICH MAY BE AVAILABLE FOR SUBSTITUTION.

# 1.17 SITE CONDITIONS

- A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF ALL SURFACE AND SUB-SURFACE CONDITIONS, AND TO NOTIFY THE OWNER'S REPRESENTATIVE, IN WRITING, OF ANY CIRCUMSTANCES THAT WOULD NEGATIVELY IMPACT THE HEALTH OF PLANTINGS. DO NOT PROCEED WITH WORK UNTIL
- UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. 1. SHOULD SUBSURFACE DRAINAGE OR SOIL CONDITIONS BE ENCOUNTERED WHICH WOULD BE DETRIMENTAL TO GROWTH OR SURVIVAL OF PLANT MATERIAL, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING, STATING THE CONDITIONS AND SUBMIT A PROPOSAL COVERING COST OF CORRECTIONS. IF THE CONTRACTOR FAILS TO NOTIFY THE OWNER'S REPRESENTATIVE OF SUCH CONDITIONS, HE/SHE SHALL REMAIN RESPONSIBLE FOR PLANT MATERIAL UNDER THE WARRANTY CLAUSE
- B. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE LOCAL GROWING CONDITIONS, AND IF ANY SPECIFIED PLANTS WILL BE IN CONFLICT WITH THESE CONDITIONS. REPORT ANY POTENTIAL CONFLICTS, IN WRITING, TO THE OWNER'S REPRESENTATIVE.

PRELIMINARILY OBSERVED AND APPROVED BY THE OWNER'S REPRESENTATIVE

C. THIS SPECIFICATION REQUIRES THAT ALL PLANTING SOIL AND IRRIGATION (IF APPLICABLE) WORK BE COMPLETED AND ACCEPTED PRIOR TO THE INSTALLATION OF ANY PLANTS. 1. PLANTING OPERATIONS SHALL NOT BEGIN UNTIL SUCH TIME THAT THE IRRIGATION SYSTEM IS COMPLETELY

OPERATIONAL FOR THE AREA(S) TO BE PLANTED, AND THE IRRIGATION SYSTEM FOR THAT AREA HAS BEEN

D. ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED HORTICULTURAL PRACTICES. 1. DO NOT INSTALL PLANTS INTO SATURATED OR FROZEN SOILS. DO NOT INSTALL PLANTS DURING INCLEMENT

WEATHER, SUCH AS RAIN OR SNOW OR DURING EXTREMELY HOT, COLD OR WINDY CONDITIONS.

1.18 PLANTING AROUND UTILITIES

OF THE SPECIFICATIONS.

- A. CONTRACTOR SHALL CAREFULLY EXAMINE THE CIVIL, RECORD, AND SURVEY DRAWINGS TO BECOME FAMILIAR WITH THE EXISTING UNDERGROUND CONDITIONS BEFORE DIGGING.
- B. DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER THAT WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL PARTIES CONCERNED MUTUALLY AGREE UPON REMOVAL.
- C. NOTIFICATION OF LOCAL UTILITY LOCATOR SERVICE (AS NOTED ON DRAWINGS) IS REQUIRED FOR ALL PLANTING AREAS THE CONTRACTOR IS RESPONSIBLE FOR KNOWING THE LOCATION AND AVOIDING UTILITIES THAT ARE NOT COVERED BY THE LOCAL UTILITY LOCATOR SERVICE.

# PART 2 PRODUCTS

### 2.1 PLANTS: GENERAL

- A. STANDARDS AND MEASUREMENT: PROVIDE PLANTS OF QUANTITY. SIZE. GENUS, SPECIES, AND VARIETY OR CULTIVARS AS SHOWN AND SCHEDULED IN CONTRACT DOCUMENTS.
- 1. ALL PLANTS, INCLUDING THE ROOT BALL DIMENSIONS OR CONTAINER SIZE TO TRUNK CALIPER RATIO, SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" LATEST EDITION, UNLESS MODIFIED BY PROVISIONS IN THIS SPECIFICATION. WHEN THERE IS A CONFLICT BETWEEN
- THIS SPECIFICATION AND ANSI Z60.1, THIS SPECIFICATION SECTION SHALL BE CONSIDERED CORRECT. 2. PLANTS LARGER THAN SPECIFIED MAY BE USED IF ACCEPTABLE TO THE OWNER'S REPRESENTATIVE. USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. IF LARGER PLANTS ARE ACCEPTED THE ROOT BALL SIZE SHALL BE IN ACCORDANCE WITH ANSI Z-60.1. LARGER PLANTS MAY NOT BE ACCEPTABLE IF THE
- 3. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50 PERCENT OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED. THE MEASUREMENTS SPECIFIED ARE THE MINIMUM AND MAXIMUM SIZE ACCEPTABLE AND ARE THE MEASUREMENTS AFTER PRUNING, WHERE PRUNING IS REQUIRED.

RESULTING ROOT BALL CANNOT BE FIT INTO THE REQUIRED PLANTING SPACE.

- B. PROPER IDENTIFICATION: ALL TREES SHALL BE TRUE TO NAME AS ORDERED OR SHOWN ON PLANTING PLANS AND SHALL BE LABELED INDIVIDUALLY OR IN GROUPS BY GENUS, SPECIES, VARIETY AND CULTIVAR.
- C. COMPLIANCE: ALL TREES SHALL COMPLY WITH FEDERAL AND STATE LAWS AND REGULATIONS REQUIRING OBSERVATION FOR PLANT DISEASE, PESTS, AND WEEDS. OBSERVATION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT OF PLANTS.

1. GENERAL: PROVIDE HEALTHY STOCK, GROWN IN A NURSERY AND REASONABLY FREE OF DIE-BACK,

1. CLEARANCE FROM THE LOCAL COUNTY AGRICULTURAL COMMISSIONER, IF REQUIRED, SHALL BE OBTAINED BEFORE PLANTING TREES ORIGINATING OUTSIDE THE COUNTY IN WHICH THEY ARE TO BE PLANTED.

DISEASE, INSECTS, EGGS, BORES, AND LARVAE. AT THE TIME OF PLANTING ALL PLANTS SHALL HAVE A

#### ROOT SYSTEM, STEM, AND BRANCH FORM THAT WILL NOT RESTRICT NORMAL GROWTH, STABILITY AND HEALTH FOR THE EXPECTED LIFE OF THE PLANT

- 2. PLANT QUALITY ABOVE THE SOIL LINE: a. PLANTS SHALL BE HEALTHY WITH THE COLOR, SHAPE, SIZE AND DISTRIBUTION OF TRUNK, STEMS, BRANCHES, BUDS AND LEAVES NORMAL TO THE PLANT TYPE SPECIFIED. TREE QUALITY ABOVE THE SOIL LINE SHALL COMPLY WITH THE PROJECT CROWN ACCEPTANCE DETAILS AND THE FOLLOWING:
- 1.) CROWN: THE FORM AND DENSITY OF THE CROWN SHALL BE TYPICAL FOR A YOUNG SPECIMEN OF THE SPECIES OR CULTIVAR PRUNED TO A CENTRAL AND DOMINANT LEADER. A.) CROWN SPECIFICATIONS DO NOT APPLY TO PLANTS THAT HAVE BEEN SPECIFICALLY TRAINED IN

THE NURSERY AS TOPIARY, ESPALIER, MULTI-STEM, CLUMP, OR UNIQUE SELECTIONS SUCH AS

- CONTORTED OR WEEPING CULTIVARS. 2.) LEAVES: THE SIZE, COLOR, AND APPEARANCE OF LEAVES SHALL BE TYPICAL FOR THE TIME OF YEAR AND STAGE OF GROWTH OF THE SPECIES OR CULTIVAR. TREES SHALL NOT SHOW SIGNS OF PROLONGED MOISTURE STRESS OR OVER WATERING AS INDICATED BY WILTED, SHRIVELED, OR DEAD
- 3.) BRANCHES: SHOOT GROWTH (LENGTH AND DIAMETER) THROUGHOUT THE CROWN SHOULD BE APPROPRIATE FOR THE AGE AND SIZE OF THE SPECIES OR CULTIVAR. TREES SHALL NOT HAVE DEAD, DISEASED, BROKEN, DISTORTED, OR OTHERWISE INJURED BRANCHES.
- A.) MAIN BRANCHES SHALL BE DISTRIBUTED ALONG THE CENTRAL LEADER NOT CLUSTERED TOGETHER. THEY SHALL FORM A BALANCED CROWN APPROPRIATE FOR THE CULTIVAR/SPECIES. B.) BRANCH DIAMETER SHALL BE NO LARGER THAN TWO-THIRDS (ONE-HALF IS PREFERRED) THE
- DIAMETER OF THE CENTRAL LEADER MEASURED 1 INCH ABOVE THE BRANCH UNION. C.) THE ATTACHMENT OF THE LARGEST BRANCHES (SCAFFOLD BRANCHES) SHALL BE FREE OF
- 4.) TRUNK: THE TREE TRUNK SHALL BE RELATIVELY STRAIGHT, VERTICAL, AND FREE OF WOUNDS THAT PENETRATE TO THE WOOD (PROPERLY MADE PRUNING CUTS, CLOSED OR NOT, ARE ACCEPTABLE AND ARE NOT CONSIDERED WOUNDS), SUNBURNED AREAS, CONKS (FUNGAL FRUITING BODIES), WOOD CRACKS, SAP LEAKAGE, SIGNS OF BORING INSECTS, GALLS, CANKERS, GIRDLING TIES, OR LESIONS (MECHANICAL INJURY).
- 5.) TEMPORARY BRANCHES, UNLESS OTHERWISE SPECIFIED, CAN BE PRESENT ALONG THE LOWER TRUNK BELOW THE LOWEST MAIN (SCAFFOLD) BRANCH, PARTICULARLY FOR TREES LESS THAN 1 INCH IN CALIPER. THESE BRANCHES SHOULD BE NO GREATER THAN 3/8-INCH DIAMETER. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF THE TOTAL HEIGHT OF THE TREE, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS (WHICHEVER IS GREATER).
- b. Trees shall have one central leader as noted in plant list. If the leader was headed, a NEW LEADER (WITH A LIVE TERMINAL BUD) AT LEAST ONE-HALF THE DIAMETER OF THE PRUNING CUT
- 1.) ALL TREES ARE ASSUMED TO HAVE ONE CENTRAL LEADER TREES UNLESS A DIFFERENT FORM IS SPECIFIED IN THE PLANT LIST OR DRAWINGS.
- c. ALL GRAFT UNIONS, WHERE APPLICABLE, SHALL BE COMPLETELY CLOSED WITHOUT VISIBLE SIGN OF GRAFT REJECTION. ALL GRAFTS SHALL BE VISIBLE ABOVE THE SOIL LINE. d. Trunk caliper and taper shall be sufficient so that the lower five feet of the trunk REMAINS VERTICAL WITHOUT A STAKE. AUXILIARY STAKE MAY BE USED TO MAINTAIN A STRAIGHT

#### LEADER IN THE UPPER HALF OF THE TREE. 3. PLANT QUALITY AT OR BELOW THE SOIL LINE:

a. PLANT ROOTS SHALL BE NORMAL TO THE PLANT TYPE SPECIFIED. ROOT OBSERVATIONS SHALL TAKE PLACE WITHOUT IMPACTING TREE HEALTH. ROOT QUALITY AT OR BELOW THE SOIL LINE SHALL COMPLY WITH THE PROJECT ROOT ACCEPTANCE DETAILS AND THE FOLLOWING: 1.) THE ROOTS SHALL BE REASONABLY FREE OF SCRAPES, BROKEN OR SPLIT WOOD.

2.) THE ROOT SYSTEM SHALL BE REASONABLY FREE OF INJURY FROM BIOTIC (E.G., INSECTS AND

- PATHOGENS) AND ABIOTIC (E.G., HERBICIDE TOXICITY AND SALT INJURY) AGENTS. WOUNDS RESULTING FROM ROOT PRUNING USED TO PRODUCE A HIGH QUALITY ROOT SYSTEM ARE NOT CONSIDERED INJURIES. 3.) A MINIMUM OF THREE STRUCTURAL ROOTS REASONABLY DISTRIBUTED AROUND THE TRUNK (NOT
- THROUGHOUT THE ROOT BALL, AND GROWTH SHALL BE APPROPRIATE FOR THE SPECIES. A.) PLANTS WITH STRUCTURAL ROOTS ON ONLY ONE SIDE OF THE TRUNK (J ROOTS) SHALL BE

CLUSTERED ON ONE SIDE) SHALL BE FOUND IN EACH PLANT. ROOT DISTRIBUTION SHALL BE UNIFORM

STRUCTURAL ROOTS SHALL REACH THE SIDE OF THE ROOT BALL NEAR THE TOP SURFACE OF THE ROOT BALL. THE GROWER MAY REQUEST A MODIFICATION TO THIS REQUIREMENT FOR SPECIES WITH ROOTS THAT RAPIDLY DESCEND, PROVIDED THAT THE GROWER REMOVES ALL STEM GIRDLING ROOTS ABOVE THE STRUCTURAL ROOTS ACROSS THE TOP OF THE ROOT BALL.

4.) THE ROOT COLLAR SHALL BE WITHIN THE UPPER 2 INCHES OF THE SUBSTRATE/SOIL. TWO

5.) THE ROOT SYSTEM SHALL BE REASONABLY FREE OF STEM GIRDLING ROOTS OVER THE ROOT COLLAR OR KINKED ROOTS FROM NURSERY PRODUCTION PRACTICES. 6.) AT TIME OF OBSERVATIONS AND DELIVERY, THE ROOT BALL SHALL BE MOIST THROUGHOUT. ROOTS

SHALL NOT SHOW SIGNS OF EXCESS SOIL MOISTURE CONDITIONS AS INDICATED BY STUNTED,

## 2. 2 ROOT BALL PACKAGE OPTIONS: THE FOLLOWING ROOT BALL PACKAGES ARE PERMITTED. SPECIFIC ROOT BALL PACKAGES SHALL BE REQUIRED WHERE INDICATED ON THE PLANT LIST OR IN THIS SPECIFICATION. ANY TYPE OF ROOT

#### BALL PACKAGES THAT IS NOT SPECIFICALLY DEFINED IN THIS SPECIFICATION SHALL NOT BE PERMITTED. A. BALLED AND BURLAPPED PLANTS

DISCOLORED, DISTORTED, OR DEAD ROOTS.

- 1. ALL BALLED AND BURLAPPED PLANTS SHALL BE FIELD GROWN, AND THE ROOT BALL PACKAGED IN A BURLAP AND TWINE AND/OR BURLAP AND WIRE BASKET PACKAGE.
- 2. PLANTS SHALL BE HARVESTED WITH THE FOLLOWING MODIFICATIONS TO STANDARD NURSERY PRACTICES. a. PRIOR TO DIGGING ANY TREE THAT FAILS TO MEET THE REQUIREMENT FOR MAXIMUM SOIL AND ROOTS ABOVE THE ROOT COLLAR. CAREFULLY REMOVED THE SOIL FROM THE TOP OF THE ROOT BALL OF EACH PLANT. USING HAND TOOLS. WATER OR AN AIR SPADE. TO LOCATE THE ROOT COLLAR AND ATTAIN THE SOIL DEPTH OVER THE STRUCTURAL ROOTS REQUIREMENTS. REMOVE ALL STEM GIRDLING ROOTS ABOVE THE ROOT COLLAR. CARE MUST BE EXERCISED NOT TO DAMAGE THE SURFACE OF THE ROOT COLLAR AND THE TOP OF THE STRUCTURAL ROOTS.
  - b. Trees shall be dug for a minimum of 4 weeks and a maximum of 52 weeks prior to shipping.

TREES DUG 4 TO 52 WEEKS PRIOR TO SHIPPING ARE DEFINED AS HARDENED-OFF. DIGGING IS DEFINED AS CUTTING ALL ROOTS AND LIFTING THE TREE OUT OF THE GROUND AND EITHER MOVING IT TO A NEW LOCATION IN THE NURSERY OR PLACING IT BACK INTO THE SAME HOLE. TRESS THAT ARE STORED OUT OF THE GROUND SHALL BE PLACED IN A HOLDING AREA PROTECTED FROM EXTREMES OF WIND AND SUN WITH THE ROOT BALL PROTECTED BY COVERING WITH MULCH OR STRAW AND IRRIGATED SUFFICIENTLY TO KEEP MOISTURE IN THE ROOT BALL ABOVE WILT POINT AND BELOW SATURATION

- c. TWINE AND BURLAP USED FOR WRAPPING THE ROOT BALL PACKAGE SHALL BE NATURAL, BIODEGRADABLE MATERIAL. IF THE BURLAP DECOMPOSES AFTER DIGGING THE TREE THEN THE ROOT BALL SHALL BE RE-WRAPPED PRIOR TO SHIPPING IF ROOTS HAVE NOT YET GROWN TO KEEP ROOT BALL INTACT DURING SHIPPING.
- B. CONTAINER (INCLUDING ABOVE-GROUND FABRIC CONTAINERS AND BOXES) PLANTS
- 1. CONTAINER PLANTS MAY BE PERMITTED ONLY WHEN INDICATED ON THE DRAWING, IN THIS SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 2. PROVIDE PLANTS SHALL BE ESTABLISHED AND WELL ROOTED IN REMOVABLE CONTAINERS.
- 3. CONTAINER CLASS SIZE SHALL CONFORM TO ANSI Z60.1 FOR CONTAINER PLANTS FOR EACH SIZE AND TYPE

#### 2.3 PLANTING SOIL

A. PLANTING SOIL AS USED IN THIS SPECIFICATION MEANS THE SOIL AT THE PLANTING SITE, OR IMPORTED AS MODIFIED AND DEFINED IN SPECIFICATION SECTION PLANTING SOIL. IF THERE IS NO PLANTING SOIL SPECIFICATION, THE TERM PLANTING SOIL SHALL MEAN THE SOIL AT THE PLANTING SITE WITHIN THE PLANTING

#### B. PLANTING SOIL SHALL BE PER PLANTING SOILS PLAN.

- A. MULCH SHALL BE COARSE, GROUND, FROM HARDWOOD TREES AND WOODY BRUSH SOURCES. THE SIZE RANGE SHALL BE A MINIMUM (LESS THAN 25% OR LESS OF VOLUME) FINE PARTICLES 3/8 INCH OR LESS IN SIZE, AND A MAXIMUM SIZE OF INDIVIDUAL PIECES (LARGEST 20% OR LESS OF VOLUME) SHALL BE APPROXIMATELY 1 TO 1-1/2 INCH IN DIAMETER AND MAXIMUM LENGTH APPROXIMATELY 4 TO 8". PIECES LARGER THAN 8 INCH LONG
- 1. IT IS UNDERSTOOD THAT MULCH QUALITY WILL VARY SIGNIFICANTLY FROM SUPPLIER TO SUPPLIER AND REGION TO REGION. THE ABOVE REQUIREMENTS MAY BE MODIFIED TO CONFORM TO THE SOURCE MATERIAL FROM LOCALLY RELIABLE SUPPLIERS AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- B. SUBMIT SUPPLIER'S PRODUCT SPECIFICATION DATA SHEET AND A ONE GALLON SAMPLE FOR APPROVAL.

THAT ARE VISIBLE ON THE SURFACE OF THE MULCH AFTER INSTALLATION SHALL BE REMOVED.

# 2.5 TREE STAKING AND GUYING MATERIAL

- A. TREE STAKING SHALL BE PER PLANTING DETAILS.
- B. ARBOR STAKE OR APPROVED EQUAL MANUFACTURER: WWW.ARBORSTAKES.COM

A. LIVING EARTH COMPOST OR APPROVED EQUAL

C. SUBMIT MANUFACTURER'S PRODUCT DATA FOR APPROVAL 2.6 CHEMICAL OR BIOLOGICAL ADDITIVES

### A. PER SOILS TEST RESULTS.

3.2 DELIVERY, STORAGE AND HANDLING

# MANUFACTURER: LIVING EARTH: 972-869-4332

PART 3 EXECUTION

A. EXAMINE THE SURFACE GRADES AND SOIL CONDITIONS TO CONFIRM THAT THE REQUIREMENTS OF THE SPECIFICATION SECTION - PLANTING SOIL - AND THE SOIL AND DRAINAGE MODIFICATIONS INDICATED ON THE PLANTING SOIL PLAN AND DETAILS (IF APPLICABLE) HAVE BEEN COMPLETED. NOTIFY THE OWNER'S

#### FROM DRYING OUT, EXPOSURE OF ROOTS TO SUN, WIND OR EXTREMES OF HEAT AND COLD TEMPERATURES. IF PLANTING IS DELAYED MORE THAN 24 HOURS AFTER DELIVERY, SET PLANTS IN A LOCATION PROTECTED FROM

REPRESENTATIVE IN WRITING OF ANY UNSATISFACTORY CONDITIONS.

1. ALL PLANT MATERIALS MUST BE AVAILABLE FOR OBSERVATION PRIOR TO PLANTING. 2. USING A SOIL MOISTURE METER, PERIODICALLY CHECK THE SOIL MOISTURE IN THE ROOT BALLS OF ALL PLANTS TO ASSURE THAT THE PLANTS ARE BEING ADEQUATELY WATERED. VOLUMETRIC SOIL MOISTURE

SUN AND WIND. PROVIDE ADEQUATE WATER TO THE ROOT BALL PACKAGE DURING THE SHIPPING AND

A. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND STORAGE. ADEQUATELY PROTECT PLANTS

SUBSTRATE OR SOIL. B. DO NOT DELIVER MORE PLANTS TO THE SITE THAN THERE IS SPACE WITH ADEQUATE STORAGE CONDITIONS.

