AGENDA

PLANNING AND ZONING COMMISSION WORK SESSION City Hall, 385 South Goliad, Rockwall, Texas Council Chambers December 30, 2019 6:00 P.M.

CALL TO ORDER

OPEN FORUM

APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

CONSENT AGENDA

2. Approval of Minutes for the <u>December 10, 2019</u> Planning and Zoning Commission meeting.

3. P2019-048 (Korey)

Consider a request by Anthony Loeffel of Kimley-Horn on behalf of Randy McCuiston of Rockwall 549/I-30 Partners, LP for the approval of a final plat of Lot 1, Block A; Lot 1, Block B; Lot 1, Block C; and Lot 1, Block D, Rockwall Commercial Addition being a 106.215-acre tract of land identified as a portion of Lot 1, Block C and Lot 1, Block D, Rockwall Commercial Park Addition; Tracts 5 & 6 of the A. J. Lockhart Survey, Abstract No. 134; and Tract 5 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District and the FM549 Overlay (FM-549 OV) District, situated at the northwest corner of the IH-30 Frontage Road and N. FM-3549 [Stodghill Road], and take any action necessary.

4. P2019-049 (Korey)

Consider a request by Tony Austin of Rockwall Downtown Lofts, LTD on behalf of Doug Kaufmann of Myreli, LLC, Linda Peoples Morris of the Billy Peoples Estate, and the City of Rockwall for the approval of a conveyance plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as existing City right-of-way for West Street & Houston Street; Lots 1-8, Block P & Lots 1 & 2, Block AB, Rockwall OT Addition; and Lots 4-5, Block A, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, generally located at the southwest corner of the intersection of S. Alamo Road (*i.e. SH-205*) and W. Washington Street (*i.e. SH-66*), and take any action necessary.

5. P2019-050 (Korey)

Consider a request by Bill Thomas of Engineering Concepts & Design, LP on behalf of Justin Webb of Horizon Road Self-Storage, LLC Sandra McMullen for the approval of a replat for Lots 24 & 25, Rainbo Acres Addition being an 8.733-acre tract of land identified as a portion of Lots 22 & 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Road, and take any action necessary.

ACTION ITEMS

6. MIS2019-016 (David)

Discuss and consider a request by Scott Lewis of RRDC, LTD for the approval of a treescape plan for a 0.6303-acre tract of land identified as Lots 6 & 33, Block A, Whisper Rock Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 47 (PD-47) for Single-Family 10 (SF-10) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1202 & 1206 Whisper Rock Drive, and take any action necessary.

7. MIS2019-017 (David)

Discuss and consider a request by Adam Buczek of Windsor Homes Cumberland, LLC for the approval of a variance request to the fence standards contained within *Ordinance No. 16-42* for a 0.4617-acre parcel of land identified as Lot 1, Block C, Ridgecrest Addition, City of Rockwall, Rockwall County, Texas, zoned

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Planned Development District 81 (PD-81) for Single-Family 10 (SF-10) District land uses, addressed as 405 Fox Hollow Drive, and take any action necessary.

8. MIS2019-018 (Ryan)

Discuss and consider a request by Alice Stovall for the approval of a special exception to the fence standards for an existing single-family property being a 0.255-acre tract of land identified as Lot 3, Block D, Harlan Park, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7130 O'Connell Street, and take any action necessary.

DISCUSSION ITEMS

9. Z2019-026 (David)

Hold a public hearing to discuss and consider a request by Timothy Batis of Plano Marine on behalf of Jason Breland of Suntex Marina Investors, LLC for the approval of a Specific Use Permit (SUP) for an existing marina with boat sales, storage and repair on a 6.282-acre tract of land identified as Tracts 134, 134-14 & 134-15 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Lake Ray Hubbard Takeline Overlay (TL OV) District, located at the western terminus of Henry M. Chandlers Drive, and take any action necessary.

10. Z2019-027 (Korey)

Hold a public hearing to discuss and consider a request by Raymond Jowers of Jowers, Inc. for the approval of an extension of *Ordinance No. 08-38* (*SUP No. S-056*) granting a Specific Use Permit (SUP) allowing outside storage adjacent to IH-30 on a 4.4317-acre tract of land identified as Tract 22-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30, and take any action necessary.

11. Z2019-028 (Ryan)

Hold a public hearing to discuss and consider a request amending the Unified Development Code (UDC), and take any action necessary.

12. SP2019-043 (Korey)

Discuss and consider a request by Clay Cristy of ClayMoore Engineering, Inc. on behalf of Brian Berry of Milestone Electric, Inc. for the approval of an amended site plan for a multi-tenant office complex on a 9.52-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

13. SP2019-044 (Korey)

Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

14. SP2019-046 (Korey)

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a site plan for an office building on a 0.4590-acre parcel of land identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

15. SP2019-047 (David)

Discuss and consider a request by Jeff Carroll of Caroll Architects, Inc. on behalf of the owner Brad Bacon of Bacon Property, LLC for the approval of a site plan for an office/warehouse building on a 3.57-acre parcel of land identified as Lot 1-M of the Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

16. SP2019-049 (Korey)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a site plan

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for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

17. SP2019-050 (David)

Discuss and consider a request by Ross Ramsay of Ramsay & Reyes, LLC on behalf of John McKinney of Epic Rockwall Ventures for the approval of a site plan for an industrial building in an existing multi-tenant industrial park on a 9.52-acre tract of land identified as Lots 17 & 17-1, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 295, 315, 339, 327 & 331 Ranch Trail, and take any action necessary.

18. SP2019-051 (David)

Discuss and consider a request by Rachel Gruber of Perkins and Will on behalf of Jason Linscott of Texas Health Hospital Rockwall for the approval of an amended site plan for a hospital (*Presbyterian Hospital*) on a 18.871-acre parcel of land identified as Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.

19. SP2019-052 (David)

Discuss and consider a request by David Hughes of Integrity Group, LLC on behalf of John Delin of RW Ladera, LLC for the approval of a site plan for an amenities center for the Ladera of Rockwall Subdivision being a 37.80-acre parcel of land identified as Lot 1, Block A, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

- 20. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).
 - ✓ P2019-045: Final Plat for Stone Creek, Phase X Addition [Approved]
 - ✓ P2019-045: Final Plat for Breezy Hill, Phase XI Addition [Approved]
 - ✓ Z2019-025: Text Amendment to Article IV of the UDC (1st Reading) [Approved]

ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 27th day of December 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

P&Z Agenda: 12.30.2019

AGENDA

ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room December 30, 2019 5:00 PM

CALL TO ORDER

OPEN FORUM

ACTION ITEMS

1. SP2019-043 (Korey)

Discuss and consider a request by Clay Cristy of ClayMoore Engineering, Inc. on behalf of Brian Berry of Milestone Electric, Inc. for the approval of an amended site plan for a multi-tenant office complex on a 9.52-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

2. SP2019-044 (Korey)

Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

DISCUSSION ITEMS

3. SP2019-046 (Korey)

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a site plan for an office building on a 0.4590-acre parcel of land identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

4. SP2019-047 (David)

Discuss and consider a request by Jeff Carroll of Caroll Architects, Inc. on behalf of the owner Brad Bacon of Bacon Property, LLC for the approval of a site plan for an office/warehouse building on a 3.57-acre parcel of land identified as Lot 1-M of the Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

5. SP2019-049 (Korev)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a site plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

6. SP2019-050 (David)

Discuss and consider a request by Ross Ramsay of Ramsay & Reyes, LLC on behalf of John McKinney of Epic Rockwall Ventures for the approval of a site plan for an industrial building in an existing multi-tenant industrial park on a 9.52-acre tract of land identified as Lots 17 & 17-1, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 295, 315, 339, 327 & 331 Ranch Trail, and take any action necessary.

ARB Agenda: 12.30.2019

7. SP2019-051 (David)

Discuss and consider a request by Rachel Gruber of Perkins and Will on behalf of Jason Linscott of Texas Health Hospital Rockwall for the approval of an amended site plan for a hospital (*Presbyterian Hospital*) on a 18.871-acre parcel of land identified as Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.

8. SP2019-052 (David)

Discuss and consider a request by David Hughes of Integrity Group, LLC on behalf of John Delin of RW Ladera, LLC for the approval of a site plan for an amenities center for the Ladera of Rockwall Subdivision being a 37.80-acre parcel of land identified as Lot 1, Block A, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

ADJOURNMENT

The City of Rockwall Architecture Review Board (ARB) reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 27th day of December 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

ARB Agenda: 12.30.2019

MINUTES

PLANNING AND ZONING COMMISSION PUBLIC HEARING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers December 10, 2019 6:00 P.M.

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, Tracey Logan, John Womble, Annie Fishman and Sedric Thomas. Absent from the meeting was Commissioner Mark Moeller. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planner, Korey Brooks, Planning Coordinators, Angelica Gamez and Laura Morales, City Engineer, Amy Williams, Civil Engineers Jeremy White and Sarah Hager.

II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward to speak Chairman Chodun closed the open forum.

III. APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Chairman Chodun indicated no cases were reviewed by the Architectural Review Board.

IV. CONSENT AGENDA

2. Approval of Minutes for the November 26, 2019 Planning and Zoning Commission meeting.

3. P2019-045

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Phase 10, LTD for the approval of a final plat for Stone Creek, Phase X containing 118 single-family residential lots on a 36.428-acre tract of land identified as a portion of Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for Single Family-10 (SF-10) District land uses, located at the southwest corner of John King Boulevard and Featherstone Drive, and take any action necessary.

4. P2019-046 Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Phase 11, LTD for the approval of a final plat for the Breezy Hill, Phase XI containing 78 single-family lots on a 23.849-acre tract of land identified as a portion of Tract 7 and all of Tract 7-06 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located adjacent to Breezy Hill Road north of the intersection of Breezy Hill Road and FM-552, and take any action necessary.

Commissioner Thomas made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.

V. PUBLIC HEARING ITEMS

5. Z2019-025 Hold a public hearing to discuss and consider a request for the approval of a text amendment to the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for the purpose of allowing the *Rental, Sales, and Service of Heavy Machinery and Equipment* land use by Specific Use Permit (SUP) in the Commercial (C) District, and take any action necessary.

Senior Planner, Korey Brooks, provided a brief explanation of the request. On November 4, 2019, City Council directed staff to amend the Unified Development Code to allow rental, sales, and service of heavy machinery with a Specific Use Permit in a Commercial district as was requested by Home Depot. This request use is allowed by right and heavy commercial industrial district and allowed in a light commercial district with a Specific Use Permit. This would essentially allow other developers to make a request that would still be considered on a case by case basis. Mr. Brooks provided the Commission with a draft ordinance listing conditions for approval as well as operational conditions.

Mr. Brooks advised the Commission that Staff was available for questions.

Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come forward and do so, there being no one indicating such; Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or a motion.

After general discussion regarding the request, Commissioner Thomas made a motion to approve Z2019-025 with staff recommendations. Commissioner Logan seconded the item which passed by a vote of 6-0 with Commissioner Moeller absent.

VI. ACTION ITEMS

6. SP2019-045 Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

Planning Manager, David Gonzales, provided a brief explanation and background pertaining to the request. On July 8, 2014, the Planning and Zoning Commission approved a site plan for a 295,910 square foot warehouse/manufacturing facility. In conjunction with this site plan approval, the City Council approved the following five variances and exceptions for this development which include (1) a variance to the building materials for not incorporating a minimum of 20% natural stone on all facades and to allow for tilt-up wall construction; (2) variance to allow for one light pole to exceed the 20-feet overall maximum height; (3) variance to the minimum parking requirements based on the number of employees per shift; (4) exception for the use of tilt-up wall construction; and, (5) an exception to the vertical and horizontal articulation standards.

Mr. Gonzales further noted that on November 15, 2019, the applicant submitted an application requesting the approval of an amended site plan for the purpose of establishing outside storage areas and realigning the western drive aisle. In addition the applicant had submitted a replat on June 13, 2019 for the purpose of realigning the drive aisle by abandoning certain portions of the firelane & water easements. On July 1, 2019, the City Council approved the plat with the condition that an amended site plan be approved for the realignment of the drive aisle. The final plat is to be filed after approval of the amended site plan and his has been made a condition of approval for this case. Additionally, the future amphitheater to be located at the southeastern portion of the lot will require approval by the Board of Adjustments in order to be located within the building setback as depicted on the site plan and this has also been made a condition of approval for this case.

Mr. Gonzales added that currently, the subject property has outside storage that is located on the north side of the building, adjacent to the Rockwall Service Center. It is the intent of the applicant to relocate a portion of the storage, losing 32 parking spaces; however, there are 42 parking spaces being added to the site increasing the existing parking by 10 spaces, with the additional outside storage being requested, it should be known that the current outside storage located on the north side of the building has limited screening, being two, six-foot tall fence sections with black mesh and is visible from John King Boulevard. Based on the submitted landscape plan, the applicant is proposing to use a three tiered living screen consisting of four Live Oak trees that are 14-16 feet in height and measuring 4½ to 5-caliper inches, nine Nellie R. Stevens Holly trees, and 23 Needle Point Holly shrubs, with a six foot tall wrought iron fence. In addition, the proposed landscape screening located at the northwest corner of the site requires approval by the Planning and Zoning Commission to allow for not meeting the standards of the UDC, which requires a

masonry wall and canopy trees on 20-ft centers. As an alternative, the Planning and Zoning Commission may approve a screening method in accordance with the Unified Development Code. The applicant is requesting to use Alternative #1 of this section by incorporating a wrought iron fence and three tiered screening for this area. As a compensatory measure, the applicant is providing additional landscaping in this area, which will provide less visibility from John King Boulevard. A variance to the screening requirements for the use of landscape screening for the storage area remains a discretionary decision for the Planning and Zoning Commission and should the Planning and Zoning Commission have any questions, staff will also be available at this meeting.

Mr. Gonzales advised the Commission that the applicant was present and available for questions as well as staff.

Chairman Chodun opened up the public hearing and asked the applicant to come forward and speak.

Ed Burke 1700 Justin Road Rockwall, TX 75087

Mr. Burke came forward and provided additional comments and regards to the request and indicated he was available for questions.

Chairman Chodun asked for questions from the Commission. Commissioner Logan inquired for more information in regards to the amphitheater. Mr. Burke provided additional details as to how the amphitheater was envisioned and what purpose it would serve. Additionally, Mr. Burke noted that they are working with staff on a plot plan together to show where they envision the whole property going in the understanding that any additions will have to go before the Architectural Review Board.

Commissioner Chodun asked if anyone else wished to speak to come forward and do so. There being no one indicating such; Commissioner Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Welch made a motion to approve SP2019-045 with staff recommendations. Commissioner Logan seconded the item which passed by a vote of 6-0 with Commissioner Moeller absent.

VII. DISCUSSION ITEMS

- 7. Director's Report of post Council meeting outcomes of Planning & Zoning cases
- ✓ P2019-044: Replat for Lot 3, Block A, SPR Packaging Addition [Approved]
- √ P2019-047: Final Plat for Lots 1, 2, & 3, Block A, MTA Andrews Addition [Approved]
- ✓ MIS2019-014: Comprehensive Plan Amendment Adopting the Revised Water/Wastewater Master Plans (2nd Reading) [Approved]
- ✓ MIS2019-015: Alternative Tree Mitigation Settlement Agreement [Approved]

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.

VIII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:19 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ______, 2019.

187 188			
189		Eric Chodun, Chairman	
190 191	Attest:		
192	/ ittoot.		
193	Associate Consess Blooming Consulington		
194 195	Angelica Gamez, Planning Coordinator		
196			



PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 30, 2019

APPLICANT: Anthony Loeffel; *Kimley-Horn*

CASE NUMBER: P2019-048; Rockwall Commercial Park

SUMMARY

Consider a request by Anthony Loeffel of Kimley-Horn on behalf of Randy McCuiston of Rockwall 549/I-30 Partners, LP for the approval of a final plat of Lot 1, Block A; Lot 1, Block B; Lot 1, Block C; and Lot 1, Block D, Rockwall Commercial Addition being a 106.215-acre tract of land identified as a portion of Lot 1, Block C and Lot 1, Block D, Rockwall Commercial Park Addition; Tracts 5 & 6 of the A. J. Lockhart Survey, Abstract No. 134; and Tract 5 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District and the FM549 Overlay (FM-549 OV) District, situated at the northwest corner of the IH-30 Frontage Road and N. FM-3549 [Stodghill Road], and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting to final plat a 106.215-acre tract of land (i.e. a portion of Lot 1, Block C and Lot 1, Block D, Rockwall Commercial Park Addition; Tracts 5 & 6 of the A. J Lockhart Survey, Abstract No. 134, and Tract 5 of the E. M. Elliott Survey, Abstract No. 77) into four (4) lots (i.e. Lot 1, Block A, Lot 1, Block B, Lot 1, Block C, and Lot 1, Block D, Rockwall Commercial Addition) for the purpose of establishing the necessary drainage, detention, and utility easements necessary for development of the subject property and to dedicate the required right-of-way for Justin Road and Conveyor Street.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat conforming to the requirements for final plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the final plat for Lot 1, Block A; Lot 1, Block B; Lot 1, Block C; and Lot 1; Block D, staff would propose the following conditions of approval:

(1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;

2)	Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Project Name

Subdivision

City of Rockwall



12/13/2019 AG

Project Plan Review History

Project Number P2019-048

Rockwall Commercial Park

Type PLAT
Subtype REPLAT
Status Staff Povide

Owner RANDY MCCUISTION Applicant ANTHONY LOEFFEL Applied
Approved
Closed
Expired
Status

Zoning

Status Staff Review

Site Address City, State Zip

I-30& FM3549 STODGHILL RD ROCKWALL, TX 75087

Tract Block Lot No Parcel No General Plan

ROCKWALL COMMERCIAL PARK 6 0134-0000-0006-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/13/2019	12/20/2019	12/18/2019	5	APPROVED	
ENGINEERING	Sarah Johnston	12/13/2019	12/20/2019	12/19/2019	6	COMMENTS	
(12/19/2019 10:13 A	AM SJ)						
M - Sewer or water	easement can't be in the	detention ea	asement.				
M - 30'x30' corner c	lip on each side of the in	tersection.					
M - Label 60' ROW, 3	30' from CL.						
Include bearings and	d distances for this CL.						
M - Must tie two po	ints to Rockwall Benchm	arks GPS.					
N:							
E:							
FIRE	Ariana Hargrove	12/13/2019	12/20/2019	12/17/2019	4	APPROVED	
GIS	Lance Singleton	12/13/2019	12/20/2019	12/20/2019	7	COMMENTS	See comments
(12/20/2019 8:18 AM	M LS)						
Please tie two corne	ers to the State Plane Co	ords, NAD83)	North Centra	al Texas 4202			
PLANNING	Korey Brooks	12/13/2019	12/20/2019	12/20/2019	7	COMMENTS	Comments

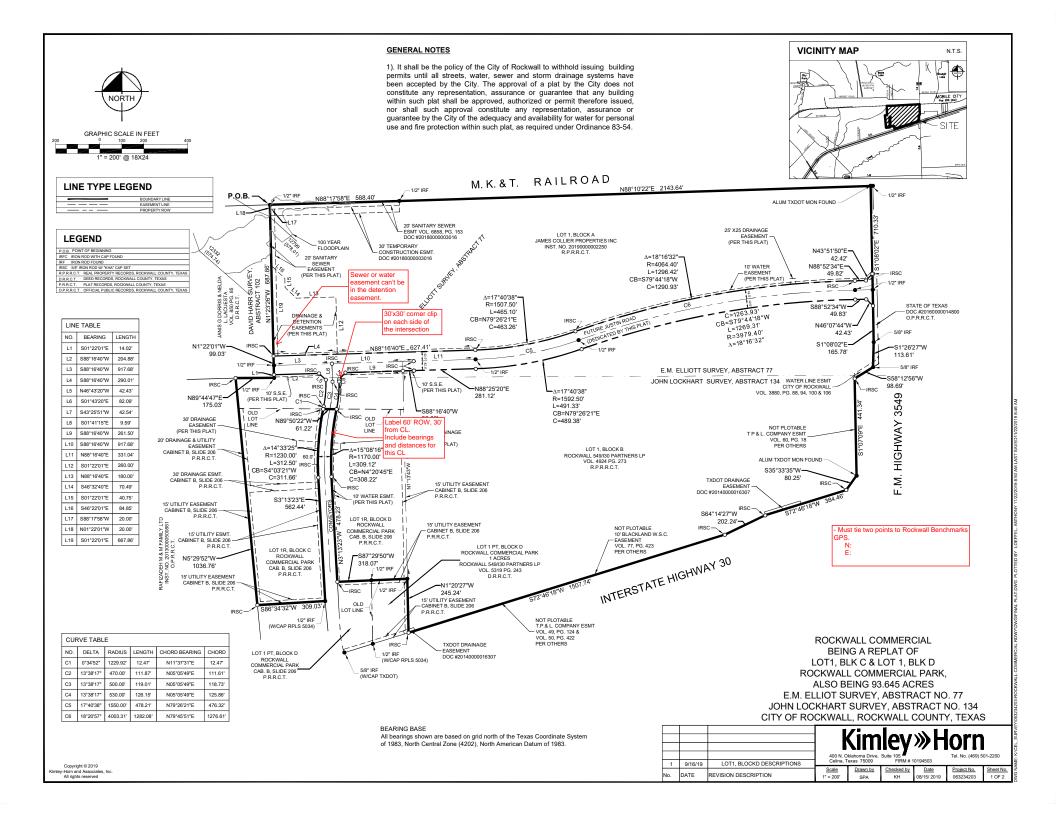
P2019-048: Rockwall Commercial Addition Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This a request by Anthony Loeffel of Kimley-Horn on behalf of Randy McCuiston of Rockwall 549/I-30 Partners, LP for the approval of a final plat of Lot 1, Block A; Lot 1, Block B; Lot 1, Block C; and Lot 1, Block D, Rockwall Commercial Addition being a 106.215-acre tract of land identified as a portion of Lot 1, Block C and Lot 1, Block D, Rockwall Commercial Park Addition; Tracts 5 & 6 of the A. J. Lockhart Survey, Abstract No. 134; and Tract 5 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District and the FM549 Overlay (FM-549 OV) District, situated at the northwest corner of the IH-30 Frontage Road and N. FM-3549 [Stodghill Road].
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (P2019-048) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- (1) Please provide signature block for property owner(s)
- (2) Please provide centerline for FM-549
- (3) Please tie two corners to state plane coordinate system.
- I.6 Please note that failure to address all comments provided by staff by 5:00 PM on January 20, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 20, 2019; The Planning & Zoning Meeting December 30, 2019.

Project Reviews.rpt Page 2 of 2



OWNER'S CERTIFICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHERAS ROCKWALL 549/I-30 PARTNERS. L.P. AND JAMES COLLIER PROPERTITES, INC., BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS EAL OWS:

FIELD NOTE DESCRIPTION

106.2152 ACRE

BEING A TRACT OF LAND SITUATED IN THE E.M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134, GITY OF ROCKWALL, ROCKWALL COLUNTY, TEXAS AND BEING ALL OF LOT 1, BLOCK O. AND A PORTION OF LOT 1, BLOCK D. OF ROCKWALL COMMERCIAL FARK PHASE ONE, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET B, SLIDE 200 FT HE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS (P.R.R.C. 1), BEING ALL OF THAT TRACT OF LAND CONVEYED TO JAMES COLLIER PROPERTIES IN CACCORDING TO THE DOCUMENT FILED OF RECORD IN INSTRUMENT NUMBER 20190000002250, (R.P.R.R.C. T.), BEING THE REMAINDER A CALLED BO. 779 ACRE TRACT CONVEYED TO ROCKWALL 599(30 PARTINERSHIP LP ACCORDING TO THE DOCUMENT AS RECORDED IN VOLUME 4294, PAGE 273, (R.P.R.R.C.T), THAT TRACT OF LAND CONVEYED TO CONVEYED SIGN PARTINERS LP BEING THE REMAINDER OF THAT CALLED 2.6 PARTINERS LP BEING THE REMAINDER OF THAT CALLED 2.6 PAGE 273, (R.P.R.R.C.T), THAT TRACT OF LAND CONVEYED TO FIACT CALLED 2.6 PAGE 273, (R.P.R.R.C.T), AND BEING THE REMAINDER OF THAT CALLED 2.6 79 ACRE TRACT CONVEYED TO ROCKWALL 549(30 PARTINERS LP, ACCORDING TO THE DOCUMENT RECORDED IN VOLUME 5255, PAGE 14 (R.P.R.C.T.), BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND IN THE SOUTH LINE OF M.K. & T. RAILROAD, FOR THE NORTHWEST CORNER OF SAID COLLIER TRACT, SAME BEING THE NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED TO JAINS 6, DORRIS & NELDA L LACUESTA, ACCORDING TO THE DEED RECORDED IN VOLUME 850, PAGE 85, (I) R.R.C.T.Y.

THENCE NORTH 88°17'58" EAST, WITH SAID SOUTH LINE, SAME BEING THE NORTH LINE OF SAID COLLIER TRACT, A DISTANCE OF 588.40 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER;

THENCE NORTH 88*10*22" EAST, CONTINUING WITH SAID COMMON LINE, A DISTANCE OF 2,143.64 FEET TO AN ALUMINUM TXDOT MONUMENT FOUND IN THE WEST LINE OF FM HIGHWAY 3549 FOR THE NORTHEAST CORNER OF SAID COLLIER TRACT AND THIS TRACT;

THENCE WITH THE WEST LINE OF SAID FM HIGHWAY 3459 THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

SOUTH 1°08'02" EAST, A DISTANCE OF 710.33 FEET TO A 5/8 INCH IRON ROD FOLIND FOR CORNER OF THIS TRACT:

SOUTH 1°26'27" WEST, A DISTANCE OF 113.61 FEET TO A 5/8 INCH IRON ROD FOUND FOR CORNER OF THIS TRACT;

SOUTH 58°12'56" WEST, A DISTANCE OF 98.69 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS

SOUTH 1°07'09" EAST, A DISTANCE OF 441.34 FEET TO AN ALUMINUM TXDOT MONUMENT FOUND FOR CORNER OF THIS TRACT:

SOUTH 35°33'35' WEST, A DISTANCE OF 80.25 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED 'KHA' SET IN THE NORTH LINE OF INTERSTATE HICHWAY 30, FOR THE MOST SOUTHERLY SOUTHEAST CORNER OF THE ABOVE MENTIONED ROCKWALL 549/30 PARTNERS LP TRACT RECORDED IN VIOL HIME 4024 PAGE 273:

THENCE WITH SAID NORTH LINE THE FOLLOWING THREE (3) COURSES AND DISTANCES:

SOUTH 72°46'18" WEST, A DISTANCE OF 384.46 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT-

SOUTH 64°14'27" WEST, A DISTANCE OF 202.24 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS

SOLTH 72*46*18" WEST, A DISTANCE OF 1,507.74 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED KHA" SET FOR CORNER OF THIS TRACT, SAME BEING THE COMMON SOUTHEAST CORNER OF LOT 1 PT, BLOCK D, ROCKWALL COMMERCIAL PARK RECORDED IN VOLUME 5319. PAGE 243 (D.R.R.C.T.).

THENCE NORTH 1"20'27" WEST, WITH THE EAST LINE OF SAID LOT 1 PT, BLOCK D, A DISTANCE OF 245.24 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE NORTH EAST CORNER OF SAID LOT 1;

THENCE SOUTH 87°29'50" WEST, WITH THE NORTH LINE OF SAID LOT 1
PT PASSING AT A DISTANCE OF 163 39 FFFT A 1/2 IRON ROD FOLIND

FOR THE NORTHINEST CORNER OF SAID LOT 1 PT, CONTINUING OVER AND ACROSS THE ABOVE MENTIONED LOT 1 PT, BLOCK DI ROCKWALL COMMERCIAL PARK RECORDED IN CAB. S SLIDE 206, A TOTAL DISTANCE OF 318.07 FEET TO A 58 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE EAST LINE OF CONVEYOR.

THENCE NORTH 3'13'22" WEST, A DISTANCE OF 478.23 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET AT THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 15'08'16", A RADIUS OF 1170.00 FEET, A CHORD BEARING AND DISTANCE OF NORTH 4'20'45" EAST, 308.22 FEET;

WITH SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 309.12 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT.

THENCE NORTH 89°50'22" WEST, A DISTANCE OF 61.22 FEET TO A 58 INCH INDO ROD WITH PLASTIC CAP STAMPED '94'A' SET IN THE WEST LINE OF CONVEYORS, AT THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 14'32'S, F. AROUSO OF 1230.00 FEET, A CHORD BEARING AND DISTANCE OF SOUTH 4"03'21" WEST. 311.86 FFFT.

THENCE WITH SAID WEST LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES:

WITH SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 312.50 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT.

SOUTH 3°13''23" EAST, A DISTANCE OF 562.44 FEET TO A 1/2 INCH IRON ROD WITH PLASTIC CAP STAMPED RPLS 5034 FOUND FOR THE SOUTHEAST CORNER OF ABOVE MENTIONED LOT 1. BLOCK C:

THENCE SOUTH 86"34"22" WEST, WITH THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 309.03 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE EAST LINE OF THAT TRACT OF LAND CONVEYED TO RAFIZADEH MAM FAMILY LTD, ACCORDING TO THE DOCUMENT FILED OF RECORD IN INSTRUMENT NUMBER 2013000500861 (O.P.R.R.C.T.), SAID IRON ROD BEING THE SOUTHWEST CORNER OF SAID LOT 1:

THENCE NORTH 5"2952" WEST, WITH THE EAST LINE OF SAID RAFIZADEH TRACT, A DISTANCE OF 1,036.76 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE SOUTH LINE OF THE ABOVE MENTIONED DORRIS AND LACUESTA TRACT, SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID RAFIZADEH TRACT.

THENCE NORTH 89°44'47" EAST, WITH SAID SOUTH LINE, A DISTANCE OF 175.03 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID DORRIS AND LACUESTA TRACT;

THENCE NORTH 1°22'01" WEST, WITH THE EAST LINE OF SAID TRACT, A DISTANCE OF 99.03 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED 'KHA' SET FOR CORNER OF THIS TRACT:

THENCE NORTH 1°23'26" WEST, CONTINUING WITH SAID EAST LINE, A DISTANCE OF 687.86 FEET TO THE POINT OF BEGINNING AND CONTAINING 106.2152 ACRES OR 4,626,733 SQUARE FEET OF LAND, MORF OR LESS

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE ROCKWALL COMMERCIAL SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. (I (WE) UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I (WE) ALNO UNDERSTAND THE FOLLOWING.

- 1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
- 2 ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS, AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGERESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURRING THE PERMISSION OF
- 3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

4.THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

- 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
- 6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER ANDIOR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REQUILATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTSWITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL ISNITALLATION OF STREETS WITH THE REQUIRED BASE AND APAVING, CUBB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL. OF
- 7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL DRAINAGE AND DETENTION EASEMENT MAINTENANCE, OPERATION, REPAIR AND/OR REPAIR AND/

UNTIL AN ESCROIN DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER ANDIOR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER ANDIOR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF ESCROW DEPOSIT, SHOULD THE DEVELOPER ANDIOR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLICATED TO MAKE SUCH IMPROVEMENTS INSTELS SUCH DEPOSIT MAY BE USED BY THE OWNER ANDIOR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY SUPPORTED BY EVIDENCE OF WORK DONE, OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM GOULA TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXEDBY THE CITY COUNCIL OF THE CITY OF

I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HERRIH ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS TO THE CITY. (1 WE), MY (OUR) SUCCESSORS AND ASSIGNS HERREY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF THE DEDICATION OF FXACTIONS MADPLE HERRIH.

STATE OF TEXAS § COUNTY OF ROCKWALL §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED,

KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THERRIB EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE	DAY OF
, 2019.	

MY COMMISSION EXPIRES

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYORS CERTIFICATE

NOW. THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, _____, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

WITNESS UNDER MY HAND THIS THE _____ DAY C

SEAN PATTON, R.P.L.S. NO. 5660

STATE OF TEXAS §
COUNTY OF COLLIN §

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

PREĹIMIŇARY

STANDARD CITY SIGNATURE BLOCK

APPROVED:

HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE _______ DAY OF ______ 2019

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL

VITNESS OUR HANDS, TH	E DAY OF	, 2019
-----------------------	----------	--------

MAYOR, CITY OF ROCKWALL CITY SECRETARY

CITY ENGINEER

BEING A REPLAT OF
LOT1, BLK C & LOT 1, BLK D
ROCKWALL COMMERCIAL PARK,
ALSO BEING 93.645 ACRES
E.M. ELIOT SURVEY, ABSTRACT NO. 77
JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL ROCKWALL COLINTY TEXA

ROCKWALL COMMERCIAL

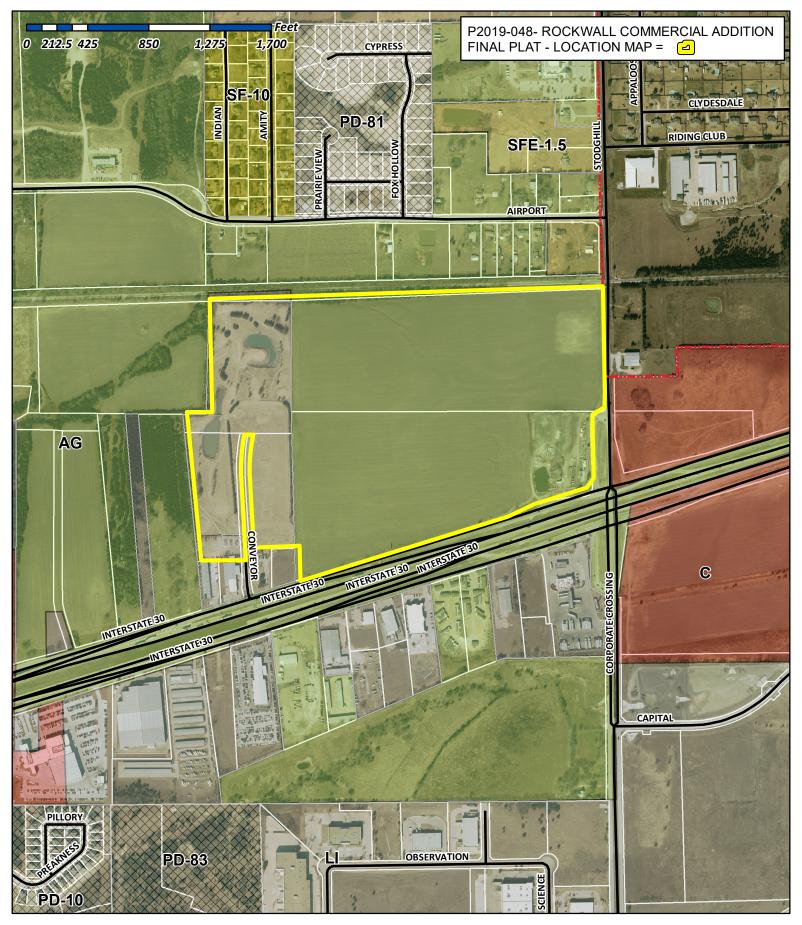
OWNER/DEVELOPER ROCKWALL 549/1-30 PARTNERS ,LP 8450 N. CENTRAL EXPRESSWAY SUITE 1735 DALLAS, TEXAS 75231 PH. (972) 762-2627 CONTACT: RANDY MCCHISTION

ENGINEER
KIMLEY-HORN
400 N. OKLAHOMA DR,
SUITE 105
CELINA, TEXAS 75009
PH. (469) 501-2200
CONTACT: ANTHONY M. LOEFFEL, P.E.

SEAN PATTON REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5660 400 N. OKLAHOMA DR, SUITE 105 CELINA, TEXAS 75009 PH. (469)-501-2200 sean.patton@kimley-hom.com

	CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS								
-				400 N. C	Kim			Orn Tel. No. (469) 5	
	No.	DATE	REVISION DESCRIPTION	<u>Scale</u> 1" = 200'	Drawn by SPA	Checked by KH	<u>Date</u> 11/22/2019	Project No. 063234203	Sheet No. 2 OF 2

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City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CAS	E NO.
	NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Please check the ap	ppropriate box below to indica	te the type of develo	opment request (Resolution No.	05-22) [SELE	CT ONLY ON	E BOX]:
Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) 1 [] Preliminary Plat (\$200.00 + \$15.00 Acre) 1 [] Final Plat (\$300.00 + \$20.00 Acre) 1 [/] Replat (\$300.00 + \$20.00 Acre) 1 [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) 1 [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)			Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) Notes: ¹ : In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.				
PROPERTY INFO	DRMATION [PLEASE PRINT]						
Address	I-30 & FM 3549 Stodghill Rd						
Subdivision	Rockwall Commercial Park			Lot	1 & 1R	Block	A-D
General Location	Justin Road and Conveyors St	treet west of FM 354	49				
ZONING, SITE P	LAN AND PLATTING INFO	ORMATION [PLEASE	PRINT]				
	Not Applicable (N/A)		Current Use				
Proposed Zoning	Not Applicable (N/A)		Proposed Use				
Acreage	106.215	Lots [Current]		Lot	s [Proposed]		
212.009 of the	lats: By checking the box at the leg Local Government Code. CANT/AGENT INFORMAT						
[✓] Owner	Rockwall 549/I-30 Partners, LP		[] Applicant	Kimley-Horn			
Contact Person	Randy McCuiston		Contact Person	Anthony Loeffe	el		
Address	8750 N. Central Expressway		Address	400 N. Oklahor	ma Drive		
	Suite 1735			Suite 105			
City, State & Zip	Dallas, Texas 75231		City, State & Zip	Celina, Texas 7	5009		
Phone	+1 (972) 762-2627		Phone	+1 (469) 501-2	200		
E-Mail	Randy@cambridgecos.com		E-Mail	Anthony.Loeffe	el@kimley-ho	orn.com	
Before me, the undersig nformation on this appl	CATION [REQUIRED] gned authority, on this day personally lication to be true and certified the follows the current are duly authorized goes	mowing.			int Name] the u		
the application fee of \$ _ 20 By signing the public. The City is a associated or in response	this application I agree that the City o also authorized and permitted to rep e to a request for public information."	of this application, has be of Rockwall (i.e. "City") is a produce any copyrighted	een paid to the City o authorized and perm	of Rockwall on this to nitted to provide inf	the <u>1014</u> day formation contai	of SEPTEM ined within this ration, if such re	application to eproduction is
	nd seal of office on this the 10 cm	day of Sept.	, 20 <u>19</u> .	William.	₩ N E	LINDA LEE //y Notary ID # expires Novemb	131366010

My Commission Expires

Mapcheck: Rockwall Justin Road

Closure Summary

Precision, 1 part in: 2558119.50'

Error distance: 0.00'

Error direction: S83°53'15"W

Area: 4626733.75 Sq. Ft.

Square area: 4626733.75

Perimeter: 10865.23'

Point of Beginning

Easting: 2604784.0067'

Northing: 7026294.2132'

Side 1: Line

Direction: N88°17'58"E

Angle: [-91°42'02"]

Deflection angle: [88°17'58"]

Distance: 588.40'

Easting: 2605372.1475'

Northing: 7026311.6745'

Side 2: Line

Direction: N88°10'22"E

Angle: [179°52'24"]

Deflection angle: [-0°07'36"]

Distance: 2143.64'

Easting: 2607514.6976'

Northing: 7026380.0259'

Side 3: Line

Direction: S1°08'02"E

Angle: [-89°18'24"]

Deflection angle: [90°41'36"]

Distance: 710.33'

Easting: 2607528.7541'

Northing: 7025669.8350'

Side 4: Line

Direction: S1°26'27"W

Angle: [-177°25'31"]

Deflection angle: [2°34'29"]

Distance: 113.61'

Easting: 2607525.8975'

Northing: 7025556.2609'

Side 5: Line

Direction: S58°12'56"W

Angle: [-123°13'31"]

Deflection angle: [56°46'29"]

Distance: 98.69'

Easting: 2607442.0074'

Northing: 7025504.2784'

Side 6: Line

Direction: S1°07'09"E

Angle: [120°39'55"]

Deflection angle: [-59°20'05"]

Distance: 441.34'

Easting: 2607450.6276'

Northing: 7025063.0226'

Side 7: Line

Direction: S35°33'35"W

Angle: [-143°19'16"]

Deflection angle: [36°40'44"]

Distance: 80.25'

Easting: 2607403.9582'

Northing: 7024997.7384'

Side 8: Line

Direction: S72°46'18"W

Angle: [-142°47'17"]

Deflection angle: [37°12'43"]

Distance: 384.46'

Easting: 2607036.7481'

Northing: 7024883.8689'

Side 9: Line

Direction: S64°14'27"W

Angle: [171°28'09"]

Deflection angle: [-8°31'51"]

Distance: 202.24'

Easting: 2606854.6049'

Northing: 7024795.9776'

Side 10: Line

Direction: S72°46'18"W

Angle: [-171°28'09"]

Deflection angle: [8°31'51"]

Distance: 1507.74'

Easting: 2605414.5142'

Northing: 7024349.4145'

Side 11: Line

Direction: N1°20'27"W

Angle: [-74°06'45"]

Deflection angle: [105°53'15"]

Distance: 245.24'

Easting: 2605408.7756'

Northing: 7024594.5874'

Side 12: Line

Direction: S87°29'50"W

Angle: [88°50'17"]

Deflection angle: [-91°09'43"]

Distance: 318.07'

Easting: 2605091.0090'

Northing: 7024580.6979'

Side 13: Line

Direction: N3°13'23"W

Angle: [-90°43'13"]

Deflection angle: [89°16'47"]

Distance: 478.23'

Easting: 2605064.1214'

Northing: 7025058.1715'

Side 14: Curve

Curve direction: Clockwise

Radius: [1170.00']

Arc length: 309.12'

Delta angle: 15°08'16"

Tangent: [155.46']

Chord direction: N4°20'45"E

Chord angle: [-172°25'52"]

Deflection angle: [7°34'08"]

Chord distance: 308.22'

Easting: 2605087.4772'

Northing: 7025365.5053'

Side 15: Line

Direction: N89°50'22"W

Angle: [78°14'45"]

Deflection angle: [-101°45'15"]

Distance: 61.22'

Easting: 2605026.2574'

Northing: 7025365.6768'

Side 16: Curve

Curve direction: Counter-clockwise

Radius: [1229.99']

Arc length: 312.50'

Delta angle: 14°33'25"

Tangent: [157.10']

Chord direction: S4°03'21"W

Chord angle: [93°53'43"]

Deflection angle: [-86°06'17"]

Chord distance: 311.66'

Easting: 2605004.2142'

Northing: 7025054.7974'

Side 17: Line

Direction: S3°13'23"E

Angle: [179°59'58"]

Deflection angle: [-0°00'02"]

Distance: 562.44'

Easting: 2605035.8364'

Northing: 7024493.2470'

Side 18: Line

Direction: S86°34'32"W

Angle: [-90°12'05"]

Deflection angle: [89°47'55"]

Distance: 309.03'

Easting: 2604727.3582'

Northing: 7024474.7880'

Side 19: Line

Direction: N5°29'52"W

Angle: [-92°04'24"]

Deflection angle: [87°55'36"]

Distance: 1036.76'

Easting: 2604628.0292'

Northing: 7025506.7788'

Side 20: Line

Direction: N89°44'47"E

Angle: [-84°45'21"]

Deflection angle: [95°14'39"]

Distance: 175.03'

Easting: 2604803.0574'

Northing: 7025507.5535'

Side 21: Line

Direction: N1°22'01"W

Angle: [88°53'12"]

Deflection angle: [-91°06'48"]

Distance: 99.03'

Easting: 2604800.6950'

Northing: 7025606.5553'

Side 22: Line

Direction: N1°23'26"W

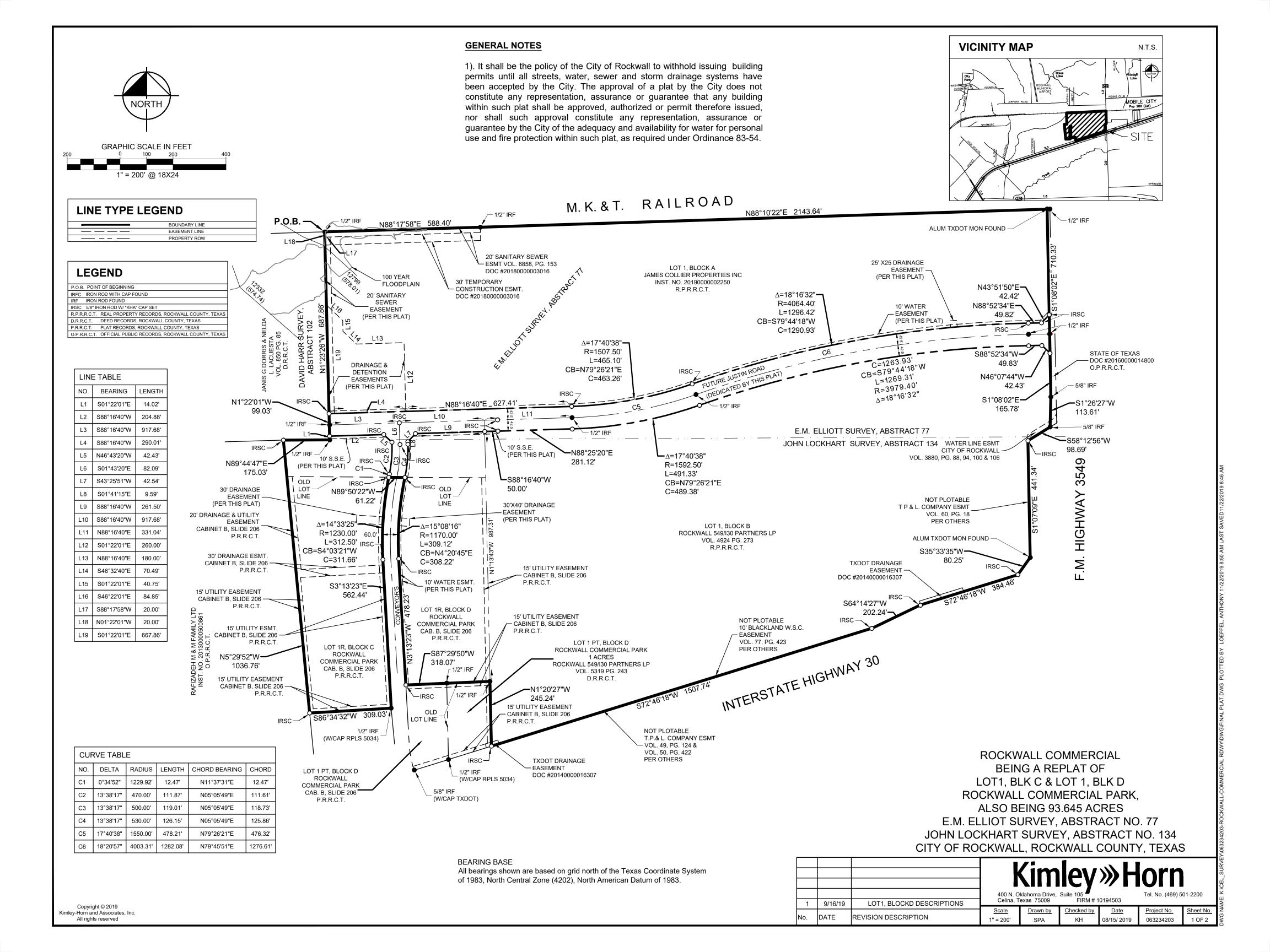
Angle: [179°58'35"]

Deflection angle: [-0°01'25"]

Distance: 687.86'

Easting: 2604784.0025'

Northing: 7026294.2128'



OWNER'S CERTIFICATION

STATE OF TEXAS COUNTY OF ROCKWALL

WHERAS ROCKWALL 549/I-30 PARTNERS. L.P. AND JAMES COLLIER PROPERTITES, INC., BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING **DESCRIBED AS FOLLOWS:**

FIELD NOTE DESCRIPTION

106.2152 ACRE

BEING A TRACT OF LAND SITUATED IN THE E.M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND BEING ALL OF LOT 1, BLOCK C, AND A PORTION OF LOT 1, BLOCK D OF ROCKWALL COMMERCIAL PARK PHASE ONE, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET B, SLIDE 206 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS (P.R.R.C.T.), BEING ALL OF THAT TRACT OF LAND CONVEYED TO JAMES COLLIER PROPERTIES INC ACCORDING TO THE DOCUMENT FILED OF RECORD IN INSTRUMENT NUMBER 20190000002250, (R.P.R.R.C.T.), BEING THE REMAINDER A CALLED 80.779 ACRE TRACT CONVEYED TO ROCKWALL 549/I30 PARTNERSHIP LP ACCORDING TO THE DOCUMENT AS RECORDED IN VOLUME 4924, PAGE 273, (R,P,R,R,C,T), THAT TRACT OF LAND CONVEYED TO CONVEYORS I30 PARTNERS LP BEING THE REMAINDER OF THAT CALLED 7.57 ACRE TRACT OF LAND, ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 7077, PAGE 201 THE DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND BEING THE REMAINDER OF THAT CALLED 26.79 ACRE TRACT CONVEYED TO ROCKWALL 549/I30 PARTNERS LP, ACCORDING TO THE DOCUMENT RECORDED IN VOLUME 5255, PAGE 14 (R.P.R.R.C.T.), BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND IN THE SOUTH LINE OF M.K. & T. RAILROAD, FOR THE NORTHWEST CORNER OF SAID COLLIER TRACT, SAME BEING THE NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED TO JANIS G. DORRIS & NELDA L. LACUESTA, ACCORDING TO THE DEED RECORDED IN VOLUME 850, PAGE 85, (D.R.R.C.T.);

THENCE NORTH 88°17'58" EAST, WITH SAID SOUTH LINE, SAME BEING THE NORTH LINE OF SAID COLLIER TRACT, A DISTANCE OF 588.40 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER;

THENCE NORTH 88°10'22" EAST, CONTINUING WITH SAID COMMON LINE. A DISTANCE OF 2,143.64 FEET TO AN ALUMINUM TXDOT MONUMENT FOUND IN THE WEST LINE OF FM HIGHWAY 3549 FOR THE NORTHEAST CORNER OF SAID COLLIER TRACT AND THIS TRACT;

THENCE WITH THE WEST LINE OF SAID FM HIGHWAY 3459 THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

SOUTH 1°08'02" EAST, A DISTANCE OF 710.33 FEET TO A 5/8 INCH IRON ROD FOUND FOR CORNER OF THIS TRACT;

SOUTH 1°26'27" WEST, A DISTANCE OF 113.61 FEET TO A 5/8 INCH IRON ROD FOUND FOR CORNER OF THIS TRACT;

SOUTH 58°12'56" WEST, A DISTANCE OF 98.69 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS

SOUTH 1°07'09" EAST, A DISTANCE OF 441.34 FEET TO AN ALUMINUM TXDOT MONUMENT FOUND FOR CORNER OF THIS TRACT:

SOUTH 35°33'35" WEST, A DISTANCE OF 80.25 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE NORTH LINE OF INTERSTATE HIGHWAY 30, FOR THE MOST SOUTHERLY SOUTHEAST CORNER OF THE ABOVE MENTIONED ROCKWALL 549/I30 PARTNERS LP TRACT RECORDED IN VOLUME 4924, PAGE 273;

THENCE WITH SAID NORTH LINE THE FOLLOWING THREE (3) COURSES

SOUTH 72°46'18" WEST, A DISTANCE OF 384.46 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS

SOUTH 64°14'27" WEST, A DISTANCE OF 202.24 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS

SOUTH 72°46'18" WEST, A DISTANCE OF 1,507.74 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT, SAME BEING THE COMMON SOUTHEAST CORNER OF LOT 1 PT, BLOCK D, ROCKWALL COMMERCIAL PARK RECORDED IN VOLUME 5319, PAGE 243 (D.R.R.C.T.);

THENCE NORTH 1°20'27" WEST, WITH THE EAST LINE OF SAID LOT 1 PT, BLOCK D, A DISTANCE OF 245.24 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE NORTH EAST CORNER OF SAID LOT 1:

THENCE SOUTH 87°29'50" WEST, WITH THE NORTH LINE OF SAID LOT 1 PT, PASSING AT A DISTANCE OF 163.39 FEET A 1/2 IRON ROD FOUND

FOR THE NORTHWEST CORNER OF SAID LOT 1 PT, CONTINUING OVER AND ACROSS THE ABOVE MENTIONED LOT 1 PT, BLOCK D ROCKWALL COMMERCIAL PARK RECORDED IN CAB. B SLIDE 206, A TOTAL DISTANCE OF 318.07 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE EAST LINE OF CONVEYORS;

THENCE NORTH 3°13'23" WEST, A DISTANCE OF 478.23 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET AT THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 15°08'16", A RADIUS OF 1170.00 FEET, A CHORD BEARING AND DISTANCE OF NORTH 4°20'45" EAST, 308.22 FEET;

WITH SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 309.12 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT;

THENCE NORTH 89°50'22" WEST, A DISTANCE OF 61.22 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE WEST LINE OF CONVEYORS, AT THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 14°33'25", A RADIUS OF 1230.00 FEET, A CHORD BEARING AND DISTANCE OF SOUTH 4°03'21" WEST, 311.66 FEET;

THENCE WITH SAID WEST LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES:

WITH SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 312.50 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT;

SOUTH 3°13'23" EAST, A DISTANCE OF 562.44 FEET TO A 1/2 INCH IRON ROD WITH PLASTIC CAP STAMPED RPLS 5034 FOUND FOR THE SOUTHEAST CORNER OF ABOVE MENTIONED LOT 1, BLOCK C;

THENCE SOUTH 86°34'32" WEST, WITH THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 309.03 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE EAST LINE OF THAT TRACT OF LAND CONVEYED TO RAFIZADEH M&M FAMILY LTD, ACCORDING TO THE DOCUMENT FILED OF RECORD IN INSTRUMENT NUMBER 20130000500861 (O,P,R,R,C,T,), SAID IRON ROD BEING THE SOUTHWEST CORNER OF SAID LOT 1;

THENCE NORTH 5°29'52" WEST, WITH THE EAST LINE OF SAID RAFIZADEH TRACT, A DISTANCE OF 1,036.76 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET IN THE SOUTH LINE OF THE ABOVE MENTIONED DORRIS AND LACUESTA TRACT, SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID RAFIZADEH TRACT;

THENCE NORTH 89°44'47" EAST, WITH SAID SOUTH LINE, A DISTANCE OF 175.03 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID DORRIS AND LACUESTA TRACT;

THENCE NORTH 1°22'01" WEST, WITH THE EAST LINE OF SAID TRACT, A DISTANCE OF 99.03 FEET TO A 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER OF THIS TRACT;

THENCE NORTH 1°23'26" WEST, CONTINUING WITH SAID EAST LINE, A DISTANCE OF 687.86 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 106.2152 ACRES OR 4,626,733 SQUARE FEET OF LAND, MORE OR LESS

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL §

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE ROCKWALL COMMERCIAL SUBDIVISION TO THE CITY OF ROCKWALL. TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I (WE) UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I (WE) ALSO UNDERSTAND THE FOLLOWING:

OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN. 2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER,

3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

NECESSITY OF, AT ANY TIME, PROCURRING THE PERMISSION OF

4.THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTSWITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL ISNTALLATION OF STREETS WITH THE REQUIRED BASE AND APAVING. CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL DRAINAGE AND DETENTION EASEMENT MAINTENANCE, OPERATION, REPAIR AND/OR REPLACEMENT.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXEDBY THE CITY COUNCIL OF THE CITY OF

I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS TO THE CITY; I (WE), MY (OUR) SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

TATE OF TEXAS	§
OUNTY OF ROCKWALL	§

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED, , KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED

TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE DAY OF

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

___, 2019.

SURVEYORS CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

WITNESS UNDER MY HAND THIS THE _____ DAY OF _____, 2019.

PREĹIMIŇARY THIS DOCUMENT SHALL

NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STANDARD CITY SIGNATURE BLOCK

SEAN PATTON, R.P.L.S. NO. 5660

STATE OF TEXAS

COUNTY OF COLLIN

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE _____ DAY ___, 2019

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THE	DAY OF	, 2019

MAYOR, CITY OF ROCKWALL	CITY SECRETARY	

CITY ENGINEER

ROCKWALL COMMERCIAL **BEING A REPLAT OF** LOT1, BLK C & LOT 1. BLK D ROCKWALL COMMERCIAL PARK. ALSO BEING 93.645 ACRES E.M. ELLIOT SURVEY, ABSTRACT NO. 77 JOHN LOCKHART SURVEY, ABSTRACT NO. 134

OWNER/DEVELOPER ROCKWALL 549/I-30 PARTNERS ,LP 8450 N. CENTRAL EXPRESSWAY **SUITE 1735** DALLAS, TEXAS 75231 PH. (972) 762-2627 CONTACT: RANDY MCCUISTION

ENGINEER KIMLEY-HORN 400 N. OKLAHOMA DR. SUITE 105 CELINA, TEXAS 75009 PH. (469) 501-2200 CONTACT: ANTHONY M. LOEFFEL, P.E.

SEAN PATTON REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5660 400 N. OKLAHOMA DR, SUITF 105 CELINA. TEXAS 75009 PH. (469)-501-2200 sean.patton@kimley-horn.com

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS FIRM # 10194503 Checked by Scale Drawn by <u>Date</u> Project No. REVISION DESCRIPTION

1" = 200'

SPA

KH

11/22/2019

063234203

2 OF 2

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385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 30, 2019

APPLICANT: Tony Austin; Rockwall Downtown Lofts, LTD

CASE NUMBER: P2019-049; Lot 1, Block A TAC Rockwall Addition

SUMMARY

Consider a request by Tony Austin of Rockwall Downtown Lofts, LTD on behalf of Doug Kaufmann of Myreli, LLC, Linda Peoples Morris of the Billy Peoples Estate, and the City of Rockwall for the approval of a conveyance plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as existing City right-of-way for West Street & Houston Street; Lots 1-8, Block P & Lots 1 & 2, Block AB, Rockwall OT Addition; and Lots 4-5, Block A, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, generally located at the southwest corner of the intersection of S. Alamo Road (*i.e. SH-205*) and W. Washington Street (*i.e. SH-66*), and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting to final plat a 3.338-acre tract of land (*i.e.* Lots 1-8, Block P, Lots 1 & 2, Block AB, Rockwall OT Addition; and Lots 4-5 Block A, Lowe & Allen Addition) into one (1) lot (*i.e.* Lot 1, Block A, TAC Rockwall Addition) for the purpose of assembling the properties into one (1) parcel of land, and to abandon and convey the rights-of-way for West Street and Houston Street from the City to the developer. This is being done in accordance with a Chapter 380 Economic Development Agreement that was executed and signed on November 5, 2019.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat conforming to the requirements for final plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the final plat for *Lot 1, Block A, TAC Rockwall Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall

Municipal Code of Ordinances, city adopted engineering and fire codes and with all other regulatory requirements administered and/or enforced by the state and federal governme	applicable nt.

City of Rockwall



Project Plan Review History

Project Number P2019-049

Lot 1, Block A, TAC Rockwall Addition

Project Name Lot 1, Type PLAT Subtype FINAL

Status Staff Review

Owner Myrelli, Peoples Estate

Applicant TONY AUSTIN

Applied Approved

d 12/13/2019 AG

Expired Status

Closed

Site Address

City, State Zip

W WASHINGTON @ FIRST ST

ROCKWALL, TX 75087

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

LOWE & ALLEN 4,5 B 4,5 4180-000B-0004-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/13/2019	12/20/2019	12/18/2019	5	APPROVED	
ENGINEERING	Sarah Johnston	12/13/2019	12/20/2019	12/19/2019	6	COMMENTS	
(12/19/2019 10:10 /	AM SJ)						
M - Denote what th	e hatch area means.						
M - Must tie two po	oints to City GPS.						
N:							
E:							
FIRE	Ariana Hargrove	12/13/2019	12/20/2019	12/17/2019	4	APPROVED	
GIS	Lance Singleton	12/13/2019	12/20/2019	12/20/2019	7	COMMENTS	Comments
(12/20/2019 8:22 AI	M LS)						
Please tie two corne	ers to the State Plane (Coords, (NAD83	North Centr	al Texas 4202			
PLANNING	Korey Brooks	12/13/2019	12/20/2019	12/20/2019	7	COMMENTS	Comments

P2019-049; Lot 1, Block A TAC Rockwall Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This a request by Tony Austin of Rockwall Downtown Lofts, LTD on behalf of Doug Kaufmann of Myreli, LLC, Linda Peoples Morris of the Billy Peoples Estate, and the City of Rockwall for the approval of a conveyance plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as existing City right-of-way for West Street & Houston Street; Lots 1-8, Block P & Lots 1 & 2, Block AB, Rockwall OT Addition; and Lots 4-5, Block A, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, generally located at the southwest corner of the intersection of S. Alamo Road (i.e. SH-205) and W. Washington Street (i.e. SH-66).
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (P2019-049) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- (1) Please tie two corners to state plane coordinate system.
- I.6 Please note that failure to address all comments provided by staff by 5:00 PM on January 20, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 20, 2019; The Planning & Zoning Meeting December 30, 2019.

Project Reviews.rpt Page 2 of 2

SURVEY BOWIDARY CLOSURE REPORT

Polyline Report

Northing	Easting	Bearing	Distance
6988126.31	2697317.89		
6988120.92	2696817.18	s 89°23'01" W	
6988434.35	2696815.33	N 00°20'14" W	313.44
	2696846.80	N 54°55'29" E	38.45
		N 89°01'44" E	67.71
6988457.59	2696914.50	s 87°27'16" E	102.01
6988453.06	2697016.42	N 89°38'14" E	213.27
6988454.41	2697229.68	S 45°11'50" E	
6988443.45	2697240.73		
6988323.29	2697240.79	s 00°01'53" E	120.15
Radius: 309	.74 Chord:	211.54 Degr 39°56'02" Tang	ree: 18°29'54" Dir: Left
Chord BRG: S	S 21°22'25" E	Rad-In: N 88°3	35'36" E Rad-Out: N 48°39'33" E
	S 21°22'25" E t: 6988330.90,		35'36" E Rad-Out: N 48°39'33" E

Closure Precision> 1 in 3408534989616.9 Total Distance> 1587.22

Polyline Area: 145394.788 sq ft, 3.338 acres

6988126.31 2697317.89

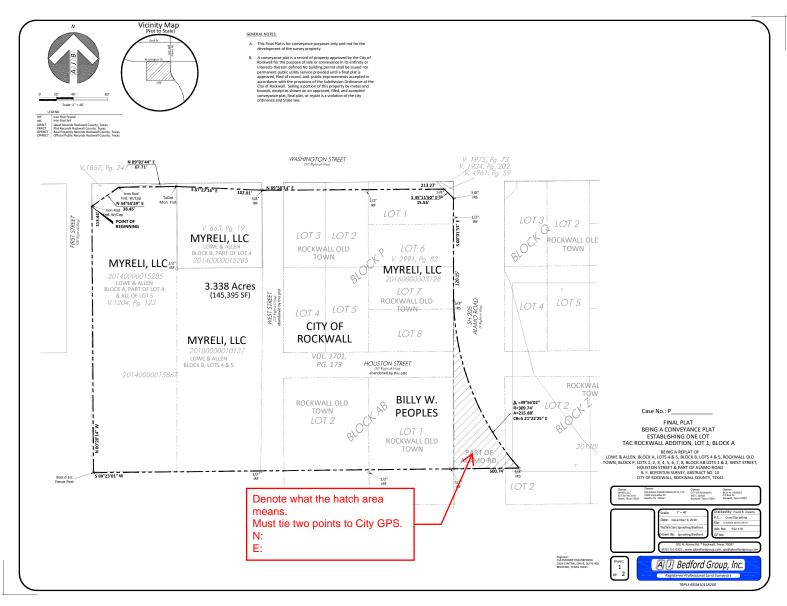


FIGURE 11 AND A STATE OF THE PROPERTY OF THE P

STATE OF TEXAS COUNTY OF ROCKWALL

COUNT OF SECURAL IN MOTION AND THE SECURATION OF SECURAL IS BILLY W. PEOPLES, the underligated owners of the lated down on this jairt, and designated herein as the TAC ROCKWALL ADDITION additional to be fig. of security, and whose manse in submitted hereins have been a first produced in the security of the security o ROWN of 138 foot text of land situated in the 8.F. BOYDSTUN SURVEY, ABSTRACT 114 in the City of Bodwell, Rockwall County, Treas and being part of the same property control to the same property of th Title: _____ STATE OF TEXAS COUNTY OF ROCKWALL STATE OF TEXAS COUNTY OF ROCKWALL Before me, the undersigned authority, on this day personally appeared Tony Austin, President, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. and signed this plat. We understand and do here purposes stated and for the mutual use and acco We also understand the following: Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein No buildings shall be constructed or placed upon, over, or across the utility easem herein. BEGINNING at an iron rod with cap found for the southerly corner of a corner cut-off line at the intersection of the east line of said FIRST STREET (apparent 30 'in width) with the south line of WASHINGTON STREET (apparent 50' in width); Any public office that I have the right to remove and seep minored all or part of any buildings, fence, contraction, in additionable or efficiency of their respective system on any of these assument stops; and any public citility shall a film has here it eight of register or gas my any of these assument stops; and any public citility shall a film has here it eight of register or gas my shall now and upon the said assument or removing all or part of their respective system without the necessity of, at any time, procuring the purposition of all years. Notary Public in and for the State of Texas Given upon my hand and seal of office this ______ day of _____ THENCE with the south line of said Washington Street with said corner cut-off line, NORTH 54°SS'29" EAST a distance of 38.45 feet to an iron rod with cap found for Notary Public in and for the State of Texas THENCE with the south line of said Washington Street, NORTH 89°01'44" EAST a distance of 67.71 feet to a TxDot Monument found for corner: The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. By: DRK Family Partners, Ltd, a Texas limited partnership its: Sole Member THENCE continuing with the south line of said Washington

Street, SOUTH 87"27"16" EAST a distance of 102.01 feet to a 5/8 inch iron rod found for corner and being located near the west line of said WEST STREET; Lynda Morris, Independent Executrix of the Estate of Billy W. Peoples, Deceased By: Dreek, LLC, a Texas limited liability company 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development. THENCE continuing with the south line of said Washington
Street, NORTH 89'38'14" EAST a distance of 213.27 feet to a 5/8 inch iron rod set for
the northerly corner of a corner cut-off line located at the intersection of the west line
of State Highway 205 (EALANO ROAD/Variable width). By: Name: Ruth R. Kaufmann Its: Managing Member arrange for the development.