SHALL BE MAINTAINED ABOVE WILTING POINT AND BELOW FIELD CAPACITY FOR THE ROOT BALL

PROVIDE A SUITABLE REMOTE STAGING AREA FOR PLANTS AND OTHER SUPPLIES. 1. THE OWNER'S REPRESENTATIVE OR CONTRACTOR SHALL APPROVE THE DURATION, METHOD AND LOCATION

APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THE CONTRACTOR REQUEST

PLANTING OUTSIDE THE DATES OF THE PLANTING SEASON, APPROVAL OF THE REQUEST DOES NOT CHANGE

OF STORAGE OF PLANTS. C. PROVIDE PROTECTIVE COVERING OVER ALL PLANTS DURING TRANSPORTING.

#### A. PLANTING SHALL ONLY BE PERFORMED WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE FOR PLANTING THE MATERIALS SPECIFIED IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICE BELOW UNLESS OTHERWISE

- THE REQUIREMENTS OF THE WARRANTY. 3.4 ADVERSE WEATHER CONDITIONS
- 3.5 COORDINATION WITH PROJECT WORK A. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE

A. NO PLANTING SHALL TAKE PLACE DURING EXTREMELY HOT, DRY, WINDY OR FREEZING WEATHER.

B. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES. C. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES, HEADS OR THE CONDUITS OF OTHER UTILITY LINES

#### THAT ARE IN CONFLICT WITH TREE LOCATIONS. ROOT BALLS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

3.6 LAYOUT AND PLANTING SEQUENCE

A. RELATIVE POSITIONS OF ALL PLANTS AND TREES ARE SUBJECT TO APPROVAL OF THE OWNER'S

B. NOTIFY THE OWNER'S REPRESENTATIVE, ONE (1) WEEK PRIOR TO LAYOUT. LAYOUT ALL INDIVIDUAL TREE AND SHRUB LOCATIONS. PLACE PLANTS ABOVE SURFACE AT PLANTING LOCATION OR PLACE A LABELED STAKE AT PLANTING LOCATION. LAYOUT BED LINES WITH PAINT FOR THE OWNER'S REPRESENTATIVE'S APPROVAL.

SECURE THE OWNER'S REPRESENTATIVE'S ACCEPTANCE BEFORE DIGGING AND START OF PLANTING WORK.

UNTIL SOME OR ALL OF THE PLANTS ARE INSTALLED. MAKE ADJUSTMENTS AS REQUIRED BY THE OWNER'S

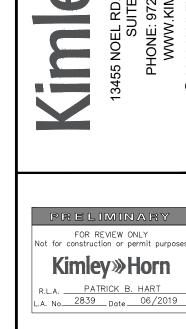
#### D. IT IS UNDERSTOOD THAT PLANTS ARE NOT PRECISE OBJECTS AND THAT MINOR ADJUSTMENTS IN THE LAYOUT WILL BE REQUIRED AS THE PLANTING PLAN IS CONSTRUCTED. THESE ADJUSTMENTS MAY NOT BE APPARENT

OF PLANTING HOLES AND INSTALLING PLANTS.

C. WHEN APPLICABLE, PLANT TREES BEFORE OTHER PLANTS ARE INSTALLED.

REPRESENTATIVE INCLUDING RELOCATING PREVIOUSLY INSTALLED PLANTS.

- 3.7 SOIL PROTECTION DURING PLANT DELIVERY AND INSTALLATION A. PROTECT SOIL FROM COMPACTION DURING THE DELIVERY OF PLANTS TO THE PLANTING LOCATIONS, DIGGING
- 1. WHERE POSSIBLE DELIVER AND PLANT TREES THAT REQUIRE THE USE OF HEAVY MECHANIZED EQUIPMENT PRIOR TO FINAL SOIL PREPARATION AND TILLING. WHERE POSSIBLE, RESTRICT THE DRIVING LANES TO ONE AREA INSTEAD OF DRIVING OVER AND COMPACTING A LARGE AREA OF SOIL.
- 2. TILL TO A DEPTH OF 6 INCHES, ALL SOIL THAT HAS BEEN DRIVEN OVER DURING THE INSTALLATION OF



ANDI

SHEET NUMBER LP 4.00

#### 3.8 SOIL MOISTURE

A. VOLUMETRIC SOIL MOISTURE LEVEL, IN BOTH THE PLANTING SOIL AND THE ROOT BALLS OF ALL PLANTS, PRIOR TO, DURING AND AFTER PLANTING SHALL BE ABOVE PERMANENT WILTING POINT AND BELOW FIELD CAPACITY FOR EACH TYPE OF SOIL TEXTURE WITHIN THE FOLLOWING RANGES.

SOIL TYPE	PERMANENT WILTING POINT	FIELD CAPACITY
SAND, LOAMY SAND, SANDY LOAM	5 - 8%	12-18%
LOAM, SANDY CLAY, SANDY CLAY LOAM	14 - 25%	27-36%

11 - 22%

22 - 27% 1. VOLUMETRIC SOIL MOISTURE SHALL BE MEASURED WITH A DIGITAL MOISTURE METER. THE METER SHALL BE THE DIGITAL SOIL MOISTURE METER, DSMM500 BY GENERAL SPECIALTY TOOLS AND INSTRUMENTS, OR APPROVED EQUIVALENT

31 - 36%

B. THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS WITH A MOISTURE METER. IF THE MOISTURE IS TOO HIGH, SUSPEND PLANTING OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.

REPRESENTATIVE TO MEET THESE QUALITY STANDARDS.

CLAY LOAM, SILT LOAM

SILTY CLAY, SILTY CLAY LOAM

- A. OBSERVE EACH PLANT AFTER DELIVERY AND PRIOR TO INSTALLATION FOR DAMAGE OF OTHER CHARACTERISTICS THAT MAY CAUSE REJECTION OF THE PLANT. NOTIFY THE OWNER'S REPRESENTATIVE OF
- B. NO MORE PLANTS SHALL BE DISTRIBUTED ABOUT THE PLANTING BED AREA THAN CAN BE PLANTED AND WATERED ON THE SAME DAY.
- C. THE ROOT SYSTEM OF EACH PLANT, REGARDLESS OF ROOT BALL PACKAGE TYPE, SHALL BE OBSERVED BY THE CONTRACTOR, AT THE TIME OF PLANTING TO CONFIRM THAT THE ROOTS MEET THE REQUIREMENTS FOR PLANT ROOT QUALITY IN PART 2 PRODUCTS: PLANTS GENERAL: PLANT QUALITY. THE CONTRACTOR SHALL UNDERTAKE AT THE TIME OF PLANTING, ALL MODIFICATIONS TO THE ROOT SYSTEM REQUIRED BY THE OWNER'S
- 1. MODIFICATIONS, AT THE TIME OF PLANTING, TO MEET THE SPECIFICATIONS FOR THE DEPTH OF THE ROOT COLLAR AND REMOVAL OF STEM GIRDLING ROOTS AND CIRCLING ROOTS MAY MAKE THE PLANT UNSTABLE OR STRESS THE PLANT TO THE POINT THAT THE OWNER'S REPRESENTATIVE MAY CHOOSE TO REJECT THE PLANT RATHER THAN PERMITTING THE MODIFICATION.
- 2. ANY MODIFICATIONS REQUIRED BY THE OWNER'S REPRESENTATIVE TO MAKE THE ROOT SYSTEM CONFORM TO THE PLANT QUALITY STANDARDS OUTLINED IN PART 2 PRODUCTS: PLANTS GENERAL: QUALITY, OR OTHER REQUIREMENTS RELATED TO THE PERMITTED ROOT BALL PACKAGE, SHALL NOT BE CONSIDERED AS GROUNDS TO MODIFY OR VOID THE PLANT WARRANTY.
- 3. THE RESULTING ROOT BALL MAY NEED ADDITIONAL STAKING AND WATER AFTER PLANTING. THE OWNER'S REPRESENTATIVE MAY REJECT THE PLANT IF THE ROOT MODIFICATION PROCESS MAKES THE TREE UNSTABLE OR IF THE TREE IS NOT HEALTHY AT THE END OF THE WARRANTY PERIOD. SUCH PLANTS SHALL STILL BE COVERED UNDER THE WARRANTY
- 4. THE CONTRACTOR REMAINS RESPONSIBLE TO CONFIRM THAT THE GROWER HAS MADE ALL REQUIRED ROOT MODIFICATIONS NOTED DURING ANY NURSERY OBSERVATIONS.
- D. CONTAINER AND BOXED ROOT BALL SHAVING (IF REQUIRED -SEE DRAWINGS FOR CONDITIONS): THE OUTER SURFACES OF ALL PLANTS IN CONTAINERS AND BOXES, INCLUDING THE TOP, SIDES AND BOTTOM OF THE ROOT BALL SHALL BE SHAVED TO REMOVE ALL CIRCLING, DESCENDING, AND MATTED ROOTS. SHAVING SHALL BE PERFORMED USING SAWS, KNIVES, SHARP SHOVELS OR OTHER SUITABLE EQUIPMENT THAT IS CAPABLE OF MAKING CLEAN CUTS ON THE ROOTS. SHAVING SHALL REMOVE A MINIMUM OF ONE INCH OF ROOT MAT OR UP TO 2 INCHES AS REQUIRED TO REMOVE ALL ROOT SEGMENTS THAT ARE NOT GROWING REASONABLY RADIAL
- E. EXPOSED STEM TISSUE AFTER MODIFICATION: THE REQUIRED ROOT BALL MODIFICATIONS MAY RESULT IN STEM TISSUE THAT HAS NOT FORMED TRUNK BARK BEING EXPOSED ABOVE THE SOIL LINE. IF SUCH CONDITION OCCURS, WRAP THE EXPOSED PORTION OF THE STEM IN A PROTECTIVE WRAPPING WITH A WHITE FILTER FABRIC. SECURE THE FABRIC WITH BIODEGRADABLE MASKING TAPE. DO NOT USE STRING, TWINE, GREEN NURSERY TIES OR ANY OTHER MATERIAL THAT MAY GIRDLE THE TRUNK IF NOT REMOVED.
- F. EXCAVATION OF THE PLANTING SPACE: USING HAND TOOLS OR TRACKED MINI-EXCAVATOR, EXCAVATE THE PLANTING HOLE INTO THE PLANTING SOIL TO THE DEPTH OF THE ROOT BALL MEASURED AFTER ANY ROOT BALL MODIFICATION TO CORRECT ROOT PROBLEMS, AND WIDE ENOUGH FOR WORKING ROOM AROUND THE ROOT BALL OR TO THE SIZE INDICATED ON THE DRAWING OR AS NOTED BELOW
- 1. FOR TREES AND SHRUBS PLANTED IN SOIL AREAS THAT ARE NOT TILLED OR OTHERWISE MODIFIED TO A DEPTH OF AT LEAST 12 INCHES OVER A DISTANCE OF MORE THAN 10 FEET RADIUS FROM EACH TREE. OR 5 FEET RADIUS FROM EACH SHRUB, THE SOIL AROUND THE ROOT BALL SHALL BE LOOSENED AS DEFINED BELOW OR AS INDICATED ON THE DRAWINGS.
- a. THE AREA OF LOOSENING SHALL BE A MINIMUM OF 3 TIMES THE DIAMETER OF THE ROOT BALL AT THE SURFACE SLOPING TO 2 TIMES THE DIAMETER OF THE ROOT BALL AT THE DEPTH OF THE ROOT BALL.
- b. Loosening is defined as digging into the soil and turning the soil to reduce the COMPACTION. THE SOIL DOES NOT HAVE TO BE REMOVED FROM THE HOLE, JUST DUG, LIFTED AND TURNED. LIFTING AND TURNING MAY BE ACCOMPLISHED WITH A TRACKED MINI EXCAVATOR, OR HAND
- 2. IF AN AUGER IS USED TO DIG THE INITIAL PLANTING HOLE, THE SOIL AROUND THE AUGER HOLE SHALL BE LOOSENED AS DEFINED ABOVE FOR TREES AND SHRUBS PLANTED IN SOIL AREAS THAT ARE NOT TILLED OR
- 3. THE MEASURING POINT FOR ROOT BALL DEPTH SHALL BE THE AVERAGE HEIGHT OF THE OUTER EDGE OF THE ROOT BALL AFTER ANY REQUIRED ROOT BALL MODIFICATION.
- 4. IF MOTORIZED EQUIPMENT IS USED TO DELIVER PLANTS TO THE PLANTING AREA OVER EXPOSED PLANTING BEDS, OR USED TO LOOSEN THE SOIL OR DIG THE PLANTING HOLES, ALL SOIL THAT HAS BEEN DRIVEN OVER SHALL BE TILLED TO A DEPTH OF 6 INCHES.
- G. FOR TREES TO BE PLANTED IN PREPARED PLANTING SOIL THAT IS DEEPER THAN THE ROOT BALL DEPTH, COMPACT THE SOIL UNDER THE ROOT BALL USING A MECHANICAL TAMPER TO ASSURE A FIRM BEDDING FOR THE ROOT BALL. IF THERE IS MORE THAN 12 INCHES OF PLANTING SOIL UNDER THE ROOT BALL EXCAVATE AND TAMP THE PLANTING SOIL IN LIFTS NOT TO EXCEED 12 INCHES.
- H. SET TOP OUTER EDGE OF THE ROOT BALL AT THE AVERAGE ELEVATION OF THE PROPOSED FINISH. SET THE PLANT PLUMB AND UPRIGHT IN THE CENTER OF THE PLANTING HOLE. THE TREE GRAFT, IF APPLICABLE, SHALL BE VISIBLE ABOVE THE GRADE. DO NOT PLACE SOIL ON TOP OF THE ROOT BALL.
- I. THE OWNER'S REPRESENTATIVE MAY REQUEST THAT PLANTS ORIENTATION BE ROTATED WHEN PLANTED BASED ON THE FORM OF THE PLANT.
- J. BACKFILL THE SPACE AROUND THE ROOT BALL WITH THE SAME PLANTING SOIL OR EXISTING SOIL THAT WAS EXCAVATED FOR THE PLANTING SPACE. SEE SPECIFICATION SECTION PLANTING SOIL, FOR

REQUIREMENTS TO MODIFY THE SOIL WITHIN THE PLANTING BED.

- K. BRACE ROOT BALL BY TAMPING PLANTING SOIL AROUND THE LOWER PORTION OF THE ROOT BALL. PLACE ADDITIONAL PLANTING SOIL AROUND BASE AND SIDES OF BALL IN SIX-INCH (6") LIFTS. LIGHTLY TAMP EACH LIFT USING FOOT PRESSURE OR HAND TOOLS TO SETTLE BACKFILL, SUPPORT THE TREE AND ELIMINATE VOIDS. DO NOT OVER COMPACT THE BACKFILL OR USE MECHANICAL OR PNEUMATIC TAMPING EQUIPMENT. OVER COMPACTION SHALL BE DEFINED AS GREATER THAN 85% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR OR GREATER THAN 250 PSI AS MEASURED BY A CONE PENETROMETER WHEN THE VOLUMETRIC SOIL MOISTURE IS
- 1. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED TO THREE QUARTERS OF ITS DEPTH, WATER SHALL BE POURED AROUND THE ROOT BALL AND ALLOWED TO SOAK INTO THE SOIL TO SETTLE THE SOIL. DO NOT FLOOD THE PLANTING SPACE. IF THE SOIL IS ABOVE FIELD CAPACITY, ALLOW THE SOIL TO DRAIN TO BELOW FIELD CAPACITY BEFORE FINISHING THE PLANTING. AIR POCKETS SHALL BE ELIMINATED AND BACKFILL CONTINUED UNTIL THE PLANTING SOIL IS BROUGHT TO GRADE LEVEL.
- L. WHERE INDICATED ON THE DRAWINGS, BUILD A 4 INCH HIGH, LEVEL BERM OF PLANTING SOIL AROUND THE OUTSIDE OF THE ROOT BALL TO RETAIN WATER. TAMP THE BERM TO REDUCE LEAKING AND EROSION OF THE
- M. THOROUGHLY WATER THE PLANTING SOIL AND ROOT BALL IMMEDIATELY AFTER PLANTING.
- N. REMOVE ALL NURSERY PLANT IDENTIFICATION TAGS AND RIBBONS AS PER OWNER'S REPRESENTATIVE INSTRUCTIONS. THE OWNER'S REPRESENTATIVE'S SEALS ARE TO REMAIN ON PLANTS UNTIL THE END OF THE WARRANTY PERIOD.
- O. REMOVE ANY CORRUGATED CARDBOARD TRUNK PROTECTION AFTER PLANTING.
- P. FOLLOW ADDITIONAL REQUIREMENTS FOR THE PERMITTED ROOT BALL PACKAGES.

# 3.10 PERMITTED ROOT BALL PACKAGES AND SPECIAL PLANTING REQUIREMENTS

- A. THE FOLLOWING ARE PERMITTED ROOT BALL PACKAGES AND SPECIAL PLANTING REQUIREMENTS THAT SHALL BE FOLLOWED DURING THE PLANTING PROCESS IN ADDITION TO THE ABOVE GENERAL PLANTING REQUIREMENTS.
- B. BALLED AND BURLAPPED PLANTS
- 1. AFTER THE ROOT BALL HAS BEEN BACKFILLED, REMOVE ALL TWINE AND BURLAP FROM THE TOP OF THE ROOT BALL. CUT THE BURLAP AWAY AS INDICATED ON DRAWINGS; DO NOT FOLD DOWN ONTO THE
- 2. IF THE PLANT IS SHIPPED WITH A WIRE BASKET REMOVE THE BASKET WIRES JUST BEFORE THE FINAL BACKFILLING OF THE TREE AS INDICATED ON THE DRAWINGS.

- 3. EARTH ROOT BALLS SHALL BE KEPT INTACT EXCEPT FOR ANY MODIFICATIONS REQUIRED BY THE OWNER'S REPRESENTATIVE TO MAKE ROOT PACKAGE COMPLY WITH THE REQUIREMENT IN PART 2 PRODUCTS.
- 1. THIS SPECIFICATION ASSUMES THAT MOST CONTAINER PLANTS HAVE SIGNIFICANT STEM GIRDLING AND CIRCLING ROOTS, AND THAT THE ROOT COLLAR IS TOO LOW IN THE ROOT BALL.
- 3. PERFORM ROOT BALL SHAVING AS DEFINED IN INSTALLATION OF PLANTS: GENERAL ABOVE.
- 4. REMOVE ALL ROOTS AND SUBSTRATE ABOVE THE ROOT COLLAR AND THE MAIN STRUCTURAL ROOTS ACCORDING TO ROOT CORRECTION DETAILS SO ROOT SYSTEM CONFORMS TO ROOT OBSERVATIONS
- 5. REMOVE ALL SUBSTRATE AT THE BOTTOM OF THE ROOT BALL THAT DOES NOT CONTAIN ROOTS.
- 6. USING A HOSE, POWER WASHER OR AIR EXCAVATION DEVICE, WASH OUT THE SUBSTRATE FROM AROUND THE TRUNK AND TOP OF THE REMAINING ROOT BALL AND FIND AND REMOVE ALL STEM GIRDLING ROOTS WITHIN THE ROOT BALL ABOVE THE TOP OF THE STRUCTURAL ROOTS.

#### 3.11 GROUND COVER, PERENNIAL AND ANNUAL PLANTS

- A. ASSURE THAT SOIL MOISTURE IS WITHIN THE REQUIRED LEVELS PRIOR TO PLANTING. IRRIGATION, IF REQUIRED, SHALL BE APPLIED AT LEAST 12 HOURS PRIOR TO PLANTING TO AVOID PLANTING IN MUDDY SOILS.
- B. ASSURE THAT SOIL GRADES IN THE BEDS ARE SMOOTH AND AS SHOWN ON THE PLANS.
- C. PLANTS SHALL BE PLANTED IN EVEN, TRIANGULARLY SPACED ROWS, AT THE INTERVALS CALLED OUT FOR ON THE DRAWINGS, UNLESS OTHERWISE NOTED. THE FIRST ROW OF ANNUAL FLOWER PLANTS SHALL BE 6 INCHES FROM THE BED EDGE UNLESS OTHERWISE DIRECTED.
- D. DIG PLANTING HOLES SUFFICIENTLY LARGE ENOUGH TO INSERT THE ROOT SYSTEM WITHOUT DEFORMING THE ROOTS. SET THE TOP OF THE ROOT SYSTEM AT THE GRADE OF THE SOIL.
- SCHEDULE THE PLANTING TO OCCUR PRIOR TO APPLICATION OF THE MULCH. IF THE BED IS ALREADY MULCHED, PULL THE MULCH FROM AROUND THE HOLE AND PLANT INTO THE SOIL. DO NOT PLANT THE ROOT SYSTEM IN THE MULCH. PULL MULCH BACK SO IT IS NOT ON THE ROOT BALL SURFACE.
- F. PRESS SOIL TO BRING THE ROOT SYSTEM IN CONTACT WITH THE SOIL.
- G. SPREAD ANY EXCESS SOIL AROUND IN THE SPACES BETWEEN PLANTS.
- H. APPLY MULCH TO THE BED BEING SURE NOT TO COVER THE TOPS OF THE PLANTS WITH OR THE TOPS OF THE ROOT BALL WITH MULCH.
- WATER EACH PLANTING AREA AS SOON AS THE PLANTING IS COMPLETED. APPLY ADDITIONAL WATER TO KEEP THE SOIL MOISTURE AT THE REQUIRED LEVELS. DO NOT OVER WATER.