As how our defining or other structures shall be constructed on any bit in this addition by the owner or any other partners with the development and/or owner has compiled with all requirements of the owner or any other partners with contract of the owner Name: Lynda Morris Title: Independent Executrix of the Estate of Billy W. Peoples, Deceased THENCE with the west line of State Highway 205 (ALAMO ROAD), SOUTH 45°11'SO" EAST a distance of 15.56 feet to a 5/8 inch iron rod set for STATE OF TEXAS COUNTY OF ROCKWALL STATE OF TEXAS COUNTY OF ROCKWALL Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. THENCE continuing with the west line of said State Highway 205 (ALAMO ROAD), SOUTH 00'01'53" EAST a distance of 120.15 feet to a 5/8 inch iron rod set for the beginning of a curve to the left having a radius of 309.74 feet and a chord bearing of South 21'22'15" East; Incidition in essenantic.

B. Abandoment and conveyance. Notwithstanding anything to the contrary contained hereion: (i) the purpose of this parts to be fined in consection with the conveyance of all of the property shows hereion. A suppose the parts of the property shows hereion. A suppose of the parts of the property shows hereion. A suppose of the parts of the par Before me, the undersigned authority, on this day personally appeared Ruth R. Kaufmann, Managing Member, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this ______ day of _______, 2020 THENCE continuing with the west line of said State Highway 205 (ALAMO ROAD) with said curve to the left through a central angle of 39°56°02° for an arc length o 215.86 feet to a 5/8 inch iron rod set for the southeast corner of the herein described tract of land; Given upon my hand and seal of office this _____ day of _____ , 2020 Notary Public in and for the State of Texas THENCE departing the west line of said State Highway 205 (ALAMO ROAD), SOUTH 89"23"01" WEST a distance of 500.74 feet to a Bois-d-arc fence post found for the southwest corner of herein described tract of land and being located in the east line of said FIRST STREET, and FIRST STREET. THENCE with the east line of said FIRST STREET, NORTH 00°20'14" WEST a distance of 313.44 feet to the POINT OF BEGINNING; STATE OF TEXAS COUNTY OF ROCKWALL CONTAINING within these metes and bounds 3.338 acres or 145,395 square feet of land more or less. Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. SURVEYOR'S CERTIFICATE We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the property of the present and future growth needs of the CFp. We, my (our) accessors and assigns hereby waits any case, damage, or cause of action that We only how as a resire of the dedication of execution made on a subdivision of the dedication of execution made on the case of the composition of execution made on the case of the composition of execution made on the case of the composition of execution made on the case of the cas Notary Public in and for the State of Texas NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments she thereon were properly placed under my personal supervision. Case No.: P__ FINAL PLAT BEING A CONVEYANCE PLAT ESTABLISHING ONE LOT TAC ROCKWALL ADDITION, LOT 1, BLOCK A BEING A REPLAT OF

LOWE & ALLEN, BLOCK, ALOTS & 8,5, BLOCK B, LIDTS & 8,5, BOCKWALL OLD

TOWN, BLOCK P, LOTS 1, 2, 3, 4, 5, 7, 8, BLOCK ABOUTS & 2, WEST STREET,

BLOCK BOTH STREET & PART OF ALAMO ROAD

BLOCK BOTH STREET & PART OF ALAMO ROAD

CITY OF PROCENMEL, BOOKMEL COLMY, TEMAS GENERAL NOTES: RECOMMENDED FOR FINAL APPROVAL is also les top policy of the City of feedwalf to withhold sourte globiles pormis until al steest-bach covered from the companies of the most benefit or produced from the appropriate of a list by the City does not constitute any representation, assurance or guarantee that any building within south pits all the approved, without or primit therefore seed, nor rails activate, approved constitute any representation, sourance or guarantee by the City of the adequay and availability and a second or constitute any representation or constitute any constitute of the city of the adequay and availability and a second or constitute any representation or constitute or constitute and the produced under Ordinance and the protection of the city of the cit Planning and Zoning Commission Date Owner: MHRLI, LLC 627 Sorita Circle Heath, Texas 75092 l hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _______, 2019. Scale: 1" = 40"

Date: December 9, 2019

Technician: Sprading/Bedford
Drawn By: Sgrading/Bedford The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. Basis of Bearings: Bearings are based on deeds recorded in Vol. 1204, Pg. 123; 2014000015285 2018000010137; 20140000015867; 20160000003128; Vol. 2991, Pg. 82; Vol. 1701, Pg. 173; 20170000005610.

WITNESS OUR HANDS, this ______ day of ______, 2019.

City Secretary

City Engineer

Sheet: 2 of: 2

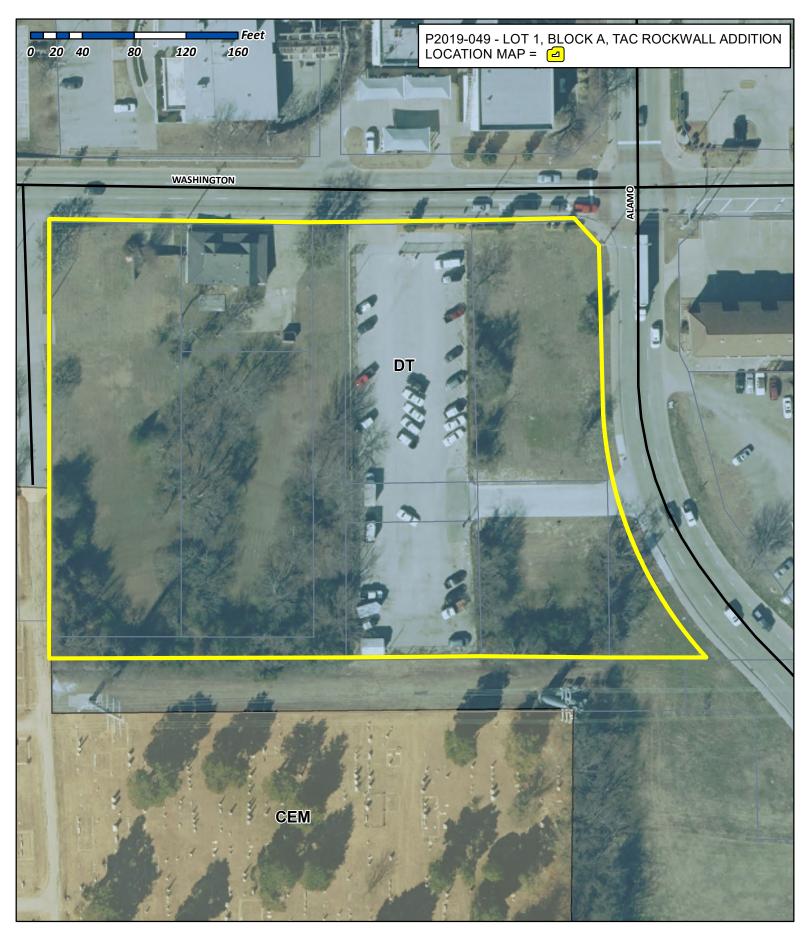
AD Bedford Group, Inc.

Mayor, City of Rockwall

By: Tony Austin Company, Inc., a Texas corporation

By: ______ Tony Austin, President

CITY OF ROCKWALL a Texas municipal corporation





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	STAFF	USE	ONLY	
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PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONI	VE BOX]:	
--	----------	--

- 11	•		
[] Preliminary Plat [X] Final Plat (\$300 [] Replat (\$300.00 [] Amending or M	00.00 + \$15.00 Acre) ¹ : (\$200.00 + \$15.00 Acre) ¹ :00 + \$20.00 Acre) ¹ 0 + \$20.00 Acre) ¹		Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00)
	on Fees: 00 + \$20.00 Acre) ¹ Plan/Elevations/Landscaping Plan (\$100.00)		Notes: 3: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.
	20.4.4.7.2.4.1	2	
	RMATION [PLEASE PRINT]	Dd	(SH 205)
	SWC Washington St and Alamo F		
Subdivision	B.F. Boydstun Survey, Abstract #	14	LOT BIOCK AB
General Location	Downtown-Washington/Alamo		
ZONING, SITE PL	AN AND PLATTING INFORMATION [PLEA	SE P	
Current Zoning	DT		Current Use Vacant - Rockwall PD parking
Proposed Zoning	DT		Proposed Use Multi family development
Acreage	3.224 Lots [Current]	V	lultiple Lots [Proposed] 1
[] <u>SITE PLANS AND</u> process, and failu	PLATS: By checking this box you acknowledge that due to re to address any of staff's comments by the date provided) the	e passage of <u>HB3167</u> the City no longer has flexibility with regard to its approval he Development Calendar will result in the denial of your case.
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/	'CHE	CK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[] Owner	Rockwall, Myrelli, Peoples Estate		[X] Applicant Rockwall Downtown Lofts, LTD.
Contact Person			Contact Person Tony Austin
Address			Address 102 S. Goliad, Suite 205
City, State & Zip		(City, State & Zip Rockwall, TX 75032
Phone			Phone 214.507.9055
E-Mail			E-Mail tsaustin@tac-inc.net
Before me, the undersig	CATION [REQUIRED] ned authority, on this day personally appeared 100 Y ue and certified the following:	, /	10571N [Owner] the undersigned, who stated the information on
cover the cost of this ap	plication, has been paid to the City of Rockwall on this the _ Il (i.e. "City") is authorized and permitted to provide infor	15 mati	submitted herein is true and correct; and the application fee of \$, to day of Dere Derect, 20 Derect By signing this application, I agree on contained within this application to the public. The City is also authorized and application, if such reproduction is associated or in response to a request for public
	Owner's Signature	nk	KATHRYN DIANE ENGLISH Notary Public, State of Texas Comm. Expires 06-02-2020 Comm. Expires 06-02-2020 Comm. Expires 06-02-2020
DEVELOPMI	POCULIAR DWATTON POR	1	17 47 . LTD. 17 GP GP 6 (2) (1872) 772-7745 6 (19 (1972) 772-7745 6 (1972) 772-7745 6 (19 (1972) 772-7745 6 (19 (1972) 772-7745 6 (19 (1972) 772-7745 6 (19 (1972) 772-7745 6 (19 (1972) 772-7745 6 (1972) 772-7745 6 (19 (1972) 772-7745 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-775 6 (1972) 772-77



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STA	FF	USE	ON	ILY	

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Zoning Application Fees:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) ¹ [] Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ [] Final Plat (\$300.00 + \$20.00 Acre) ¹ [] Replat (\$300.00 + \$20.00 Acre) ¹ [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00)	[] Zoning Change [] Specific Use Per [] PD Developmer Other Application [] Tree Removal (Zoning Application Fees:] Zoning Change (\$200.00 + \$15.00 Acre) 1] Specific Use Permit (\$200.00 + \$15.00 Acre) 1] PD Development Plans (\$200.00 + \$15.00 Acre) 1 Other Application Fees:] Tree Removal (\$75.00)] Variance Request (\$100.00)			
Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) 1 [] Amended Site Plan/Elevations/Landscaping Plan (\$10.00)		ee, please use the ex- requests on less than	act acreage when multiplying by the one acre, round up to one (1) acre.		
ROPERTY INFORMATION [PLEASE PRINT]					
Address					
Subdivision		Lot	Block		
General Location					
ONING, SITE PLAN AND PLATTING INFORM	ATION [PLEASE PRINT]				
Current Zoning	Current Use				
Proposed Zoning	Proposed Use				
Acreage	Lots [Current]	Lots [Pro	posed]		
[] <u>SITE PLANS AND PLATS</u> : By checking this box you acknow process, and failure to address any of staff's comments by t	vledge that due to the passage of <u>HB3167</u> th the date provided on the Development Calend	e City no longer has ar will result in the d	s flexibility with regard to its approval enial of your case.		
OWNER/APPLICANT/AGENT INFORMATION	PLEASE PRINT/CHECK THE PRIMARY CONT	ACT/ORIGINAL SIGN	NATURES ARE REQUIRED]		
Contact Person Doug Kaufmann	[] Applicant				
Contact Person DOUG KAUFMANN	Contact Person		•		
Address	Address				
	City State 9.7in				
Phone E-Mail ONLY	City, State & Zip		,		
Phone E-Mail	E-Mail				
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appuths application to be true and certified the following:	eared Doug Kaufnann [Owner] the undersi	gned, who stated the information on		
"I hereby certify that I am the owner for the purpose of this applic cover the cost of this application, has been paid to the City of Roct that the City of Rockwall (i.e. "City") is authorized and permitted permitted to reproduce any copyrighted information submitted in information."	kwall on this the 13 day of Pecensal day of Pe	s application to the	By signing this application, I agree public. The City is also authorized and ed or in response to a request for public		
Given under my hand and seal of office on this the day Owner's Signature	yor Oldenba, 2019.	A A	LISA M RILEY My Notary ID # 125361044 Expires September 13, 2022		
Notary Public in and for the State of Texas	PWn RO	Nay commis	sion Expires Supt 13, 2027		

DEVELOPMENT APPLICATION . CITY OF ROCKWOLL . 385 SOUTH GOLIAD STREET . ROCKWALL, TX 75087 . [P] (972) 771-7745 . [F] (972) 771-7727



Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASI	E NO.
	NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	

CITY ENGINEER:

ise check the appropriate has helow to indicate the type of development request (SELECT ONLY ONE BOX):

Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acr [] Preliminary Plat (\$200.00 + \$15.00 [] Final Plat (\$300.00 + \$20.00 Acre) [] Replat (\$300.00 + \$20.00 Acre) [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100 Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) [] Amended Site Plan/Elevations/Lan	0 Acre) 1) 0.00)	[] Specific Use P [] PD Developm Other Application [] Tree Removal [] Variance Requestion Notes: 1: In determining the	e (\$200.00 + \$15.00 ermit (\$200.00 + \$15 ent Plans (\$200.00 + ent Plans (\$200.00 + ent (\$75.00) elect (\$100.00)	5.00 Acre) ¹
PROPERTY INFORMATION [PLEA	ASE PRINT]			
Address				
Subdivision			Lot	Block
General Location				
ZONING, SITE PLAN AND PLAT	TING INFORMATION [F	PLEASE PRINT]		
Current Zoning		Current Use		
Proposed Zoning		Proposed Use		
Acreage	Lots [Curre	ent]	Lots [Pro	posed]
SITE PLANS AND PLATS: By checking process, and failure to address any of s OWNER/APPLICANT/AGENT II [] Owner Play Peo- Contact Person Address	staff's comments by the date providence of the p	ded on the Development Calend	dar will result in the de	nial of your case.
City, State & Zip	he parke	City, State & Zip		
Phone		Phone		
E-Mail	onry	E-Mail		
NOTARY VERIFICATION [REQUIR Before me, the undersigned authority, on this this application to be true and certified the for "I hereby certify that I am the owner for the po- cover the cost of this application, has been po-	is day personally appeared Lynollowing: ourpose of this application; all informition in the city of Rockwall on this ti	rmation submitted herein is tru he 3 day of 1 ece o	e and correct; and the	application fee of \$, to . By signing this application, I agree
that the City of Rockwall (i.e. "City") is author permitted to reproduce any copyrighted information."	rmation submitted in conjunction v	with this application, if such rep	is application to the p production is associate	ublic. The City is also authorized and dor in response to a request for public
Given under my hand and seal of office on the	is the 13" day of Dece	mbc, 2020.	Street ARY AUG	KATHRYN DIANE ENGLISH SENotary Public, State of Texas
Owner's Signa	ature & yorkon	this Peoples	state	Comm. Expires 06-02-2020

SURVEY BOWNDARY CLOSURE REPORT

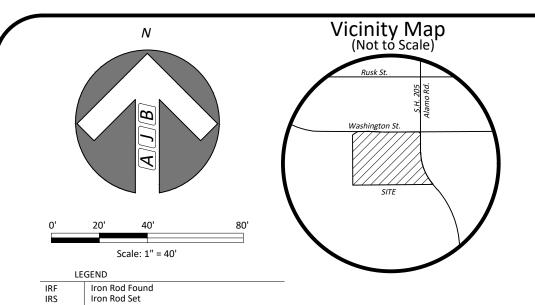
Polyline Report

Northing	Easting	Bearing	Distance
6988126.31	2697317.89		500 54
6988120.92	2696817.18	S 89°23'01" W	
6988434.35	2696815.33	N 00°20'14" W	313.44
6988456.44	2696846.80	N 54°55'29" E	38.45
		N 89°01'44" E	67.71
	2696914.50	s 87°27'16" E	102.01
6988453.06	2697016.42	N 89°38'14" E	213.27
6988454.41	2697229.68	S 45°11'50" E	15.56
6988443.45	2697240.73	s 00°01'53" E	
6988323.29			
	.74 Chord: .88 Delta:		ree: 18°29'54" Dir: Left gent: 112.53
Chord BRG:		Rad-In: N 88°	35'36" E Rad-Out: N 48°39'33" E

Closure Error Distance> 0.0000 Error Bearing> N 90°00'00" E Closure Precision> 1 in 3408534989616.9 Total Distance> 1587.22 Polyline Area: 145394.788 sq ft, 3.338 acres

12-09 CP.dwg, CONVEYANCE PLAT, 12/12/2019 12:00:19 PM

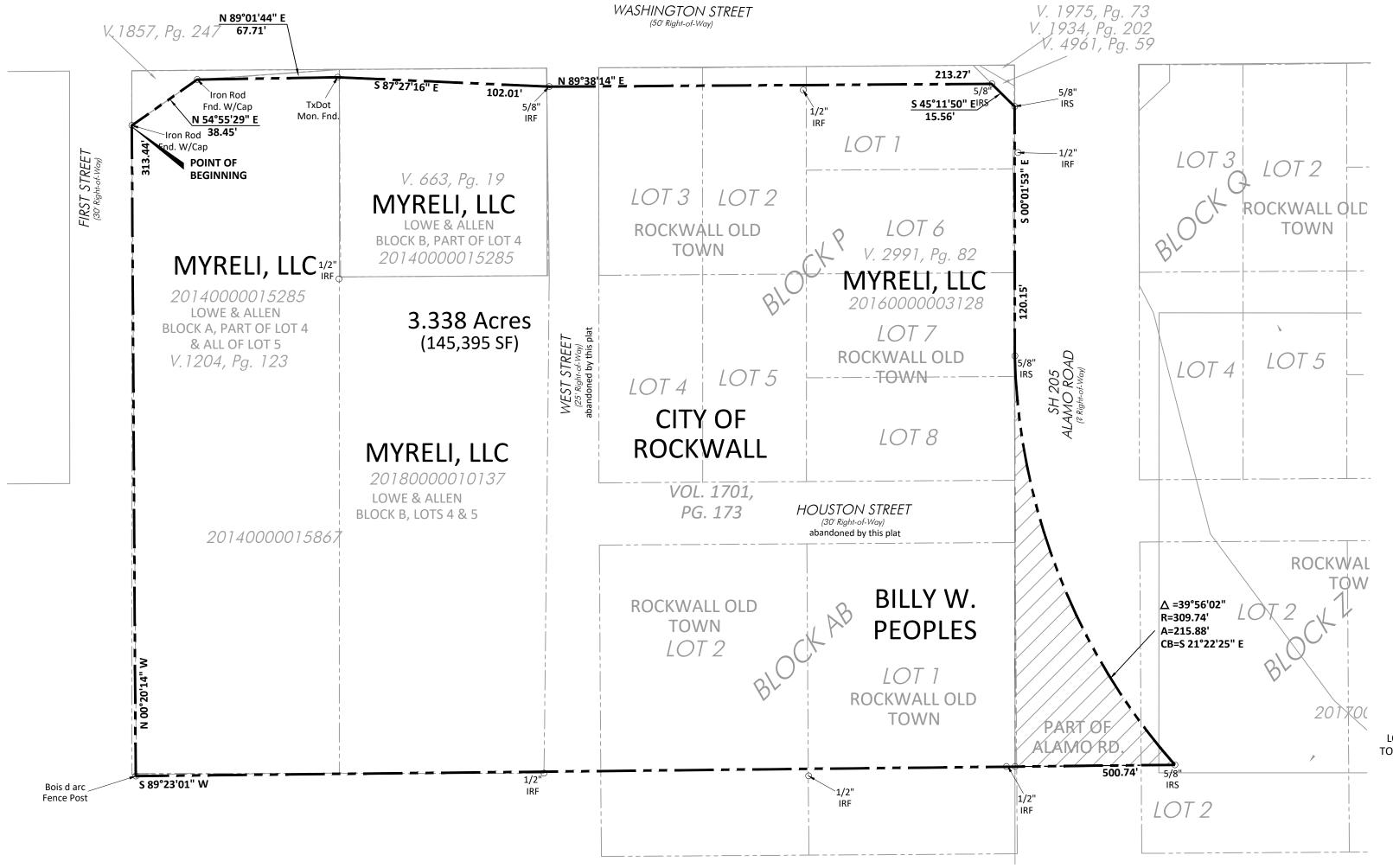
WASHINGTON ST & HWY 205\CLAYROCK 20



DRRCT Deed Records Rockwall County, Texas
Plat Records Rockwall County, Texas
RPRRCT RPRCT Real Property Records Rockwall County, Texas
OPRRCT Official Public Records Rockwall County, Texas

GENERAL NOTES:

- A. This Final Plat is for conveyance purposes only and not for the development of the survey property.
- B. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.



Case No.: P

FINAL PLAT
BEING A CONVEYANCE PLAT
ESTABLISHING ONE LOT
TAC ROCKWALL ADDITION, LOT 1, BLOCK A

BEING A REPLAT OF
LOWE & ALLEN, BLOCK A, LOTS 4 & 5, BLOCK B, LOTS 4 & 5, ROCKWALL OLD
TOWN, BLOCK P, LOTS 1, 2, 3, 4, 5, 6, 7, 8, BLOCK AB LOTS 1 & 2, WEST STREET,
HOUSTON STREET & PART OF ALAMO ROAD
B. F. BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner:
MYRELI, LLC
627 Sorita Circle
Heath, Texas 75032

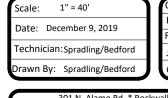
Owner:
CITY OF ROCKWALL
385 S. Goliad
Rockwall, Texas 75087

Owner:
Owner:
CITY OF ROCKWALL
385 S. Goliad
Rockwall, Texas 75087

Owner:
CITY OF ROCKWALL
385 S. Goliad
Rockwall, Texas 75087

Checked By: Frank R. Owens
P.C.: Cryer/Spradling

Engineer: CLAYMOORE ENGINEERING 1903 CENTRAL DRIVE, SUITE 406 BEDFORD, TEXAS 76021



File: CLAYROCK 2019-12-06 CP

Job. No. 552-176

GF No.

301 N. Alamo Rd. * Rockwall, Texas 75087 972) 722-0225 , www.ajbedfordgroup.com, ajb@ajbedfordgroup.co





TBPLS REG#10118200

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALI

BEING a 3.338 acre tract of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT #14 in the City of Rockwall, Rockwall County, Texas and being part of the same property described to MYRELI, LLC recorded in Clerk File # 20140000015285, Clerk File # 20140000015867, Clerk File # 20180000010137, Clerk File # 20160000003128, Official Public Records, Rockwall County, Texas, and being part of a tract of land to the City of Rockwall recorded in Volume 1701, Page. 173, Deed Records, Rockwall County, Texas and being a part of Lot 1, Block AB (no recording information), Official Public Records, Rockwall County, Texas and being part of "WEST STREET" (apparent 25' in width) to Billy W. Peoples, Houston Street (apparent 30' in width) and part of Alamo Road and being more particularly described as follows:

BEGINNING at an iron rod with cap found for the southerly corner of a corner cut-off line at the intersection of the east line of said FIRST STREET (apparent 30 ' in width) with the south line of WASHINGTON STREET (apparent 50' in width);

THENCE with the south line of said Washington Street with said corner cut-off line, **NORTH 54°55'29" EAST** a distance of **38.45** feet to an iron rod with cap found for corner;

THENCE with the south line of said Washington Street, **NORTH 89°01'44" EAST** a distance of **67.71** feet to a TxDot Monument found for corner;

THENCE continuing with the south line of said Washington Street, **SOUTH 87°27'16" EAST** a distance of **102.01** feet to a 5/8 inch iron rod found for corner and being located near the west line of said WEST STREET;

THENCE continuing with the south line of said Washington Street, **NORTH 89°38'14" EAST** a distance of **213.27** feet to a 5/8 inch iron rod set for the northerly corner of a corner cut-off line located at the intersection of the west line of State Highway 205 (ALAMO ROAD)(variable width);

THENCE with the west line of State Highway 205 (ALAMO ROAD), **SOUTH 45°11'50" EAST** a distance of **15.56** feet to a 5/8 inch iron rod set for corner:

THENCE continuing with the west line of said State Highway 205 (ALAMO ROAD), **SOUTH 00°01'53" EAST** a distance of **120.15** feet to a 5/8 inch iron rod set for the beginning of a curve to the left having a radius of 309.74 feet and a chord bearing of South 21°22'25" East;

THENCE continuing with the west line of said State Highway 205 (ALAMO ROAD) with said curve to the left through a central angle of **39°56'02"** for an arc length o **215.88** feet to a 5/8 inch iron rod set for the southeast corner of the herein described tract of land:

THENCE departing the west line of said State Highway 205 (ALAMO ROAD), **SOUTH 89°23'01" WEST** a distance of **500.74** feet to a Bois-d-arc fence post found for the southwest corner of herein described tract of land and being located in the east line of said FIRST STREET;

THENCE with the east line of said FIRST STREET, NORTH 00°20'14" WEST a distance of 313.44 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds **3.338 acres** or 145,395 square feet of land more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Frank R. Owen
Registered Professional Land Surveyor No. 5387
frank@ajbedfordgroup.com
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: STATE OF TEXAS COUNTY OF ROCKWALL

We, ROCKWALL DOWNTOWN LOFTS, LTD., MYRELI, LLC, CITY OF ROCKWALL & BILLY W. PEOPLES, the undersigned owners of the land shown on this plat, and designated herein as the TAC ROCKWALL ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the LOWE & ALLEN, BLOCK A, LOTS 4 & 5, BLOCK B, LOTS 4 & 5, ROCKWALL OLD TOWN, BLOCK P LOTS 1, 2, 3, 4, 5, 6, 7, 8, BLOCK AB LOTS 1 & 2, WEST STREET, HOUSTON STREET, & PART OF ALAMO ROAD subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

7. Property owner is responsible for maintenance, repair, and replacement of all detention/drainage facilities in easements:

8. Abandonment and Conveyance: Notwithstanding anything to the contrary contained herein: (i) the purpose of this plat is to be filed in connection with the conveyance of all of the property shown hereon to Rockwall Downtown Lofts, Ltd., a Texas limited partnership, (ii) this plat constitutes and describes the abandonment of those certain right-of-ways know as West Street and Houston Street, as indicated and shown hereon, and West Street and Houston Street, as shown hereon, are hereby conveyed and abandoned by the City of Rockwall to and for the benefit of Rockwall Downtown Lofts, Ltd., a Texas limited partnership and (iii) all parties hereto agree to execute and deliver all such further documents and instruments necessary to effectuate such conveyance and abandonment of West Street and Houston Street to Rockwall Downtown Lofts, Ltd., a Texas limited partnership.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made

ROCKWALL DOWNTOWN LOFTS, LTD: a Texas municipal corporation By: Tony Austin Company, Inc., a Texas corporation Tony Austin, President STATE OF TEXAS COUNTY OF ROCKWALL Before me, the undersigned authority, on this day personally appeared Tony Austin, President, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2020 Notary Public in and for the State of Texas MYRELI, LLC, a Texas limited liability company By: DRK Family Partners, Ltd, a Texas limited partnership By: Dreek, LLC, a Texas limited liability company Its: General Partner Name: Ruth R. Kaufmann Its: Managing Member Name: Douglas A. Kaufmann Its: Managing Member STATE OF TEXAS COUNTY OF ROCKWALL Before me, the undersigned authority, on this day personally appeared Ruth R. Kaufmann, Managing Member, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____ Notary Public in and for the State of Texas STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Douglas A. Kaufmann, Managing

Member, known to me to be the person whose name is subscribed to the foregoing instrument, and

acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2020

Notary Public in and for the State of Texas

Name:		
Fitle:		
STATE OF TEXAS COUNTY OF ROCKWALL		
Before me, the undersigned authority, on known to me to be the person whose name acknowledged to me that he executed the stated.	e is subscribed to the for	egoing instrument, and
Given upon my hand and seal of office this	s day of	, 2020
Notary Public in and for the State of Texas		
Lynda Morris, Independent Executrix of th	ne	
Estate of Billy W. Peoples, Deceased BILLY W. PEOPLES		
Estate of Billy W. Peoples, Deceased	_	
Estate of Billy W. Peoples, Deceased BILLY W. PEOPLES Name: Lynda Morris Title: Independent Executrix of the	_	
Estate of Billy W. Peoples, Deceased BILLY W. PEOPLES Name: Lynda Morris Title: Independent Executrix of the Estate of Billy W. Peoples, Deceased STATE OF TEXAS	— this day personally appe ne is subscribed to the for	regoing instrument, and
Estate of Billy W. Peoples, Deceased BILLY W. PEOPLES Name: Lynda Morris Title: Independent Executrix of the Estate of Billy W. Peoples, Deceased STATE OF TEXAS COUNTY OF ROCKWALL Before me, the undersigned authority, on known to me to be the person whose nan acknowledged to me that he executed the	this day personally apper ne is subscribed to the for e same for the purpose an	regoing instrument, and nd consideration therein

CITY OF ROCKWALL

GENERAL NOTES:

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have bee accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basis of Bearings: Bearings are based on deeds recorded in Vol. 1204, Pg. 123; 20140000015285; 20180000010137; 20140000015867; 20160000003128; Vol. 2991, Pg. 82; Vol. 1701, Pg. 173; 20170000005610.

FLOOD STATEMENT: According to Community Panel No. 48397C0040L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

RECOMMENDED FOR FINAL A	PPROVAL		
Planning and Zoning Commiss	ion Date		
APPROVED			
I hereby certify that the above the City Council of the City of			rall, Texas, was approved by , 2019.
This approval shall be invalid u			
WITNESS OUR HANDS, this	day of	, 2019.	
Mayor, City of Rockwall	City Secretary	City Engineer	<u></u>

FINAL PLAT

BEING A CONVEYANCE PLAT
ESTABLISHING ONE LOT
TAC ROCKWALL ADDITION, LOT 1, BLOCK A

Case No.: P

BEING A REPLAT OF

LOWE & ALLEN, BLOCK A, LOTS 4 & 5, BLOCK B, LOTS 4 & 5, ROCKWALL OLD TOWN, BLOCK P, LOTS 1, 2, 3, 4, 5, 6, 7, 8, BLOCK AB LOTS 1 & 2, WEST STREET, HOUSTON STREET & PART OF ALAMO ROAD

B. F. BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

MYRELI, LLC 627 Sorita Circle	Owner: ROCKWALL DOWNTOWN LOFTS, LTD 2300 Versailles Ct. Heath, TX. 75032	Owner: CITY OF ROCKWALL 385 S. Goliad Rockwall, Texas 7508	Owner: BILLY W. PEOPLES P.O Box 35 Rockwall, Texas 75087		
Engineer:	Scale: 1" = 40'	Che P.O	ecked By: Frank R. Owens		
CLAYMOORE ENGINEERING 1903 CENTRAL DRIVE,	Date: December 9, 20	19	P.C.: Cryer/Spradling File: CLAYROCK 2019-12-06 CP		
SUITE 406 BEDFORD, TEXAS 76021	Technician: Spradling/E	Bedford Job	Job. No. 552-176		
,	Drawn By: Spradling/B	Bedford GF	No.		
		o Rd. * Rockwall, T 5 , www.ajbedforc			
Sheet:	AJ Bedf	ord Gro	up, Inc.		
of: 2	Registered Profe	ssional Land Su	rveyors		

TBPLS REG#10118200



PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 30, 2019

APPLICANT: Bill Thomas; Engineering Concepts & Design, LP

CASE NUMBER: P2019-050; Lots 24 & 25, Rainbo Acres Addition

SUMMARY

Consider a request by Bill Thomas of Engineering Concepts & Design, LP on behalf of Justin Webb of Horizon Road Self-Storage, LLC Sandra McMullen for the approval of a replat for Lots 24 & 25, Rainbo Acres Addition being an 8.733-acre tract of land identified as a portion of Lots 22 & 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Road, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting to replat an 8.733-acre tract of land consisting of two (2) parcels of land (i.e. Lots 22 & 23, Rainbo Acres Addition) into two (2) lots (i.e. Lots 24 & 25, Rainbo Acres Addition) for the purpose of establishing the necessary firelane, drainage and utility easements necessary to develop a mini-warehouse facility on Lot 25 (i.e. currently Lot 23).
- ☑ On October 2, 2017, the City Council approved a change in zoning [Case No. Z2017-037; Ordinance No 17-53] from an Agricultural (AG) District to a Commercial (C) District. On December 4, 2017, the City Council approved a replat [Case No. P2017-050] for the purpose of subdividing the subject property into two (2) lots (i.e. Lots 22 & 23, Rainbo Acres Addition). On January 7, 2019, the City Council approved a Specific Use Permit [Case No. Z2018-052; Ordinance No 19-04] to allow a mini-warehouse facility on Lot 25. On August 13, 2019, the Planning and Zoning Commission approved a site plan for a mini-warehouse facility on Lot 25. On September 10, 2019, the Planning and Zoning Commission approved a site plan to allow the construction of a metal office building in conjunction with an existing single-family home that was being converted into an office building on Lot 24.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 24 & 25, Rainbo Acres Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall



12/16/2019 AG

Project Plan Review History

Project Number Project Name

P2019-050

259 Ranch Trail

Type PLAT

Subtype **REPLAT** Status Staff Review RYAN MOORMAN

Owner **Approved Applicant** Closed **BILL THOMAS Expired**

Status

Applied

Site Address

City, State Zip

259 RANCH TRAIL ROCKWALL, TX 75032 Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

RAINBOW ACRES 14 & PT 16

NULL

14 & PT 16

4720-0000-0014-00-0R

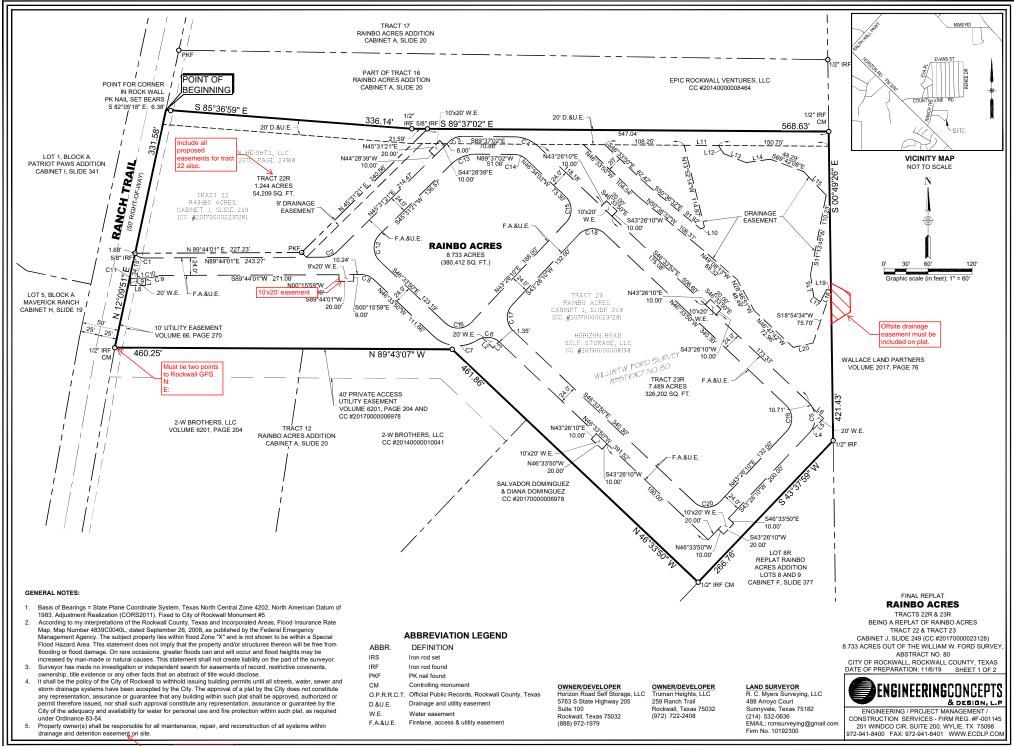
Contact Sent Remarks Type of Review / Notes Due Received **Elapsed Status BUILDING** Russell McDowell 12/16/2019 12/23/2019 12/18/2019 2 **APPROVED ENGINEERING** Sarah Johnston 12/16/2019 12/23/2019 12/19/2019 COMMENTS (12/19/2019 10:06 AM SJ) M - Must include all easements on Tract 22 also. M - Must tie two points to Rockwall GPS. N:, E: M - Must include the offsite drainage easement on the plat. M - the waterline easement is 10'x20' minimum. FIRE Ariana Hargrove 12/16/2019 12/23/2019 12/17/2019 1 **APPROVED** GIS **Lance Singleton** 12/16/2019 12/23/2019 12/17/2019 **COMMENTS** See comments (12/17/2019 9:08 AM LS) Check map against legal descriptions. POB is in wrong location. Also check tract numbers and clarify where tract 14 is. **PLANNING Korey Brooks** 12/16/2019 12/23/2019 12/20/2019 **COMMENTS** Comments

P2019-050; Lots 24 & 25, Rainbo AcresAddition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This a request by Bill Thomas of Engineering Concepts & Design, LP on behalf of Justin Webb of Horizon Road Self-Storage, LLC Sandra McMullen for the approval of a replat for Lots 24 & 25, Rainbo Acres Addition being an 8.733-acre tract of land identified as a portion of Lots 22 & 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Road.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (P2019-050) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- (1) Please tie two corners to state plane coordinate system.
- (2) Please note the Lot and Block Designation.
- I.6 Please note that failure to address all comments provided by staff by 5:00 PM on January 20, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 20, 2019; The Planning & Zoning Meeting December 30, 2019.

Project Reviews.rpt Page 2 of 2



OWNER'S CERTIFICATION

STATE OF TEXAS § COUNTY OF ROCKWALL §

WHEREAS We, Truman Heights, LLC and R. D. Moorman, Inc., are the sole owners of a 8.733 acres of land situated in the William W. Ford Survey, Abstract 80, Rockwall County, Texas, and being a part of Tracts 14 and 16 of Rainbo Acres, an addition to the City of Rockwall, Texas, according to the plat thereof as recorded in Cabinet A, Slide 20, Plat Records of Rockwall County, Texas and also being all of the tract described in a deed to Kenneth E. McMullen and wife Sandra A. McMullen recorded in Volume 632, Page 280, Deed Records of Rockwall County, Texas (DRRCT), and this tract being more particularly described as follows:

BEGINNING at A 1/2" iron rod found for corner at the most southern corner of said Tract 14 and said McMullen Tract common to the most eastern corner of said Tract 12;

THENCE N 46 degrees 33 minutes 50 seconds W, along the southwest line of said McMullen Tract and the common lines of said Tracts 12 and 14 and the northeast lines of a 1.84 acre and a 1.50 acre tract described as Instrument Numbers 20170000006978 and 20140000010041, respectively, a distance of 461.86 feet to a point at an angle point at the base of a steel fence post:

THENCE N 89 degrees 43 minutes 07 seconds W continuing along the common lines of said McMullen tract and said Tracts 12 and 14 and the north line of said 1.50 acre tract and another 1.50 acre tract described in a deed to 2-W Brothers LLC, recorded in Volume 6201, Page 204 (DRRCT), a distance of 460.25 feet to a 1/2" iron of found near the base of a steel fence post at the common west corner said Tracts 12, 14, McMullen and 2-W Brothers tracts, said point also being in the east fight-of way line of Ranch Trail (50 ROW);

THENCE N 12 degrees 09 minutes 51 seconds E, along the east right-of-way line of said Ranch Trail and the common lines said of said Tract 14, 16, and said McMullen Tract, a distance of 331.58 feet to a point for comer in a rock wall at the northwest corner of said McMullen Tract common to the southwest corner of a called 2.00 acre tract described in a deed to Epic Rockwall Ventures LLC, recorded as Instrument Number 2014000009464, (DRRCT), from which a 60D nail set for reference bears 5 82 decrees 05 minutes 18 seconds E, a distance of 6.38 feet.

THENCE S 85 degrees 36 minutes 59 seconds E, along the common line of said McMullen tract and last mentioned 2.00 acre tract, and near the south side of a rock wall, a distance of 336.14 feet to a 1/2" iron rod found at an angle point in said common line, near the end of said rock wall;

THENCE S 89 degrees 37 minutes 02 seconds E, continuing along the common line of said McMullen and 2.00 acre tract, a distance of 588.63 feet to a 1/2² iron rod found for corner at the common east corner thereof and also being in the east line of said Tract of:

THENCE S 00 degrees 49 minutes 26 seconds E, along the common east line of said McMullen tract and Tract 16 and 14, respectively, a distance of 421.43 feet to a $1/2^{\circ}$ iron rod found for an angle point in said common line;

THENCE S 43 degrees 37 minutes 59 seconds W, along the common southeast line of said McMullen tract and Tract 14, a distance of 266.76 feet to the **POINT OF BEGINNING** and containing 8.733 acres or 380,411 square feet of

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS § COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the RAINBO ACRES subdivision to the City of Rockwall. Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the RAINBO ACRES subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of Ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has compiled with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall or
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS § COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared [OWNERS NAME], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the numose and consideration therein stated.

Given upon my hand and seal of office this _____ day of ______, 2019.

Notary Public in and for the State of Texas My Commission Expires

STATE OF TEXAS § COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared [OWNERS NAME], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of ______, 2019.

Notary Public in and for the State of Texas My Commission Expires

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat was prepared under my supervision, from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal surpanishms.

Given under my seal of office this the _____ day of ______, 2019

PRELIMINARY ~ This document shall not be recorded for any purpose and shall not be used, reviewed, or relied upon as a final survey document.

Released 11-13-2019

Robert C. Myers Registered Professional Land Surveyor State of Texas No. 3963

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this date personally appeared Robert C. Myers, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this the _____ day of ______, 20

Notary Public in and for the State of Texas
My commission expires:

Planning & Zoning Commission, Chairman	Date
APPROVED:	
I hereby certify that the above and foregoing plat of City Council of the City of Rockwall on the	of an addition to the City of Rockwall, Texas, was approved by day of, 2019.
	l plat for such addition is recorded in the office of the County C
of Rockwall, County, Texas, within one hundred e	ignity (160) days from said date of final approval.
of Rockwall, County, Texas, within one hundred e WITNESS OUR HANDS, this day of	

	LINE TABI	LE	
LINE#	BEARING	DISTANCE	١
L1	S89°44'01"W	14.58'	-
L2	N46°33'50"W	20.00'	(
L3	S43°26'10"W	11.96'	(
L4	N46°33'50"W	1.60'	-
L5	S43°26'10"W	20.00'	(
L6	S46°33'50"E	20.00'	(
L7	S00°15'59"E	10.00'	(
L8	S89°44'01"W	20.00'	(
L9	N00°15'59"W	9.40'	(
L10	N60°37'24"E	5.62'	c
L11	S89°37'02"E	46.56'	c
L12	S32°56'55"E	13.30'	С
L13	S68°11'52"E	32.53'	C
L14	N82°21'13"E	33.74'	c
L15	S43°36'01"E	44.71'	C
L16	S08°15'50"E	30.91'	С
L17	S53°54'21"E	11.37'	С
L18	N26°49'06"E	18.98'	C
L19	S76°58'40"E	6.01'	С
L20	S77°32'04"W	27.53'	C

PECOMMENDED FOR FINAL APPROVAL

	CURVE TABLE										
	NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B					
	C1	36°19'31"	25.00'	15.85'	15.59'	S72°06'14"E					
	C2	44°12'40"	25.00'	19.29'	18.82'	N67°37'41"E					
	C3	44°51'36"	25.00'	19.57'	19.08'	S67°57'09"W					
	C4	43°03'12"	49.00'	36.82'	35.96'	N68°05'26"W					
	C5	90°00'00"	30.00'	47.12'	42.43'	N01°33'50"W					
	C6	75°55'32"	25.00'	33.13'	30.76'	N84°31'36"W					
	C7	75°55'32"	49.00'	64.93'	60.28'	S84°31'36"E					
	C8	43°42'09"	25.00'	19.07'	18.61'	N68°24'55"W					
	C9	17°07'08"	30.00'	8.96'	8.93'	S81°10'27"W					
	C10	17°07'08"	49.00'	14.64'	14.59'	N81°10'27"E					
	C11	16°10'18"	25.00'	7.06'	7.03'	S81°38'52"W					
	C12	92°05'11"	25.00'	40.18'	35.99'	S00°31'15"E					
	C13	44°51'36"	49.00'	38.36'	37.39'	S67°57'09"W					
	C14	43°03'12"	25.00'	18.79'	18.35'	N68°05'26"W					
	C15	90°00'00"	25.00'	39.27'	35.36'	N01°33'50"W					
	C16	90°00'00"	25.00'	39.27'	35.36'	N88°26'10"E					
	C17	90°00'00"	25.00'	39.27'	35.36'	S01°33'50"E					
	C18	90°00'00"	25.00'	39.27'	35.36'	S88°26'10"W					
	C19	90°00'00"	25.00'	39.27'	35.36'	N01°33'50"W					
	C20	90°00'00"	25.00'	39.27'	35.36'	N88°26'10"E					

FINAL REPLAT

RAINBO ACRES

TRACTS 22R & 23R
BEING A REPLAT OF RAINBO ACRES
TRACT 22 & TRACT 23
CABINET J, SLIDE 249 (CC #20170000023128)
8.733 ACRES OUT OF THE WILLIAM W. FORD SURVEY.

ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
DATE OF PREPARATION: 11/6/19 SHEET 2 OF 2

ENGINEERINGCONCEPTS & DEBIGN, L.P

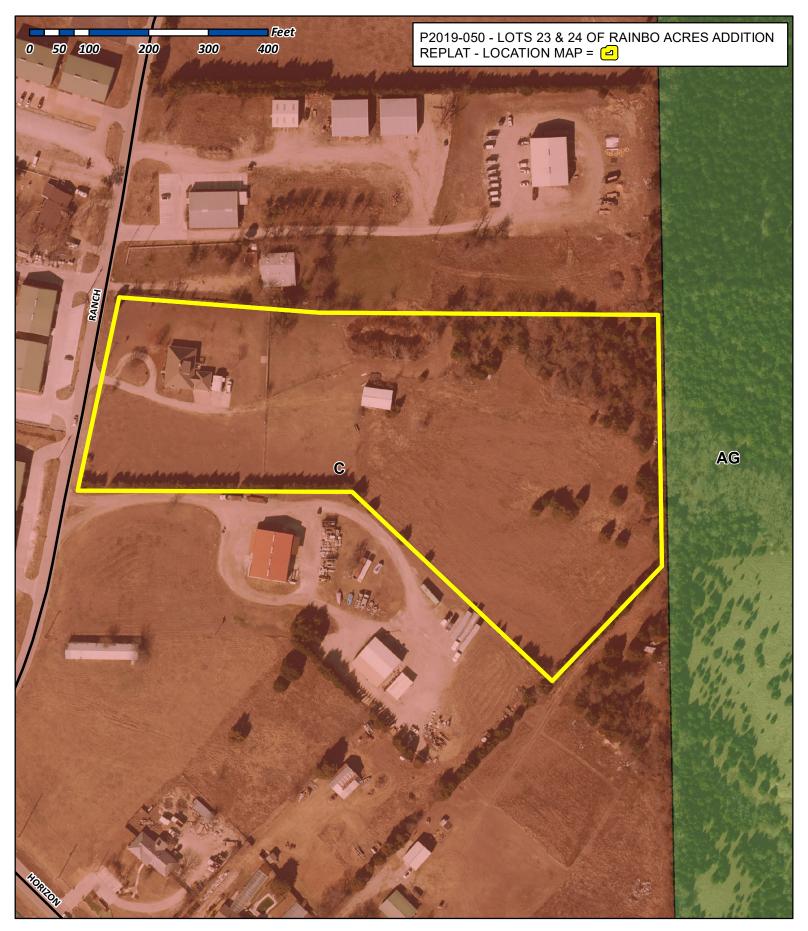
ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, SUITE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

OWNER/DEVELOPER Horizon Road Self Storage, LLC 5763 S State Highway 205 Suite 100 Rockwall, Texas 75032 (888) 972-1979

OWNER/DEVELOPER Truman Heights, LLC 259 Ranch Trail Rockwall, Texas 75032 (972) 722-2408

R. C. Myers Surveying, LLC 488 Arroyo Court Sunnyvale, Texas 75182 (214) 532-0636 EMAIL: rcmsurveying@gmail.com Firm No. 10192300

LAND SURVEYOR





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street

STAFF USE ONLY	
PLANNING & ZONING CASE NO.	P2019-050

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

Rockwall, Texas 75087					angl	·		
Please check the ap	propriate box below to indic	ate the type of devel	opment reques	t (Resolutio	n No. 05-22) [SELEC	T ONLY ONE BOX]:		
Platting Applicati [] Master Plat (\$ [] Preliminary Plat (\$30 [] Replat (\$300.0 [] Amending or I [] Plat Reinstate Site Plan Applicat [] Site Plan (\$250 [] Amended Site	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) 1 [] Specific Use Permit (\$200.00 + \$15.00 Acre) 1 [] PD Development Plans (\$200.00 + \$15.00 Acre) 1 [] Tree Removal (\$75.00) Notes: 1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.							
PROPERTY INFO	RMATION [PLEASE PRINT]							
Address	Unknown Ranch Trail and 2	259 Ranch Trail						
Subdivision	Rainbo Acres Tract 22r & 2	3r		L	.ot	Block		
General Location	East side of Ranch Trail No	rth of Horizon						
ZONING, SITE P	LAN AND PLATTING INF	ORMATION [PLEAS	E PRINT]					
Current Zoning	Commercial (C) District		Current U	se vacant	vacant			
Proposed Zoning	Commercial (C) District		Proposed U	se Self Sto	Self Storage			
Acreage	8.733	Lots [Current]	2		Lots [Proposed]	2		
151 150 15 51 51	lats: By checking the box at the	left you agree to waive	the statutory tin	ne limit for pl	lat approval in accord	ance with Section		
	Local Government Code. CANT/AGENT INFORMA	TION (DI EASE DRINT/O	THE PRIMAR	V CONTACT/O	ODIGINAL SIGNATURES	ADE DECLIDED		
	Horizon Road Self Storage, L	A V A V LA CALLES AND A CALLES		TO SHE WAS A	ring Concepts & De			
Contact Person			Contact Perso					
Address	5763 S state Highway 205		Addres	s 201 Win	201 Windco Circle			
City, State & Zip	Rockwall, TX 75032		City, State & Zi	p Wylie, T	Wylie, TX 750998			
Phone	8889721979		Phon	e 9729418	3403			
E-Mail	justinw@alturahomes.com		E-Ma	il bill@ecc	dlp.com			
Before me, the undersign information on this app "I hereby certify that I the application fee of \$, 20	cation [Required] gned authority, on this day personal lication to be true and certified the am the owner, or duly authorized a, to cover the co this application I agree that the City also authorized and permitted to	following: gent of the owner, for the st of this application, has b of Rockwall (i.e. "City") is	been paid to the Cit s authorized and pe	plication; all in y of Rockwall ermitted to pro	nformation submitted he on this the 13 day ovide information contain	of Decentary ned within this application to		
associated or in respons	also authorized and permitted to it ise to a request for public information and seal of office on this the <u>13</u>		<u></u> , 20 <u>19</u> .	miced in CONIC	Di Notary	ORI LINNE HEATH Public, State of Texas Expires 06-24-2023		

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

Parcel Map Check Report

Client: *Prepared by:* ClientPreparer Client Company Your Company Name Address 1 123 Main Street

Date: 12/13/2019 10:14:59 AM

Parcel Name: 05211 Replat - 05211 Replat 1

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False North: 7,008,064.050' East: 2,597,406.875'

Segment# 1: Line

Course: N12° 09' 51.48"E Length: 331.58' North: 7,008,388.185' East: 2,597,476.745'

Segment# 2: Line

Course: S85° 36' 58.60"E Length: 336.14' North: 7,008,362.492' East: 2,597,811.901'

Segment# 3: Line

Course: S89° 37' 02.38"E Length: 568.63' North: 7,008,358.694' East: 2,598,380.519'

Segment# 4: Line

Course: S0° 49' 25.68"E Length: 421.43' North: 7,007,937.308' East: 2,598,386.578'

Segment# 5: Line

Course: S43° 37' 58.93"W Length: 266.76' North: 7,007,744.234' East: 2,598,202.503'

Segment# 6: Line

Course: N46° 33' 50.28"W Length: 461.86' North: 7,008,061.783' East: 2,597,867.127'

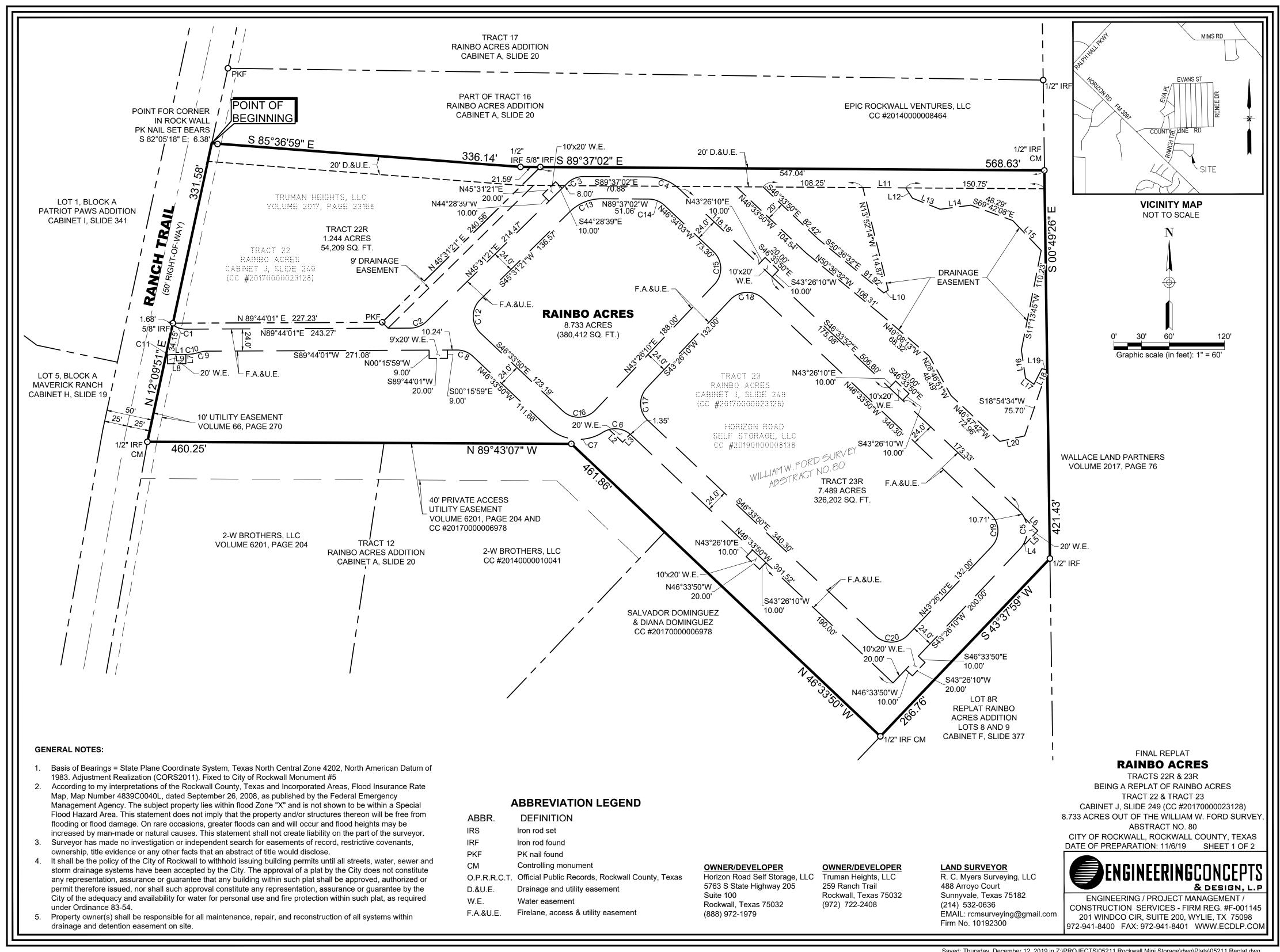
Segment# 7: Line

Course: N89° 43' 06.60"W Length: 460.25' North: 7,008,064.044' East: 2,597,406.883'

Perimeter: 2,846.65' Area: 380,411Sq.Ft. Error Closure: 0.009 Course: S52° 09' 33.88"E

Error North: -0.0057 East: 0.0073

Precision 1: 316,294.44



OWNER'S CERTIFICATION

STATE OF TEXAS COUNTY OF ROCKWALL §

WHEREAS We, Truman Heights, LLC and R. D. Moorman, Inc., are the sole owners of a 8.733 acres of land situated in the William W. Ford Survey, Abstract 80, Rockwall County, Texas, and being a part of Tracts 14 and 16 of Rainbo Acres, an addition to the City of Rockwall, Texas, according to the plat thereof as recorded in Cabinet A, Slide 20, Plat Records of Rockwall County, Texas and also being all of the tract described in a deed to Kenneth E. McMullen and wife Sandra A. McMullen recorded in Volume 692, Page 280, Deed Records of Rockwall County, Texas (DRRCT), and this tract being more particularly described as follows:

BEGINNING at A 1/2" iron rod found for corner at the most southern corner of said Tract 14 and said McMullen Tract common to the most eastern corner of said Tract 12;

THENCE N 46 degrees 33 minutes 50 seconds W, along the southwest line of said McMullen Tract and the common lines of said Tracts 12 and 14 and the northeast lines of a 1.84 acre and a 1.50 acre tract described as Instrument Numbers 20170000006978 and 20140000010041, respectively, a distance of 461.86 feet to a point at an angle point at the base of a steel fence post:

THENCE N 89 degrees 43 minutes 07 seconds W continuing along the common lines of said McMullen tract and said Tracts 12 and 14 and the north line of said 1.50 acre tract and another 1.50 acre tract described in a deed to 2-W Brothers LLC, recorded in Volume 6201, Page 204 (DRRCT), a distance of 460.25 feet to a 1/2" iron rod found near the base of a steel fence post at the common west corner said Tracts 12, 14, McMullen and 2-W Brothers tracts, said point also being in the east right-of way line of Ranch Trail (50 ROW);

THENCE N 12 degrees 09 minutes 51 seconds E, along the east right-of-way line of said Ranch Trail and the common lines said of said Tract 14, 16, and said McMullen Tract, a distance of 331.58 feet to a point for corner in a rock wall at the northwest corner of said McMullen Tract common to the southwest corner of a called 2.00 acre tract described in a deed to Epic Rockwall Ventures LLC, recorded as Instrument Number 20140000008464, (DRRCT), from which a 60D nail set for reference bears S 82 degrees 05 minutes 18 seconds E, a distance of 6.38 feet;

THENCE S 85 degrees 36 minutes 59 seconds E, along the common line of said McMullen tract and last mentioned 2.00 acre tract, and near the south side of a rock wall, a distance of 336.14 feet to a 1/2" iron rod found at an angle point in said common line, near the end of said rock wall;

THENCE S 89 degrees 37 minutes 02 seconds E, continuing along the common line of said McMullen and 2.00 acre tract, a distance of 568.63 feet to a 1/2" iron rod found for corner at the common east corner thereof and also being in the east line of said Tract 16;

THENCE S 00 degrees 49 minutes 26 seconds E, along the common east line of said McMullen tract and Tract 16 and 14, respectively, a distance of 421.43 feet to a 1/2" iron rod found for an angle point in said common line;

THENCE S 43 degrees 37 minutes 59 seconds W, along the common southeast line of said McMullen tract and Tract 14, a distance of 266.76 feet to the POINT OF BEGINNING and containing 8.733 acres or 380,411 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the RAINBO ACRES subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the RAINBO ACRES subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared [OWNERS NAME], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of ______, 2019.

Notary Public in and for the State of Texas My Commission Expires

Owner

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared [OWNERS NAME], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____ , 2019.

Notary Public in and for the State of Texas My Commission Expires

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat was prepared under my supervision, from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Given under my seal of office this the ____ day of ___

PRELIMINARY ~ This document shall not be recorded for any purpose and shall not be used, reviewed, or relied upon as a final survey document.

Released 11-13-2019

Robert C. Myers Registered Professional Land Surveyor State of Texas No. 3963

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this date personally appeared Robert C. Myers, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this the _____ day of ___

Notary Public in and for the State of Texas My commission expires:

Planning & Zoning Commission, Chairman **APPROVED:** I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of ____ This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this _____ day of _____ Mayor, City of Rockwall City Secretary City Engineer

RECOMMENDED FOR FINAL APPROVAL

	LINE TABL	E.		CURVE TABLE							
LINE#	BEARING	DISTANCE	N	IO.	DELTA	RADIUS	LENGTH	CH. L	CH. B		
L1	S89°44'01"W	14.58'	(C1	36°19'31"	25.00'	15.85'	15.59'	S72°06'14"E		
L2	N46°33'50"W	20.00'	(C2	44°12'40"	25.00'	19.29'	18.82'	N67°37'41"E		
L3	S43°26'10"W	11.96'	(23	44°51'36"	25.00'	19.57'	19.08'	S67°57'09"W		
L4	N46°33'50"W	1.60'	(C4	43°03'12"	49.00'	36.82'	35.96'	N68°05'26"W		
L5	S43°26'10"W	20.00'	(C5	90°00'00"	30.00'	47.12'	42.43'	N01°33'50"W		
L6	S46°33'50"E	20.00'	(26	75°55'32"	25.00'	33.13'	30.76'	N84°31'36"W		
L7	S00°15'59"E	10.00'		27	75°55'32"	49.00'	64.93'	60.28'	S84°31'36"E		
L8	S89°44'01"W	20.00'		C8	43°42'09"	25.00'	19.07'	18.61'	N68°24'55"W		
L9	N00°15'59"W	9.40'		C9	17°07'08"	30.00'	8.96'	8.93'	S81°10'27"W		
L10	N60°37'24"E	5.62'	С	:10	17°07'08"	49.00'	14.64'	14.59'	N81°10'27"E		
L11	S89°37'02"E	46.56'	С	:11	16°10'18"	25.00'	7.06'	7.03'	S81°38'52"W		
L12	S32°56'55"E	13.30'	С	:12	92°05'11"	25.00'	40.18'	35.99'	S00°31'15"E		
L13	S68°11'52"E	32.53'	С	:13	44°51'36"	49.00'	38.36'	37.39'	S67°57'09"W		
L14	N82°21'13"E	33.74'	С	:14	43°03'12"	25.00'	18.79'	18.35'	N68°05'26"W		
L15	S43°36'01"E	44.71'	С	:15	90°00'00"	25.00'	39.27'	35.36'	N01°33'50"W		
L16	S08°15'50"E	30.91'	С	:16	90°00'00"	25.00'	39.27'	35.36'	N88°26'10"E		
L17	S53°54'21"E	11.37'	С	:17	90°00'00"	25.00'	39.27'	35.36'	S01°33'50"E		
L18	N26°49'06"E	18.98'	С	:18	90°00'00"	25.00'	39.27'	35.36'	S88°26'10"W		
L19	S76°58'40"E	6.01'	С	:19	90°00'00"	25.00'	39.27'	35.36'	N01°33'50"W		
L20	S77°32'04"W	27.53'	С	20	90°00'00"	25.00'	39.27'	35.36'	N88°26'10"E		

FINAL REPLAT

RAINBO ACRES

TRACTS 22R & 23R BEING A REPLAT OF RAINBO ACRES TRACT 22 & TRACT 23

CABINET J, SLIDE 249 (CC #20170000023128) 8.733 ACRES OUT OF THE WILLIAM W. FORD SURVEY, ABSTRACT NO. 80

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS DATE OF PREPARATION: 11/6/19 SHEET 2 OF 2



ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145 201 WINDCO CIR, SUITE 200, WYLIE, TX 75098 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

OWNER/DEVELOPER Horizon Road Self Storage, LLC Truman Heights, LLC 5763 S State Highway 205 Suite 100 Rockwall, Texas 75032 (888) 972-1979

OWNER/DEVELOPER

259 Ranch Trail Rockwall, Texas 75032 (972) 722-2408

R. C. Myers Surveying, LLC 488 Arroyo Court Sunnyvale, Texas 75182 (214) 532-0636 EMAIL: rcmsurveying@gmail.com Firm No. 10192300

LAND SURVEYOR



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: December 30, 2019

SUBJECT: MIS2019-016; Amended Treescape Plan for Lots 6 & 33, Block A, Whisper

Rock Addition

The applicant, Scott Lewis of RRDC, LTD is requesting approval of an amended treescape plan for the Whisper Rock Addition. On December 11, 2018, the Planning and Zoning Commission approved a treescape plan with the final plat [i.e. Case No. P2018-043] for the Whisper Rock Subdivision, which indicated a total of 471-caliper inches of trees would be removed from the site and a total of 472-inches of trees would be replanted with the development. In this case, the mitigation balance was to be satisfied by planting 118 trees within the development (i.e. four [4], four [4] inch caliper trees on each residential lot and six [6] trees in the common areas). According to the approved treescape plan, Lot 33 (which was originally Lot 5) & Lot 6 had approximately 34 Elm trees that were preserved, with the majority of these trees being located on Lot 6. As a note, Lots 1-5 were replatted in September 2019 for the purpose of establishing a franchise easement. This replat effectively changed the lot numbers from Lots 1-5 to Lots 29-33. On November 21, 2019, it was reported to staff that several of the preserved trees (i.e. Primary Protected Trees) had been removed without a permit or without the applicant seeking prior approval. Staff notified the applicant of the violation, and the applicant stated that the trees had been cleared for the purpose of developing the lot. It was the applicants' understanding that these trees had been accounted for in the original mitigation plan. In response to this misunderstanding, the applicant has submitted a revised treescape plan that accounts for the trees that were previously removed, and requests the removal of additional trees for the development of both residential lots. The applicant is requesting to remove a total of 274-caliper inches from both lots (i.e. 240-inches from Lot 6 and 34-inches from Lot 33). With this being said, the total mitigation balance due for the development would be adjusted to 745-inches [i.e. 471-inches approved + 274-inches requested = 745-inches]. To satisfy the mitigation balance, the applicant's treescape plan indicates a total of 186 trees to be planted within the development (i.e. six [6], four [4] inch caliper trees on each residential lot and 21 trees within the common areas).

According to Section 3.4, *Treescape Plan Review Process*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), the Planning and Zoning Commission is responsible for reviewing and approving or disapproving *Treescape Plans*. The decision of the Planning and Zoning Commission may be appealed to the City Council. Attached to this memo is the applicant's revised treescape plan indicating the trees to be removed from Lots 5 & 33, and the approved treescape plan from the final plat approval [*i.e. Case No. P2018-043*]. Should the Planning and Zoning Commission have any questions staff will be available at the *December 30, 2019* meeting.