- A. DO NOT STAKE TREES UNLESS SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS, OR IN THE EVENT THAT THE CONTRACTOR FEELS THAT STAKING IS THE ONLY ALTERNATIVE WAY TO KEEP PARTICULAR TREES
- 1. THE OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REQUIRE THAT TREES ARE STAKED OR TO REJECT STAKING AS AN ALTERNATIVE WAY TO STABILIZE THE TREE.
- 2. TREES THAT REQUIRED HEAVILY MODIFIED ROOT BALLS TO MEET THE ROOT QUALITY STANDARDS MAY BECOME UNSTABLE. THE OWNER'S REPRESENTATIVE MAY CHOOSE TO REJECT THESE TREES RATHER THAN UTILIZE STAKING TO TEMPORARILY SUPPORT THE TREE.
- 3. PLANTS SHALL STAND PLUMB AFTER STAKING.
- 4. STAKES SHALL BE DRIVEN TO SUFFICIENT DEPTH TO HOLD THE TREE RIGID.

#### 3.13 STRAIGHTENING PLANTS

- B. MAINTAIN ALL PLANTS IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD. STRAIGHTEN ALL TREES THAT MOVE OUT OF PLUMB INCLUDING THOSE NOT STAKED. PLANTS TO BE STRAIGHTENED SHALL BE EXCAVATED AND THE ROOT BALL MOVED TO A PLUMB POSITION, AND THEN RE-BACKFILLED.
- C. DO NOT STRAIGHTEN PLANTS BY PULLING THE TRUNK WITH GUYS.

# 3.14 INSTALLATION OF FERTILIZER AND OTHER CHEMICAL ADDITIVES

- A. DO NOT APPLY ANY SOLUBLE FERTILIZER TO PLANTINGS DURING THE FIRST YEAR AFTER TRANSPLANTING UNLESS SOIL TEST DETERMINES THAT FERTILIZER OR OTHER CHEMICAL ADDITIVES IS REQUIRED. APPLY CHEMICAL ADDITIVES ONLY UPON THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- B. CONTROLLED RELEASE FERTILIZERS SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS, STANDARD HORTICULTURAL PRACTICES, AND PER THE SOIL TEST RECOMMENDATIONS.

- A. PRUNE PLANTS AS DIRECTED BY THE OWNER'S REPRESENTATIVE. PRUNING TREES SHALL BE LIMITED TO ADDRESSING STRUCTURAL DEFECTS AS SHOWN IN DETAILS; FOLLOW RECOMMENDATIONS IN "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY" PUBLISHED BY URBAN TREE FOUNDATION, VISALIA CA.
- B. ALL PRUNING SHALL BE PERFORMED BY A PERSON EXPERIENCED IN STRUCTURAL TREE PRUNING.
- C. EXCEPT FOR PLANTS SPECIFIED AS MULTI-STEMMED OR AS OTHERWISE INSTRUCTED BY THE OWNER'S REPRESENTATIVE, PRESERVE OR CREATE A CENTRAL LEADER. D. PRUNING OF LARGE TREES SHALL BE DONE USING POLE PRUNERS OR IF NEEDED, FROM A LADDER OR HYDRAULIC LIFT TO GAIN ACCESS TO THE TOP OF THE TREE. DO NOT CLIMB IN NEWLY PLANTED TREES. SMALL
- PERFORMED AT THE NURSERY PRIOR TO SHIPPING. E. REMOVE AND REPLACE EXCESSIVELY PRUNED OR MALFORMED STOCK RESULTING FROM IMPROPER PRUNING

TREES CAN BE STRUCTURALLY PRUNED BY LAYING THEM OVER BEFORE PLANTING. PRUNING MAY ALSO BE

- THAT OCCURRED IN THE NURSERY OR AFTER. F. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- G. NO TREE PAINT OR SEALANTS SHALL BE USED.

# 3.16 MULCHING OF PLANTS

- A. APPLY MULCH BEFORE SETTLEMENT TO DEPTH SHOWN ON PLANS, COVERING THE ENTIRE PLANTING BED AREA. INSTALL NO MORE THAN 1 INCH OF MULCH OVER THE TOP OF THE ROOT BALLS OF ALL PLANTS. TAPER TO 2 INCHES WHEN ABUTTING PAVEMENT.
- B. FOR TREES PLANTED IN LAWN AREAS THE MULCH SHALL EXTEND TO A 4 FOOT RADIUS AROUND THE TREE OR TO THE EXTENT INDICATED ON THE PLANS.
- C. LIFT ALL LEAVES, LOW HANGING STEMS AND OTHER GREEN PORTIONS OF SMALL PLANTS OUT OF THE MULCH

# 3.17 PLANTING BED FINISHING

- A. AFTER PLANTING, SMOOTH OUT ALL GRADES BETWEEN PLANTS BEFORE MULCHING.
- B. SEPARATE THE EDGES OF PLANTING BEDS AND LAWN AREAS WITH A SMOOTH, FORMED EDGE CUT INTO THE TURF WITH THE BED MULCH LEVEL SLIGHTLY LOWER, 1 AND 2 INCHES, THAN THE ADJACENT TURF SOD OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. BED EDGE LINES SHALL BE A DEPICTED ON THE DRAWINGS.

# 3.18 WATERING

- A. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS FROM THE POINT OF INSTALLATION UNTIL THE DATE OF SUBSTANTIAL COMPLETION ACCEPTANCE. THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL OR ADJUST FOR LESS WATER USING HOSES AS REQUIRED.
- B. HAND WATER ROOT BALLS OF ALL PLANTS TO ASSURE THAT THE ROOT BALLS HAVE MOISTURE ABOVE WILT POINT AND BELOW FIELD CAPACITY. TEST THE MOISTURE CONTENT IN EACH ROOT BALL AND THE SOIL OUTSIDE THE ROOT BALL TO DETERMINE THE WATER CONTENT.

# 3.19 CLEAN-UP

- A. DURING INSTALLATION, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.
- 1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL, OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAYS AND NEIGHBORING PROPERTY.
- B. ONCE INSTALLATION IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS AND THAT ALL TAGS AND FLAGGING TAPE ARE REMOVED FROM THE SITE. THE OWNER'S REPRESENTATIVE'S SEALS ARE TO REMAIN ON THE TREES AND REMOVED AT THE END OF THE WARRANTY PERIOD.
- C. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE BY THE PLANT INSTALLER TO THE WORK OR OTHER WORK AT THE SITE. D. REMOVE AND DISPOSE OF ALL EXCESS PLANTING SOIL, SUBSOIL, MULCH, PLANTS, PACKAGING, AND OTHER
- MATERIAL BROUGHT TO THE SITE BY THE CONTRACTOR.

# 3.20 PROTECTION DURING CONSTRUCTION

A. THE CONTRACTOR SHALL PROTECT PLANTING AND RELATED WORK AND OTHER SITE WORK FROM DAMAGE DUE TO PLANTING OPERATIONS, OPERATIONS BY OTHER CONTRACTORS OR TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION UNTIL SUBSTANTIAL COMPLETION ACCEPTANCE. TREAT, REPAIR OR REPLACE DAMAGED WORK IMMEDIATELY.

B. DAMAGE DONE BY THE CONTRACTOR, OR ANY OF THEIR SUB-CONTRACTORS TO EXISTING OR INSTALLED PLANTS, OR ANY OTHER PARTS OF THE WORK OR EXISTING FEATURES TO REMAIN, INCLUDING ROOTS, TRUNK OR BRANCHES OF LARGE EXISTING TREES, SOIL, PAVING, UTILITIES, LIGHTING, IRRIGATION, OTHER FINISHED WORK AND SURFACES INCLUDING THOSE ON ADJACENT PROPERTY, SHALL BE CLEANED, REPAIRED OR REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. THE OWNER'S REPRESENTATIVE SHALL DETERMINE WHEN SUCH CLEANING, REPLACEMENT OR REPAIR IS SATISFACTORY.

## 3.21 PLANT MAINTENANCE PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE

- A. DURING THE PROJECT WORK PERIOD AND PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL PLANTS.
- B. MAINTENANCE DURING THE PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF PRUNING, WATERING, CULTIVATING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL, REPAIRING AND REPLACING OF TREE STAKES, TIGHTENING AND REPAIRING OF GUYS, REPAIRING AND REPLACING OF DAMAGED TREE WRAP MATERIAL, RESETTING PLANTS TO PROPER GRADES AND UPRIGHT POSITION, AND FURNISHING AND APPLYING SUCH SPRAYS AS ARE NECESSARY TO KEEP PLANTINGS REASONABLY FREE OF DAMAGING INSECTS AND DISEASE, AND IN HEALTHY CONDITION. THE THRESHOLD FOR APPLYING INSECTICIDES AND HERBICIDE SHALL FOLLOW ESTABLISHED INTEGRATED PEST MANAGEMENT (IPM) PROCEDURES. MULCH AREAS SHALL BE KEPT REASONABLY FREE OF WEEDS, GRASS.

#### 3.22 SUBSTANTIAL COMPLETION ACCEPTANCE

- A. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND MAKE A DETERMINATION IF THE WORK IS SUBSTANTIALLY COMPLETE.
- 1. NOTIFICATION SHALL BE AT LEAST 7 DAYS PRIOR TO THE DATE THE CONTRACTOR IS REQUESTING THE
- B. THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANTING SHALL BE THE DATE WHEN THE OWNER'S REPRESENTATIVE ACCEPTS THAT ALL WORK IN PLANTING, PLANTING SOIL, AND IRRIGATION INSTALLATION SECTIONS IS COMPLETE.
- C. THE PLANT WARRANTY PERIOD BEGINS AT DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION FROM THE OWNER'S REPRESENTATIVE. THE DATE OF SUBSTANTIAL COMPLETION MAY BE DIFFERENT THAN THE DATE OF SUBSTANTIAL COMPLETION FOR THE OTHER SECTIONS OF THE PROJECT.

#### 3.23 MAINTENANCE DURING THE WARRANTY PERIOD BY OTHERS

- A. AFTER SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAKE SUFFICIENT SITE VISITS TO OBSERVE THE OWNER'S MAINTENANCE AND BECOME AWARE OF PROBLEMS WITH THE MAINTENANCE IN TIME TO REQUEST CHANGES, UNTIL THE DATE OF END OF WARRANTY FINAL ACCEPTANCE.
- 1. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING IF MAINTENANCE, INCLUDING WATERING, IS NOT SUFFICIENT TO MAINTAIN PLANTS IN A HEALTHY CONDITION. SUCH NOTIFICATION MUST BE MADE IN A TIMELY PERIOD SO THAT THE OWNER'S REPRESENTATIVE MAY TAKE CORRECTIVE ACTION.
- A. NOTIFICATION MUST DEFINE THE MAINTENANCE NEEDS AND DESCRIBE ANY CORRECTIVE ACTION REQUIRED.
- 2. IN THE EVENT THAT THE CONTRACTOR FAILS TO VISIT THE SITE AND OR NOTIFY, IN WRITING, THE OWNER'S REPRESENTATIVE OF MAINTENANCE NEEDS, LACK OF MAINTENANCE SHALL NOT BE USED AS GROUNDS FOR VOIDING OR MODIFYING THE PROVISIONS OF THE WARRANTY.

#### 3.24 MAINTENANCE DURING THE WARRANTY PERIOD BY THE PLANT INSTALLER

- A. DURING THE WARRANTY PERIOD, PROVIDE ALL MAINTENANCE FOR ALL PLANTINGS TO KEEP THE PLANTS IN A HEALTHY STATE AND THE PLANTING AREAS CLEAN AND NEAT.
- B. GENERAL REQUIREMENTS
- 1. ALL WORK SHALL BE UNDERTAKEN BY TRAINED PLANTING CREWS UNDER THE SUPERVISION OF A FOREMAN WITH A MINIMUM OF 5 YEARS EXPERIENCE SUPERVISING COMMERCIAL PLANT MAINTENANCE CREWS.
- 2. ALL CHEMICAL AND FERTILIZER APPLICATIONS SHALL BE MADE BY LICENSED APPLICATORS FOR THE TYPE OF CHEMICALS TO BE USED. ALL WORK AND CHEMICAL USE SHALL COMPLY WITH ALL APPLICABLE LOCAL, PROVINCIAL AND FEDERAL REQUIREMENTS.
- 3. ASSURE THAT HOSES AND WATERING EQUIPMENT AND OTHER MAINTENANCE EQUIPMENT DOES NOT BLOCK PATHS OR BE PLACED IN A MANNER THAT MAY CREATE TRIPPING HAZARDS. USE STANDARD SAFETY WARNING BARRIERS AND OTHER PROCEDURES TO MAINTAIN THE SITE IN A SAFE MANNER FOR VISITORS AT
- 4. ALL WORKERS SHALL WEAR REQUIRED SAFETY EQUIPMENT AND APPAREL APPROPRIATE FOR THE TASKS BEING UNDERTAKEN.
- 5. THE CONTRACTOR SHALL NOT STORE MAINTENANCE EQUIPMENT AT THE SITE AT TIMES WHEN THEY ARE
- NOT IN USE UNLESS AUTHORIZED IN WRITING BY THE OWNER'S REPRESENTATIVE. 6. MAINTENANCE VEHICLES SHALL NOT PARK ON THE SITE INCLUDING WALKS AND LAWN AREAS AT ANY TIME WITHOUT THE OWNER'S REPRESENTATIVE'S WRITTEN PERMISSION.
- . MAINTAIN A DETAILED LOG OF ALL MAINTENANCE ACTIVITIES INCLUDING TYPES OF TASKS, DATE OF TASK, TYPES AND QUANTITIES OF MATERIALS AND PRODUCTS USED, WATERING TIMES AND AMOUNTS, AND NUMBER OF EACH CREW. PERIODICALLY REVIEW THE LOGS WITH THE OWNER'S REPRESENTATIVE, AND

SUBMIT A COPY OF THE LOGS AT THE END OF EACH YEAR OF THE MAINTENANCE AGREEMENT.

8. MEET WITH THE OWNER'S REPRESENTATIVE A MINIMUM OF THREE TIMES A YEAR TO REVIEW THE PROGRESS AND DISCUSS ANY CHANGES THAT ARE NEEDED IN THE MAINTENANCE PROGRAM. AT THE END OF THE WARRANTY PERIOD ATTEND A HAND OVER MEETING TO FORMALLY TRANSFER THE RESPONSIBILITIES OF MAINTENANCE TO THE OWNER'S REPRESENTATIVE. PROVIDE ALL INFORMATION ON PAST MAINTENANCE ACTIVITIES AND PROVIDE A LIST OF CRITICAL TASKS THAT WILL BE NEEDED OVER THE NEXT 12 MONTHS. PROVIDE ALL MAINTENANCE LOGS AND SOIL TEST DATA. MAKE THE CONTRACTOR'S SUPERVISOR AVAILABLE FOR A MINIMUM OF ONE YEAR AFTER THE END OF THE WARRANTY PERIOD TO ANSWER QUESTIONS ABOUT PAST MAINTENANCE.

# C. PROVIDE THE FOLLOWING MAINTENANCE TASKS:

DISEASE AND INSECT OUTBREAKS.

- 1. WATERING; PROVIDE ALL WATER REQUIRED TO KEEP SOIL WITHIN AND AROUND THE ROOT BALLS AT
- OPTIMUM MOISTURE CONTENT FOR PLANT GROWTH. a. MAINTAIN ALL WATERING SYSTEMS AND EQUIPMENT AND KEEP THEM OPERATIONAL
- b. MONITOR SOIL MOISTURE TO PROVIDE SUFFICIENT WATER. CHECK SOIL MOISTURE AND ROOT BALL MOISTURE WITH A SOIL MOISTURE METER ON A REGULAR BASIS AND RECORD MOISTURE READINGS. DO NOT OVER WATER.
- 2. SOIL NUTRIENT LEVELS: TAKE A MINIMUM OF 4 SOIL SAMPLES FROM AROUND THE SITE IN THE SPRING AND FALL AND HAVE THEM TESTED BY AN ACCREDITED AGRICULTURAL SOIL TESTING LAB FOR CHEMICAL COMPOSITION OF PLANT REQUIRED NUTRIENTS, PH, SALT AND % ORGANIC MATTER. TEST RESULTS SHALL INCLUDE LABORATORY RECOMMENDATIONS FOR NUTRIENT APPLICATIONS. APPLY FERTILIZERS AT RATES RECOMMENDED BY THE SOIL TEST.
- a. MAKE ANY OTHER SOIL TEST AND/OR PLANT TISSUE TEST THAT MAY BE INDICATED BY PLANT CONDITIONS THAT MAY NOT BE RELATED TO SOIL NUTRIENT LEVELS SUCH AS SOIL CONTAMINATED BY OTHER CHEMICALS OR LACK OF CHEMICAL UPTAKE BY THE PLANT.
- 3. PLANT PRUNING: REMOVE CROSS OVER BRANCHING, SHORTEN OR REMOVE DEVELOPING CO DOMINANT LEADERS, DEAD WOOD AND WINTER-DAMAGED BRANCHES. UNLESS DIRECTED BY THE OWNER'S REPRESENTATIVE, DO NOT SHEAR PLANTS OR MAKE HEADING CUTS.
- 4. RESTORE PLANTS: RESET ANY PLANTS THAT HAVE SETTLED OR ARE LEANING AS SOON AS THE CONDITION IS NOTICED.

5. GUYING AND STAKING: MAINTAIN PLANT GUYS IN A TAUGHT POSITION. REMOVE TREE GUYS AND STAKING

- AFTER THE FIRST FULL GROWING SEASON UNLESS DIRECTED BY OWNER'S REPRESENTATIVE. 6. WEED CONTROL: KEEP ALL BEDS FREE OF WEEDS. HAND-REMOVE ALL WEEDS AND ANY PLANTS THAT DO NOT APPEAR ON THE PLANTING PLAN. CHEMICAL WEED CONTROL IS PERMITTED ONLY WITH THE
- 7. TRASH REMOVAL: REMOVE ALL TRASH AND DEBRIS FROM ALL PLANTING BEDS AND MAINTAIN THE BEDS IN A NEAT AND TIDY APPEARANCE. THE NUMBER OF TRASH AND DEBRIS REMOVAL VISITS SHALL BE NO LESS

APPROVAL OF THE OWNER'S REPRESENTATIVE. SCHEDULE WEEDING AS NEEDED BUT NOT LESS 12 TIMES

- THAN 12 TIMES PER YEAR AND MAY COINCIDE WITH OTHER MAINTENANCE VISITS. 8. PLANT PEST CONTROL: MAINTAIN DISEASE, INSECTS AND OTHER PESTS AT MANAGEABLE LEVELS. MANAGEABLE LEVELS SHALL BE DEFINED AS DAMAGE TO PLANTS THAT MAY BE NOTICEABLE TO A PROFESSIONAL BUT NOT TO THE AVERAGE PERSON. USE LEAST INVASIVE METHODS TO CONTROL PLANT
- D. THE OWNER'S REPRESENTATIVE MUST APPROVE IN ADVANCE THE USE OF ALL CHEMICAL PESTICIDE

PERIOD SHALL BE COVERED AND REPLACED UNDER THE WARRANTY PROVISIONS.

- 1. PLANT REPLACEMENT: REPLACE ALL PLANTS THAT ARE DEFECTIVE AS DEFINED IN THE WARRANTY PROVISIONS, AS SOON AS THE PLANT DECLINE IS OBVIOUS AND IN SUITABLE WEATHER AND SEASON FOR PLANTING AS OUTLINED IN ABOVE SECTIONS. PLANTS THAT BECOME DEFECTIVE DURING THE MAINTENANCE
- 2. MULCH: REFRESH MULCH ONCE A YEAR TO MAINTAIN COMPLETE COVERAGE BUT DO NOT OVER MULCH. AT NO TIME SHALL THE OVERALL MULCH THICKNESS BE GREATER THAT 4 INCHES. DO NOT APPLY MULCH WITHIN 6 INCHES OF THE TRUNKS OR STEMS OF ANY PLANTS. REPLACEMENT MULCH SHALL MEET THE REQUIREMENTS OF THE ORIGINAL APPROVED MATERIAL. MULCH SHALL BE NO MORE THAN ONE INCH ON TOP OF THE ROOT BALL SURFACE.
- 3. BED EDGING: CHECK AND MAINTAIN EDGES BETWEEN MULCH AND LAWN AREAS IN SMOOTH NEAT LINES AS

ORIGINALLY SHOWN ON THE DRAWINGS.

- 4. LEAF, FRUIT AND OTHER PLANT DEBRIS REMOVAL: REMOVE FALL LEAF, SPENT FLOWERS, FRUIT AND PLANT PART ACCUMULATIONS FROM BEDS AND PAVED SURFACES. MAINTAIN ALL SURFACE WATER DRAINS FREE
- OF DEBRIS. DEBRIS REMOVAL SHALL BE UNDERTAKEN AT EACH VISIT TO WEED OR PICK UP TRASH IN BEDS. 5. DAMAGE FROM SITE USE: REPAIR OF DAMAGE BY SITE VISITORS AND EVENTS, BEYOND NORMAL WEAR, ARE NOT PART OF THIS MAINTENANCE. THE OWNER'S REPRESENTATIVE MAY REQUEST THAT THE CONTRACTOR REPAIR DAMAGE BEDS OR PLANTINGS FOR AN ADDITIONAL COST. ALL ADDITIONAL WORK SHALL BE APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.