City of Rockwall



12/4/2019 DG

12/19/2019 DG

Project Plan Review History

Project Number Project Name

MIS2019-016

Whisper Rock Tree Removal

Type

MISCELLANEOUS

Subtype

P&Z HEARING Status

Site Address

City, State Zip

3231 RIDGE RD , TX

Subdivision

BENTON COURT

Owner

Applicant

Tract 104

Block

Lot No 104

SCOTT LEWIS RRDC, LTD

GEORGE, & JULIA ROLAND LIVING TRUST

Parcel No

General Plan

Applied

Closed

Expired

Status

Zoning

Approved

0207-0000-0104-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Building Inspections Do	Russell McDowell	12/18/2019		12/18/2019	APPROVED	
PLANNING	David Gonzales	12/19/2019	12/26/2019	12/19/2019	COMMENTS	See comments

(12/19/2019 10:30 AM DG)

MIS2019-016; Amended Treescape Plan for Whisper Rock Subdivision

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a treescape plan for a0.6303-acre tract of land identified as Lots 6 & 33, Block A, Whisper Rock Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 47 (PD-47) for Single-Family 10 (SF-10) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1202 & 1206 Whisper Rock Drive.
- 1.2 For guestions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (MIS2019-016) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
- I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), Planned Development District No. 47 (PD-47), and the Tree Preservation Standards of Article IX, that are applicable to the subject property.
- M.5 Treescape Plan. Please make the following clarifications/corrections on the treescape plan to ensure staff can properly review this project and convey all of the required elements to the Planning and Zoning Commissions. (Section 3, of Article IX, UDC):
- 1) Consolidate both lots onto one (1) plan and make the following changes:
- a. Trees to be Removed from Lot6 = 240 inches
- b. Change lot number 5 to 'Lot 33', this was replatted earlier this year.
- c. Mitigation Calculation Table
- i. Primary Protected 478"
- ii. Remove Secondary Protected not applicable to this plan
- iii. Lot 33 Additional Trees Removed 34"
- iv. Lot 6 Additional Trees Removed 240"
- v. Trees = 745" To Be Mitigated
- vi. Development to Plant 186 4" Trees
- vii. 21 Trees in Common Area & 6 Trees Per Lot
- 2) The Planning and Zoning Commission will reviewand approve or disapprove the Treescape Plan The decision of the Planning and Zoning Commission may be appealed to the City Council. (Section 3.4, Article IX, UDC)
- I.6 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2019; however, it is encouraged for applicants to submit revisions as soon as possible.
- ** Please note that the Planning & Zoning Work Session meeting will be held on December 30, 2019.
- I.7 Staff recommends that a representative be present for the meeting as scheduled above The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.

Project Reviews.rpt Page 2 of 2





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street

STAFF USE OI

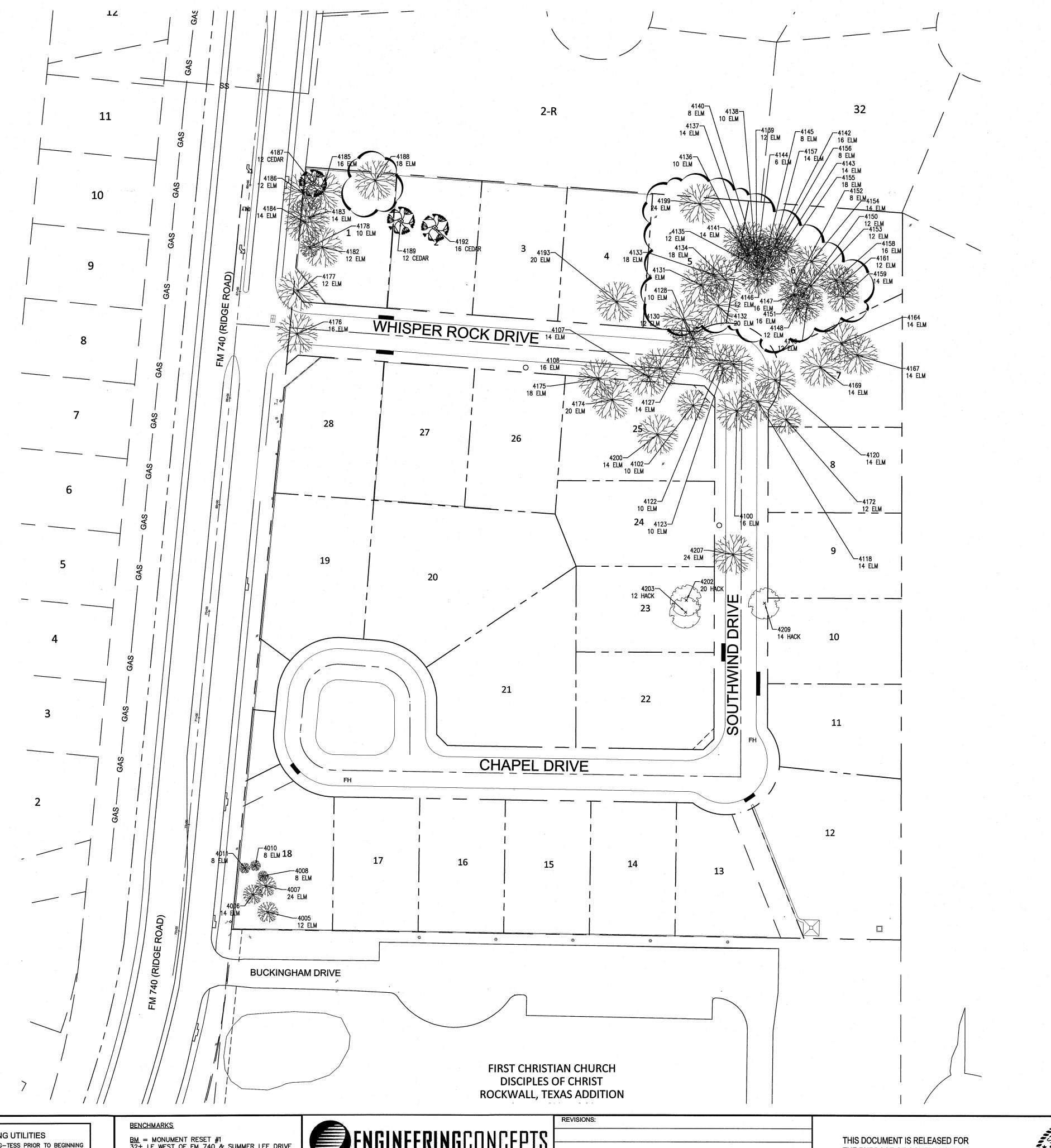
PLANNING & ZUNING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

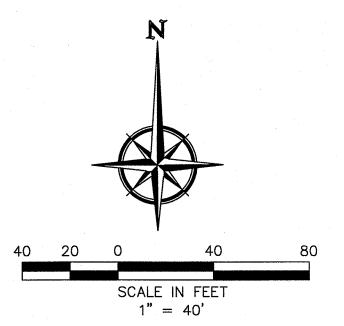
	Rockwall, Texas 7508	87	CITY	Y ENGINEER:	Can		(#3) Fr (1)
Please check the ap	ppropriate box below to indic	cate the type of devel	lopment request	[SELECT ONLY	ONE BOX]:		
[] Preliminary Plat [] Final Plat (\$300.00 [] Replat (\$300.00 [] Amending or M [] Plat Reinstatem Site Plan Applicatio [] Site Plan (\$250.	100.00 + \$15.00 Acre) ¹ at (\$200.00 + \$15.00 Acre) ¹ 0.00 + \$20.00 Acre) ¹ 00 + \$20.00 Acre) ¹ Winor Plat (\$150.00) ment Request (\$100.00)	Plan (\$100.00)	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: 1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acres				
PROPERTY INFO	RMATION [PLEASE PRINT]						
Address	Whisper 1	Rock					
Subdivision	Whisper Ro			Lot	5+6	Block	4
General Location		300					/
ZONING, SITE PL	LAN AND PLATTING INF	FORMATION [PLEAS	SE PRINT]				
Current Zoning	PD 47		Current Use	2			
Proposed Zoning			Proposed Use	a			
Acreage		Lots [Current]	5+6	Lo	ots [Proposed]		
[] <u>SITE PLANS AND F</u> process, and failure	PLATS: By checking this box you a re to address any of staff's commen	acknowledge that due to tents by the date provided of	the passage of <u>HB31</u> on the Development Co	.67 the City no lor alendar will result	nger has flexibility in the denial of yo	with regard to our case.) its approve
OWNER/APPLICA	ANT/AGENT INFORMA						
[] Owner	RANG LAD			Scott		RIC,	40
Contact Person	the less see		Contact Person	Scott	Levis		
Address	900 Hash lad	I larry		900 Hen		م ادده م	4
0.7	, , 1 9			Head			
	Head of 7,	5036	City, State & Zip				
Phone	214-668.		Phone		668-8		
E-Mail	Scott Lew hows	· letgera 1.co	۸ E-Mail	Scottle	wishame	; agmo	ail-com
	CATION [REQUIRED] ned authority, on this day personall te and certified the following:	lly appeared C.Sco	H Lewis	[<i>Owner</i>] the ι	undersigned, who	stated the inf	formation c
cover the cost of this appli that the City of Rockwall	n the owner for the purpose of this of plication, has been paid to the City of Il (i.e. "City") is authorized and peri any copyrighted information submit	of Rockwall on this the $\underline{m{\omega}}$	ation contained within	in this application	, 20 <u>19</u> . By sign to the public. The	gning this applica se City is also au	uthorized an
Given under my hand and	I seal of office on this the	_ day of Dec_	, 20 19.			ANYA BUEHL	
	Owner's Signature /	Mark		is is	Comm	Public, State 1. Expires 02-0	02-2021

Notary ID 130991925



TREES TO BE PRESERVED

Point Table			Point Table			
Point #	Raw Description		Point #	Raw Description		
4136	10 ELM		4148	12 ELM		
4128	10 ELM		4149	12 ELM		
4130	12 ELM		4150	12 ELM		
4131	16 ELM		4151	16 ELM		
4132	20 ELM		4152	8 ELM		
4133	18 ELM		4153	12 ELM		
4134	18 ELM		4154	14 ELM		
4199	24 ELM		4155	18 ELM		
4135	12 ELM		4156	8 ELM		
4137	14 ELM		4157	14 ELM		
4138	10 ELM		4158	16 ELM		
4139	12 ELM		4159	14 ELM		
4140	8 ELM		4161	12 ELM		
4141	14 ELM		4188	18 ELM		
4142	16 ELM					
4143	14 ELM					
4144	6 ELM					



TREES TO BE REMOVED

Point Table

Point # Raw Description

4177

4178

4185

4186

4207

4209

14 ELM

20 ELM

12 ELM

10 ELM

14 ELM

16 ELM

12 ELM

12 CEDAR

12 CEDAR

16 CEDAR

20 ELM

24 ELM

14 HACK

12 ELM

·				
Point Table				
Point #	Raw Description			
4200	14 ELM			
4008	8 ELM			
4005	12 ELM			
4102	10 ELM			
4006	14 ELM			
4007	24 ELM			
4202	20 HACK			
4010	8 ELM			
4107	14 ELM			
4203	12 HACK			
4011	8 ELM			
4164	14 ELM			
4100	16 ELM			
4172	12 ELM			
4108	16 ELM			
4182	12 ELM			
4118	14 ELM			
4184	14 ELM			
4120	14 ELM			
4127	14 ELM			

MITIGATION CALCULATION

PRIMARY PROTECTED 478" SECONDARY PROTECTED MITIGATION = $478 + 0.5 \times 86 = 471$ " TO BE MITIGATED DEVELOPMENT TO PLANT 118 - 4" TREES, 6 TREES IN COMMON AREA & 4 TREES PER LOT.

CAUTION! EXISTING UTILITIES CAUTION! EXISTING UTILITIES

CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BM = MONUMENT RESET #1
32± LF WEST OF FM 740 & SUMMER LEE DRIVE
INTERSECTION. SOUTH SIDE OF SUMMER LEE DRIVE. ELEV=567.704

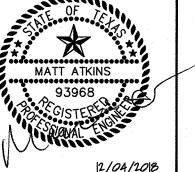
BM = MONUMENT R014 375± LF WEST OF RIDGE ROAD & HENRY M CHANDLER DRIVE INSTERSECTION. ON NORTH SIDE OF HENRY M. CHANDLER DRIVE ELEV=561.017

ENGINEERINGCONCEPTS

ENGINEERING / PROJECT MANAGEMENT CONSTRUCTION SERVICES - FIRM REG. #F-001145 201 WINDCO CIR, STE 200, WYLIE, TX 75098 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

	REVISIONS:		T
ı İ			
			1
٠.			1
	DRAWN: JD	DATE:	1
	CHECKED: M.A.	DATE: DECEMBER 2018	1
ı	PROJECT NO.: 02114		1
ı	DWG FILE NAME: TREE PLAN DWG	······································	1

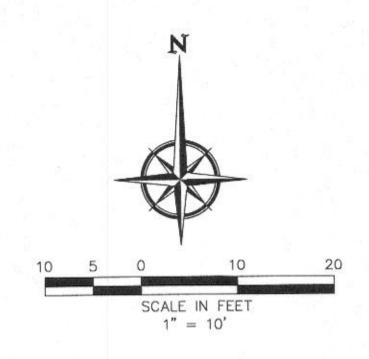
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATT ATKINS, P.E. 93968



TREESCAPE PLAN WHISPER ROCK CITY OF ROCKWALL ROCKWALL COUNTY

SHEET





TREES TO BE PRESERVED

#4132	20" ELM
#4134	18" ELM
#4141	14" ELM
#4199	24" ELM
TOTAL	76"

TREES TO BE REMOVED

#4131	16" ELM
#4133	18" ELM
TOTAL	34"

MITIGATION CALCULATION

PRIMARY PROTECTED	428"
SECONDARY PROTECTED	86"
LOT 5 ADDITIONAL TREES REMOVED	34"
LOT 6 ADDITIONAL TREES REMOVED	250"
MITIGATION = 428" + 0.5 x 86" + 284" AI	DDITIONAL
TREES = 755" TO BE MITIGATED	
DEVELOPMENT TO PLANT 189 - 4" TRE	EES,
21 TREES IN COMMON AREA & 6 TREE	ES PER LOT

ENGINEERINGCONCEPTS

& DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR. SUITE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

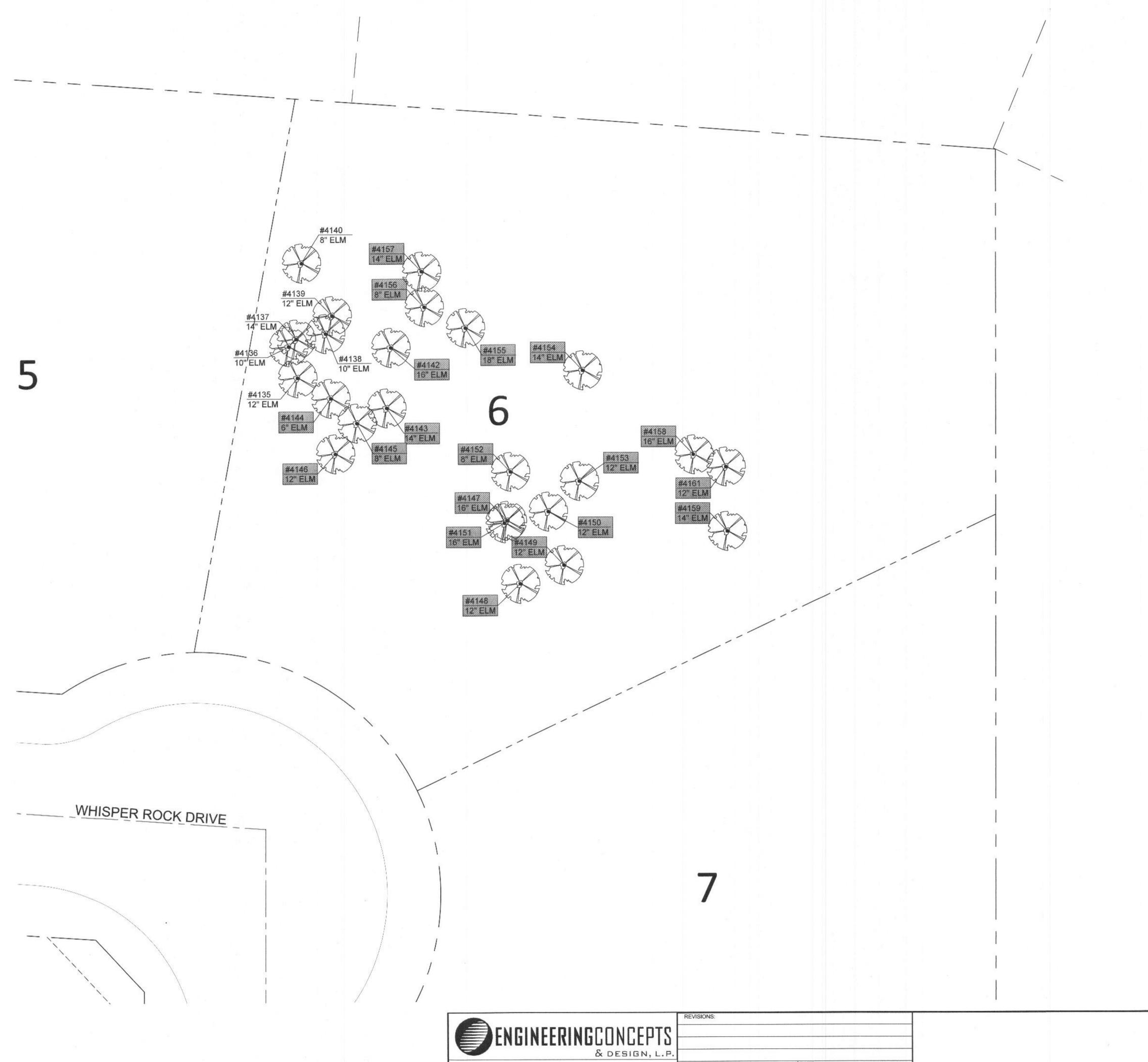
DRAWN:
CHECKED:
DATE:
CHECKED:
PROJECT NO.: 02114

DWG FILE NAME: LOT 5 TREE PLAN.DWG

LOT 5
TREESCAPE PLAN
WHISPER ROCK
CITY OF ROCKWALL
ROCKWALL COUNTY

O1 OF

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ENGINEERING / PROJECT MANAGEMENT /

CONSTRUCTION SERVICES - FIRM REG. #F-001145

201 WINDCO CIR. SUITE 200, WYLIE, TX 75098

CHECKED:

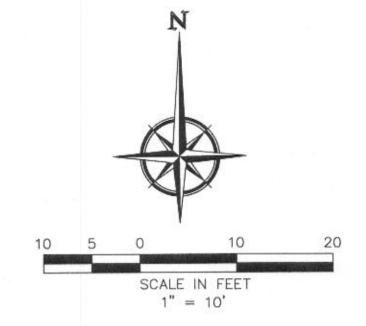
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM DWG FILE NAME: LOT 5 TREE PLAN.DWG

PROJECT NO.: 02114

DECEMBER, 2019

TREES TO BE PRESERVED

#4135	12" ELM
#4136	10" ELM
#4137	14" ELM
#4138	10" ELM
#4139	12" ELM
#4140	8" ELM
TOTAL	66"



TREES TO BE REMOVED

#4142	16" ELM
#4143	14" ELM
#4144	6" ELM
#4145	8" ELM
#4146	12" ELM
#4147	16" ELM
#4148	12" ELM
#4149	12" ELM
#4150	12" ELM
#4151	16" ELM
#4152	8" ELM
#4153	12" ELM
#4154	14" ELM
#4155	18" ELM
#4156	8" ELM
#4157	14" ELM
#4158	16" ELM
#4159	14" ELM
#4161	12" ELM
TOTAL	250"

UTIONTION ONLOUD ATION

MITIGATION CALCULATION

PRIMARY PROTECTED 428"
SECONDARY PROTECTED 86"
LOT 5 ADDITIONAL TREES REMOVED 34"
LOT 6 ADDITIONAL TREES REMOVED 250"
MITIGATION = 428" + 0.5 x 86" + 284" ADDITIONAL
TREES = 755" TO BE MITIGATED
DEVELOPMENT TO PLANT 189 - 4" TREES,
21 TREES IN COMMON AREA & 6 TREES PER LOT.

LOT 6
TREESCAPE PLAN
WHISPER ROCK
CITY OF ROCKWALL
ROCKWALL COUNTY

O1 OF



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: December 30, 2019

SUBJECT: MIS2019-017; Variance to Fence Standard – 405 Fox Hollow Drive

The applicant, Adam Buczek of Windsor Homes Cumberland, LLC, is requesting approval of a variance to the fencing standards stipulated by Planned Development District 81 (PD-81) [i.e. Ordinance No. 16-42]. In this case, the applicant has indicated to staff that the property adjacent to the subject property [i.e. Tract 17, of the E M Elliott Survey, Abstract No. 77] has an existing accessory structure and fence that encroaches approximately five (5) feet into the subject property. Exhibits have been provided by the applicant showing the encroachment. The structure and fence are highly visible from the home that is currently being constructed at 405 Fox Hollow Drive. Additionally, the encroachment could create a cloud on the title for this property (i.e. an encumbrance that might invalidate or impair the title), which will need to be resolved prior to the transfer of the land from the developer to the perspective buyers. To fix this issue the applicant is proposing to replat ~246 SF of the subject property with the adjacent landscape buffer, dedicating it to the Homeowners Association (HOA) as open space. Currently, the subject property would be permitted to construct a minimum six (6) foot wood fence at the rear of the property; however, after replatting the property as open space, 6(b) of Exhibit 'C', Wrought Iron/Tubular Steel, of Ordinance No. 16-42 would require the fence to be constructed out of wrought iron or tubular steel. Based on the visibility of the structure and the required non-transparent fencing, the applicant is requesting a variance to allow a minimum of a six (6) foot wood fence be constructed adjacent to the newly established rear yard property line. Exhibit 'C' of Planned Development District 81 (PD-81) allows variance requests in conformance to the requirements set forth in the Unified Development Code (UDC). According to Section 9, Exceptions and Variances, of Article XI, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(u)nless otherwise specified by the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." Based on the information provided by the applicant, the condition created by the encroachment could be considered an extraordinary condition, and strict adherence to the requirements of PD-81 -- for a wrought iron or tubular steel fence -- would leave the property owner with an undesirable view. A wood fence would provide screening of the encroachment. Staff should point out that the properties to the north of the subject property that are also being developed with the Ridgecrest Subdivision are permitted wood fencing along the rear property line per the requirements of PD-81. Based on this, staff does not feel that allowing for the wood fence at the rear of the subject property will have an impact of the aesthetics of the neighborhood. In this case a variance request may be warranted; however, this request is a discretionary decision for the Planning and Zoning Commission. The applicant has provided a letter of explanation, a survey, and photos of the adjacent property. Should the Planning and Zoning Commission have any questions staff will be available at the December 30, 2019 meeting.





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY PLANNING & ZONING CASE NO.	
NOTE: THE APPLICATION IS NOT C CITY UNTIL THE PLANNING DIREC SIGNED BELOW.	CONSIDERED ACCEPTED BY THE TOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees: Master Plat (\$100.00 + \$15.00 Acre) 1 Preliminary Plat (\$200.00 + \$15.00 Acre) 1 Final Plat (\$300.00 + \$20.00 Acre) 1 Replat (\$300.00 + \$20.00 Acre) 1 Amending or Minor Plat (\$150.00) Plat Reinstatement Request (\$100.00) Site Plan Application Fees:	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) Variance Request (\$100.00)
[] Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.
PROPERTY INFORMATION [PLEASE PRINT]	Setting Sept Option at Curtar Park and Discuss design and a second setting of the Curtar Park and Curtar Park
Address 405 Fox HOLLOW DRI	IVE
Subdivision RIDGECREST	Lot / Block C
General Location N/E CORNER OF FIX	HULLOW DRIVE & AIRPORT ROAD
ZONING, SITE PLAN AND PLATTING INFORMATIO	
Current Zoning ORDINANCE 14-42	Current Use S/F
Proposed Zoning NO CHANGE - JUST REPUBLE FOR	2 MORLUS Proposed Use AND CHANGE BUT JUST NEED TO CREATE AN HOP LOT (+1- 14 SF)
Acreage + 20,340 SF, 54c Lots [C	
SITE PLANS AND PLATS: By checking this box you acknowledge th	hat due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approval provided on the Development Calendar will result in the denial of your case.
	SE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[] Owner WINDSOR HOMES COMBORIAND	SHC [] Applicant SAME IS OWNER
Contact Person ADAM BUCLEK	Contact Person
Address 8214 westchester Dr., Stern	Address
City, State & Zip DAIIAC TV 75725	City, State & Zip
City, State & Zip D41145, TX 75225 Phone 214-888-8843	Phone
E-Mail abuczek @s/korburgcompany.	. com E-Mail
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared A his application to be true and certified the following:	
over the cost of this application, has been paid to the City of Rockwall on t hat the City of Rockwall (i.e. "City") is authorized and permitted to provi iermitted to reproduce any copyrighted information submitted in conjunct	information submitted herein is true and correct; and the application fee of \$\frac{10000}{0000000000000000000000000000000
iyormation. Given under my hand and seal of office on this the	Shannon Allen Shannon Allen My Commission Expires 1/0 1/0 1/03/2023
Owner's Signature	50 iD No. 131840132
Notary Public in and for the State of Texas	0 M - My Commission Expires 1-3-23



Mr. Ryan Miller Director of Planning & Zoning 385 S. Goliad Street Rockwall, Texas 75087

December 12, 2019

Dear Mr. Miller:

On behalf of Windsor Homes Cumberland LLC, please accept this variance request and replat application for Lot 1, Block C (405 Fox Hollow Drive) of the Ridgecrest Estates subdivision (the "Lot").

Windsor Homes expects to complete construction of the home for the homebuyer by February 2020. However, to be able to convey clear title to the homebuyer, an encroachment and fencing issue must be resolved.

As shown in the attached exhibits, there is an existing encroachment on the Lot from the neighboring property to the east that includes a shed, a wood fence, a patio and a hot tub. The total encroachment area is approximately 246 square feet (at strip about 3.5' wide by 70' long). Unfortunately, the owner of the property to the east recently passed away and the property is now in probate, and we have been unable to obtain confirmation and approval from the Trustee to remove these encroaching structures before the home must be closed to our buyer.

As a result of this encroachment, Windsor cannot convey clear title without replatting this lot to carve out the encroached area from the lot boundary and dedicating it to the HOA. Secondly, our buyer understandably wants a new, solid wood fence installed along the entire back property line (consistent with the back yard fencing of the other homes in Ridgecrest which abut the east property boundary) rather than look at the existing dilapidated fence and encroaching structures (see pictures attached).

For HOA maintenance purposes, our replat for Lot 1, Block C will carve out the encroachment area and continue a solid strip to connect with the existing landscape buffer to the south that runs along Airport Road for easy access and ongoing maintenance by the HOA.

However, this creates the fencing issue as the Ridgecrest Estates PD requires tubular steel fencing against HOA open spaces. While the title issue gets resolved with the replat, we need a variance for our buyer to allow solid wood fencing along the backyard fence and the new HOA open space that would be created with the replat.

Enclosed with this letter are the following exhibits to help illustrate the reasons for this request:

Exhibit "A":

Lot Survey showing the encroachment area

Exhibit "B":

Aerial

Exhibit "C":

Recorded Final Plat of Ridgecrest Estates with Lot 1, Block C highlighted

Exhibit "C-2":

Zoomed in recorded Final Plat of Ridgecrest Estates with Lot 1, Block C highlighted

Exhibit "D":

Boundary survey of the Ridgecrest Estates entire subdivision highlighting the encroachment

Exhibit "E":

Pictures of the encroachment structures

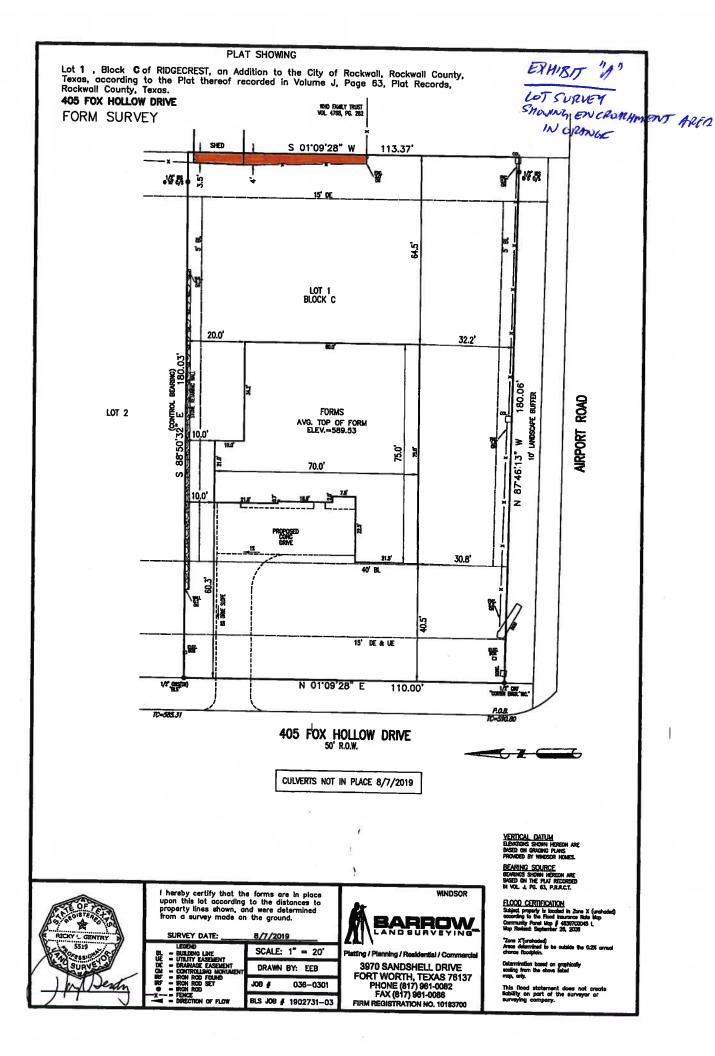
Exhibit "F":

Lot 1, Block C Replat

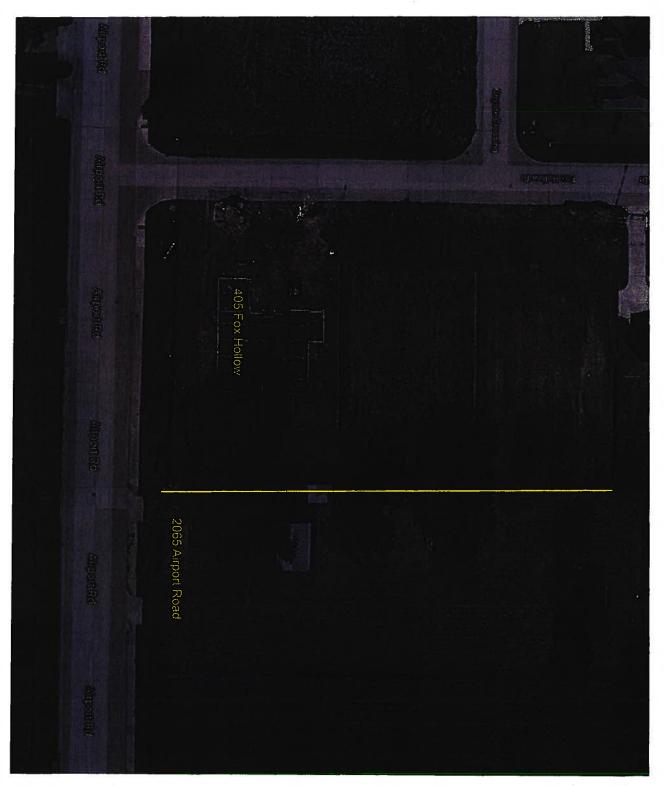
If you need any additional information other that the enclosures with this application, please let me know.