#### 3.25 END OF WARRANTY FINAL ACCEPTANCE / MAINTENANCE OBSERVATION

- A. AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD THE OWNER'S REPRESENTATIVE SHALL OBSERVE THE WORK AND ESTABLISH THAT ALL PROVISIONS OF THE CONTRACT ARE COMPLETE AND THE WORK IS
- 1. IF THE WORK IS SATISFACTORY, THE MAINTENANCE PERIOD WILL END ON THE DATE OF THE FINAL OBSERVATION.
- 2. IF THE WORK IS DEEMED UNSATISFACTORY, THE MAINTENANCE PERIOD WILL CONTINUE AT NO ADDITIONAL EXPENSE TO THE OWNER UNTIL THE WORK HAS BEEN COMPLETED, OBSERVED, AND APPROVED BY THE
- B. FAILURE TO PASS OBSERVATION: IF THE WORK FAILS TO PASS FINAL OBSERVATION, ANY SUBSEQUENT OBSERVATIONS MUST BE RESCHEDULED AS PER ABOVE. THE COST TO THE OWNER FOR ADDITIONAL OBSERVATIONS WILL BE CHARGED TO THE CONTRACTOR AT THE PREVAILING HOURLY RATE OF THE OWNERS REPRESENTATIVE.

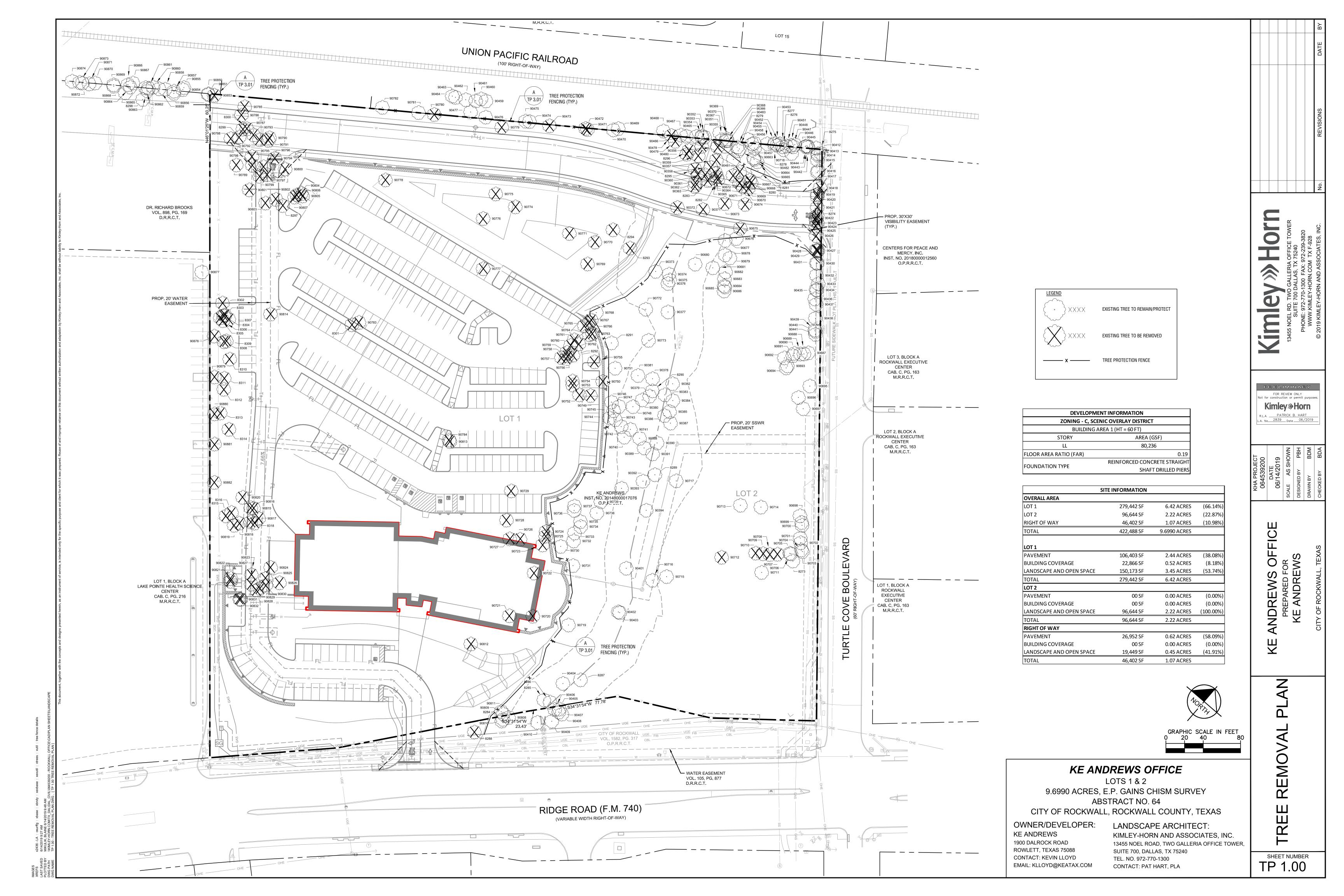
**END OF SECTION 32 9300** 

OWNER'S REPRESENTATIVE.

PRELIMINARY FOR REVIEW ONLY Kimley»Horn R.L.A. PATRICK B. HART .A. No. 2839 Date 06/2019

ANDR!

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8273   8274   8275   8276   8277   8278   8280   8281   8282   8283   8284   8285   8286   8287   8288   8289   8290   8291   8292   8293   8294   8295	4.8 6.1 5.4 4.6 6.0 6.2 6.2 6.0 6.4	Green Ash Hackberry White Mulberry Hackberry Hackberry	SCIENTIFIC NAME  Kimley Horn  Fraxinus pennsylvanica  Celtis laevigata  Morus alba	CONDITION  Red Tag Series  Healthy  Declining	Single Forked	PROTECT PEMOVE	1:1	0.0
8274 8275 8276 8277 8278 8278 8279 8280 8281 8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	6.1 5.4 4.6 6.0 6.2 6.2 6.0	Hackberry White Mulberry Hackberry	Fraxinus pennsylvanica Celtis laevigata	Healthy				0.0
8275 8276 8277 8278 8278 8279 8280 8281 8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	5.4 4.6 6.0 6.2 6.2 6.0	White Mulberry Hackberry	<u> </u>	Declinina	Forked	DEMOVE		
8276 8277 8278 8279 8280 8281 8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	4.6 6.0 6.2 6.2 6.0	Hackberry	Morus aida			REMOVE	NON-PROTECTED	0.0
8277 8278 8279 8280 8281 8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	6.0 6.2 6.2 6.0	-	Celtis laevigata	Hazard Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
8279 8280 8281 8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	6.2 6.0		Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8280 8281 8282 8283 8284 8285 8286 8287 8288 8290 8291 8292 8293 8294	6.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8281 8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294		Hackberry Cedar Elm	Celtis laevigata Ulmus crassifolia	Healthy	Single	PROTECT REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
8282 8283 8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294		Hackberry	Celtis laevigata	Declining Healthy	Single Single	PROTECT	NON-PROTECTED	0.0
8284 8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	5.0	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8285 8286 8287 8288 8289 8290 8291 8292 8293 8294	4.8	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8286 8287 8288 8289 8290 8291 8292 8293 8294	5.0 7.0	American Elm Box Elder	Ulmus americana Acer negundo	Healthy Healthy	Single Multi	PROTECT PROTECT	1:1	0.0
8288 8289 8290 8291 8292 8293 8294	4.6	American Elm	Ulmus americana	Healthy	Single	PROTECT	1:1	0.0
8289 8290 8291 8292 8293 8294	10.0	Black Willow	Salix nigra	Healthy	Multi	PROTECT	NON-PROTECTED	0.0
8290 8291 8292 8293 8294	7.5	White Mulberry  American Elm	Morus alba	Declining	Multi	REMOVE PROTECT	NON-PROTECTED	0.0
3291 3292 3293 3294	4.5 5.3	Persimmon	Ulmus americana Diospyros virginiana	Healthy Healthy	Forked Single	PROTECT	1:1	0.0
3293 3294	5.4	Cedar Elm	Ulmus crassifolia	Healthy	Forked	PROTECT	1:1	0.0
3294	8.6	Hackberry	Celtis laevigata	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
	4.3 5.8	Eastern Redcedar Cedar Elm	Juniperus virginiana Ulmus crassifolia	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED 1:1	0.0 5.8
J_J_J_	4.3	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
3296	5.2	Osage-Orange	Maclura pomifera	Healthy	Single	REMOVE	NON-PROTECTED	0.0
3297	7.7	Eastern Redcedar	Juniperus virginiana	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
3298	6.0 5.5	Cedar Elm Hackberry	Ulmus crassifolia Celtis laevigata	Healthy	Single	PROTECT REMOVE	1:1 NON-PROTECTED	0.0
3299 3300	6.3	Osage-Orange	Maclura pomifera	Healthy Healthy	Single Forked	REMOVE	NON-PROTECTED	0.0
3301	5.3	Gum Bumelia	Sideroxylon lanuginosum	Healthy	Single	REMOVE	1:1	5.3
3302	7.9	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
303	4.6 5.2	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy	Single	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
304	5.2	Hackberry	Celtis laevigata  Celtis laevigata	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.0
306	7.2	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
307	5.6	Hackberry Chumerd eak	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
308	5.0 7.7	Shumard oak Eastern Redcedar	Quercus shumardii Juniperus virginiana	Healthy Hazard	Single Single	REMOVE REMOVE	1:1 NON-PROTECTED	5.0 0.0
310	9.5	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
311	9.5	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
312	8.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
313	10.3	Hackberry Eastern Redcedar	Celtis laevigata  Juniperus virginiana	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
315	11.0	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
316	9.2	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
317	8.0	Callery pear	Pyrus calleryana	Healthy	Multi	REMOVE	1:1	8.0
3318	5.5	Eastern Redcedar	Juniperus virginiana SCI Green	Healthy Tag Series	Single	REMOVE	NON-PROTECTED	0.0
0351	10.2	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
0352	9.3	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
0353	11.2	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy	Single	PROTECT PROTECT	.5:1 NON-PROTECTED	0.0
0354 0355	7.0 11.6	American Elm	Ulmus americana	Healthy Healthy	Single Single	REMOVE	1:1	11.6
0356	7.4	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0357	8.4	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0358   0359	9.4 6.5	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
0360	9.7	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0361	5.8	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0362	11.5	Osage-Orange	Maclura pomifera	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0363   0364	9.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED .5:1	0.0 6.3
0365	6.5	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0366	8.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
0367	6.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
)368 )369	6.5	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED .5:1	0.0
0370	10.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
0371	11.3	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	.5:1	5.7
0372	7.4	Cedar Elm Cedar Elm	Ulmus crassifolia Ulmus crassifolia	Healthy	Single	REMOVE PROTECT	1:1 1:1	7.4
)373 )374	12.5 10.1	Cedar Elm  Cedar Elm	Ulmus crassifolia	Healthy Healthy	Single Single	PROTECT	1:1	0.0
)375	7.4	Cedar Elm	Ulmus crassifolia	Healthy	Single	PROTECT	1:1	0.0
)376	8.6	Cedar Elm	Ulmus crassifolia	Healthy	Single	PROTECT	1:1	0.0
)377 )378	10.0 6.4	American Elm Hackberry	Ulmus americana Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	1:1 NON-PROTECTED	0.0
)379	7.9	Box Elder	Acer negundo	Healthy	Single	PROTECT	1:1	0.0
380	11.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
381	8.6	Hackberry Green Ash	Celtis laevigata	Healthy	Single	PROTECT PROTECT	NON-PROTECTED 1:1	0.0
)382 )383	13.2	Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Healthy Healthy	Single Single	PROTECT	1:1	0.0
)384	14.8	American Elm	Ulmus americana	Healthy	Single	PROTECT	1:1	0.0
385	8.2	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
)386   )387	9.4	Eastern Redcedar  Hackberry	Juniperus virginiana Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED .5:1	0.0
388	7.1	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
389	11.1	Osage-Orange	Maclura pomifera	Healthy	Single	PROTECT	NON-PROTECTED	0.0
390	14.5	Osage-Orange	Maclura pomifera	Healthy	Single	PROTECT	NON-PROTECTED	0.0
)391 )392	9.3	Osage-Orange American Elm	Maclura pomifera Ulmus americana	Healthy Hazard	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
392	11.3	Box Elder	Acer negundo	Hazard	Single	PROTECT	1:1	0.0
)394	32.3	Pecan	Carya illinoinensis	Healthy	Single	PROTECT	2:1	0.0
0401	14.5	American Elm	Ulmus americana	Healthy	Forked	PROTECT	1:1	0.0
1402	6.2 5.7	Black Willow Black Willow	Salix nigra Salix nigra	Healthy	Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
)403   )404	5.7 8.5	Black Willow	Salix nigra Salix nigra	Healthy Healthy	Single Forked	PROTECT	NON-PROTECTED	0.0
0405	14.6	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
0406	8.0	Black Willow	Salix nigra	Healthy	Single	PROTECT	NON-PROTECTED	0.0
. f	12.0	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
	8.5 17.0	Black Willow Eastern Cottonwood	Salix nigra Populus deltoides	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
0408	١٠،٠١	White Mulberry	Morus alba	Healthy	Single	PROTECT	1:1	0.0
0407 0408 0409 0410	8.2	vviiito iviaibelly	Wordo alba	l iicailiiv	Silidie	THOTLOT	'.'	0.0

Tree #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
90414	7.0	Hackberry	Celtis laevigata	Declining	Single	PROTECT	NON-PROTECTED	0.0
90415 90416	10.0 9.0	Hercules-club Hackberry	Zanthoxylum clava-herculis Celtis laevigata	Declining  Declining	Forked Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90417	7.1	Hackberry	Celtis laevigata	Declining	Single	PROTECT	NON-PROTECTED	0.0
90418	12.5	Hackberry	Celtis laevigata	Declining	Single	REMOVE	NON-PROTECTED	0.0
90419	6.4 12.3	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining Declining	Single Single	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90421	8.4	Hackberry	Celtis laevigata	Declining	Forked	REMOVE	NON-PROTECTED	0.0
90422	8.3	Hackberry	Celtis laevigata	Declining	Forked	REMOVE	NON-PROTECTED	0.0
90423	9.7	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining	Forked	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90424	6.4	Hackberry	Celtis laevigata	Declining  Declining	Single Single	REMOVE	NON-PROTECTED	0.0
90426	9.5	Hackberry	Celtis laevigata	Declining	Multi	REMOVE	NON-PROTECTED	0.0
90427	9.3	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining	Single	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90428	12.6	Hackberry	Celtis laevigata	Declining Declining	Single Single	REMOVE	NON-PROTECTED	0.0
90430	10.4	Hackberry	Celtis laevigata	Declining	Multi	PROTECT	NON-PROTECTED	0.0
90431	7.7 7.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining	Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90432	10.5	Hackberry	Celtis laevigata	Declining Declining	Single Forked	PROTECT	NON-PROTECTED	0.0
90434	9.5	Hackberry	Celtis laevigata	Declining	Forked	PROTECT	NON-PROTECTED	0.0
90435	10.1 7.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining	Forked Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90436	9.3	Hackberry	Celtis laevigata	Declining  Declining	Forked	PROTECT	NON-PROTECTED	0.0
90438	13.0	Hackberry	Celtis laevigata	Declining	Multi	PROTECT	NON-PROTECTED	0.0
90439	13.0 8.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining Declining	Multi Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90441	9.3	Hercules-club	Zanthoxylum clava-herculis	Declining	Single	PROTECT	NON-PROTECTED	0.0
90442	7.8	Hackberry	Celtis laevigata	Declining	Single	PROTECT	NON-PROTECTED	0.0
90443	6.4 7.6	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90444	10.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90446	11.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90447 90448	9.0 8.6	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Declining	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90448	7.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90452	9.2	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90453	9.1 7.1	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90455	11.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90456	9.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90457	9.7 8.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90459	9.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90460	6.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90461	6.3 18.0	Eastern Redcedar Eastern Redcedar	Juniperus virginiana Juniperus virginiana	Healthy Healthy	Single Forked	PROTECT PROTECT	NON-PROTECTED .5:1	0.0
90463	7.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90464	7.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90466	10.3 9.5	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90468	15.3	Hercules-club	Zanthoxylum clava-herculis	Healthy	Forked	PROTECT	1:1	0.0
90469	13.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90470	11.8 6.5	Hackberry Eastern Redcedar	Celtis laevigata Juniperus virginiana	Healthy Healthy	Forked Single	PROTECT REMOVE	.5:1	0.0
90472	7.3	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90473			Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
90474	5.9 8.4	Eastern Redcedar Eastern Redcedar	Juniperus virginiana Juniperus virginiana	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90476	6.8	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90477	7.2	Eastern Redcedar Hercules-club	Juniperus virginiana Zanthoxylum clava-herculis	Healthy	Single	PROTECT REMOVE	NON-PROTECTED 1:1	0.0 7.1
90478	7.1 7.4	Osage-Orange	Maclura pomifera	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.0
90480	11.0	Osage-Orange	Maclura pomifera	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
90481	11.6 9.7	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	.5:1	0.0
90483		Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90663	6.9	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90664 90665	11.0 11.1	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	.5:1 .5:1	0.0
90666	9.8	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90667	10.3	Hackberry	Celtis laevigata	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
90668	16.2 10.5	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Forked Single	REMOVE REMOVE	.5:1	8.1 0.0
90670	10.1	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90671	8.9	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90672	10.7 34.6	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Declining	Single Single	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
90674	9.0	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90675 90676	10.3	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy	Single	REMOVE PROTECT	NON-PROTECTED .5:1	0.0 0.0
90676	16.9 8.9	Hackberry	Celtis laevigata	Healthy Healthy	Single Single	PROTECT	NON-PROTECTED	0.0
90678	11.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90679 90680	17.9 9.9	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Hazard Healthy	Forked Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90680	6.8	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90682	11.2	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90683 90684	8.2 9.1	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90685	6.8	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90686	11.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90687	7.5 6.4	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
90689	7.8	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90690	6.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90691	15.0 10.3	American Elm Hackberry	Ulmus americana Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	1:1 NON-PROTECTED	0.0
90693	6.5	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90694	9.5	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90695	12.0 48.5	American Elm Hackberry	Ulmus americana Celtis laevigata	Declining Hazard	Single Forked	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90697	15.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90698	13.5	White Mulberry	Morus alba	Healthy	Forked	PROTECT	1:1	0.0
90699	12.7 9.3	Green Ash Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Healthy Healthy	Single Single	PROTECT PROTECT	1:1 1:1	0.0
20,00	, J.U	1	<u> </u>	1 Alvaiuty	, Single	1		