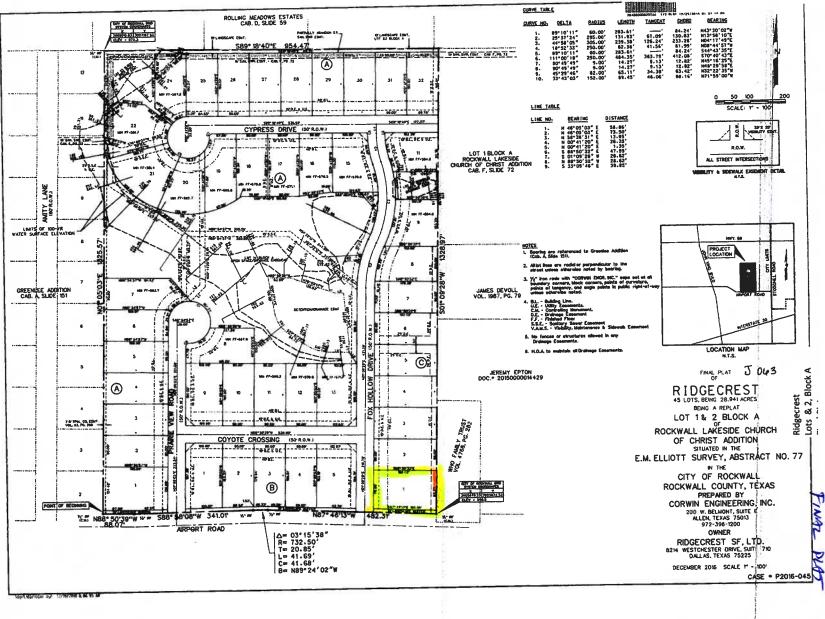
Sincerely,

Windsor Homes Cumberland, LLC (Owner and Applicant)



EXMIBIT "B"

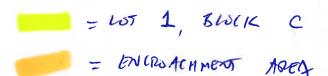


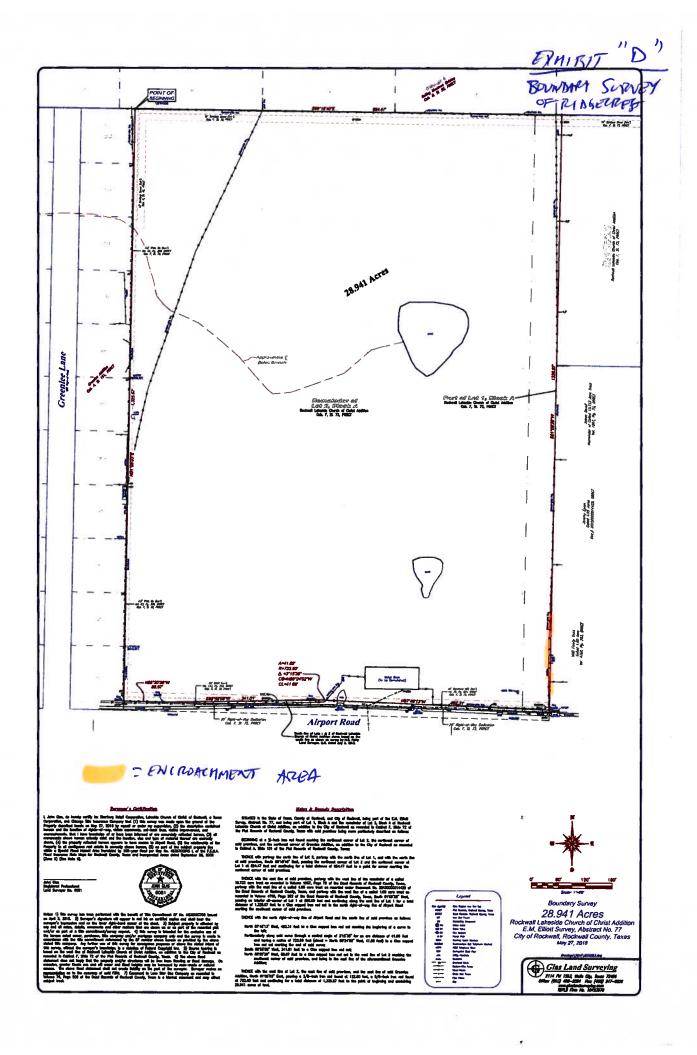


EXMISIT

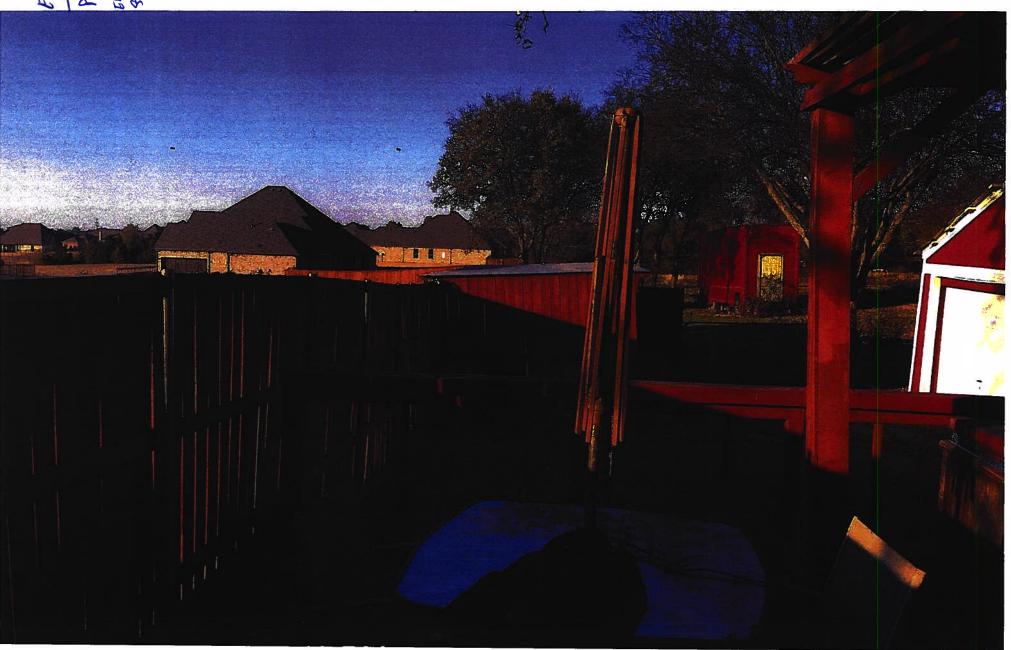
ZOOMED IN FIMIL PLAS ETHIBIT (50 NO1º 09'28"E 421.28 DRIVE 25' D.E. 5 \i______18_BL...D.E..&_U.E.____ 180.00' JEREMY EPT DOC.* 2015000C HOLLOW 4 FOX 15' D.E. & U.E. 15' D.E. 40'B'L 3 90.00 2 15'BL. DE & UE. S88° 50'32"E NO1º 09'28"E 1 2605979.23 7025872.53 **ELEV - 590.8** S87° 46'13"E 180.06' **WIT** 482.31 1/2" IRF (C.M.)

ERNIBIT "C-2"











OWNER'S CERTIFICATE	NOTES
NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:	2. All h
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: COUNTY OF ROCKWAL. We the angestinged oversy of the land shown on this plot, and designated herein as the LOT 1 BLOCK C out of a country of the country of Rockwall, fexua, and whose some is superfied herein, hereby peaker places there are not not the revent story parts, return courses, griding, scenaming and other portises who have a marriage of sen interest in LOT 1 BLOCK.	3. ½* bou poir unte
We understond and do hereby reserve the exament strips, shown on this plot for the purposes stated understand the following some commodation of all tilities destring to use or using some. We discuss the following some times the commodation of all tilities destring to use or using some. We	4. No Dro
described herein.	5. H.O.
2. Any public utility shall paye the right to remove and issay removed at an part of any buildings, with construction, maintenance or efficiency of their respective system on any of these executing with construction, maintenance or efficiency of their respective system on any of these executing strong or any of the payer of their payers of their payers or express to, from any tipon the said either adding to any of their payers of their payers or express to, from any tipon the said either adding to or familying dor part of their payers.	
 The City of Rockwell will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. 	
The developer and subdivision engineer shall bear total responsibility for storm drain improvements. The developer shall be responsible for the processor for this processor for the processor for the processor.	
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and crainage spart for such that properties within the drainage area are not adversely differed by storm drainage inch.	
5. The detailtion definage system is to be maintained, repaired and owned by the subdivision/HOA. The detailtion definage system is to be maintained, repaired and replaced to approved plan conditions by the subdivision/HOA.	
7. No house dwelling unit, or other structure shall be constructed on any jet in the oddition by the control of the City of Rockwar and or many that compared the compared of the City of Rockwar reporting insprovements with respect to the of the City of Rockwar reporting insprovements with respect to the of streets of the city of Rockwar reporting insprovements with respect to the of streets of the characteristic of streets of the required or streets of the characteristic of the City of Rockwar of	
Util on secroe deposit, sufficient to pay for the cost of such improvements, as determined by the city's explaine equifor city commission of c	
Until the developer and/or owner files a corporate surety band with the city secretary in a sum aqual to the cost such improvements for the descripted area, supranteeing the installation beyond within the time stated in the bond, which time smalles fitted by the city councilof the City of Rockwell.	
We further optionwholes that the dedications and/or succitor's made herein are propositional to the impact of the Subdivision upon the public earnings receiped in order that the report of a compact, with the present and future growth needs of the City we, our successors and present and dedication of successors are considered to the contract of the	
WINDSOR HOMES CHAREFELMD, LLC. e Textos British Editify company	
Adom J. Bugrek Authorized Signer	
STATE OF TEXAS CHAIN OF THE undereigned authority, on this day personally appeared ANAM J. BUCZEX Before ma, the undereigned authority, on this day personally appeared ANAM J. BUCZEX thrown upon my hand and seal of office the same for the purpose and consideration therein stated. When upon my hand and seal of office the day of the purpose and consideration therein stated.	
Notory Public in and for the State of Texas My Commission Expires:	
NOTE: It shall be the policy of the City of Rockwall to withhold invite helicing passage and all	
NOTE: It shall be the postery of the City of Rockwall by withhold issuing building permits until all streets, which, spread only only one of the provinces army been accepted by the City. The appropriate of the city the City does not constitute any restreet of the provinces of the city of the c	1
communities any representation, againstance or dustrations by the City of the adequacy and evolution or water for personal use and the protection within such plat, as required under Ordinance 83-54.	
_	į
	1
tonning & Zoning Commission Date	
PPROVED	
and and the state of the state	Ţ
are by cartify that the above and foregoing plot of an addition to the City of Rockwall, Texas, was approved by Council and the City of Rockwall, Texas, was approved by the council and the c	y the
to approved shall be invalid unless the approved plot for such addition is recorded in the affice of the Count Cooked, County, Texas, within one hundred eighty (190) days from each date of find approval.	Jerk of
TNESS CUR HANDS, thisday of, 2020.	
nyor, City of Reckwell City Secretary City Engineer	_
City Engineer	

IES Dearing are referenced to Ridgecreet Cob. 1, Side CO. White these are radial or perpendicular to the street unless otherwise noted by bearing.	Poet or	REDGECREST CAB. J. PG. 63	Hospora Station	7020004.24	.07 2 .00K C		
/g" from rade with "CORWIN ENGR. INC." cape set of operating poundary corners, black corners, points of curvature, beints of tangency, and angle points in public right-of-way misses otherwise noted.		DRIVE 0. 15	/	\$88° 50'32	"E 180.03'	4.00	· er
ia fences or etructures allowed in any Drainage Easements.	1	ROW DE 120.00'				5	t a
1.O.A. to mointain of Drolnoge Ensements.		FOX HOLLOW GORDEN	MANUAL VALUE V	L07 BL00 0.46 987-4939 97-49399	X C	5 SOI* 09'28"W 123.37	C. C
0 20 40 80 SCALE: 1" + 40'		AIRPORT R	DAD	S87* 46'13"E	180.06' LOT X, BLOCK C 0.051 AC.	7	

LEGAL DESCRIPTION

BENG, a tract of land altusted in the E.M. Ellott Survey, Abstract No. 77 in Rockwell County, Texas, being all of Lat 1 Block C, aut Résponset, an addition to the City of Rockwell, as described in Cobinet J, Side 63, in the Piot Records of Rockwell County, Texas, being more particularly described as follows:

BECHNENC, at a 1/2 inch from red found at the northwest corner of adid Lot 1 being in the east line of Fax Hollow Drive (50° R.Q.W.):

THENCE, South 88° 50'32" East, along the north line of sold Lat 1, for a distance of 180.03 feet, to a 1/2 inch iron rad found at the northeast corner of sold Lat 1,

THENCE, North 87° 40°13" West, along the south five of said Ridgecreat and the north line of said Alyzort Road, for a distance of 190.05 feet, to a 1/2 inch iron road found intersection of the east line of said Frox Hollow Drive and the north line of said Airport Road.

THENCE, North 07'00'28" East, deporting edid north fine and along the east fire of edid Fox Hollow Drive, for a distance of 120,000 feet, to the PORT OF SECREBIC and containing 0.503 corns of land.



FINAL PLAT

LOT 1 BLOCK C

BEING A REPLAT

LOT 1 BLOCK C

RIDGECREST SITUATED IN THE

E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 IN THE

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS PREPARED BY

CORWIN ENGINEERING, INC. 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013 972-396-1200

OWNER

WINSOR HOMES CUMBERLAND, LLC. 8214 WESTCHESTER DRIVE, SUITE 710 DALLAS, TEXAS 75225

DECEMBER 2019 SCALE 1" - 40"

CASE • P2019-XXX

THE PURPOSE OF THIS REPLAT IS TO CREATE LOT X, BLOCK C.

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plot shown hereon occurately represents the results of an on-the-ground survey made under my direction and supervision and all commerces as shown thereon and there are no enforcedimental, conflicts, profrusions or visible utilities on the ground suspect on shown and ead plot the been propored in occordance with the plotting rules and regulations of the City Plan Commission of the City of Rockredit, Texas.

DATED the this _____day of ___

RPLS. No. 4621

WITHESS MY HAND AND SEAL OF OFFICE, this the_

Notory Public in and for the State of Texas



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

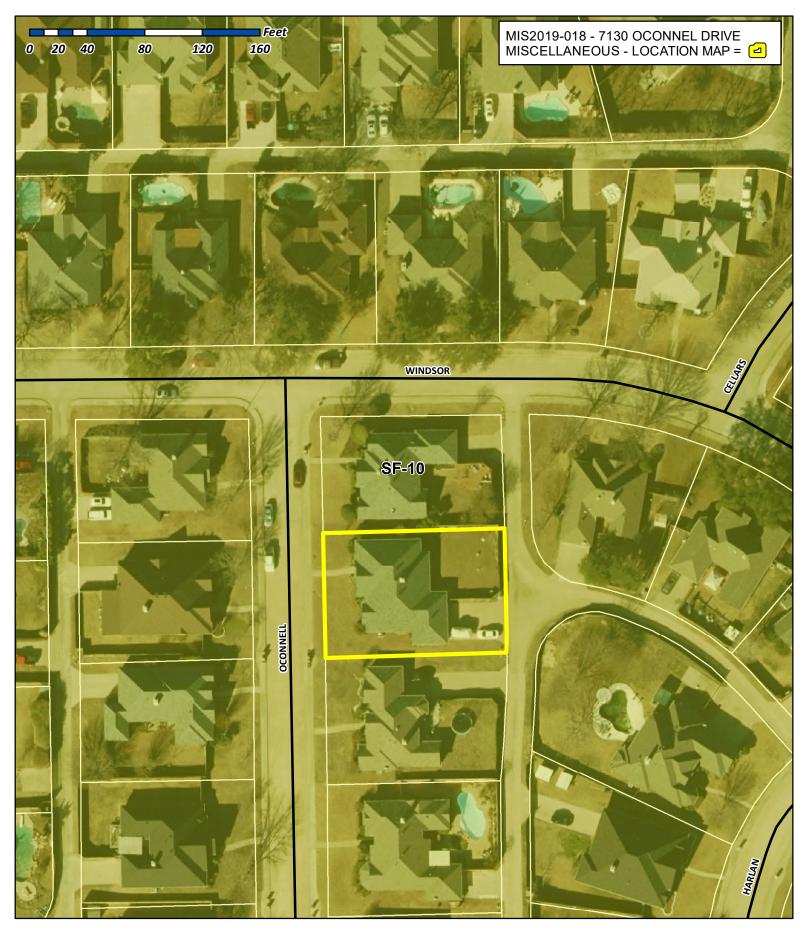
TO: Planning and Zoning Commission

FROM: Ryan Miller, Director of Planning and Zoning

DATE: December 30, 2019

SUBJECT: MIS2019-018; Fence Exception for 7130 O'Connell Drive

On October 16, 2016, the applicant -- Wylie Fence & Deck, Inc. -- submitted a fence permit on behalf of the owners -- Alice and Curtis Stovall -- for the subject property at 7130 O'Connell Drive. Currently, situated on the subject property is a single-family home that was constructed in 1996 as part of Phase 2 of the Harlan Park Subdivision. On November 5, 2019, the Building Inspections Department issued the permit indicating that the framing and posts needed to be on the private side on the fence, and the cedar pickets needed to be facing out toward the public side (i.e. visible from the adjacent alleyway); however, the fencing contractor constructed the fence with the framing and posts on the public side of the fence. According to Subsection 8.03(B), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article VIII, Landscape and Screening Standards, of the Unified Development Code (UDC), "...(a)II cedar pickets shall be placed on the public side (i.e. facing streets, alleys, open space, parks, and/or neighboring properties) ... (a)ll posts and/or framing shall be placed on the private side (i.e. facing towards the home) ..." In addition, the UDC goes on to allow the Planning and Zoning Commission the ability to grant variances to the fence standards on a case-by-case basis where unique or extraordinary conditions exist or where strict adherence to the technical requirements would create an undue hardship. In this case, the fence is already constructed and would need to be removed from the property in order to be rebuilt in conformance with the current ordinance. Staff should also point out that -- since Phase 2 of the Harlan Park Subdivision was constructed in 1996 -- many of the existing fences have framing and posts facing outward toward the public side, and that the zoning code in place during this time period did not require pickets to be facing toward the public side. In addition, the fence in question was constructed adjacent to an alleyway and does not have visibility from a public street. Based on this assessment staff does not feel that leaving the fence in its current configuration will have an impact on the aesthetics of the neighborhood and suggested to the property owners that a variance request may be warranted; however, this request is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this request staff will be available at the meeting on December 30, 2019.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

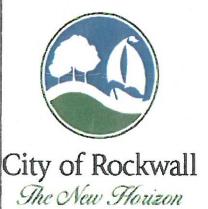


CITY OF ROCKWALL BUILDING PERMIT

BUILDING INSPECTIONS DEPT. 385 S. GOLIAD ROCKWALL, TX 75087 PHONE (972) 771-7709

PERMIT NO: BLD2019-2782

ON-LINE PERMIT



PERMIT TYPE SINGLE FAMILY	APPLIED DATE 10/16/2019
PERMIT SUB-TYPE FENCE	APPROVED DATE 11/5/2019
JOB VALUE \$0.00	ISSUED DATE 11/5/2019
APN 3817-000D-0003-00-0R	
DESCRIPTION 7' CEDAR FENCE WITH 2 GATES	

PERMIT INFO	RMATION	FEE SUMM	ARY
SITE	7130 OCONNELL DR ROCKWALL, TX 75087	FENCE CREDIT CARD FEE	\$50.00 \$1.00
APPLICANT	WYLIE FENCE & DECK INC. 3715 OSAGE LN. WYLIE TX 75058	Total Fees Collected:	\$51.00
OWNER	CURTIS N & ALICE M STOVALL (214) 7130 OCONNELL STREET ROCKWALL TX 75087 5335486		
CONTRACTOR	WYLIE FENCE & DECK INC. 3715 OSAGE LN. WYLIE TX 75058		

NOTICE TO APPLICANT

THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND S SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.

SCOPE OF PERMIT

FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES ALL STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDIRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE. IF THIS PERMIT IS OBTAINED FOR WORK OTHER THAN NEW BUILDINGS AND ADDITIONS, SEPARATE PERMITS MUST BE OBTAINED BY ALL SUBCONTRACTORS.

ROCKWALL

385 South Goliad, TX 75087

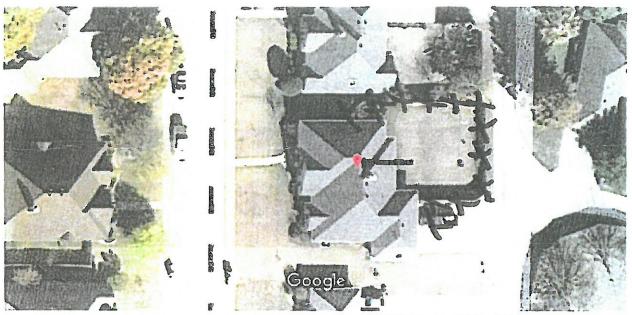
INSPECTION SUMMARY

- (B) Fence Standards for Existing and Infill Single-Family and Duplex Properties. All fences being proposed in established residential areas (i.e. established single-family or duplex subdivision or areas) -- that are not regulated by a Planned Development District ordinance -- shall be architecturally compatible with the design, materials, and colors of the existing fences in the area; however, the following minimum standards shall apply to all fences requiring a fence permit in these areas:
 - (1) Solid Fencing. All solid fencing shall be constructed utilizing standard cedar fencing materials (spruce fencing is prohibited) that are a minimum of ½-inch or greater in thickness. Fences shall be constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth-finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

(2) Transparent Fencing.

- (a) Wrought Iron Fences. All new transparent fencing shall be wrought iron that is a minimum of four (4) feet in height and a maximum of eight (8) feet in height.
- (b) Chain-Link Fences.
 - (I) New Chain-Link Fences. New chain-link fences shall be prohibited.
 - (II) Replacement of an Existing Chain-Link Fence. Existing chain-link fences maybe replaced with a new vinyl coated, chain-link fence that is a minimum of four (4) feet in height and a maximum of six (6) feet in height. Replacement chain-link fences may only be placed in the location of the existing chain-link fence.
 - (III) Chain-Link Fences in Conjunction with an Accessory Use. Chain-link fences that are integral to the design of an accessory use (e.g. dog run, batting cage, etcetera) maybe be permitted; however, the fence shall be placed a minimum of ten (10) feet from the property lines unless completely screened from adjacent properties, open spaces, right-of-way, and parkland by a structure, fence or solid landscape screen.
- (3) Special Exceptions. The Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 8.02(B) (e.g. vinyl or split rail fencing) on a case-by-case basis. These exceptions will be subject to the approval criteria and voting requirements stipulated by Section 9.01, Exceptions to the General Standards, of Article XI, Development Applications and Review Procedures.
- (C) Fence Standards for Agricultural and Single-Family Estate Properties. Fences in the Agricultural (AG), Single-Family Estate 1.5 (SFE-1.5), Single-Family Estate 2.0 (SFE-2.0), and Single-Family Estate 4.0 (SFE- 4.0) Districts shall meet all the requirements stipulated for <u>Subsections 8.03(A)</u> & <u>8.03(B)</u>; however, a metal split-rail or pipe fencing shall be permitted in these districts. Metal split-rail or pipe fencing shall be a minimum of four (4) feet and a maximum of eight (8) feet in height.

Google Maps 7130 Oconnell St



Map data @2019, Map data @2019 20 ft

All wood fencing shall be constructed with cedar materials a minimum of ½-inch or greater in thickness and shall be a maximum of 8 feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (facing streets, alleys and/or neighboring properties). All wood fences shall be smooth-finished and be stained and sealed on both sides of the fence. All wood fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

7130 Oconnell St

Rockwall, TX 75087

City of Rockwall

Review For Code Compliance

Subject To Field Inspection
And Code Compliance
11/05/2019 By: C.Foshee

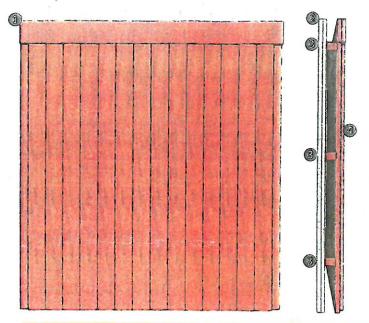
BUILDERS COPY

Keep On Job Site At All Times For Inspection Use To Schedule a Inspection ockwall.com/buildinginspections/inspectionsreq.asj



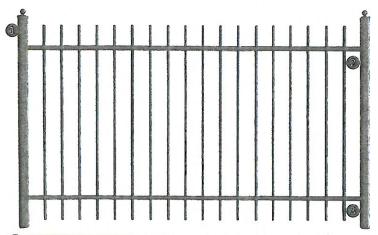
CALL BEFORE YOU DIG 1-800-344-8377 1-800-DIG-TESS

A FENCE CANNOT BE USED AS A RETAINING WALL



Top Rail; Galvanized or Stainless-Steel Post (Recommended Minimum of $2\frac{3}{8}$ "); Stinger Board (Recommended Minimum of 2^* x 3"); Minimum ½" Wood Screen.

(2) Wrought Iron Fence.



Painted or Powder Coated with a Decay Resistant Paint; Top Rall; Bottom Rail.

(3) Masonry Wall.



12/13/2019 AG

12/20/2019 DG

Project Plan Review History

JASON S BRELAND

TIMOTHY BATES

Owner

Applicant

Project Number

Z2019-026

Chandler's Landing Marina

Project Name Type

Site Address

ZONING

Subtype SUP

P&Z HEARING Status

City, State Zip

HENRY M CHANDLER

ROCKWALL, TX 75032

Subdivision **CUTTER HILL 2**

Tract 134-14 Block

Lot No 134-14 Parcel No

General Plan

Applied

Closed

Expired

Status

Zoning

Approved

0207-0000-0134-14-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/13/2019	12/20/2019				
ENGINEERING	Amy Williams	12/13/2019	12/20/2019	<u> </u>			
FIRE (12/17/2019 4:45 P Show location of fir	Ariana Hargrove M AA) e lane, fire hydrants, and		, ,	12/17/2019 on (FDC) to auton	4 natic fire	COMMENTS e sprinkler system.	
There shall be no ol	bstructions to the fire lar	ne, fire hydrar	nts, and/or th	e FDC.			
PLANNING	David Gonzales	12/13/2019	12/20/2019	12/20/2019	7	COMMENTS	See comments

(12/20/2019 3:21 PM DG)

Z2019-026; SUP for Chandlers Landing Marina

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for an existing marina with boat sales, storage and repair on a 6.282-acre tract of land identified as Tracts 134, 134-14 & 134-15 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Lake Ray Hubbard Takeline Overlay (TL OV) District, located at the western terminus of Henry M. Chandlers Drive.
- 1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (Z2019-026) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
- I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), the Development Standards of Article V, and the Lake Ray Takeline Overlay (TL OV) that are applicable to the subject property.
- M.5 Please review the draft ordinance when received by staff and provide comments to staff by January7, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting to be held on January14, 2020.
- M.6 Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a boat sales, storage and repair facility on the Subject Property, and conformance to these operational conditions is required for continued operations
- 1) The subject property shall generally conform to the Concept Plan depicted in Exhibit'B' of the draft ordinance; and,
- 2) The operation of boat sales shall generally be limited to the areas as depicted on the Concept Plan attached as Exhibit'B' of the draft ordinance; and,
- 3) The operation of overnight storage shall generally be limited to the areas depicted on the Concept Plan attached as Exhibit'B' of the draft ordinance. Storage not able to be maintained within the repair facility storage area shall only be allowed within the dry storage area as designated on the Concept Plan attached as Exhibit 'B' of the draft ordinance; and,
- 4) The prep area shall generally be limited for use as a staging area for the repair or maintenance of boats and shall be limited to the area as depicted on the Concept Plan attached as Exhibit 'B' of the draft ordinance. The working, repairing, or maintaining of any boat or vehicle shall be prohibited within this area and,
- 5) The outside storage of equipment, parts and/or inventory is prohibited within the subject property, and,
- 6) The parking and/or storage of Recreational Vehicles(RV) within the subject property shall be prohibited.
- 1.7 Please note that failure to address all comments provided by staff by3:00 PM on January 7, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 14, 2019 Planning & Zoning Meeting.
- 1.9 Please note the scheduled meetings for this case:
- 1) Planning & Zoning Work Session meeting will be held on December 30, 2019.
- 2) Planning & Zoning Public Hearing meeting will be held on January 14, 2020.

Project Reviews.rpt Page 2 of 3

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

- 3) City Council Public Hearing will be held on January 21, 2020. (1st Reading of Ordinance)
- 4) City Council meeting will be held on February 3, 2020. (2nd Reading of Ordinance)

I.10 Staff recommends that a representative be present for the meetings as scheduled above The Planning and Zoning and City Council meetings will be held in the City's Council Chambers. These meeting are scheduled to begin at 6:00 p.m.

Project Reviews.rpt Page 3 of 3





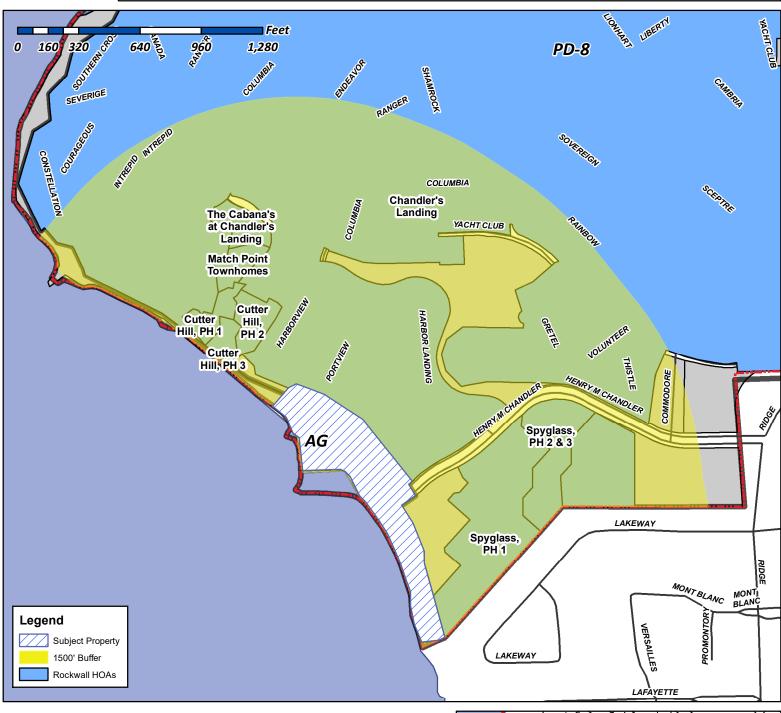
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2019--26

Case Name: Chandler's Landing Marina

Case Type: Zoning

Zoning: Agricultural (AG) District
Case Address: Chandler's Landing Marina

Date Created: 12/17/2019

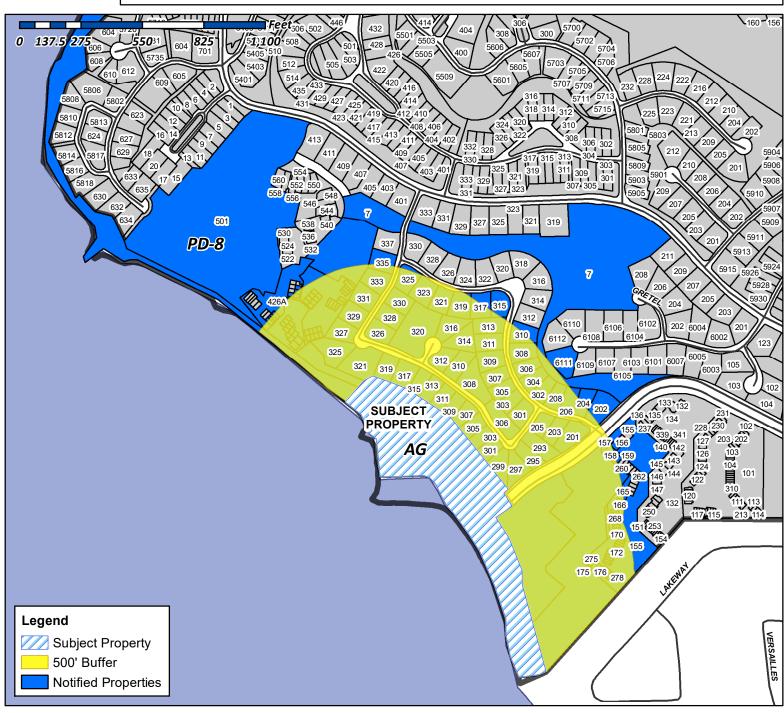
For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2019-26

Case Name: Chandler's Landing Marina

Case Type: Zoning

Zoning: Agricultural (AG) District
Case Address: Chandler's Landing Marina

Date Created: 12/17/2019

For Questions on this Case Call (972) 771-7745





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNI	NG & ZO	√G CASI	E NO.	Z20	19-	020.
NOTE: T	HE APPLI	CATION IS	NOT	CONSIDERI	ED ACCE	PTED BY THE
						GINEER HAVE
SIGNED	BELOW.					
DIRECTO	OR OF PLA	NNING				

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

[] Preliminary Pla [] Final Plat (\$300.0 [] Replat (\$300.0 [] Amending or N [] Plat Reinstater Site Plan Applicati [] Site Plan (\$250.0	100.00 + \$15.00 Acre) 1 at (\$200.00 + \$15.00 Acre) 1 0.00 + \$20.00 Acre) 1 0 + \$20.00 Acre) 1 Minor Plat (\$150.00) ment Request (\$100.00)	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) 1 [X] Specific Use Permit (\$200.00 + \$15.00 Acre) 1 [] PD Development Plans (\$200.00 + \$15.00 Acre) 1 Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: 1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.			
PROPERTY INFO	RMATION [PLEASE PRINT]				
Address	1 Harbor View Dr				
Subdivision	Chandlers landing		Lot	Block	
General Location	9				
ZONING, SITE PL	AN AND PLATTING INFORMATION [PLEA	ASE PRINT]			
Current Zoning		Current Use			
Proposed Zoning		Proposed Use			
Acreage	Lots [Current]		Lots [Prop	osed]	
process, and failu	PLATS: By checking this box you acknowledge that due to re to address any of staff's comments by the date provided ANT/AGENT INFORMATION [PLEASE PRINT,	on the Development Co	alendar will result in the der	nial of your case.	
[] Owner	Jason Bretand Sunter Waris				
Contact Person	Jusen Breland Tavesto	Contact Person	Timothy B		
Address	1 Harberview Dr	Address	1105 Ave K		
			Plano TX	75074	
City, State & Zip	Rockwall, Tx 75032	City, State & Zip			
Phone	872.771.8868	Phone		3134	
E-Mail	jbrelande sunter.com	E-Mail	Tim Bates@	Plano marine.com	
	CATION [REQUIRED] ned authority, on this day personally appeared	n S. Brelan	-1	ed, who stated the information or	
cover the cost of this app that the City of Rockwal	n the owner for the purpose of this application; all informat dication, has been paid to the City of Rockwall on this the _ I (i.e. "City") is authorized and permitted to provide inform any copyrighted information submitted in conjunction with	nation contained within	this application to the pu	 By signing this application, I agree blic. The City is also authorized and 	
Given under my hand an	d seal of office on this the 13th day of Dece	nber, 20 19.		Comm, Expires Comm, Expires Comm, Expires Comm	
Notarv Public in a	Owner's Signature		sexeT to est	JUS AYNAT SELECTION OF SELECTIO	

CITY OF ROCKWALL

ORDINANCE NO. 02-50

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND AMENDING ORDINANCE NO. 84-19, AS PREVIOULSY AMENDED, AS IT RELATES TO PLANNED DEVELOPMENT DISTRICT NO. 8, SO AS TO GRANT A CONDITIONAL USE PERMIT FOR A MARINA DRY STORAGE AND PARKING AREA IN PLANNED DEVELOPMENT DISTRICT NO. 8 AND IN AN "A", AGRICULTURAL ZONED DISTRICT ON THE PROPERTY BEING MORE FULLY DESCRIBED IN EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners, generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Ordinance No. 84-19 and the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

- **Section 1.** That Ordinance No. 84-19 of the City of Rockwall is hereby amended to allow the use of marina dry storage and parking lot as shown on Exhibit "B" attached hereto and made a part thereof.
- **Section 2.** That the tract of land described as Exhibit "A" shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this approval shall affect only the property described in the attached Exhibit "A" and said property shall be limited to the uses, density, area, setback and other requirements set forth herein.
- **Section 3.** That development in the area within Exhibit "A" shall be limited to uses and requirements listed in Ordinance No. 73-48 and Ordinance 84-19 and the Conditional Use Permit shall be subject to the following additional conditions:

- 1. That the property be subject to site plan review and all other development requirements of the City of Rockwall prior to any future development.
- 2. That marina dry storage and boat sales shall be limited to the paved area south of Henry M. Chandler Drive as indicated on Exhibit "B".
- 3. That parking of vehicles and parking of boats awaiting repair shall be limited to the paved area north of Henry M. Chandler Drive in the locations specified on Exhibit "B".
- 4. The storage of "RV", Recreational Vehicles, shall be limited to the marina dry storage area as indicated on Exhibit "B".
- 5. Parking of "RV", Recreational Vehicles, shall be limited to a maximum of seventy two (72) hours per vehicle for any period of time extending more than one day (24 hours) and shall be limited to the paved parking area north of Henry M. Chandler Drive as indicated on Exhibit "B".

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this $\mathbf{4}^{\text{th}}$ day of November, 2002.

ATREST: Q

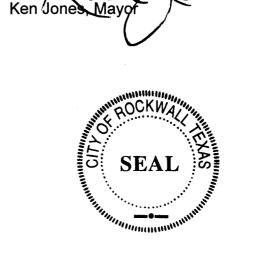
Dorothy Brooks, City Secretary

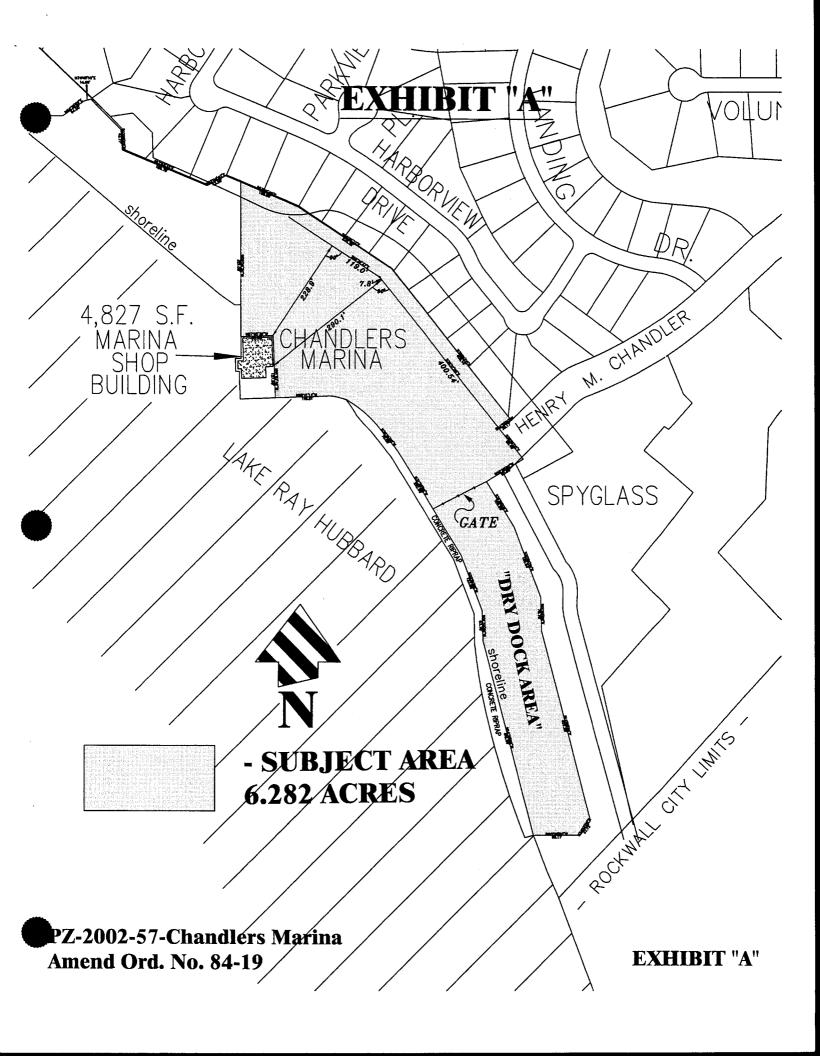
APPROVED AS TO FORM:

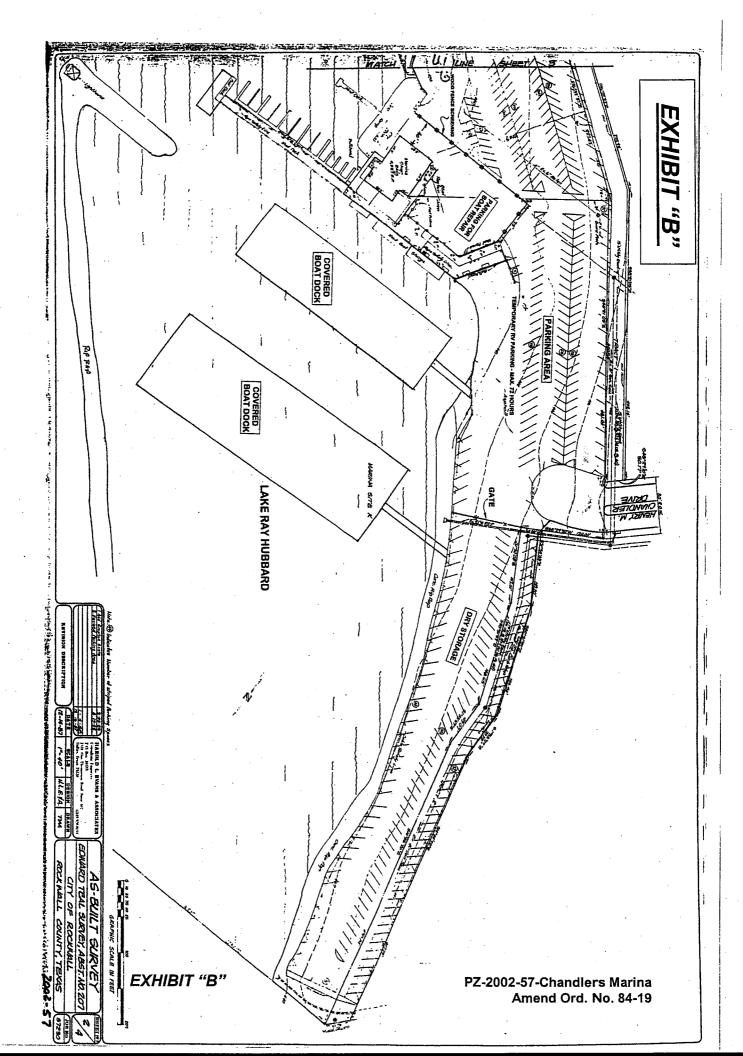
Pete Eckert, City Attorney

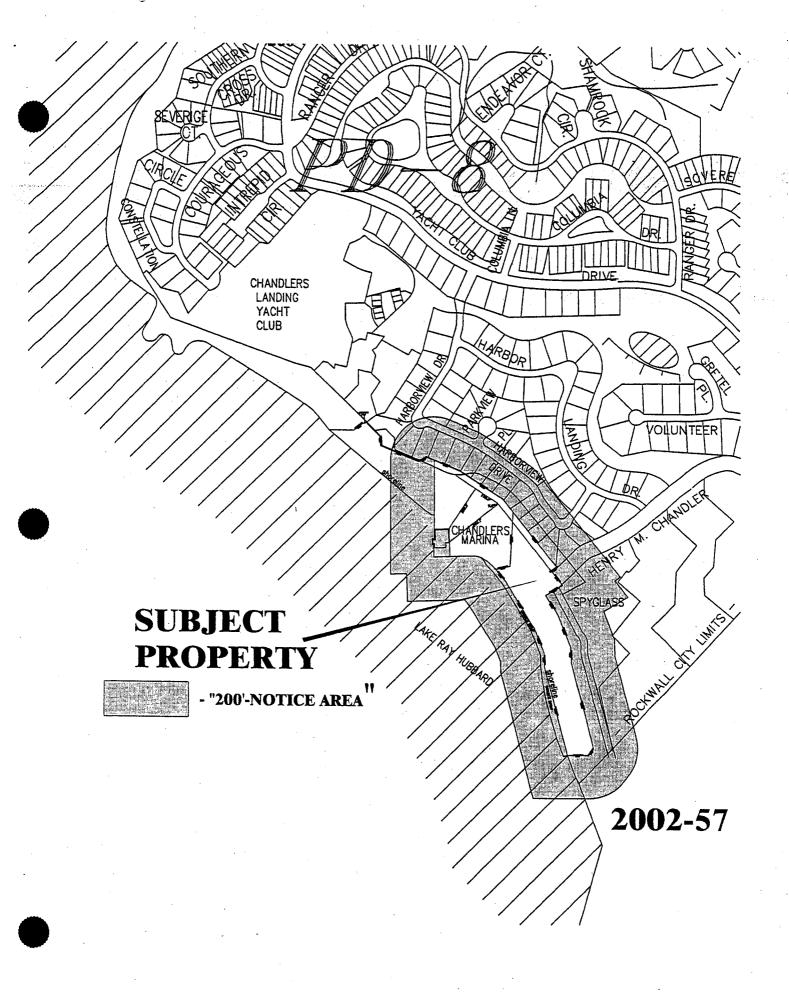
1st Reading: October 21, 2002

2nd Reading: November 4, 2002









To whom it may concern,

We are proposing to extend storage from exhibit B in the original document to the entire parking lot area. Storage of RV's will be removed and no longer allowed. Storage outside of the fenced area will be for a maximum of 72hrs. We would like to add the ability to have boat sales onsite. There will be boats displayed outside the fence for sales during normal business hours only.

The fenced area will be a combination of masonry and wrought iron, please see drawings to understand proposed masonry and wrought iron locations. We would like to extend the fence 10' to the north, from the original fence line. Much of the fence will be masonry, we would like an approximate 100' corner to be wrought iron fencing, on the north east corner, 50' on both sides of the corner. The wrought iron corner is to allow better visibility for boaters leaving the ramp area to see any possible on coming traffic.

We would also like an exemption from using trees and shrubs as further screening around the fencing. This fencing is in the middle of a parking lot and planting trees and shrubs will degrade the stability of the paved parking area. Plantings will also negate the safety factor we are trying to achieve by opening the corners' visibility in the above requested wrought iron fence.

We would like to have a permanent covered area. The covered area will be approximately 125' by 90'. The proposed structure will fit within the fenced area, have a minimum of 20' roof clearance and not obstruct any public utilities. The permanent structure will have all required safety measures. Please see drawings to further understand location of the proposed covered area.

I hope this letter helps to explain what we like to do to improve the appearance, customer serviceability and the overall functions of our marina in conjunction with Plano Marine in the premier city of Rockwall.

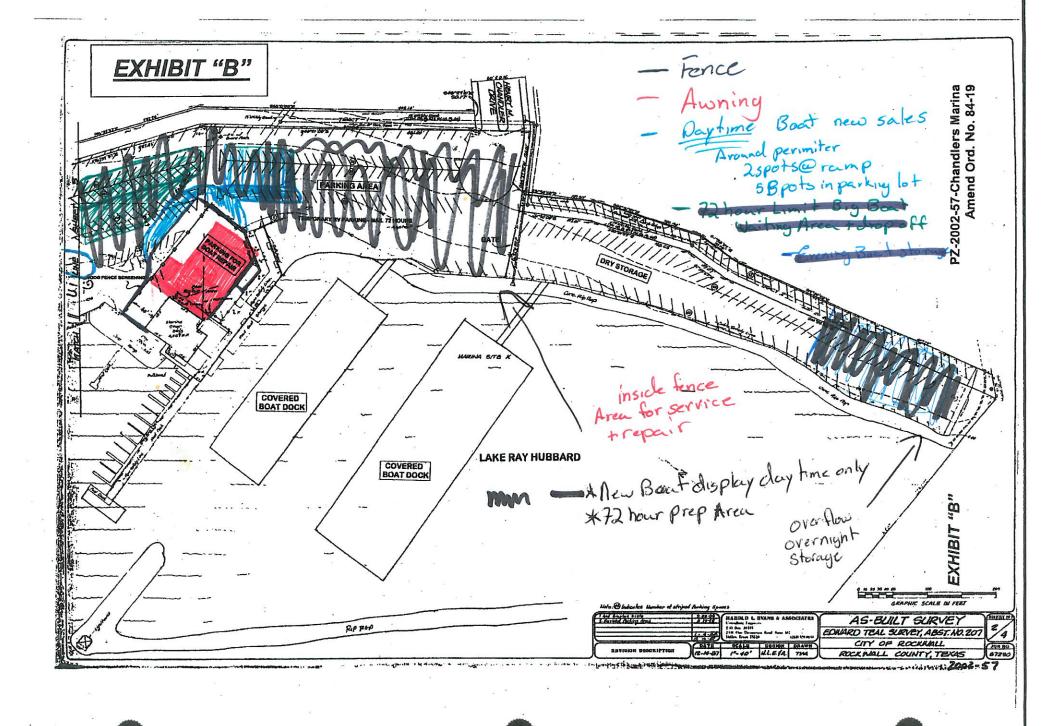
Sincerely,

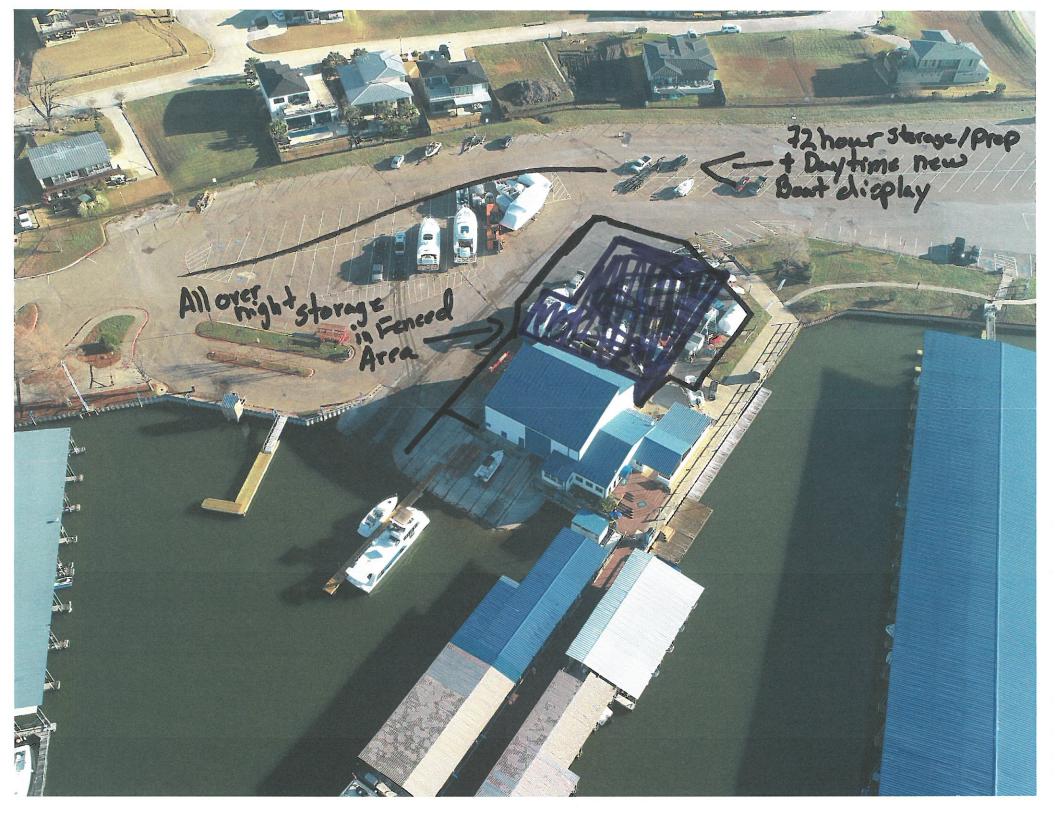
Jason S. Breland

General Manager

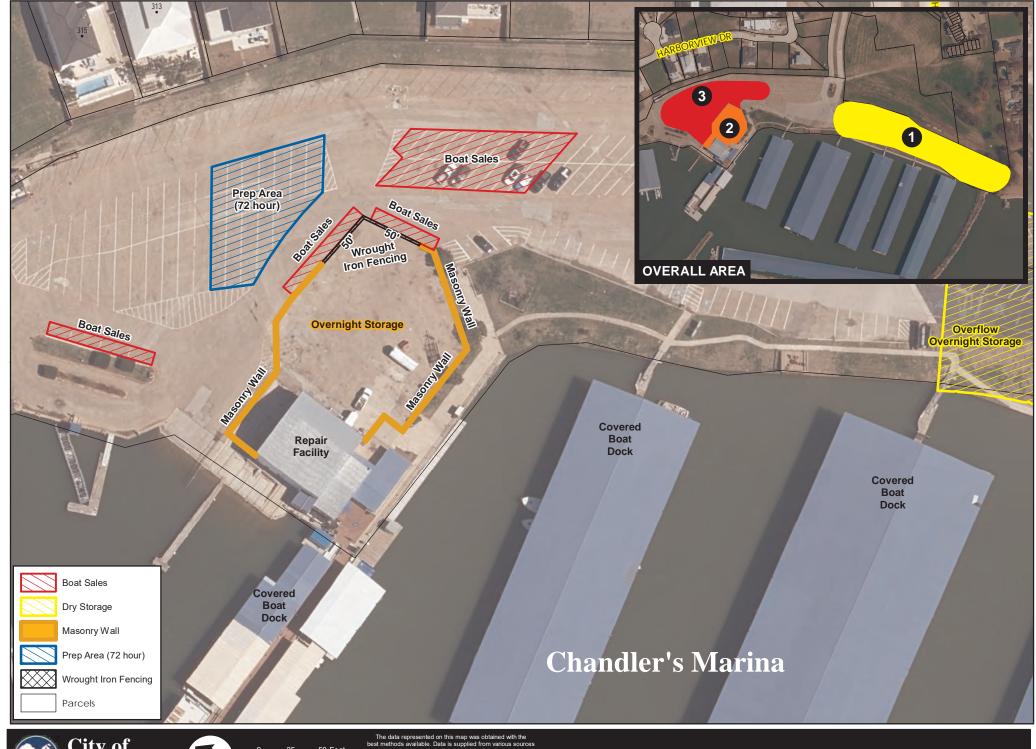
Chandler's Landing Marina















Project Name

City of Rockwall



12/16/2019 KB

12/18/2019 KB

Project Plan Review History

RAYMOND JOWERS

RICHARD AUDILET

Owner

Applicant

Project Number

Z2019-027

SUP for Big Tex Trailers

Type ZONING

SUP Subtype

Status **P&Z HEARING**

Site Address

2260 E I30

Subdivision

City, State Zip

ROCKWALL, TX 75087

Tract 22-01 **Block**

Lot No 22-01

Parcel No

0120-0000-0022-01-0R

General Plan

Applied

Closed

Expired

Status

Zoning

Approved

Type of Review / Notes Contact Sent Received **Elapsed Status** Remarks Due 12/16/2019 12/23/2019 BUILDING Russell McDowell **ENGINEERING Amy Williams** 12/16/2019 12/23/2019 FIRE 12/16/2019 12/23/2019 12/17/2019 **APPROVED** Ariana Hargrove 1 12/16/2019 12/23/2019 12/20/2019 **PLANNING Korey Brooks COMMENTS** Comments Z2019-027; SUP for Outside Storage

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Raymond Jowers of Jowers, Inc. for the approval of an extension of Ordinance No. 08-38 (SUP No. S-056) granting a Specific Use Permit (SUP) allowing outside storage adjacent to IH-30 on a 4.4317-acre tract of land identified as Tract 22-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (Z2019-027) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.

 M.6 Specific Use Permit (SUP).
- 1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on January 14, 2020
- 1.7 Please note that failure to address all comments provided by staff by 5:00 PM on January 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2020; The Planning and Zoning Worksession is December 30, 2019 and the Planning & Zoning Meeting is January 14, 2020. The City Council Meetings are January 20, 2020 and February 3, 2020. It is required that a representative attend all meetings.

Project Reviews.rpt Page 2 of 2



Notary Public in and for the State of Texas

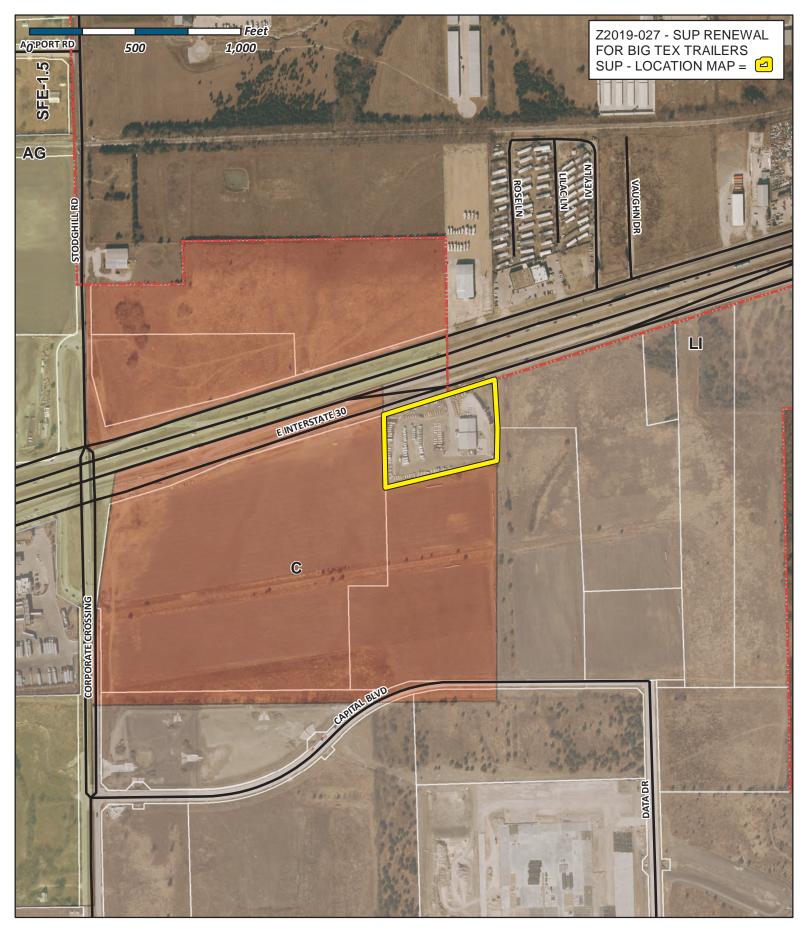
DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CAS	SE NO.
	S NOT CONSIDERED ACCEPTED BY THE G DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

My Commission Expires 12

Please check the ap	propriate box below to indicate the type of de	velopment request [S	ELECT ONLY ON	E BOX]:	
[] Preliminary Pla [] Final Plat (\$300.00 [] Replat (\$300.00 [] Amending or M [] Plat Reinstaten Site Plan Applicati [] Site Plan (\$250	100.00 + \$15.00 Acre) ¹ It (\$200.00 + \$15.00 Acre) ¹ 10.00 + \$20.00 Acre) ¹ 10 + \$20.00 Acre) ¹ 11	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [√] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.			
PROPERTY INFO	RMATION [PLEASE PRINT]				
Address	2260 F I-30				
Subdivision			Lot		Block
General Location					
ZONING, SITE PL	AN AND PLATTING INFORMATION [PLI	EASE PRINT]			
Current Zoning	HWY commercial	Current Use	TRAILER	54185	d Service
Proposed Zoning	SUP	Proposed Use			
Acreage	4.45 Lots [Curren	t]	Lots	Proposed]	
	PLATS: By checking this box you acknowledge that due				
	re to address any of staff's comments by the date provide ANT/AGENT INFORMATION [PLEASE PRIN				
	Jowers Inc	man and a second	The second secon	CONTRACTOR DE	
	Raymond Jowers	Contact Person	Big Tex Richard	Ardi	1-+
i	PO Box 1870	tenitrina S	2260		CARLES OF THE PARTY OF THE PART
City, State & Zip	ROCKWall, Tx 75087-1870	City, State & Zip	ROCKW	se TX	75087
Phone	972-171-1522 912-679-5	1300 Phone			
E-Mail	raymond @ jowersinc, com	E-Mail	Richard.	Audilet	- O Bigtostag
Before me, the undersig	real authority, on this day personally appeared Aluiv and certified the following:	Jourses !	_ [<i>Owner</i>] the und	ersigned, who	stated the information o
cover the cost of this app that the City of Rockwa	m the owner for the purpose of this application; all inform plication, has been paid to the City of Rockwall on this the Il (i.e. "City") is authorized and permitted to provide info any copyrighted information submitted in conjunction wit	day of Dece	mber , 20 this application to	19 . By sig the public. The ciated or in res	ning this application, I agre e City is also authorized an ponse to a request for publ
Given under my hand an	nd seal of office on this the 9 day of December 1	ber, 20 19.		My Co	NEY VALENZUELA ry ID #131824757 pmmission Expires
	Owner's Signature		1 1/2	Jec Dec	ember 12, 2022





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2019-027

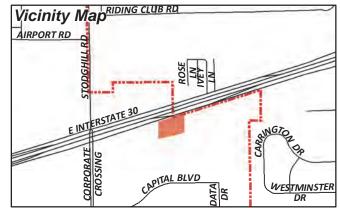
Case Name: SUP RENEWAL FOR BIG TEX TRAILERS

Case Type: Zoning Zoning: SUP

Case Address: 2260 E. IH-30

Date Created: 12/17/2019

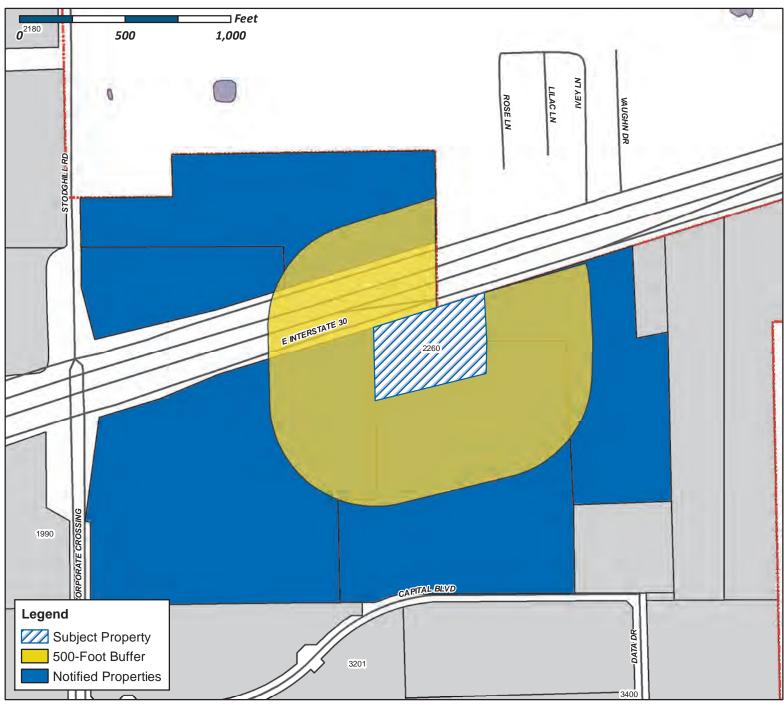
For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2019-027

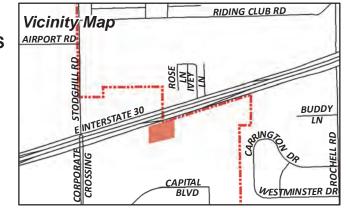
Case Name: SUP RENEWAL FOR BIG TEX TRAILERS

Case Type: Zoning Zoning: SUP

Case Address: 2260 E. IH-30

Date Created: 12/17/2019

For Questions on this Case Call (972) 771-7745





P.O. Box 1870 Rockwall, Texas 75087-1870 972-771-1522

December 3, 2019

Rockwall City Council Planning and Zoning Department City of Rockwall 385 South Goliad Street Rockwall, TX 75087-3737

RE: Request for 3-Year Extension to Existing Occupancy Permit Z2008-014, RV Dealership Extension (Big Tex Trailers) Project Type: ZONING (SUP)

To City Council:

Please be advised that the above referenced Specific Use Permit (SUP) extension for the existing Occupancy Permit located at 2260 E. I-30, Rockwall, Texas (Z2008-014) is set to expire on September 27, 2020. As the owner of the property, I am requesting an extension of the SUP and seeking an appointment with the City Council for Big Tex Trailers. I am requesting that an acknowledgment of the scheduled appointment be sent to Big Tex Trailers and a copy be sent to me.

The following are the representatives for Big Tex Trailers and they may be reached as indicated:

Richard Audilet: 972-222-0358

Adrian Gonzalez: 512-373-6911

Respectfully,

Raymond Jowers Jowers, Inc.

P. O. Box 1870

Rockwall, Texas 75087-1870

Mobile: 972-679-9300

Office: 972-771-1522

Fax: 972-722-2009

Email: raymond@jowersinc.com

c: Big Tex Trailers - Corporate Office Attn: Legal Administrative Dept.

950 I-30 East

Mt. Pleasant, TX 75455-7711.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF **AMENDING** ROCKWALL, TEXAS, THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW OUTSIDE STORAGE IN A LIGHT INDUSTRIAL (LI) DISTRICT WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT ON A 4.4317-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-01 OF THE R. IRVINE SURVEY, ABSTRACT NO. 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Raymond Jowers for the approval of a Specific Use Permit (SUP) to allow outside storage on a 4.4317-acre parcel of land being described as Tract 22-01, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2260 E. IH-30 and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No's. 08-38* and *17-20*;

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing *outside storage* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 04-38*] on the *Subject Property*, and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Section 5, *Industrial Districts*, and Subsection 6.06, *IH-30 Overlay (IH-30 OV) District*, of Section

6, Overlay Districts, of Article V, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended and as may be amended in the future, and shall be subject to the following:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of outside storage on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) The Specific Use Permit (SUP) shall be valid for a period of three (3) years from the date of the approval of this ordinance. If an extension of the SUP is necessary, the owner shall submit a request in writing to staff no less than 90 days prior to the expiration of the SUP. Upon receipt of the request, the City Council shall review the SUP and determine if an extension of the SUP is permitted based on the development of FM-549 and the IH-30 overpass construction and/or other development activity in the area.
- 2) All outside display and outside storage of trailers shall generally conform to the concept plan depicted in Exhibit 'B' of this ordinance, which shall be incorporated herein by reference.
- 3) The outside display and outside storage of semi-trailers and tractor-trailers shall be prohibited.
- 4) City Council approval of the SUP includes a temporary waiver to certain engineering and fire department standards, including but not limited to, concrete paving requirements and the extension of a 12-inch water line from FM-549. Future development of the subject property will be subject to the Engineering and Fire Department standards in effect at the time of development.
- 5) In the event that the development expands the existing structure or adds additional buildings, the development will be subject to meet the requirements for fire protection.

3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.05, City *Council Action*, of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02.D(3) of Article XI, Zoning Related Applications, of the Unified Development Code (UDC).
- **SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and

every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF FEBRUARY, 2020.