Tree #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
90701 90702	15.1 9.1	Green Ash Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Healthy Healthy	Forked Forked	PROTECT PROTECT	1:1 1:1	0.0
90703 90704	17.5 12.5	Osage-Orange Green Ash	Maclura pomifera Fraxinus pennsylvanica	Healthy Healthy	Single Forked	PROTECT PROTECT	NON-PROTECTED 1:1	0.0
90704	7.7	Green Ash	Fraxinus pennsylvanica	Healthy	Single	PROTECT	1:1	0.0
90706	10.9	Green Ash	Fraxinus pennsylvanica	Healthy	Single	PROTECT	1:1	0.0
90707 90708	13.5 12.0	Green Ash Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Declining Hazard	Single Single	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90709	9.7	Green Ash	Fraxinus pennsylvanica	Declining	Single	REMOVE	NON-PROTECTED	0.0
90710	10.1	Green Ash	Fraxinus pennsylvanica	Hazard	Single	REMOVE	NON-PROTECTED	0.0
90711 90712	11.2 21.5	Hackberry Osage-Orange	Celtis laevigata Maclura pomifera	Healthy Healthy	Single Forked	PROTECT PROTECT	.5:1	0.0
90713	15.6	Osage-Orange	Maclura pomifera	Healthy	Forked	PROTECT	NON-PROTECTED	0.0
90714	14.6	White Mulberry	Morus alba	Healthy	Single	PROTECT	1:1	0.0
90715 90716	11.6 16.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	PROTECT PROTECT	.5:1 .5:1	0.0
90717	11.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90718	21.2	Osage-Orange	Maclura pomifera	Healthy	Forked	PROTECT	NON-PROTECTED	0.0
90719 90720	26.0 17.5	Eastern Cottonwood  American Elm	Populus deltoides Ulmus americana	Healthy Healthy	Single Single	PROTECT REMOVE	NON-PROTECTED 1:1	0.0 17.5
90721	15.3	Hackberry	Celtis laevigata	Declining	Single	REMOVE	NON-PROTECTED	0.0
90722	14.5	White Mulberry	Morus alba	Healthy	Single	REMOVE	1:1	14.5
90723 90724	7.4	Cedar Elm Eastern Cottonwood	Ulmus crassifolia Populus deltoides	Healthy Healthy	Single Single	REMOVE REMOVE	1:1 NON-PROTECTED	7.4
90725	15.4	Eastern Cottonwood	Populus deltoides	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90726	10.2	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	10.2
90727 90728	10.8 14.0	Cedar Elm Cedar Elm	Ulmus crassifolia Ulmus crassifolia	Healthy	Single	REMOVE REMOVE	1:1 1:1	10.8
90728	12.9	Cedar Elm	Ulmus crassifolia	Healthy Healthy	Single Single	REMOVE	1:1	12.9
90730	9.3	Cedar Elm	Ulmus crassifolia	Declining	Single	PROTECT	NON-PROTECTED	0.0
90731	26.0	Eastern Cottonwood  Eastern Cottonwood	Populus deltoides Populus deltoides	Healthy	Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90732	14.3 17.6	Eastern Cottonwood  Eastern Cottonwood	Populus deltoides Populus deltoides	Healthy Healthy	Single Single	PROTECT	NON-PROTECTED	0.0
90734	15.8	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90735	15.0	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90736 90737	16.0 19.3	Eastern Cottonwood  Eastern Cottonwood	Populus deltoides Populus deltoides	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90738	19.8	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90739	18.7	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90740 90741	7.1 8.7	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Hazard	Single Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
90742	8.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90743	13.9	Osage-Orange	Maclura pomifera	Healthy	Single	PROTECT	NON-PROTECTED	0.0
0744 0745	9.0 9.4	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single	PROTECT PROTECT	NON-PROTECTED  NON-PROTECTED	0.0
0745	8.2	Hackberry	Celtis laevigata	Healthy	Single Single	PROTECT	NON-PROTECTED	0.0
0747	10.1	Osage-Orange	Maclura pomifera	Healthy	Forked	PROTECT	NON-PROTECTED	0.0
0748	8.3	Persimmon Cross Ash	Diospyros virginiana	Healthy	Single	PROTECT REMOVE	1:1	9.6
90749 90750	9.6 12.0	Green Ash Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Healthy Healthy	Single Single	REMOVE	1:1 1:1	12.0
90751	10.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90752	14.3	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	.5:1	7.2
90753 90754	16.4 10.4	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	.5:1 NON-PROTECTED	0.0
90755	6.6	Green Ash	Fraxinus pennsylvanica	Healthy	Single	REMOVE	1:1	6.6
90756	13.6	Hackberry	Celtis laevigata	Declining	Single	REMOVE	NON-PROTECTED	0.0
90757 90758	11.0 7.7	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	.5:1	5.5 0.0
90759	10.0	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90760	10.6	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90761 90762	9.0 9.6	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90763	7.4	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90764	7.3	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90765 90766	20.0 7.5	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Declining Healthy	Multi Single	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90767	14.3	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	.5:1	7.2
0768	12.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90769 20770	6.5	Cedar Elm Hackberry	Ulmus crassifolia Celtis laevigata	Healthy	Single	REMOVE REMOVE	1:1 NON-PROTECTED	6.5 0.0
90770 90771	6.4 7.4	Eastern Redcedar	Juniperus virginiana	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.0
0772	30.2	Pecan	Carya illinoinensis	Healthy	Single	PROTECT	2:1	0.0
90773 20774	27.5	Pecan Eastern Redcedar	Carya illinoinensis Juniperus virginiana	Healthy	Single	PROTECT REMOVE	2:1 NON-PROTECTED	0.0
90774 90775	8.6 9.6	Eastern Reddedar	Juniperus virginiana  Juniperus virginiana	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.0
90776	10.2	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0777	6.3	Eastern Redcedar Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE REMOVE	NON-PROTECTED  NON-PROTECTED	0.0
90778 90779	9.6 11.0	Osage-Orange	Juniperus virginiana Maclura pomifera	Healthy Healthy	Single Forked	REMOVE	NON-PROTECTED	0.0
0780	8.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
0781	6.7	Eastern Redoedar	Juniperus virginiana	Healthy	Single	PROTECT PROTECT	NON-PROTECTED .5:1	0.0
0782 0783	13.2 9.5	Eastern Redcedar Eastern Redcedar	Juniperus virginiana Juniperus virginiana	Healthy Healthy	Forked Single	PROTECT REMOVE	NON-PROTECTED	0.0
0784	14.0	Eastern Redcedar	Juniperus virginiana	Healthy	Forked	REMOVE	.5:1	7.0
	18.3	Eastern Redcedar	Juniperus virginiana	Healthy	Multi	REMOVE REMOVE	.5:1	9.2 0.0
0785		Factorn Radondar	Juninerus virginiana	∐ool+b	Linair	I ILLIVIUVE	I INDIN-LINULEULEU	U.U
0785 0786	8.4 11.8	Eastern Redcedar Osage-Orange	Juniperus virginiana Maclura pomifera	Healthy Healthy	Single Multi	REMOVE	NON-PROTECTED	0.0
0785 0786 0787 0788	8.4 11.8 17.3	Osage-Orange Osage-Orange	Maclura pomifera Maclura pomifera	Healthy Healthy	Multi Multi	REMOVE REMOVE	NON-PROTECTED	0.0
0785 0786 0787 0788 0789	8.4 11.8 17.3 13.0	Osage-Orange Osage-Orange Osage-Orange	Maclura pomifera Maclura pomifera Maclura pomifera	Healthy Healthy Healthy	Multi Multi Multi	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
90785 90786 90787 90788 90789	8.4 11.8 17.3	Osage-Orange Osage-Orange	Maclura pomifera Maclura pomifera	Healthy Healthy Healthy Healthy	Multi Multi Multi Single	REMOVE REMOVE	NON-PROTECTED	0.0
90785 90786 90787 90788 90789 90790 90791	8.4 11.8 17.3 13.0 10.0 11.0 10.7	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera	Healthy Healthy Healthy Healthy Healthy Healthy	Multi Multi Multi Single Forked Forked	REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE	NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED	0.0 0.0 0.0 5.5 0.0
90785 90786 90787 90788 90789 90790 90791 90792	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana	Healthy Healthy Healthy Healthy Healthy Healthy Healthy	Multi Multi Multi Single Forked Forked Single	REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE	NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED	0.0 0.0 0.0 5.5 0.0
90785 90786 90787 90788 90789 90790 90791 90792 90793	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2 9.2	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy Healthy Healthy Healthy Healthy Healthy Healthy Healthy Healthy	Multi Multi Multi Single Forked Forked Single Single	REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE	NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED	0.0 0.0 0.0 5.5 0.0
90785 90786 90787 90788 90799 90790 90791 90792 90793 90794	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana	Healthy Healthy Healthy Healthy Healthy Healthy Healthy	Multi Multi Multi Single Forked Forked Single	REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE REMOVE	NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED	0.0 0.0 0.0 5.5 0.0 0.0
90785 90786 90787 90788 90789 90790 90791 90792 90793 90794 90795 90796	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2 9.2 9.4 6.9 13.8	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar Eastern Redcedar Eastern Redcedar Eastern Redcedar Eastern Redcedar Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy	Multi Multi Single Forked Forked Single Single Single Single Single	REMOVE	NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1	0.0 0.0 0.0 5.5 0.0 0.0 0.0 0.0
0785 0786 0787 0788 0789 0790 0791 0792 0793 0794 0795 0796	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2 9.2 9.4 6.9 13.8 8.7	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana	Healthy	Multi Multi Single Forked Forked Single Single Single Single Single Single	REMOVE	NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED	0.0 0.0 0.0 5.5 0.0 0.0 0.0 0.0
0785 0786 0787 0788 0789 0790 0791 0792 0793 0794 0795 0796 0797 0798	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2 9.2 9.4 6.9 13.8	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar Eastern Redcedar Eastern Redcedar Eastern Redcedar Eastern Redcedar Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana Juniperus virginiana	Healthy	Multi Multi Single Forked Forked Single Single Single Single Single Single Single	REMOVE	NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1	0.0 0.0 0.0 5.5 0.0 0.0 0.0 0.0
00785 00786 00787 00788 00789 00790 00791 00792 00793 00794 00795 00796 00797 00798 00799 00799	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2 9.4 6.9 13.8 8.7 8.2 9.0 9.2	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana	Healthy	Multi Multi Single Forked Forked Single Single Single Single Single Single Single Single Single Forked	REMOVE	NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED	0.0 0.0 0.0 5.5 0.0 0.0 0.0 0.0
90785 90786 90787 90788 90789 90790 90791 90792 90793 90794 90795 90796 90797 90798 90799 90800 90801 90802	8.4 11.8 17.3 13.0 10.0 11.0 10.7 9.2 9.2 9.4 6.9 13.8 8.7 8.2 9.0	Osage-Orange Osage-Orange Osage-Orange Eastern Redcedar Eastern Redcedar Osage-Orange Eastern Redcedar	Maclura pomifera Maclura pomifera Maclura pomifera Juniperus virginiana Juniperus virginiana Maclura pomifera Juniperus virginiana	Healthy	Multi Multi Single Forked Forked Single Single Single Single Single Single Single Single	REMOVE	NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED .5:1 NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED NON-PROTECTED	0.0 0.0 0.0 5.5 0.0 0.0 0.0 0.0

#	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
01 02	15.1 9.1	Green Ash Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Healthy Healthy	Forked Forked	PROTECT PROTECT	1:1 1:1	0.0
03	17.5	Osage-Orange	Maclura pomifera	Healthy	Single	PROTECT	NON-PROTECTED	0.0
04	12.5	Green Ash	Fraxinus pennsylvanica	Healthy	Forked	PROTECT	1:1	0.0
05 06	7.7	Green Ash Green Ash	Fraxinus pennsylvanica Fraxinus pennsylvanica	Healthy Healthy	Single Single	PROTECT PROTECT	1:1	0.0
07	13.5	Green Ash	Fraxinus pennsylvanica	Declining	Single	REMOVE	NON-PROTECTED	0.0
08	12.0	Green Ash	Fraxinus pennsylvanica	Hazard	Single	REMOVE	NON-PROTECTED	0.0
09	9.7	Green Ash	Fraxinus pennsylvanica	Declining	Single	REMOVE	NON-PROTECTED	0.0
10 11	10.1	Green Ash Hackberry	Fraxinus pennsylvanica Celtis laevigata	Hazard	Single	REMOVE PROTECT	NON-PROTECTED .5:1	0.0
11 12	21.5	Osage-Orange	Maclura pomifera	Healthy Healthy	Single Forked	PROTECT	NON-PROTECTED	0.0
13	15.6	Osage-Orange	Maclura pomifera	Healthy	Forked	PROTECT	NON-PROTECTED	0.0
14	14.6	White Mulberry	Morus alba	Healthy	Single	PROTECT	1:1	0.0
15	11.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
16	16.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
17 18	11.4 21.2	Hackberry Osage-Orange	Celtis laevigata Maclura pomifera	Healthy Healthy	Single Forked	PROTECT PROTECT	.5:1	0.0
19	26.0	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
20	17.5	American Elm	Ulmus americana	Healthy	Single	REMOVE	1:1	17.5
1	15.3	Hackberry	Celtis laevigata	Declining	Single	REMOVE	NON-PROTECTED	0.0
2	14.5	White Mulberry	Morus alba	Healthy	Single	REMOVE	1:1	14.5
3	7.4	Cedar Elm Eastern Cottonwood	Ulmus crassifolia Populus deltoides	Healthy	Single	REMOVE REMOVE	1:1 NON-PROTECTED	7.4 0.0
<del>4</del> 5	15.4	Eastern Cottonwood	Populus deltoides	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.0
6	10.2	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	10.2
7	10.8	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	10.8
8	14.0	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	14.0
9	12.9	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	12.9
0	9.3	Cedar Elm	Ulmus crassifolia	Declining	Single	PROTECT	NON-PROTECTED	0.0
1 2	26.0 14.3	Eastern Cottonwood  Eastern Cottonwood	Populus deltoides Populus deltoides	Healthy Healthy	Single Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
<u>∠</u> 3	17.6	Eastern Cottonwood	Populus deltoides Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
ა 4	15.8	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
5	15.0	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
6	16.0	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
7	19.3	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8 a	19.8	Eastern Cottonwood  Eastern Cottonwood	Populus deltoides Populus deltoides	Healthy	Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
9 0	18.7 7.1	Hackberry	Celtis laevigata	Healthy Healthy	Single Single	PROTECT	NON-PROTECTED	0.0
1	8.7	Hackberry	Celtis laevigata	Hazard	Single	PROTECT	NON-PROTECTED	0.0
2	8.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
3	13.9	Osage-Orange	Maclura pomifera	Healthy	Single	PROTECT	NON-PROTECTED	0.0
4	9.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
5 6	9.4 8.2	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy	Single	PROTECT PROTECT	NON-PROTECTED NON-PROTECTED	0.0
0 7	10.1	Osage-Orange	Maclura pomifera	Healthy Healthy	Single Forked	PROTECT	NON-PROTECTED	0.0
<u>'</u> 8	8.3	Persimmon	Diospyros virginiana	Healthy	Single	PROTECT	1:1	0.0
9	9.6	Green Ash	Fraxinus pennsylvanica	Healthy	Single	REMOVE	1:1	9.6
0	12.0	Green Ash	Fraxinus pennsylvanica	Healthy	Single	REMOVE	1:1	12.0
1	10.0	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
2 3	14.3 16.4	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy	Single	REMOVE REMOVE	.5:1 .5:1	7.2 8.2
ა 4	10.4	Hackberry	Celtis laevigata	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.2
<u>.</u> 5	6.6	Green Ash	Fraxinus pennsylvanica	Healthy	Single	REMOVE	1:1	6.6
6	13.6	Hackberry	Celtis laevigata	Declining	Single	REMOVE	NON-PROTECTED	0.0
7	11.0	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	.5:1	5.5
8	7.7	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
9 0	10.0	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
1	9.0	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
2	9.6	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
3	7.4	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
4	7.3	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
5_	20.0	Hackberry	Celtis laevigata	Declining	Multi	REMOVE	NON-PROTECTED	0.0
<u>3</u> 7	7.5	Hackberry Hackberry	Celtis laevigata Celtis laevigata	Healthy Healthy	Single Single	REMOVE REMOVE	NON-PROTECTED .5:1	0.0 7.2
<u>/</u> 8	12.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
9	6.5	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	6.5
0	6.4	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
1	7.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
2_ 3	30.2	Pecan Pecan	Carya illinoinensis Carya illinoinensis	Healthy Healthy	Single Single	PROTECT PROTECT	2:1 2:1	0.0
<u>5</u> 4	8.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
5	9.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
6	10.2	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
7_	6.3	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8_ 9	9.6	Eastern Redcedar Osage-Orange	Juniperus virginiana Maclura pomifera	Healthy	Single	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
9_ 0	8.4	Eastern Redcedar	Juniperus virginiana	Healthy Healthy	Forked Single	REMOVE	NON-PROTECTED	0.0
1	6.7	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
2	13.2	Eastern Redcedar	Juniperus virginiana	Healthy	Forked	PROTECT	.5:1	0.0
3	9.5	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
<u>4</u>	14.0	Eastern Redcedar Eastern Redcedar	Juniperus virginiana	Healthy	Forked	REMOVE REMOVE	.5:1 .5:1	7.0 9.2
5 6	18.3 8.4	Eastern Reddedar	Juniperus virginiana Juniperus virginiana	Healthy Healthy	Multi Single	REMOVE	NON-PROTECTED	0.0
) 7	11.8	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
3	17.3	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
9	13.0	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
0	10.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
1	11.0	Eastern Redcedar	Juniperus virginiana Machura pomifera	Healthy	Forked	REMOVE	.5:1	5.5
2 3	10.7 9.2	Osage-Orange Eastern Redcedar	Maclura pomifera Juniperus virginiana	Healthy	Forked	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
3_ 4	9.2	Eastern Reddedar	Juniperus virginiana Juniperus virginiana	Healthy Healthy	Single Single	REMOVE	NON-PROTECTED	0.0
<del>1</del> 5	9.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
6	6.9	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
7	13.8	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	.5:1	6.9
3	8.7	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
9 1	8.2	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
) 1	9.0	Eastern Redcedar Eastern Redcedar	Juniperus virginiana Juniperus virginiana	Healthy Healthy	Single Forked	REMOVE REMOVE	NON-PROTECTED NON-PROTECTED	0.0
<u>1</u> 2	7.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
3	8.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
14	8.2	Fastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	



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LOTS 1 & 2 9.6990 ACRES, E.P. GAINS CHISM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: **KE ANDREWS** 1900 DALROCK ROAD ROWLETT, TEXAS 75088

CONTACT: KEVIN LLOYD

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LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 TEL. NO. 972-770-1300 CONTACT: PAT HART, PLA

SHEET NUMBER TP 3.00

Tree #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
90805	8.5	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90806	6.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90807	6.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90808	15.2	Eastern Cottonwood	Populus deltoides	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90809	10.7	American Elm	Ulmus americana	Healthy	Forked	PROTECT	1:1	0.0
90810	8.7	American Elm	Ulmus americana	Healthy	Forked	PROTECT	1:1	0.0
90811	7.4	American Elm	Ulmus americana	Healthy	Single	PROTECT	1:1	0.0
90812	12.5	Eastern Redcedar	Juniperus virginiana	Healthy	Forked	REMOVE	.5:1	6.3
90813	7.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90814	18.5	Eastern Redcedar	Juniperus virginiana	Healthy	Forked	REMOVE	.5:1	9.3
90815	6.5	Eastern Redcedar	Juniperus virginiana	·		REMOVE	NON-PROTECTED	0.0
		Eastern Redcedar		Healthy	Single	REMOVE	NON-PROTECTED	0.0
90816	7.2		Juniperus virginiana	Healthy	Single			
90817	7.5	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90818	7.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90819	8.4	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90820	13.5	Osage-Orange	Maclura pomifera	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
90821	7.8	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90822	6.7	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90823	7.9	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90824	6.9	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90825	7.0	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90826	6.7	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90827	6.7	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90828	5.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90829	6.7	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90830	7.3	Eastern Redcedar	Juniperus virginiana	<u> </u>		REMOVE	NON-PROTECTED	0.0
		Eastern Redcedar	·	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90831	7.0		Juniperus virginiana	Healthy	Single			
90832	6.9	Eastern Redcedar	Juniperus virginiana	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90851	6.0	Hercules-club	Zanthoxylum clava-herculis	Declining	Single	PROTECT	NON-PROTECTED	0.0
90852	13.8	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	.5:1	6.9
90853	7.7	Hackberry	Celtis laevigata	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90854	11.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90855	7.5	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90856	9.6	Eastern Redcedar	Juniperus virginiana	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90857	6.2	Osage-Orange	Maclura pomifera	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90858	9.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90859	11.5	Hackberry	Celtis laevigata	Healthy	Forked	PROTECT	.5:1	0.0
90860	10.7	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90861	11.2	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90862	8.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90863	8.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90864	10.6	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90865	11.5	Osage-Orange	Maclura pomifera	Healthy	Multi	PROTECT	NON-PROTECTED	0.0
90866	9.5	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
	7.4	Hackberry	Celtis laevigata			PROTECT	NON-PROTECTED	0.0
90867		-	-	Healthy	Single			
90868	7.6	Cedar Elm	Ulmus crassifolia	Healthy	Single	PROTECT	1:1	0.0
90869	10.8	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90870	9.6	Cedar Elm	Ulmus crassifolia	Healthy	Single	PROTECT	1:1	0.0
90871	6.3	Cedar Elm	Ulmus crassifolia	Healthy	Single	PROTECT	1:1	0.0
90872	6.4	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90873	9.4	Persimmon	Diospyros virginiana	Healthy	Single	PROTECT	1:1	0.0
90874	12.2	Hackberry	Celtis laevigata	Healthy	Single	PROTECT	.5:1	0.0
90878	9.5	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	9.5
90879	12.0	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	12.0
90880	10.8	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	10.8
90881	12.0	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	12.0
90882	14.2	Cedar Elm	Ulmus crassifolia	Healthy	Single	REMOVE	1:1	14.2
33332	۱،۱۰۲		1	1 rioditity	ı əmigio		1	· ··-

All trees 4-inches and larger at DBH were tagged.

Kimley-Horn red tree tag (series 8273-8318) and SCI green tree tags were used.

TREE INCHES BEING REMOVED	TREE INCHES	REQ. MITIGATION INCHES
TOTAL TREE INCHES BEING REMOVED (PRIMARY PROTECTED TREES, 4"-24" - 1:1 RATIO)	230.7	230.7
TOTAL TREE INCHES BEING REMOVED (SECONDARY PROTECTED TREES, 11"-25" - 1:0.5 RATIO)	198	99
TOTAL TREE INCHES BEING REMOVED (FEATURED TREES, GREATER THAN 25" - 1:2 RATIO)	0	0
TOTAL TREE INCHES BEING REMOVED	428.7	329.7
TREE PRESERVATION CREDITS (EACH SAVED OAK, PECAN, OR ELM > 25" - 1:1 RATIO)	90	90
MITIGATION BALANCE (REQ. MITIGATION INCHES - TREE PRESERVATION CREDITS)		239.7
TOTAL REPLACEMENT TREE INCHES		240
NET TOTAL TREE INCHES AFTER MITIGATION		0.3

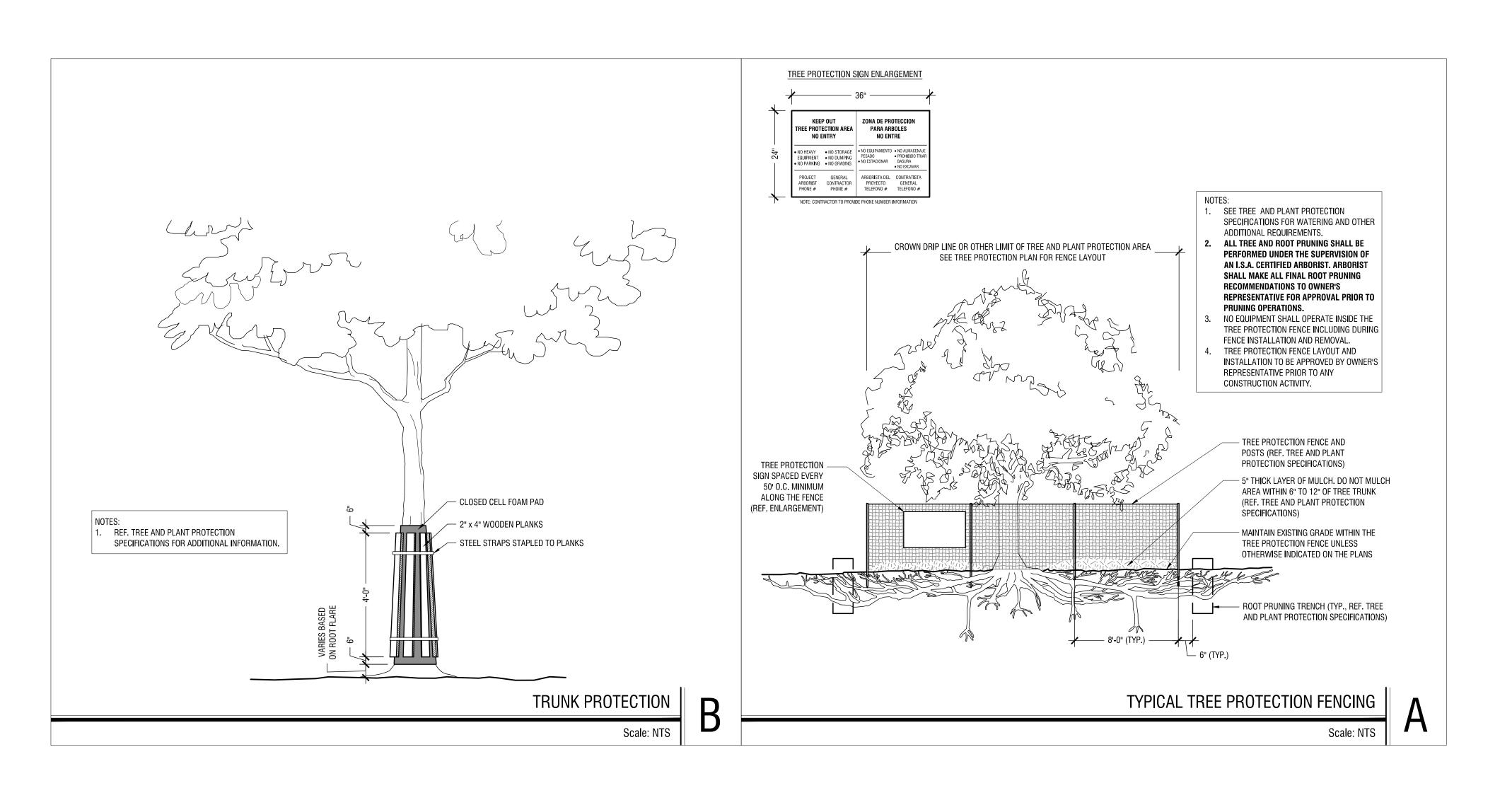
## TREE INVENTORY CONDUCTED BY AND/OR UNDER THE SUPERVISION OF: Alex Brown

ISA Certified Arborist TX-4383A Kimley-Horn and Associates

THE FOLLOWING TREE HEALTH DESCRIPTIONS ARE BASED ON A RAPID VISUAL ASSESSMENT OF INDICATORS WHICH ARE EASILY IDENTIFIABLE FROM GROUND LEVEL AND WITH THE UNAIDED EYE. FOR TREE INVENTORY PURPOSES ONLY.

**HEALTHY**: TREE SHOW SIGNS OF GROWTH. INDICATORS OF DISEASE OR DIEBACK NOT OBSERVED. **DECLINING**: TREE SHOWS VISIBLE SIGNS OF DISEASE (SUCH AS FUNGUS, SLIME FUX, OR BARK SLOUGHING)

HAZARD: TREE SHOWS VISIBLE SIGNS OF DECAY, LIMB FAILURE AND/OR INSTABILITY.



# KE ANDREWS OFFICE

LOTS 1 & 2 9.6990 ACRES, E.P. GAINS CHISM SURVEY

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: **KE ANDREWS** 1900 DALROCK ROAD ROWLETT, TEXAS 75088 CONTACT: KEVIN LLOYD

KIMLEY-HORN AND ASSOCIATES, INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, CONTACT: PAT HART, PLA

ABSTRACT NO. 64

LANDSCAPE ARCHITECT: SUITE 700, DALLAS, TX 75240 TEL. NO. 972-770-1300 EMAIL: KLLOYD@KEATAX.COM

SHEET NUMBER TP 3.01

FOR REVIEW ONLY Not for construction or permit purpose

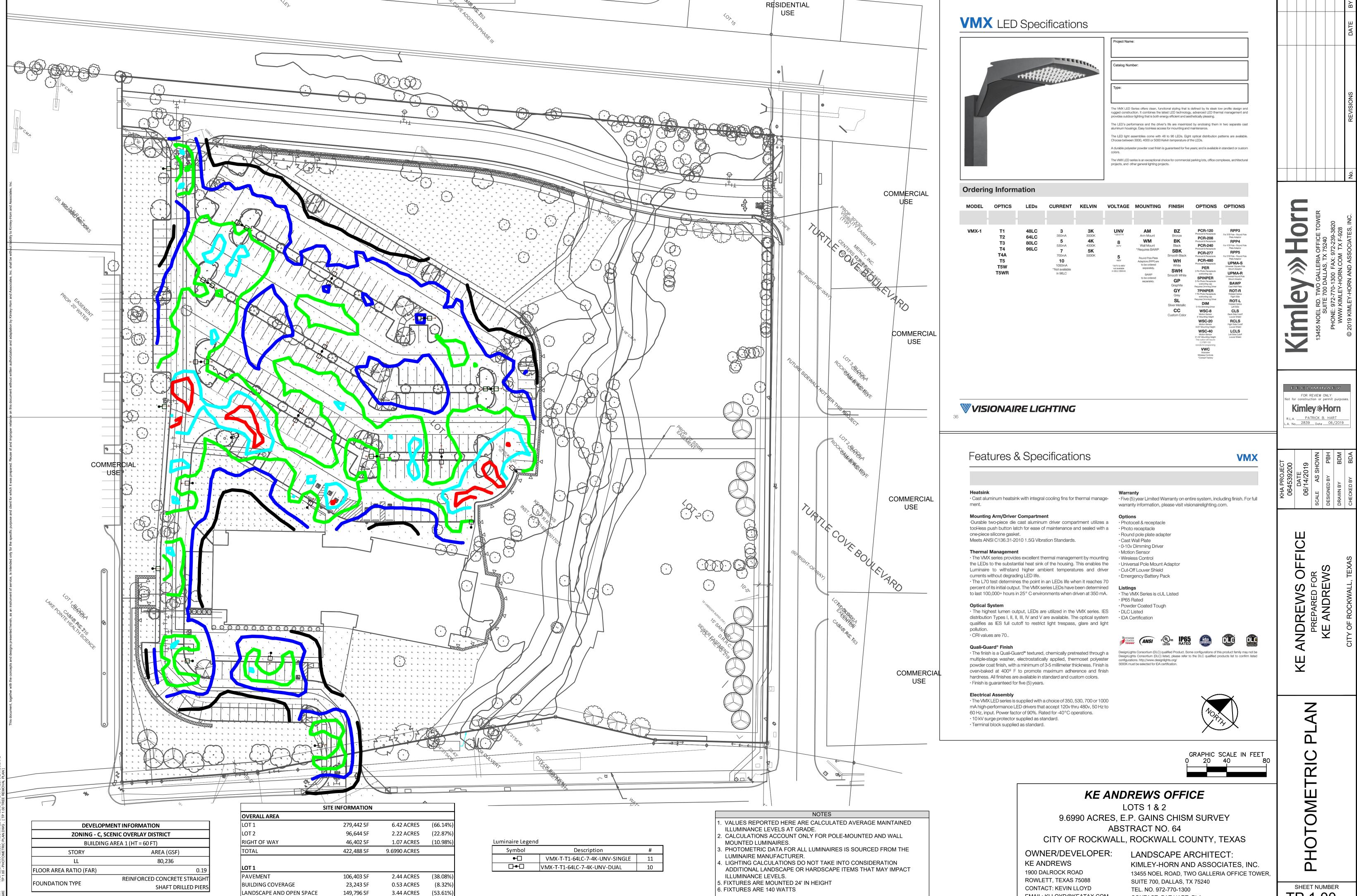
**Kimley Morn** 

R.L.A. PATRICK B. HART L.A. No. 2839 Date 06/2019

REPARED FOR SANDREWS

O %

ANDREWS



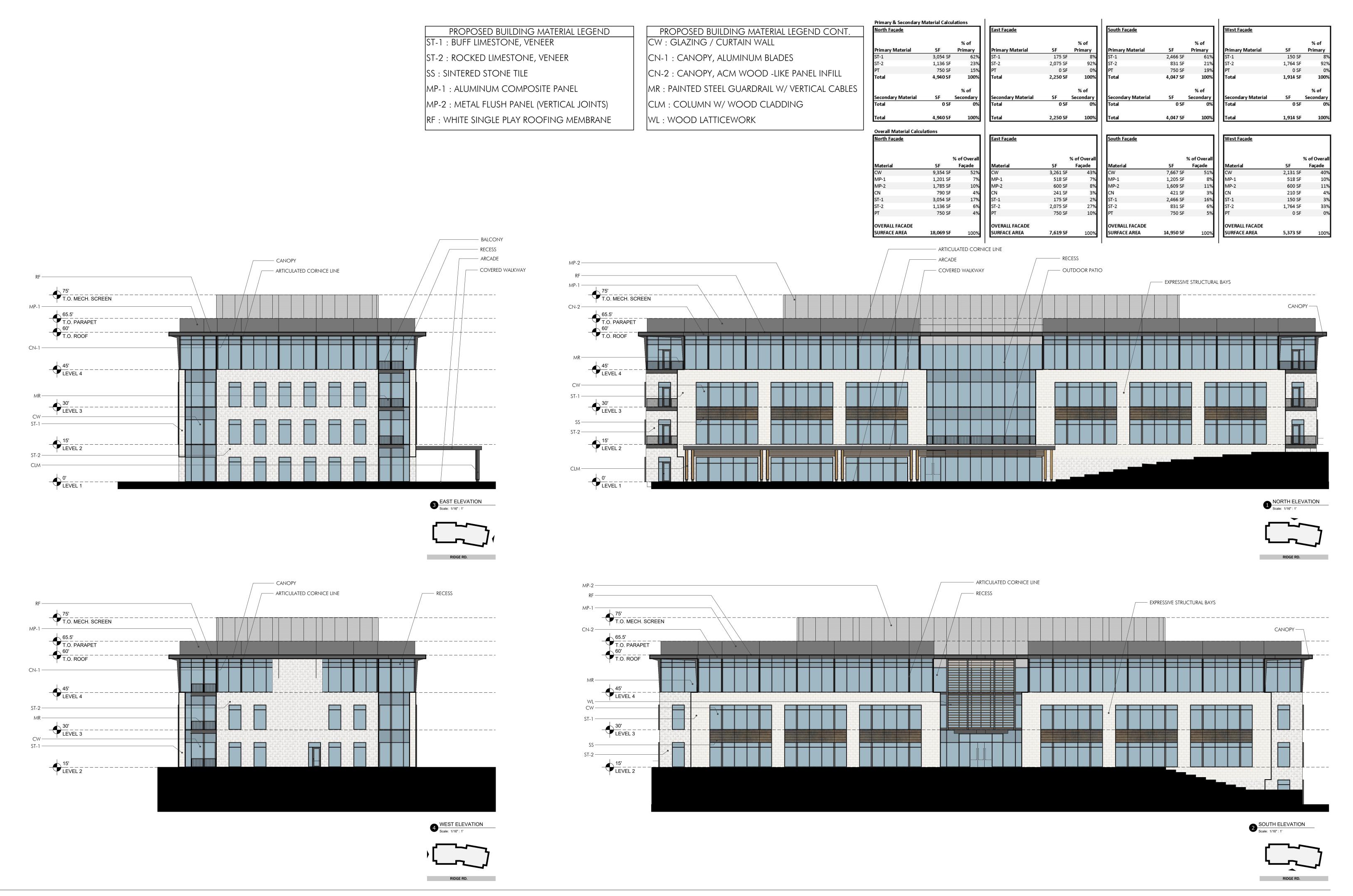
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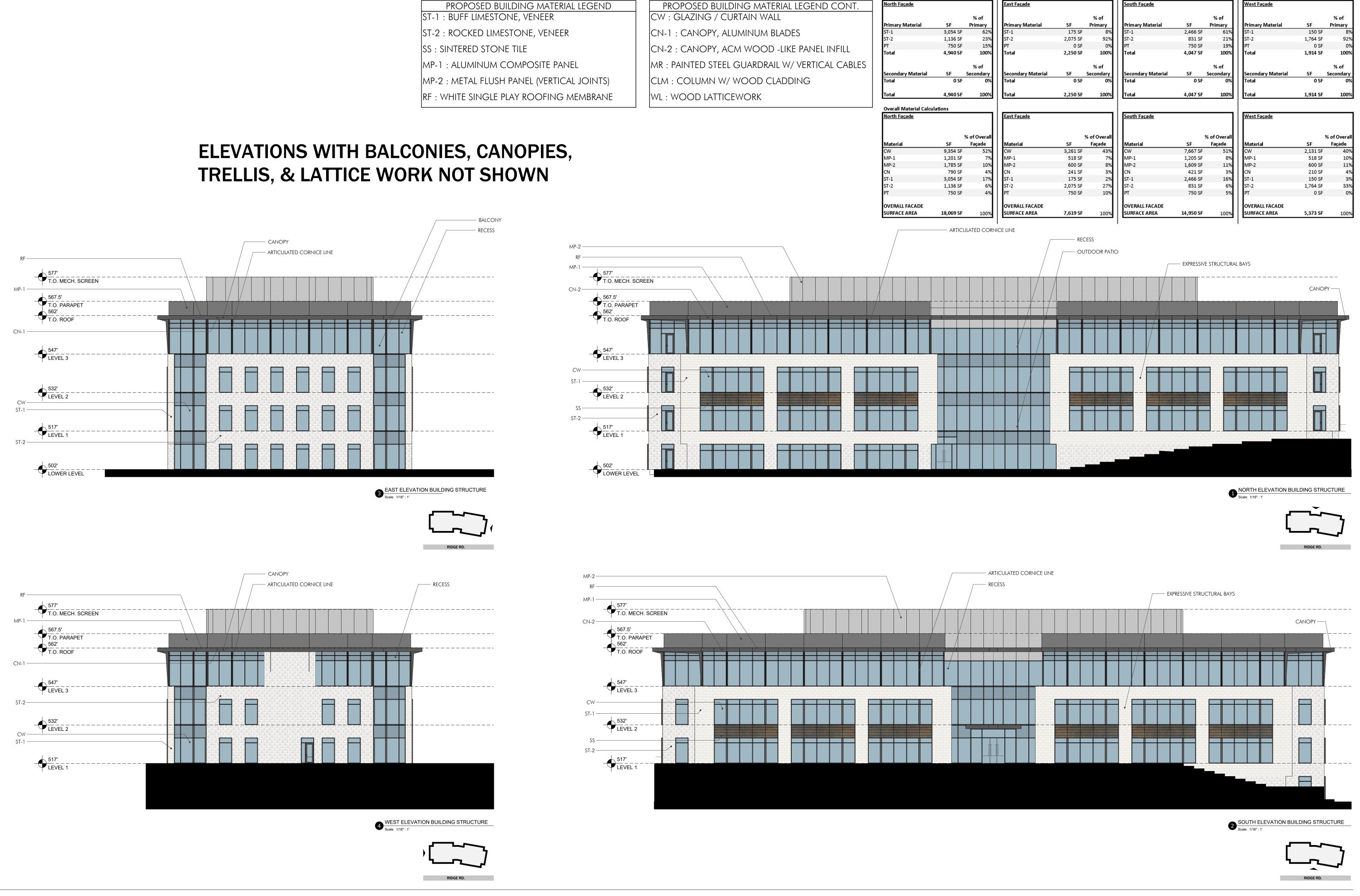
6.42 ACRES

TP 1.00

EMAIL: KLLOYD@KEATAX.COM

CONTACT: PAT HART, PLA





Primary & Secondary Material Calculations

North Façade

West Façade



#### CITY OF ROCKWALL

#### PLANNING AND ZONING COMMISSION MEMORANDUM

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

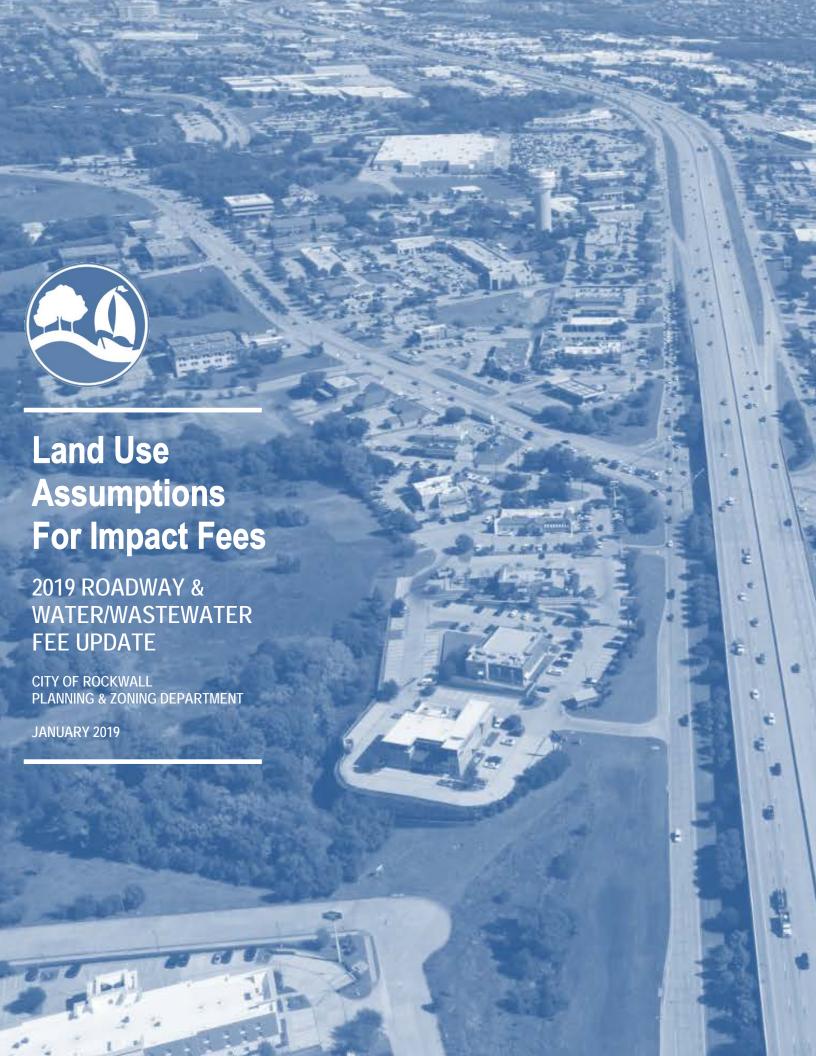
**FROM:** Ryan Miller, *Director of Planning and Zoning* 

**DATE:** June 25, 2019

**SUBJECT:** MIS2019-001; Land Use Assumptions Report

At the last Capital Improvements Advisory Committee (CIAC) meeting on May 28, 2019, the CIAC was presented with preliminary information from the City's consultants concerning the pending 2019 Impact Fee Update. One aspect of the update is the Land Use Assumptions Report, which was prepared inhouse by City staff. This report serves as the basis for all decision making regarding the preparation of impact fees and the capital improvement plan for water, wastewater and roadway facilities. As was presented in the meeting, staff projects the City's growth rate at a Compound Annual Growth Rate (CAGR) of three (3) percent, which is lower than the previous four (4) percent used by the Land Use Assumptions Report approved with the 2014 Impact Fee Update. Staff decided to use this more conservative estimate based on an examination of the City's growth rates over a period from 2000-2018. Contained in this report is the methodology used by staff to make projections for population and employment over the next ten (10) years and at ultimate build out.

At the meeting on June 25, 2019, staff will present the methodology for the attached report, the tenyear growth projections, and the build out analysis contained in the report. Based on this information and the projected three (3) percent CAGR used by staff, the CIAC will be asked to make a motion concerning the acceptance of the *Land Use Assumptions Report*. The growth rate and the acceptance of the report are discretionary decisions for the CIAC; however, staff is confident in the accuracy of the report and would recommend the CIAC consider adopting the report as drafted and with the three (3) percent CAGR. In preparation for this meeting, please review the attached *Land Use Assumptions for Impact Fees Report*, and be prepared to discuss and make comments regarding the assumptions contained in the report.



### **ACKNOWLEDGEMENTS**

#### **CITY COUNCIL**

- JIM PRUITT, MAYOR
- KEVIN FOWLER, MAYOR PRO-TEM
- JOHN HOHENSHELT
- BENNIE DANIELS
- DANA MACALIK
- TRACE JOHANNESEN
- PATRICK TROWBRIDGE

# CAPITAL IMPROVEMENT ADVISORY COMMITTEE [PLANNING AND ZONING COMMISSION]

- JOHNNY LYONS, CHAIRMAN
- ERIC CHODUN, VICE-CHAIRMAN
- ANNIE FISHMAN
- MARK MOELLER
- JERRY WELCH
- TRACEY LOGAN
- JOHN WOMBLE

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- DAVID GONZALES, AICP, PLANNING MANAGER
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- JORGE RUIZ, GIS TECHNICIAN

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- JEREMY WHITE, PE, ENGINEER
- SARAH HAGER, EIT

#### **BUILDING INSPECTIONS DEPARTMENT**

• JEFFERY WIDMER, CHIEF BUILDING OFFICIAL

#### ADDITIONAL ACKNOWLEDGEMENTS

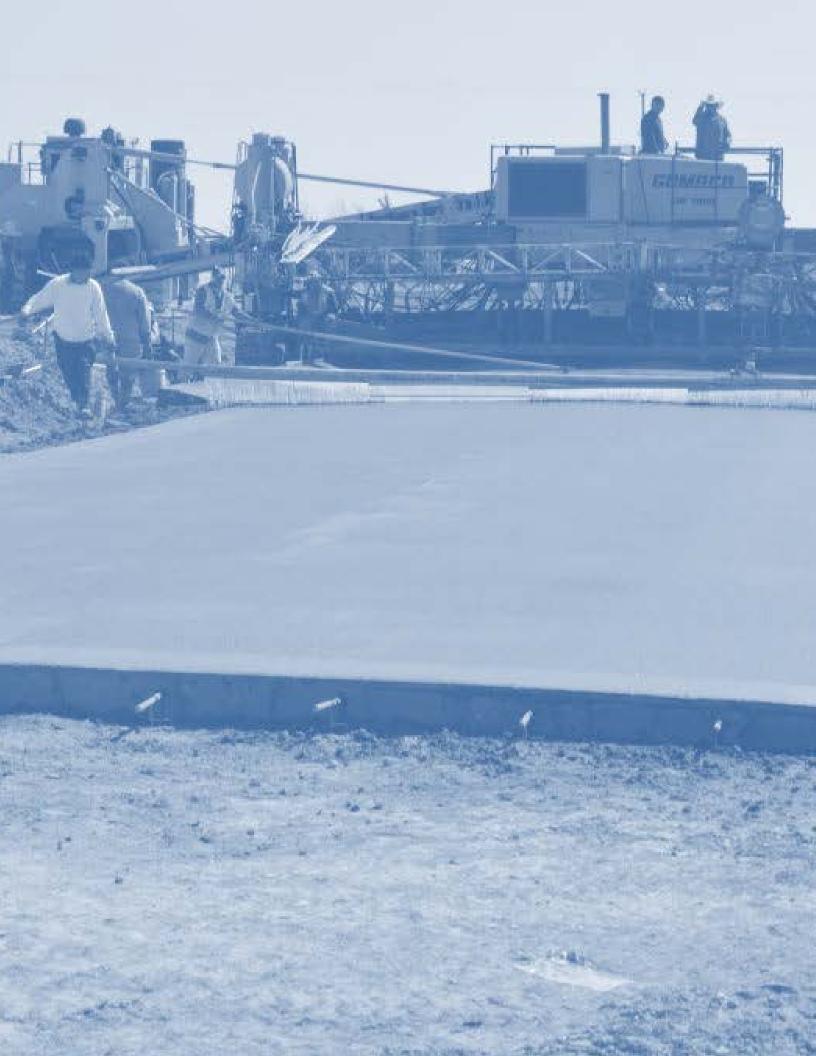
- BIRKHOFF, HENDRICKS & CARTER, LLP
- FREESE & NICHOLS, INC.





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#### **FORWARD**

What are *Impact Fees? Impact Fees* are charges that are imposed by local governments against new development for the purpose of generating revenue for or to recoup the cost of capital facilities (*i.e. infrastructure*) that are necessitated by and attributable to new development. These fees are generally implemented to reduce the economic burden of a municipality and its taxpayers when addressing the need for adequate capital improvements to accommodate growth. Impact fees are typically paid to a municipality in advance of the completion of a particular development project, and are based on a defined methodology and calculation that is derived from the cost of the facility and the scope/impact of the development.

### **PURPOSE**

Chapter 395, Financing Capital Improvements Required by New Development in Municipalities, Counties, and Certain Other Local Governments, of the Texas Local Government Code outlines the process for adopting and updating impact fees for political subdivisions. On October 20, 2014, the City of Rockwall adopted roadway and water/wastewater impact fees through Ordinance No. 14-47. According to the statutory requirements stipulated by the Texas Local Government Code impact fees are required to be updated at a minimum of every five (5) years [§395.052].

In approaching an update to existing impact fees it is important for a city to assess its growth and employment potential, and establish land use assumptions that will guide development for a ten (10) year planning period (i.e. 2019-2029) [§395.001(5)]. These land use assumptions form the basis for the preparation of the *Impact Fee Capital Improvement Plan* for water, wastewater, and roadway facilities.

In order to determine the need and timing of capital improvements to serve future development, a rational estimate of the future growth of the City is required. The purpose of this report is to formulate growth and employment projections based upon assumptions pertaining to the type, location, quantity and timing of future development within the City, and to establish and document the methodology used for preparing these land use assumptions.

# ELEMENTS OF THE LAND USE ASSUMPTIONS REPORT

This report contains the following components:

 <u>Methodology</u>: This component of the report contains the systematic and theoretical analysis of the methods and

- principals used to prepare the projections and land use assumptions contain within this report.
- <u>Data Collection Zones and Service Areas</u>: This component provides an explanation of the data collection zones (i.e. Land Use Districts established in the OURHometown 2040 Comprehensive Plan) and the Roadway, Water and Wastewater Impact Fee Service Areas for capital facilities.
- <u>Base Year Data</u>: This component provides information on population, housing and employment in the City of Rockwall as of January 1, 2019 for each capital facility service area.
- <u>Ten-Year Growth Projections</u>: This component provides assumptions with respect to the population, housing and employment data for the City of Rockwall in ten (10) years (i.e. 2029). This information is broken out by the capital facility service area.
- <u>Build Out Analysis:</u> This component provides projections for population, housing and employment under the assumption that the City and its Extraterritorial Jurisdiction (ETJ) are developed to their carrying capacity, or their <u>Built</u> Out.
- <u>Summary</u>: This component provides a synopsis of the land use assumptions contained within this report.
- <u>Appendices:</u> This component contains information that was important in deriving the population, housing and employment projections for 2019-2029.



### **METHODOLOGY**

Building off the base year and build out projections contained in the OURHometown Vision 2040 Comprehensive Plan, and the growth assumptions and capital improvement needs estimated to support future growth, it is possible to develop an impact fee structure that fairly allocates improvement cost to growing areas of the City with relation to the growths' potential impact on the entire infrastructure system. The data contained in this report has been formulated using reasonable and generally accepted planning principles.

These land use assumptions and future growth projections take into consideration several factors influencing development patterns, including:

- The character, type, density and quantity of existing development.
- The current zoning patterns as documented on the City's zoning map and the anticipated future land uses as established in the OURHometown Vision 2040 Comprehensive Plan, which contains the City's Future Land Use Plan.
- The availability of land and infrastructure to support future expansion of development.
- The current and historical growth trends of both population and employment within the City.
- The location and configuration of vacant parcels of land and their ability to support development.
- The growth of employment utilizing previously established and generally accepted data from ESRI's ArcGIS Business Analyst.
- Local knowledge concerning future development projects or anticipated development within the city.

# LAND USE ASSUMPTIONS REPORT METHODOLOGY

The following is the general methodology that was used for the preparation of this report:

(1) Population, housing and employment data was collected from the United States Census Bureau, North Central Texas Council of Governments (*NCTCOG*), the City of Rockwall's Geographic Information Systems (GIS) Division, the City of Rockwall's Building Inspection Department and other acceptable sources. This information was then analyzed and used to provide base information for all service areas from which projections

- could be extrapolated [see Service Areas and Data Collection Zones].
- (2) The base year (*i.e. January 1, 2019*) estimates for housing, population and employment were calculated based on the information collected [see *Base Year Data*].
- (3) From the base year and the information gathered from various sources a growth rate was established by examining recent growth trends experienced by the City over the last ten (10) years. This growth rate was then applied to each of the impact fee service areas to project the base year data over the ten (10) year planning period (i.e. 2019-2029) [see Ten Year Growth Assumptions].
- (4) After the projections for housing, population and employment were prepared for the ten (10) year planning period, city staff made adjustments to account for known or anticipated development activity within the planning periods. In making these adjustments city staff took into consideration the recommendations made within the newly adopted OURHometown Vision 2040 Comprehensive Plan, existing public works data, and demographic information provided by the GIS Division and the Building Inspections Department.
- (5) Finally, the City's *Build Out* projections for housing, population and employment were calculated by establishing the City's carrying capacity in terms of developable acres and projecting population forward using the previously established Compound Annual Growth Rate (CAGR) to establish a *Build Out Year*. The housing and employment information were then projected to the *Build Out Year* [see *Build Out Projections*].

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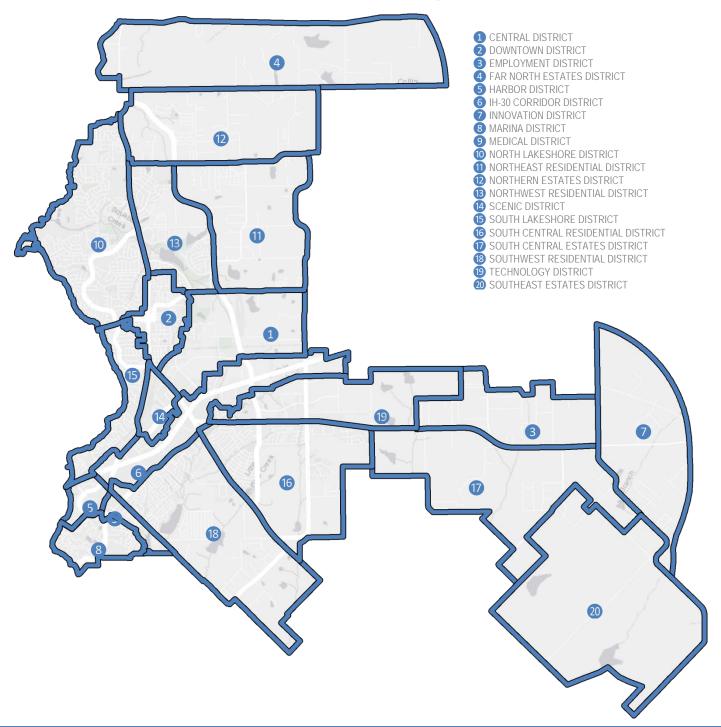
### DATA COLLECTION ZONES AND SERVICE AREAS

#### DATA COLLECTION ZONES

The *Data Collection Zones* used for this study were taken from the OURHometown Vision 2040 Comprehensive Plan, which breaks the City down into 20 *Land Use Districts* (see Figure 1). These districts were created as a way of breaking down the overall *Future Land Use Plan* to create strategies to help manage growth and land uses in the future. They were also intended to be used as a tool by the City's various boards, commissions and the City Council when contemplating policy changes that could affect certain areas of the City.

#### FIGURE 1: DATA COLLECTION ZONES

NOTE: The Data Collection Zones are the Land Use Districts contained in the OURHometown Vision 2040 Comprehensive Plan.





#### **SERVICE AREAS**

The Texas Local Government Code (TLGC) requires that service areas be established within the corporate boundaries of a political subdivision for the purpose of ensuring that capital improvements service the areas generating need. The boundaries for impact fees are defined as follows:

- Roadway Impact Fees refers to a service area that is limited to the corporate boundaries of a political subdivision or city, and cannot extend into the Extraterritorial Jurisdiction (ETJ) or for a distance exceeding more than six (6) miles. The City of Rockwall is divided into four (4) service areas that are depicted in Figure 3.
- <u>Water and Wastewater Impact Fees</u> refers to a service area that includes a city's corporate boundaries and Extraterritorial Jurisdiction (ETJ), which is depicted in Figure 2. This service area is depicted in Figure 4.

#### SUMMARY OF DATA

As opposed to the databases calculated in 2007 and 2013 -- which utilized Traffic Survey Zones (TSZ) as the data collection zones -- the current database utilizes the following geographic areas:

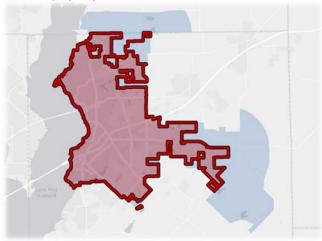
- Land Use Districts from the OURHometown Vision 2040 Comprehensive Plan. These geographic areas better conformed to the City's corporate boundaries, and were drafted with the OURHometown Vision 2040 Comprehensive Plan as the geographic regions intended to be used for all future long-range planning/data collection exercises.
- Service Areas. The Service Areas correlate to the Water, Wastewater and Roadway Service Areas identified in Figures 3 & 4. As previously stated, the corporate boundaries of the City of Rockwall serve as the limits for the Roadway Service Areas and the Water and Waste Water Service Areas include the corporate boundaries and the Extraterritorial Jurisdiction (ETJ) of the City.

Additionally, all databases and projections utilized the following variables:

Households (2019). The Residential Address Point feature class in the City's Geographic Information Systems (GIS) software includes all residential addresses (i.e. single-family, duplex, multi-family, group home/quarters, etc.) existing as of January 1, 2019. The total number of residential address points (i.e. households) was queried from this layer to establish the base years' numbers.

# FIGURE 2: CITY OF ROCKWALL CITY LIMITS AND EXTRATERRITORIAL JURISDICTION (ETJ.)

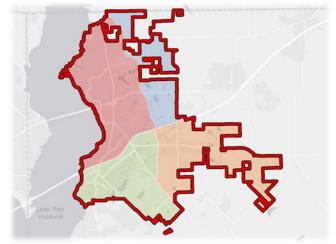
NOTE: The City Limits of Rockwall are depicted in RED. The Extraterritorial Jurisdiction (ETJ) is depicted in BLUE.



#### FIGURE 3: ROADWAY SERVICE AREAS

This is the derived service area structure for roadway facilities. These service areas conform to the current city limits of the City of Rockwall and are divided by John King Boulevard and Interstate Highway 30.

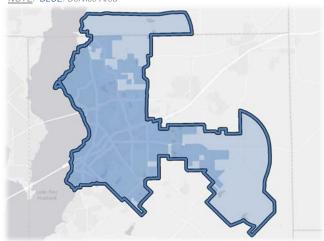
NOTE: RED: Service Area 1; BLUE: Service Area 2; GREEN: Service Area 3; YELLOW: Service Area 4



#### FIGURE 4: WATER/WASTE WATER SERVICE AREAS

This is the derived service area structure for water/wastewater facilities. These service areas conform to the current city limits and Extraterritorial Jurisdiction (ETJ).

NOTE: BLUE: Service Area



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- ➤ Households (2029). This is the projected household data by service area for the year 2029, which represents a ten (10) year growth projection. This information was derived by staff using the stated databases and proper projection techniques.
- ➢ Population (2019). This is the existing population for the base year (i.e. 2019). This information was calculated utilizing the number of households existing as of January 1, 2019, the occupancy, rate and the average household size as established by the United States Census Bureau for each Census Block.
- Population (2029). This is the projected population by service area for the year 2029, which represents a ten (10) year growth projection. This information was derived by staff using the stated databases and proper projection techniques.
- Employment (2019). Employment data was aggregated to three (3) employment sectors, which include Basic, Retail and Service as provided by the Business Analyst tool available from ESRI (the City's provider for its geospatial database software). These service sectors serve as the basis for non-residential trip generation. The following is a summary of these employment sectors followed by corresponding North American Industry Classification System (NAICS) code:
  - Basic. Land use activities that produce goods and services such as those that are exported outside the local economy. These include manufacturing, construction, transportation, wholesale trade, warehousing and other industrial uses (NAICS Code: #210000 -#422999).
  - Retail. Land use activities that provide for the retail sale of goods that primarily serve households and whose location choice is oriented toward the residential sector. These include uses such as grocery stores, restaurants, etc. (NAICS Code: #440000 - #454390).
  - Service. Land use activities that provide personal and professional services. These include such uses as financial, insurance, government, and other professional and administrative offices (NAICS Code #520000 - #928199).
- Employment (2029). The projected employment data was aggregated to three (3) employment sectors, which include Basic, Retail and Service as provided by the Business Analyst tool available from ESRI. These service sectors were then projected by service

area to the year 2029, which represents a ten (10) year growth projection. This information was derived by staff using the stated databases and proper projection techniques.



### BASE YEAR DATA

This section documents the methods used to derive the base year data for the City of Rockwall as of January 1, 2019. This benchmark information provides data for the corporate limits and Extraterritorial Jurisdiction (ETJ) of the City, and creates a starting point in which to extrapolate the ten (10) year growth projections that are depicted in the following section (see Ten-Year Growth Projections). This information was initially developed with the OURHometown Vision 2040 Comprehensive Plan, but has been updated to include the additional growth that has taken place since the original numbers were derived and the numbers for January 1, 2019.

#### **HOUSEHOLDS**

Utilizing the City's Geographic Information System (GIS) software, the residential addresses for each data collection zone (*i.e. Land Use Districts*) were queried. This provided the raw housing data that was then reviewed to remove any vacant lots or anomalies in the data set. Based on this process, the City of Rockwall was shown to have 16,690 households inside the City's corporate limits and 1,700 households in the City's Extraterritorial Jurisdiction (ETJ) as of January 1, 2019. The total number of households is 18,390. Staff should note that this query included all residential housing types (*i.e. multi-family, single-family, and group homes*) from the data sets.

#### **POPULATION**

The City of Rockwall generally uses the North Central Texas Council of Government's (NCTCOG) population estimates as the City's official population; however, for the purposes of this planning study it was necessary to calculate a baseline population that was specific to January 1, 2019. This was also necessary in order to estimate the population of the City's Extraterritorial Jurisdiction (ETJ).

To calculate the population as of January 1, 2019, the City's Geographic Information Systems (GIS) Division utilized the following formula to derive the population estimate for each of the data collection zones:

$$\sum_{d=1}^{20} POP = ((a*o)*f)$$

Where:

POP = Population as of January 1, 2019

d = Land Use District

 $\alpha$  = Number of Residential Address Points in Each District

o = Occupancy Rate [per U.S. Census Bureau]

f = Density Factor per Census Block [U.S. Census Bureau]

Using this methodology the base year population as of January 1, 2019 was established to be 44,575 residents inside the corporate limits and 5,041 people residing in the Extraterritorial Jurisdiction (ETJ).

#### **FMPI OYMENT**

The base employment data was calculated using ArcGIS Business Analyst, which is software that provides locationbased market information. Utilizing this tool, the City's Geographic Information Systems (GIS) Division was able to query employment and business information relating to each data collection zone (i.e. Land Use District). This information was then broken down into one (1) of the three (3) employment categories (i.e. Basic, Service, or Retail). Based on the analysis, the City's corporate limits were shown to have a total employment of 24,083 jobs on January 1, 2019. Of the total employment 2,505 jobs were classified as Basic, 12,403 jobs were classified as Service, and 9,175 jobs were classified as Retail. The Extraterritorial Jurisdiction (ETJ) was shown to have an additional 643 jobs, with 535 jobs being classified as Service and 108 jobs being classified as Retail. In addition, the GIS Division calculated the total non-residential building square footages (i.e. improvements) relating to all of these employment types at ~14,444,596 SF inside the City's corporate boundaries and Extraterritorial Jurisdiction (ETJ), with ~3,209,401 SF being classified as Basic, ~5,374,068 SF being classified as Service, and ~5,861,127 SF being classified as *Retail*. The total non-residential square footage of land area 139,424,433.67 (or 3,200.74-acres), with 11,967,581.81 SF being classified as Basic, 58,451,896.18 SF being classified as Service, and 69,004,955.68 SF being classified as Retail.

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# TEN-YEAR GROWTH PROJECTIONS

#### **GROWTH ASSUMPTIONS**

In this planning study, growth is characterized in two (2) forms:

1) Population (*i.e. residential land use*), and 2) Employment (*i.e. non-residential land use*). To calculate a reasonable growth rate for population and employment it was necessary for staff to make a series of assumptions on which to base the ten (10) year growth projections. These assumptions are summarized as follows:

- Future growth identified within this study will conform to the *Future Land Use Plan* depicted in the OURHometown Vision 2040 Comprehensive Plan.
- Infrastructure will continue to be development driven, and the City will continue to be able to finance any other necessary improvements needed to accommodate future growth.
- School facilities will continue to be sufficient to accommodate any increases in population.
- Densities will generally conform to the land classifications and *District Strategies* identified within the OURHometown Vision 2040 Comprehensive Plan, and as depicted on the Future Land Use Map.
- ➤ The residential and non-residential carrying capacity for the City or its *build out* will occur simultaneously.

The ten (10) year projections for population are based on the growth rate, which was previously discussed and staff's consideration of past development trends. The ten (10) year projections for employment are based on the overall carrying capacity for non-residential development compared to the current non-residential development in the City. *Tables 1 & 2* detail the ten (10) year projections for households, population and employment for the service areas associated with roadway and water/wastewater impact fees.

#### POPULATION GROWTH RATE ANALYSIS

The City of Rockwall has experienced steady residential population growth (see Figure 5) over the last 18-years and --with the City being ~48.29% vacant and taking into account the City's current availability of water and wastewater infrastructure -- staff anticipates that the population growth will continue to be fairly steady. It should be noted, however, that the City has seen a slight decline in the population growth percentage over the last five (5) years. From 2000 to 2018, the population growth percentage was 5.08%, but when looking at the last five (5) years this number drops to 1.79% (see Table 3).

TABLE 1: SUMMARY OF TEN-YEAR GROWTH
(ALL ROADWAY SERVICE AREAS)

	2019	2029	Increase
Households	16,690	22,135	24.60%
Population	44,575	59,898	25.58%
Total Employment	24,083	32,366	25.59%
Basic	2,505	3,367	25.60%
Service	12,403	16,669	25.59%
Retail	9,175	12,330	25.59%
'			

TABLE 2: SUMMARY OF TEN-YEAR GROWTH (WATER/WASTE WATER SERVICE AREA)

	2019	2029	Increase
Households	18,390	26,609	30.89%
Population	49,616	73,228	32.24%
Total Employment	25,369	34,065	25.53%
Basic	2,505	3,367	25.60%
Service	13,473	18,082	25.49%
Retail	9,391	12,616	25.56%

#### FIGURE 5: POPULATION BY AGENCY, 2000-2018



To calculate the ten (10) year population projections, City staff utilized the *Compound Annual Growth Rate (CAGR)* method. CAGR allows for a general assessment of growth when considering periodic increases and decreases in residential



population growths that coincide with changing economic conditions. The formula for CAGR is as follows:

$$CAGR = \left(\frac{x}{v}\right)^{\left(\frac{1}{n}\right)} - 1$$

Where:

CAGR = Compound Annual Growth Rate

x = End Value

y = Beginning Value

n = Number of Years

In 2007, a CAGR of four (4) percent was used to calculate the ten (10) year population projections; however, based on the five (5) year annual growth rate and the number depicted in *Table 3*, staff utilized a more conservative three (3) percent annual growth rate. In assessing the past growth rates, staff used several sources including the North Central Texas Council of Governments (NCTCOG), the U.S. Census Bureau, and the City of Rockwall. Based on a three (3) percent CAGR, the following chart shows the anticipated population growth over the next ten (10) years:

TABLE 4: TEN (10) YEAR POPULATION GROWTH

This table shows the projected ten (10) year population growth at a three (3) percent Compound Annual Growth Rate (CAGR).

Year	Population
2019	44,575
2020	45,907
2021	47,284
2022	48,703
2023	50,164
2024	51,669
2025	53,219
2026	54,815
2027	56,460
2028	58,154
2029	59,898

#### TABLE 3: CITY OF ROCKWALL GROWTH RATES

Data Source	Growth Rate
2014 – 2017 US Census	1.70%
2010 – 2017 US Census	2.08%
2000 – 2017 US Census	5.13%
2014 - 2018 Single Family Permits	1.82%
2010 – 2018 Single Family Permits	4.80%
2000 – 2018 Single Family Permits	-2.93%
Future Growth Projection	3.0%
rulure Growin Projection	3.0%

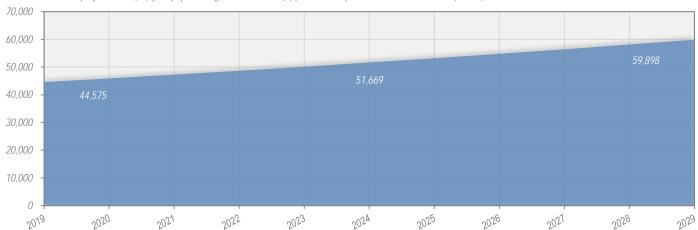
#### PROJECTED POPULATION FOR 2029

Utilizing the three (3) percent Compound Annual Growth Rate (CAGR) established in the previous section, staff projects that the population for the City will be 59,898 in 2029 (see Table 4 and Figure 6). This estimate does appear to be consistent with trends that have been observed at the county and regional level (see Figure 7 for a comparison of the City's population growth versus the County's population growth). Although, the growth rate has slowed over the last five (5) years this is seen as a temporary trend and not a sign indicative of the City's future growth trend.

In determining this population projection, staff observed how this projection would relate to the City's projected building permits, and the additional population added to the City on an annual basis (see Table 5). Taking this into consideration, the estimated average annual building permits anticipated over this time period is approximately 522. This represents a decrease of approximately 121 permits annually from the estimates completed in 2014. This estimate -- while still likely high in some years due to shifts in market demand -- is a more conservative estimate than what was used in 2014. It should be noted that this estimate takes into consideration the type of development likely to occur in a given area (i.e. single-family or multi-family).

#### FIGURE 6: TEN (10) YEAR POPULATION GROWTH

This chart shows the projected ten (10) year population growth at a three (3) percent Compound Annual Growth Rate (CAGR).



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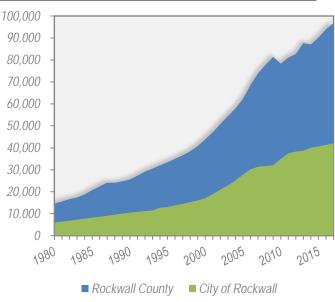
TABLE 5: PROJECTED BUILDING PERMITS

Year	Population	New Residents	New Building Permits
2019	44,575	825	294
2020	45,907	1,332	474
2021	47,284	1,377	490
2022	48,703	1,419	505
2023	50,164	1,461	520
2024	51,669	1,505	536
2025	53,219	1,550	552
2026	54,815	1,597	568
2027	56,460	1,644	585
2028	58,154	1,694	603
2029	59,898	1,745	621

#### PROJECTED EMPLOYMENT FOR 2029

Employment data for the year 2029 was calculated by taking the information established in the base year analysis -- which was obtained through the ArcGIS Business Analyst tool -- and the corresponding ratio of employment to population, and extrapolating this information out to January 1, 2029. These estimates are summarized in Appendix C, Employment Breakdown by Roadway Service Area, and Appendix D, Employment Breakdown by Water/Wastewater Service Area.







### **BUILD OUT ANALYSIS**

A *Build Out Projection* for a city (also referred to as the city's *Carrying Capacity*) is an estimate of the location and density of all potential development, employment and population that a city can support within its future corporate boundaries.

# ESTABLISHING HOUSEHOLDS AND POPULATION AT THE CITY'S BUILD OUT

As part of the newly adopted OURHometown Vision 2040 Comprehensive Plan, City staff calculated the number of households and residents at *Build Out*. In establishing the City's households and population at *Build Out* staff made the following assumptions:

- All vacant or undeveloped land within the City's corporate boundaries will develop with the maximum density permitted for the current zoning per the Unified Development Code (UDC).
- ➤ All Agricultural (AG) District property is assumed to be vacant or undeveloped and will develop at the maximum density permitted in accordance to the property's' designation on the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.
- ➤ All property within the Extraterritorial Jurisdiction (ETJ) is assumed to be vacant and will be developed in conformance with the Future Land Use Map at the maximum density permitted by the OURHometown Vision 2040 Comprehensive Plan.
- The City's ETJ is fixed and will not increase in the future.

Taking these assumptions into consideration, staff utilized Geographical Information Systems (GIS) software to calculate all the undeveloped land within the city's corporate boundaries, including the ETJ. Once calculated the acreages were broken down by land use and multiplied by the maximum density permitted for each of the land uses as established within the Unified Development Code (UDC) and the Comprehensive Plan. These totals were then multiplied by the average people per household [i.e. 2.81 per the US Census Bureau] to establish the unadjusted population at Build Out. Staff then reviewed the projected densities coupled with current land use patterns, and adjusted the numbers to account for known or anticipated development activity. Based on the final Build Out population (i.e. 149,525), staff projected the population forward using the previously established three (3) percent Compound Annual Growth Rate (CAGR) [see the Ten-Year Growth Assumptions section until the build out population was reached (see Table 6). This established a build out year of 2060. The following formula lays out the methodology used to calculate these numbers:

TABLE 6: PROJECTED POPULATION @ 3% COMPOUND ANNUAL GROWTH (CAGR)

Year	Population	New Residents
2018	43,750	1,630
2019	44,570	820
2020	45,907	1,337
2021	47,284	1,377
2022	48,703	1,419
2023	50,164	1,461
2024	51,669	1,505
2025	53,219	1,550
2026	54,815	1,597
2027	56,460	1,644
2028	58,154	1,694
2029	59,898	1,745
2030	61,695	1,797
2031	63,546	1,851
2032	65,453	1,906
2033	67,416	1,964
2034	69,439	2,022
2035	71,522	2,083
2036	73,667	2,146
2037	75,877	2,210
2038	78,154	2,276
2039	80,498	2,345
2040	82,913	2,415
2041	85,401	2,487
2042	87,963	2,562
2043	90,602	2,639
2044	93,320	2,718
2045	96,119	2,800
2046	99,003	2,884
2047	101,973	2,970
2048	105,032	3,059
2049	108,183	3,151
2050	111,429	3,245
2051	114,771	3,343
2052	118,215	3,443
2053	121,761	3,546
2054	125,414	3,653
2055	129,176	3,762
2056	133,052	3,875
2057	137,043	3,992
2058	141,154	4,111
2059	145,389	4,235
2060	149,751	BO: 149,525
2300	8	<b>20.</b> 117,020

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$$BO = P + CP + EP$$
  
 $CP = (\sum [(LU_1xD_1) ... (LU_x xD_x)])x$  AHS  
 $EP = (LDR x 2.5) + (MDR x 3.5) + (HDR x 5)$ 

Where:

BO = Build Out Population

P = Population as of January 1, 2019

CP = Population of Vacant or Undeveloped Land in the City Limits

*EP* = Population of Vacant or Undeveloped Land in the ETJ

LU = Vacant Available Land Inside the City Limits for a Land Use

D = Maximum Density Permitted for a Land Use per UDC

AHS = Average Household Size [2.81185 per US Census Bureau]

LDR = Low Density Residential Acreage Available in ETJ

MDR = Medium Density Residential Acreage Available in ETJ

HDR = High Density Residential Acreage Available in ETJ

# ESTABLISHING EMPLOYMENT AT THE CITY'S BUILD OUT

To calculate employment at *Build Out*, staff utilized the employment numbers calculated with the base year analysis, and -- based on the estimated current year population -- calculated ratios between employment and population for the City and its Extraterritorial Jurisdiction (ETJ). These ratios were then used to extrapolate the number of employees for basic, service and retail sectors for the ten (10) year and build out projections.



### **SUMMARY**

The following is a summary of staff's findings when preparing the *Land Use Assumption Report* in preparation for the update of the Roadway, Water and Wastewater Impact Fees for 2019:

- The average annual growth rate as calculated by staff is three (3) percent. This growth rate was established based on data from the US Census, North Texas Council of Governments (NCTCOG), the City and County of Rockwall. Using this growth rate staff projected the following population numbers:
  - The population of the City of Rockwall as of January 1, 2019 was 44,691. This is expected to increase by 25.39% in the next ten (10) years to an estimated 59,898 by January 1, 2029.
  - The population for the City of Rockwall and its Extraterritorial Jurisdiction (ETJ) as of January 1, 2019 was 49,743. This is expected to increase by 32.07% in the next ten (10) years to an estimated 73,228 by January 1, 2029.
- The estimated employment for the City of Rockwall as of January 1, 2019 was 24,083 jobs, with another 1,286 jobs existing within its Extraterritorial Jurisdiction (ETJ). Staff estimates this number to climb to 32,366 jobs within the current city limits, and another 1,699 jobs within the current Extraterritorial Jurisdiction (ETJ) by January 1, 2029.
- ➤ Staff has established that there are currently 8,204.17 undeveloped acres of land within the city limits. This represents ~48.29% of the current land in the City. Additionally, the City of Rockwall has access to another 14,083.24-acres of land within its current Extraterritorial Jurisdiction (ETJ). Approximately 75.11% (10,577.67-acres) of the land within this area is vacant.
- According to staff's estimate, the City of Rockwall is expected to be built out in the year 2060, with a total population of 149,525.

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# APPENDIX A: SUMMARY OF ROADWAY SERVICE AREAS

#### **SERVICE AREA 1**

	ESTIMATI	ES (JANUAR	Y 1, 2019)	PROJECTIO	ONS (JANUA	RY 1, 2029)	<b>BUILD OUT PROJECTIONS (2060)</b>		
DISTRICTS	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Central District	216	455	2,332	427	899	3,134	816	1,714	4,331
Downtown District	971	2,332	3,105	1,056	2,519	4,173	1,060	2,531	5,767
IH-30 Corridor District	-	-	2,825	-	-	3,797	-	-	5,247
North Lakeshore District	3,884	11,081	944	4,318	12,324	1,269	4,326	12,350	1,753
Northern Estates District	3	9	4	12	34	5	184	513	7
Northwest Residential District	1,422	3,974	667	2,291	6,401	896	2,324	6,493	1,239
Scenic District	1,084	2,280	1,161	1,217	2,559	1,560	1,248	2,624	2,156
South Lakeshore District	1,578	3,317	968	1,578	3,317	1,301	1,595	3,352	1,798
	9,158	23,448	12,006	10,898	28,053	16,135	11,553	29,577	22,298

#### **SERVICE AREA 2**

	ESTIMAT	ES (JANUAR	Y 1, 2019)	PROJECTIO	ONS (JANUA	ARY 1, 2029)	BUILD	OUT PROJE( (2060)	CTIONS
DISTRICTS	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
IH-30 Corridor District	1	3	205	-	-	276	-	-	381
South Central Estates District	37	112	122	148	448	164	2,504	7,611	227
South Central Residential District	795	2,417	-	1,487	4,522	-	2,399	7,293	-
Technology District	47	100	824	162	367	1,107	1,748	4,760	1,530
	880	2.632	1.151	1.797	5.336	1,547	6.651	19.664	2.138

#### **SERVICE AREA 3**

	ESTIMATES (JANUARY 1, 2019) PROJECTIONS (JANUARY 1, 2029)					BUILD OUT PROJECTIONS (2060)			
DISTRICTS	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Harbor District	552	1,255	2,766	1,040	2,364	3,717	1,713	3,893	5,137
IH-30 Corridor District	-	-	2,613	-	-	3,512	-	-	4,853
Marina District	1,423	3,441	630	1,525	3,702	847	1,537	3,734	1,170
Medical District	-	-	1,897	-	-	2,549	-	-	3,523
South Central Residential District	1,089	3,310	371	1,089	3,310	499	1,089	3,310	689
Southwest Residential District	2,257	7,260	1,900	3,695	11,847	2,553	3,943	12,509	3,529
Technology District	615	1,292	63	618	1,298	85	658	1,383	117
	5,936	16,558	10,240	7,966	22,520	13,762	8,940	24,829	19,018

#### **SERVICE AREA 4**

	ESTIMATES (JANUARY 1, 201			PROJECTIO	ONS (JANUA	RY 1, 2029)	(2060)			
DISTRICTS	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP	
Central District	92	193	167	182	382	224	349	735	310	
IH-30 Corridor District	-	-	71	-	-	95	-	-	132	
Northeast Residential	361	1,009	438	762	2,129	589	1,786	4,988	813	
Northern Estates District	263	735	10	529	1,478	13	1,066	2,984	19	
	716	1,937	686	1,473	3,990	922	3,201	8,707	1,274	
GRAND TOTAL	16,690	44,575	24,083	22,135	59,898	32,366	30,345	82.777	44,728	
GRAND TOTAL	10,090	44,373	24,003	22,133	37,090	32,300	30,343	02,111	44,720	



# APPENDIX B: SUMMARY OF WATER/WASTEWATER SERVICE AREA

	ESTIMATES (JANUARY 1, 2019)			PROJECTI	ONS (JANUAI	RY 1, 2029)	BUILD OUT PROJECTIONS (2060)		
DISTRICTS	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Central District	308	648	2,499	609	1,281	3,358	1,165	2,449	4,641
Downtown District	971	2,332	3,105	1,056	2,519	4,173	1,060	2,531	5,767
Employment District	314	971	880	532	1,645	1,162	630	1,952	5,538
Far North Estates District	230	674	96	676	1,980	127	4,426	12,950	-
Harbor District	552	1,255	2,766	1,040	2,364	3,717	1,713	3,893	5,741
IH-30 Corridor District	1	3	5,714	-	-	7,679	-	-	10,612
Innovation District	268	822	66	794	2,438	87	5,323	16,407	415
Marina District	1,423	3,441	630	1,525	3,701	847	1,537	3,734	1,170
Medical District	-	-	1,897	-	-	2,549	-	-	3,523
North Lakeshore District	3,884	11,081	944	4,317	12,324	1,269	4,326	12,350	1,753
Northeast Residential District	629	1,758	438	1,244	3,476	589	2,384	6,658	813
Northern Estates District	512	1,439	14	1,090	3,065	19	2,626	7,390	26
Northwest Residential District	1,422	3,974	667	2,291	6,401	896	2,324	6,493	1,239
Scenic District	1,084	2,280	1,161	1,217	2,558	1,560	1,248	2,624	2,156
South Lakeshore District	1,578	3,317	968	1,578	3,317	1,301	1,595	3,352	1,798
South Central Residential District	1,970	5,987	371	3,265	9,923	499	3,618	10,998	689
South Central Estates District	315	956	366	824	2,502	486	3,760	11,428	1,762
Southwest Residential District	2,267	7,286	1,900	3,772	12,068	2,553	4,229	13,344	3,529
Technology District	662	1,392	887	780	1,665	1,192	2,406	6,143	1,647
Southeast Estates District	-	-	-	-	-	-	8,168	24,829	441
	18,390	49,616	25,369	26,609	73,228	34,064	52,538	149,525	53,262

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# APPENDIX C: EMPLOYMENT BREAKDOWN BY ROADWAY SERVICE AREAS

#### **SERVICE AREA 1**

	ESTIMA	TES (JANUAR)	Y 1, 2019)	PROJECT	IONS (JANUAF	RY 1, 2029)	BUILD OUT PROJECTIONS (2060)		
DISTRICTS	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Central District	973	633	726	1,308	851	976	1,807	1,176	1,348
Downtown District	608	1,104	1,393	817	1,484	1,872	1,129	2,050	2,587
IH-30 Corridor District	599	916	1,310	805	1,231	1,761	1,112	1,701	2,433
North Lakeshore District	-	608	336	-	817	452	-	1,129	624
Northern Estates District	-	4	-	-	5	-	-	7	-
Northwest Residential District	-	531	136	-	714	183	-	986	253
Scenic District	-	650	511	-	874	687	-	1,207	949
South Lakeshore District	-	572	396	-	769	532	-	1,062	735
	2.180	5.018	4.808	2.930	6.744	6.462	4.049	9.320	8.930

#### **SERVICE AREA 2**

	ESTIMA	TES (JANUAR)	Y 1, 2019)	PROJECT	IONS (JANUAF	RY 1, 2029)	BUILD OUT PROJECTIONS (2060)		
DISTRICTS	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
IH-30 Corridor District	-	-	205	-	-	276	-	-	381
South Central Estates District	-	94	28	-	126	38	-	175	52
South Central Residential District	-	-	-	-	-	-	-	-	-
Technology District	298 283 243		400	380	327	553	526	451	
	298	377	476	400	507	640	553	700	884

#### **SERVICE AREA 3**

	ESTIMATES (JANUARY 1, 2019)			PROJECT	IONS (JANUAR	2Y 1, 2029)	BUILD OUT PROJECTIONS (2060)			
DISTRICTS	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	
Harbor District	27	2,456	283	36	3,301	380	50	4,561	526	
IH-30 Corridor District	-	845	1,768	-	1,136	2,376	-	1,569	3,284	
Marina District	-	267	363	-	359	488	-	496	674	
Medical District	-	1,651	246	-	2,219	331	-	3,066	457	
South Central Residential District	-	331	40	-	445	54	-	615	74	
Southwest Residential District	-	924	976	-	1,242	1,312	-	1,716	1,813	
Technology District	-	44	19	-	59	26	-	82	35	
	27	6.518	3 695	36	8 760	4 966	50	12 105	6.862	

#### **SERVICE AREA 4**

	ESTIMAT	TES (JANUARY	1, 2019)	PROJECT	IONS (JANUAR	2Y 1, 2029)	BUILD OUT PROJECTIONS (2060)		
DISTRICTS	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Central District	-	167	-	-	224	-	-	310	-
IH-30 Corridor District	-	-	71	-	-	95	-	-	132
Northeast Residential	-	313	125	-	421	168	-	581	232
Northern Estates District	-	10	-	-	13	-	-	19	-
	-	490	196	-	659	263	-	910	364
GRAND TOTAL	2,505	12,403	9,175	3,367	16,669	12,330	4,652	23,035	17,040



# APPENDIX D: EMPLOYMENT BREAKDOWN BY WATER/WASTEWATER SERVICE AREA

	ESTIMAT	ESTIMATES (JANUARY 1, 2019) ESTIMATES (JANUARY 1, 2					) BUILD OUT (2060)		
DISTRICTS	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Central District	973	800	726	1,308	1,075	976	1,807	1,486	1,348
Downtown District	608	1,104	1,393	817	1,484	1,872	1,129	2,050	2,587
Employment District	-	742	138	-	980	182	-	4,670	869
Far North Estates District	-	86	10	-	114	13	-	-	-
Harbor District	27	2,456	283	36	3,301	380	50	5,103	589
IH-30 Corridor District	599	1,761	3,354	805	2,367	4,507	1,112	3,271	6,229
Innovation District	-	54	12	-	71	16	-	340	76
Marina District	-	267	363	-	359	488	-	496	674
Medical District	-	1,651	246	-	2,219	331	-	3,066	457
North Lakeshore District	-	608	336	-	817	452	-	1,129	624
Northeast Residential District	-	313	125	-	421	168	-	581	232
Northern Estates District	-	14	-	-	19	-	-	26	-
Northwest Residential District	-	531	136	-	714	183	-	986	253
Scenic District	-	650	511	-	874	687	-	1,207	949
South Lakeshore District	-	572	396	-	769	532	-	1,062	735
South Central Residential District	-	331	40	-	445	54	-	615	74
South Central Estates District	-	282	84	-	375	112	-	1,358	404
Southwest Residential District	-	924	976	-	1,242	1,312	-	1,716	1,813
Technology District	298	327	262	400	439	352	553	607	487
Southeast Estates District	-	-	-	-	-	-	-	189	252
	2,505	13,473	9,391	3,367	18,082	12,616	4,652	29,958	18,651

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