ATTEST:	Jim Pruitt, Mayor
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: January 20, 2020	

Exhibit 'A'
Zoning Exhibit

Address: 2260 E. IH 30

<u>Legal Description:</u> Tract 22-01 of the R. Irvine Survey, Abstract No. 120

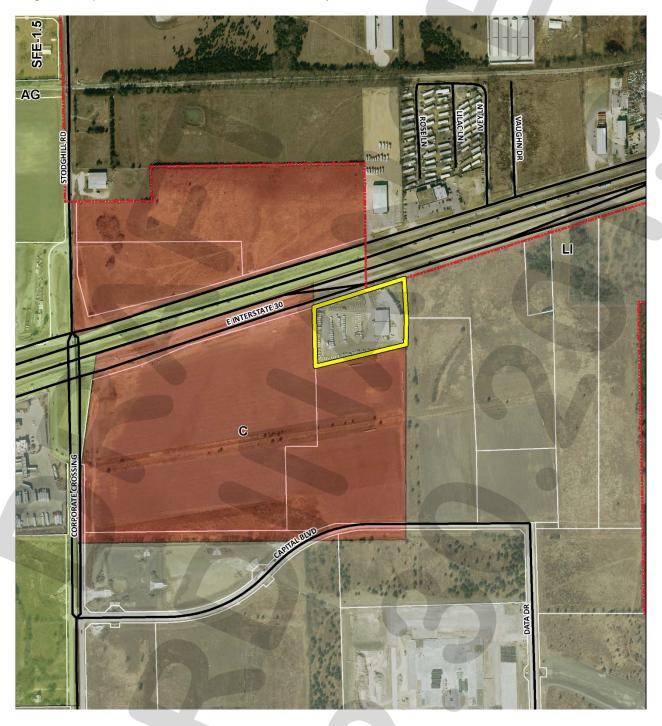
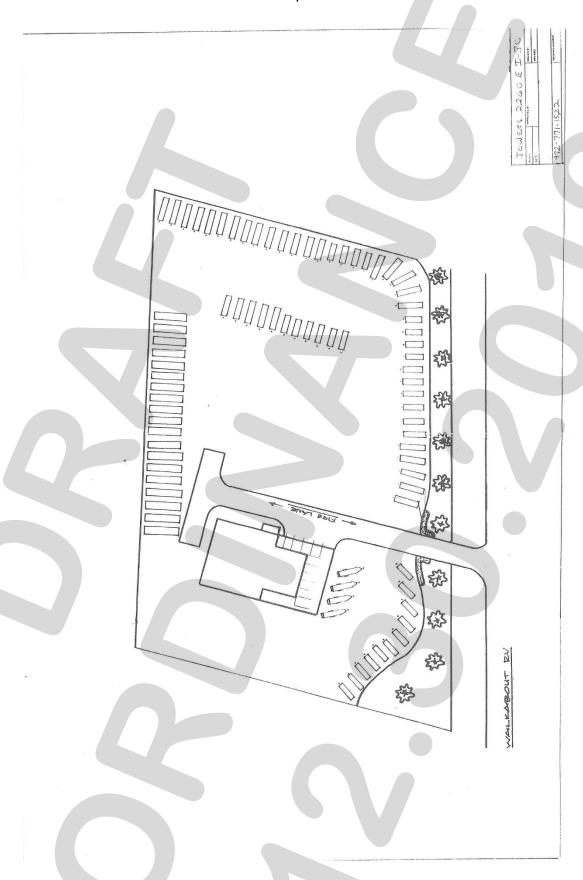


Exhibit 'B'
Concept Plan



CITY OF ROCKWALL

ORDINANCE NO. <u>17-20</u> SPECIFIC USE PERMIT NO. <u>S-164</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) RESCINDING ORDINANCE NO. 08-38 (SUP NO. S-056) AND ALLOWING OUTSIDE STORAGE IN A LIGHT INDUSTRIAL (LI) DISTRICT WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT ON A 4.4317-ACRE TRACT OF LAND BEING IDENTIFIED AS TRACT 22-01 OF THE R. IRVINE SURVEY, ABSTRACT NO. 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City has initiated a request on behalf of Raymond Jowers of Jowers Inc. for the approval of a Specific Use Permit (SUP) rescinding *Ordinance No. 08-38 (SUP No. S-056)* and allowing outside storage in a Light (LI) District within the IH-30 Overlay (IH-30 OV) District on a 4.4317-acre tract of land being described as Tract 22-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District and addressed as 2260 E. IH-30, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall and Ordinance No. 08-38 should be amended as follows:

NOW, THEREFORE, LET IT BE ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 08-38*;

<u>Section 2.</u> That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing outside storage within a Light Industrial (LI) District as stipulated by Article IV, Permissible Uses, of the Unified Development Code [Ordinance No. 04-38] on the Subject Property; and

Z2017-008: 2260 E. IH-30 Ordinance No. 17-20; SUP # S-164 Section 3. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in Section 5.3, Light Industrial (LI) District; and Section 6.6, IH-30 Overlay (IH-30 OV) District of Article V, District Development Standards, Unified Development Code [Ordinance No. 04-38] as heretofore amended and as may be amended in the future, and shall be subject to the additional following conditions:

- The Specific Use Permit (SUP) shall be valid for a period of three (3) years from the date of the approval of this ordinance. If an extension of the SUP is necessary, the owner shall submit a request in writing to staff no less than 90 days prior to the expiration of the SUP. Upon receipt of the request the City Council shall review the SUP and determine if an extension of the SUP is permitted based on the development of FM-549 and the IH-30 overpass construction and/or other development activity in the area.
- 2) All outside display and outside storage of trailers shall generally conform to the concept plan depicted in Exhibit 'A' of this ordinance, which shall be incorporated herein by reference.
- 3) The outside display and outside storage of semi-trailers and tractor-trailers shall be prohibited.
- 4) City Council approval of the SUP includes the temporary waiver to certain engineering and fire department standards, including but not limited to, concrete paving requirements and the extension of a 12-inch water line from FM-549. Future development of the subject property will be subject to the engineering and fire department standards in effect at the time of development.
- 5) In the event that the development expands the existing structure or adds additional buildings, the development will be subject to meet the requirements for fire protection.

<u>Section 4.</u> That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

<u>Section 5</u>. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

<u>Section 6</u>. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

<u>Section 7</u>. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

<u>Section 8</u>. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY CO	OUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF APRIL, 2017.	
	In guild
	Jim Pruitt, Mayor
ATTEST:	
Kristy Cole, City Secretary	
,	
ADDDOVED AS TO FORM	

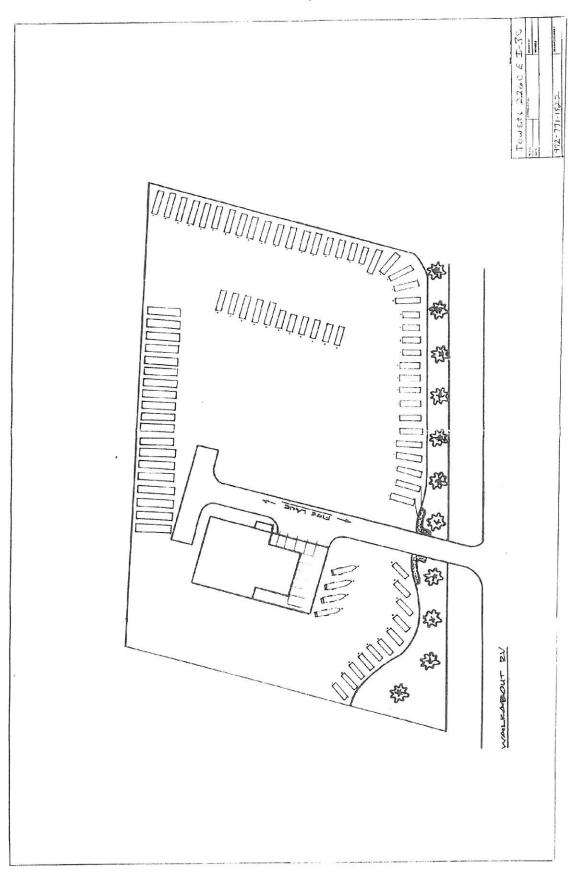
APPROYED, AS TO FORM:

Frank J Garza, City Attorney

1st Reading: April 3, 2017

2nd Reading: April 17, 2017

Exhibit 'A': Concept Plan





385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, Director of Planning and Zoning

DATE: December 30, 2019

SUBJECT: Unified Development Code (UDC)

The current Unified Development Code (UDC) was adopted on June 7, 2004 by Ordinance No. 04-38. This document was originally assembled from the previous 1997 Comprehensive Zoning Ordinance. Since its adoption there have been a number of amendments to the UDC, with the most recent largescale amendment being adopted to address the legislative changes that came out of the 86th Legislative Session. This amendment was approved by the City Council on September 3, 2019 by Ordinance No. 19-32. Currently, the City uses MuniCode to codify all code amendments for the UDC and the Municipal Code of Ordinances. Upon the adoption of Ordinance No. 19-32, MuniCode sent a quote indicating that the codification of this ordinance into the UDC would cost ~\$7,826.00. After consideration of this cost, staff directed MuniCode not to codify the ordinance into the UDC and began working on an in-house version of the UDC that could be provided via the City's website at no additional cost to the City (i.e. no additional cost in the future to codify ordinances). The new version of the UDC would be maintained through a PDF version, but would retain all the same links and linking capabilities currently provided by MuniCode. The Municipal Code of Ordinances would remain in MuniCode (this code is not amended as often as the UDC) and a link to the new UDC would replace the current UDC link in MuniCode. Staff is already essentially codifying the code changes when they prepare an ordinance amending the UDC, and this new process should not create any additional time constraints on staff. In addition, this is similar to the way in which several other City's currently maintain their zoning ordinances (e.g. South Lake, High Land Park, Frisco, etc.).

Staff is in the process of completing a digital and physical version of the UDC for the Planning and Zoning Commission and City Council to review in considering this proposal. Through the preparation of this document staff noticed several issues that could be addressed in the new UDC and made the following changes in the proposed version:

- (1) The language in the Unified Development Code (UDC) was inconsistent throughout the various articles. For example, in certain sections the Director of Planning and Zoning is referred to as the Zoning Administrator, the Director of Development Services, the Traffic Planner and the Director of Planning interchangeably. Some of these inconsistencies in language have led to confusion for the general public and the development community when reading through the document.
- (2) The images contained in the Unified Development Code (UDC) were dated and did not clearly convey the City's standards. Staff had already started to address this issue with recent text amendments; however, there were still a large number of illustrations that needed to be updated. All of the illustrations in the proposed document are in the new format.
- (3) The roman numerals used for the articles have led to confusion when staff has relayed information to the development community and the general public over the phone. This has been addressed by changing the numerals to traditional numbers. Staff has also created a consistent reference system, which before numbers and letters were used interchangeably.

While none of these issues -- with the exception of the cost for codification -- are major issues, staff was inclined to address these problems once it was decided that the Unified Development Code (UDC)

could effectively be removed from MuniCode and maintained *in-house*. Staff should note that while these changes are being proposed the adoption of this proposal remains a discretionary decision for the Planning and Zoning Commission and City Council. Should the request be denied staff will contact MuniCode and have *Ordinance No. 19-32* codified at the price provided.

In response to this proposal, staff will be bringing forward a final version of the UDC for a recommendation from the Planning and Zoning Commission at the <u>January 14, 2019</u> Planning and Zoning Commission meeting. Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Subsection 2.03(A)(3) of Article XI, <u>Development Applications and Review Procedures</u>, of the UDC. Should the Planning and Zoning Commission have any questions, staff will be available at the meeting on <u>December 30, 2019</u>.

City of Rockwall



Project Plan Review History

Project Number Project Name

SP2019-043 405 Ranch Trail

SITE PLAN Type Subtype **AMENDING** Staff Review

Status

Owner **Applicant** MILESTONE ELECTRIC, INC.

CLAYMOORE ENGINEERING

Applied Approved 11/15/2019 LM

Closed **Expired** Status

Site Address

City, State Zip

405 RANCH TRAIL ROCKWALL, TX 75032 Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

RAINBOW ACRES

18 & PT OF 19

18 & PT OF

4720-0000-0018-01-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	d Status	Remarks
BUILDING	Russell McDowell	11/15/2019	9 11/22/2019	12/18/2019	33	APPROVED	
ENGINEERING	Sarah Johnston	11/15/2019	9 11/22/2019	11/22/2019	7	COMMENTS	

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

(11/22/2019 10:43 AM SJ)

- M Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4
- M No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3
- M All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30'min. Standards of Design 2.20
- M Driveway radii to be 30' min. Standards of Design 2.20
- M No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3
- M All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11
- M Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3
- M Retaining walls in detention require a variance by Planning and Zoning Commision. Standards of Design 3.4.4
- M All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20
- M Parking to be 20'x9' against the building or nose-to-nose. All other to be 18'x9' min with a 2' clear overhang. Standards of Design 2.19
- M Must install 5' sidewalk along County Line. Standards of Design and Construction 2.14.
- M Dumpster area to drain to oil/water separator or grease trap, depending on use. Standards of Design and Construction 3.2.2.12.
- M Water line must be centered in a 20' easement. Standards of Design and Construction 5.1.3
- M Must include a 10' utility easement along all street frontage. Standards of Design 5.1.3
- M Must meet all standards of design and construction.
- I 4% Engineering inspection fees
- I Impact fees.
- I Min 20' utility easements.
- I Fire lane easement to be on plat.
- I 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
- I 8" sewer in Ranch Trl.
- I Sewer pro-rata of \$432.74/acre.
- I Retaining walls3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls.
- I Must have detention. Manning's "c-value" is per zoning for the entire property.
- I If using the pond for detention, it must be over the existing level.
- I Must have a waters of the US study if touching the pond.
- I Detention outfall must reach sheet flow conditions prior to crossing the property line.
- I Engineering review fees apply
- I Must replace full panels of concrete for the utility tie-ins on Ranch Trail.
- I No grate inlets allowed.
- I Include a 2' sawcut line (for the curb and gutter).

ENGINEERING Sarah Johnston 12/5/2019 12/12/2019 12/19/2019 14 COMMENTS See attachment

Project Reviews.rpt Page 2 of 5

(12/19/2019 3:49 PM SJ)

- M No retaining walls in detention easement unless a variance is approved by the Planning and Zoning Commission.
- M Drains to an oil/water separator before draining to the storm lines.
- M Tree spacing: 5' spacing is required for utility lines less than 10". Utility lines 10" of greater must have 10' of spacing.

The following is information for the engineering design phase.

- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (i)
- Fire lane easement to be on plat. (i)
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (i)
- Parking to be 20'x9' (i)
- 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
- 8" sewer in Ranch Trl. (i)
- Sewer pro-rata of \$432.74/acre. (i)
- Must install 5' sidewalk along County Line. (i)
- Dumpster area to drain to oil/water separator or grease trap, depending on use. (i)
- No trees within 5' of public utilities. (i)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)

11/15/2019 11/22/2019 11/20/2019

- Must have detention. Manning's "c-value" is per zoning for the entire property. (i)
- If using the pond for detention, it must be over the existing level. (i)
- Must have a waters of the US study if touching the pond. (i)
- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Must meet all city engineering standards. (m)
- Engineering review fees apply (i)
- Fire hydrants to have 5' clearance around (Even from parking spaces) (i)
- No walls in utility esmts (i)
- Must meet all Standards of Design and Construction

FIRE Ariana Hargrove (11/20/2019 6:38 PM AA)

IFC 903.2 Approved automatic fire sprinkler systems shall be installed in all new buildings with a fire flow calculation area of 5,000 square feet or greater.

The fire-flow calculation area shall be the total floor area of all floor levels within the exterior walls including mezzanines, and under the horizontal projections of the roof of a building.

COMMENTS

see notes

Note: Review IBC Chapter 6 Table 602 for fire rating requirements for the exterior walls based on fire separation distances.

FIRE	Ariana Hargrove	12/6/2019 12/13/2019 12/6/2019	APPROVED	see notes on fire sprinklers
GIS	Lance Singleton	11/15/2019 11/22/2019 11/21/2019	6 APPROVED	

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Type of Review / Notes	Contact	Sent	Due	Received	Elaps	ed Status	Remarks
PLANNING	Korey Brooks	11/15/2019	11/22/2019	11/22/2019	7	COMMENTS	Comments
SP2019-043; 407 Ra	nch Trail						

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This a request by Clay Cristy of ClayMoore Engineering, Inc. on behalf of Brian Berry of Milestone Electric, Inc. for the approval of an amended site plan for a multi-tenant office complex on a 9.52-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (SP2019-043) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- (1) Please note that walls in detention pond will require a variance.
- (2) Please note that the addition of Buildings 11-16 will require a variance to the articulation standards.
- (3) What is happening to the pond that was located on site?
- (4) Please note that each variance will require 2 compensatory measures. Please provide for each variance.
- (5) Please note that the lift station will need to be screened. Please show and label proposed screening.
- (6) Please note that 3-tier screening will be required adjacent to the property line.
- (7) Please show and label the landscape buffer adjacent to Ranch Trail and County Line Road.
- (8) Please show and label the front setback.
- (9) Please use a different hatch for the FL and remove the lines labeled "FL"
- (10) Please provide a different hatch for the areas between the buildings. Are these areas grass?
- (11) Please note that as shown, the driveways do not meet the min spacing requirements.
- (12) Please note, the min size requirement for trees is 4 caliper-inches.
- (13) Please note, the min size requirement for shrubs is 3 gallons.
- (14) Please note, a berm is required adjacent to the street. Please review LS standards.
- (15) Please note, since additional trees are being removed, another alternative tree mitigation plan will need to be approved by the City Council.
- (16) Please note, hydromulch is not allowed. Sod is required.
- (17) Please note that since the building above Buildings 1 & 2 was removed, a variance is required—no parking is allowed between the front of the building and the property line. With the building there, the parking was on the side of the building.
- (18) Please check interior radii. It appears that the radii along the southern drive aisle are below the min requirement.
- (19) Please provide topo on plans
- I.6 Please note that failure to address all comments provided by staff by 5:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested.
- o Revisions for this case will be due on December 3, 2019;
- o The Planning & Zoning Worksession is November 26, 2019.
- o The Planning and Zoning Commission Meeting for this case is December 10, 2019
- o The City Council Meeting for this case is December 16, 2019.

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Type of Review / Notes Contac	t Sent	Due	Received	Elapsed Status	Remarks	
Planning Department Korey	Brooks 12/20/20	19	12/20/2019	COMMENTS	Comments	
SP2019-043; Site Plan for 25	39 Ranch Trail					

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- 1.1 This is a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (SP2019-044) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] a site plan, [2] landscape plan, [3] building elevations and this submittal is complete.
- M.6 Site Plan. Please make the following clarifications on the Site Plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
 - (1) Please check the 3-tiered screening at the detention pond. There needs to be screening along the riprap
- I.7 Please note that failure to address all comments provided by staff by 5:00 PM on January 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2020.

M.9 Below are the meeting dates for your request. A representative is required to attend all meetings:

- December 30, 2019 Architectural Review Board (ARB) Meeting 5:00 p.m.—immediately before the Planning and Zoning Worksession.
- December 30, 2019 Planning and Zoning Worksession 6:00 p.m. immediately following the ARB Meeting.
- January 14, 2020 2nd Architectural Review Board (ARB) Meeting (at the discretion of the ARB) 5:00 p.m. immediately before the Planning and Zoning Meeting.
- January 14, 2020 Planning and Zoning Meeting 6:00 p.m. immediately following the ARB Meeting.

M.10 Please see standard site plan wording below.

SITE PLAN SIGNATURE BLOCK

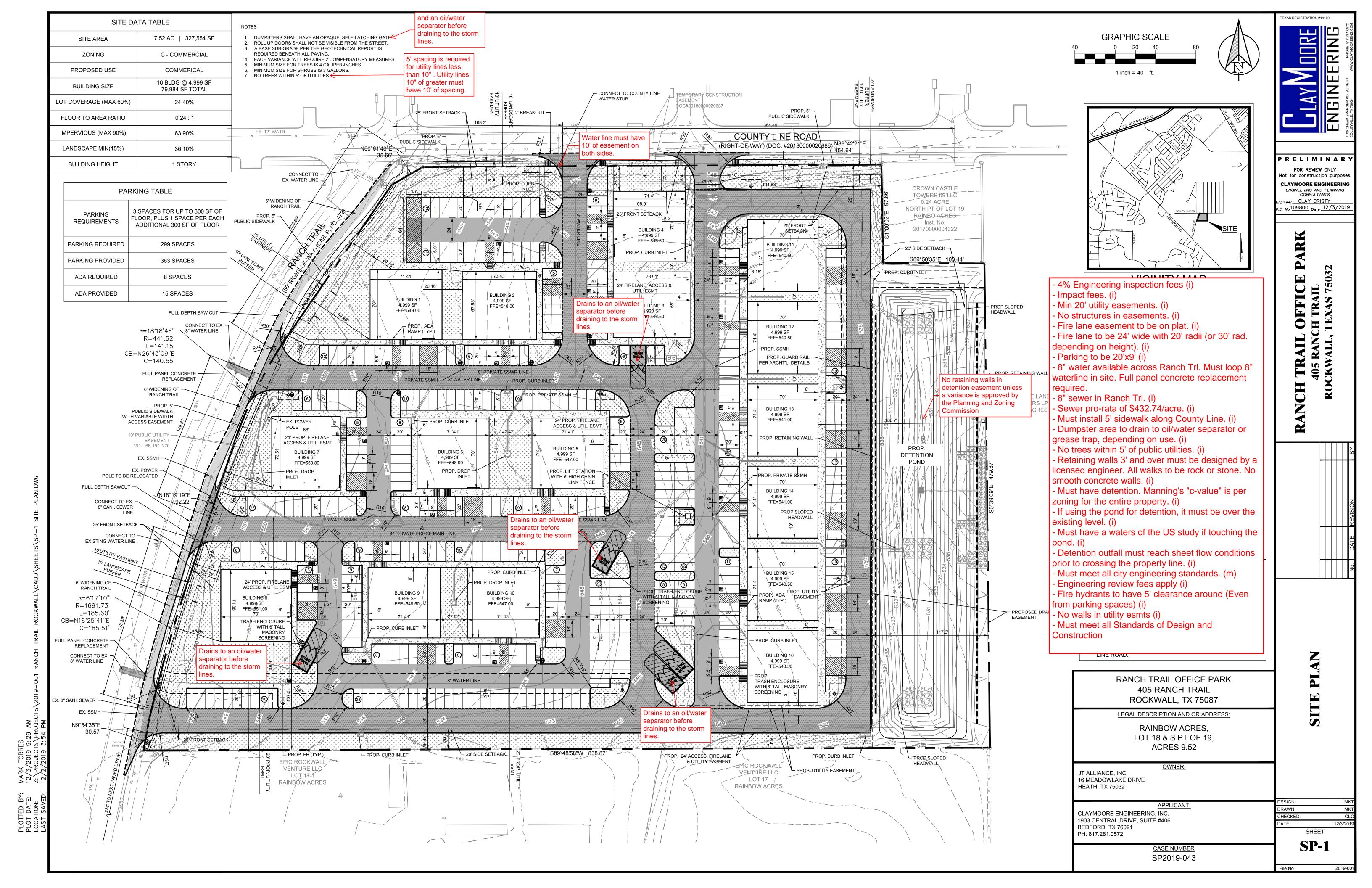
APPROVED:

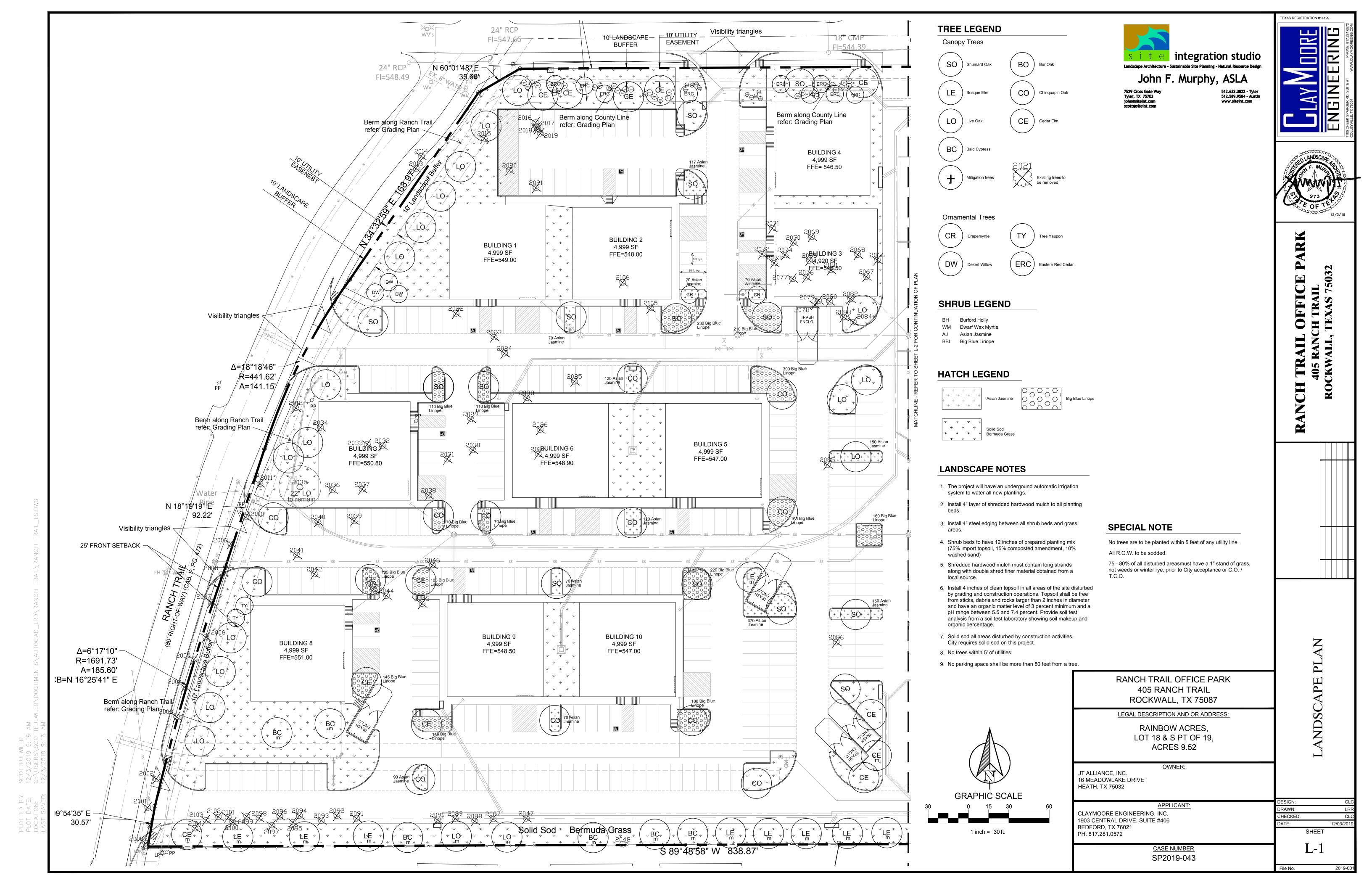
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

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Canopy Trees





CO Chinquapin Oak

CE LO Cedar Elm Live Oak

ВС

Ornamental Trees

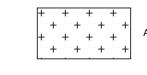
Crapemyrtle

 $\left(fert$ f ERC
ight) Eastern Red Cedar

SHRUB LEGEND

WM Dwarf Wax Myrtle AJ Asian Jasmine BBL Big Blue Liriope

HATCH LEGEND





 ↓
 ↓
 ↓
 ↓
 Solid Sod

 ↓
 ↓
 ↓
 Bermuda Grass

LANDSCAPE NOTES

- 1. The project will have an undergound automatic irrigation system to water all new plantings.
- 2. Install 4" layer of shredded hardwood mulch to all planting
- 3. Install 4" steel edging between all shrub beds and grass
- 4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
- 5. Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a
- 6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- 7. Solid sod all areas disturbed by construction activities. City requires solid sod on this project.
- 8. No trees within 5' of utilities.
- 9. No parking space shall be more than 80 feet from a tree.

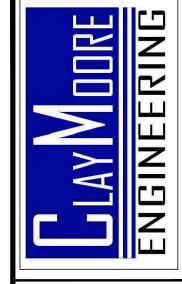
SPECIAL NOTE

No trees are to be planted within 5 feet of any utility line.

- All R.O.W. to be sodded.
- 75 80% of all disturbed areasmust have a 1" stand of grass, not weeds or winter rye, prior to City acceptance or C.O. / T.C.O.

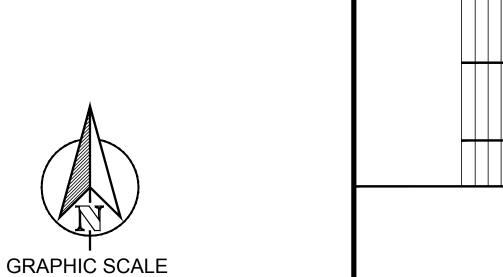


John F. Murphy, ASLA 512.632.3822 - Tyler 512.589.9584 - Austin www.siteint.com



TEXAS REGISTRATION #14199





1 inch = 30 ft.

RANCH TRAIL OFFICE PARK

405 RANCH TRAIL

ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:

RAINBOW ACRES,

LOT 18 & S PT OF 19,

JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032

BEDFORD, TX 76021

PH: 817.281.0572

CLAYMOORE ENGINEERING, INC.

1903 CENTRAL DRIVE, SUITE #406

ACRES 9.52

APPLICANT:

CASE NUMBER SP2019-043

ANDSCAPE

CHECKED: SHEET

PLF	41 N 1	LIST		
CANOP	Y TREE	ES		
11	LE	Lacebark Elm	Ulmus parviflora	4" cal. B&B 14' ht. 7' spread
29	LO	Live Oak	Quercus virginiana	4" cal. B&B 14' ht. 7' spread
12	CO	Chinquapin Oak	Quercus muhlenbergia	4" cal. B&B 14' ht. 7' spread
27	CE	Cedar Elm	Ulmus crassifolia	4" cal. B&B 14' ht. 7' spread
13	ВС	Bald Cypress	Taxodium distichum	4" cal. B&B 14' ht. 7' spread
17	SO	Shumard Oak	Quercus shumardii	4" cal. B&B 14' ht. 7' spread
8	ВО	Bur Oak	Quercus macrocarpa	4" cal. B&B 14' ht. 7' spread
ORNAM	IENTAL	. TREES		
15	TY	Tree Yaupon	llex vomitoria	30 gal. 8' ht. multi-trunk female
2	CR	Crapemyrtle	Lagerstroemia indica 'Tuscarora'	30 gal. 8' ht. 3 trunk 2 1/2" cal. min.
3	DW	Desert Willow	Chilopsis linearis 'Timeless Beauty'	30 gal. 6' ht. 2 1/2" cal. min.
16	ERC	Eastern Red Cedar	Juniperus virginiana	30 gal. 6' ht. 2 1/2" cal. min.
SHRUB	S & GR	COUNDCOVERS		
108	ВН	Burford Holly	llex cornuta burfordii	10 gal. as shown
10	WM	Dwarf Wax Myrtle	Myrica pusilla	5 gal. 36" oc
1,807	AJ	Asian Jasmine	Trachelospermum asiaticum	1 gal. 18" oc
2,325	BBL	Big Blue Liriope	Liriope muscari 'Big Blue'	1 gal. 18" oc

City of Rockwall, Texas LANDSCAPE CALCULATIONS

Total Lot Area	414,665 SF	Required	Provided
Landscape Area 10%		41,467 SF	118,070 SF (28%
Street Buffer Trees	1 Shade tree 3" cal. per 50 LF of frontage	Required	Provided
Ranch Trail	618.51 LF	13	13
County Line Road	454.64 LF	10	11
Parking Lot Landsca	pe	Required	Provided
Parking Spaces 1 tree per 10 space	370 s	37	44

Tree Mitigation

Primary tree inches removed - 38.5" Secondary tree inches removed - 586" / 2 = 293"

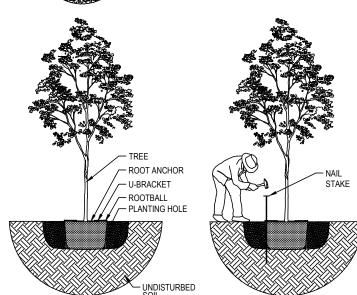
+ 293"

38.5"

Total mitigation required = $\overline{331.5}$ " New proposed inches = 468"

Diseased trees, ROW trees, preserved trees, and secondary trees under 11" not included in mitigation total

TREE STAKE SOLUTIONS LLC 9973 FM 521 ROAD ROSHARON, TX 77583 PHONE: (281) 778-1400 FAX: (281) 778-1425 www.treestakesolutions.com



1. WITH TREE IN A STRAIGHT & PLUMB POSITION, CENTER THE APPROPRIATE ROOT 2. INSERT 1 OF 3 NAIL STAKES THROUGH EACH OF THE U-BRACKETS. NAILS SHOULD REST IN THE ANCHOR SAFETY STAKE AROUND THE TRUNK, UNDISTURBED SOIL AT THE BOTTOM OF THE TREE WITH RINGS LAYING FLAT AGAINST ROOTBALL, U-BRACKETS FACING UP. OF THE ROOTBALL.

3. NAIL STAKES SHOULD BE DRIVEN STRAIGHT DOWN INTO THE UNDISTURBED SOIL BELOW THE ROOTBALL. THE NAILS ARE NOW CAGING THE PIT. ALL NAILS SHOULD FIT SNUG AGAINST THE SIDE ROOTBALL IN PLACE, WHILE THE TOP BRACKET PINS THE ROOTBALL DOWN. (FOR HAND OR MACHINE DUG TREES, IT MAY BE AFTER THE TREE STAKE IS INSTALLED, A LAYER OF NECESSARY TO PENETRATE 1" - 4" OF OUTER AREA OF THE ROOTBALL WITH THE NAIL.)

MULCH CAN BE ADDED OVER THE STAKE. REMOVE ROOT ANCHOR AFTER TREE IS ESTABLISHED.

/- ROOT ANCHOR

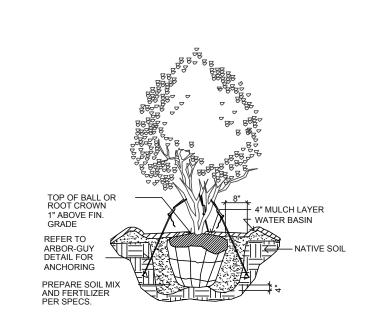
PLANTING HOLE

/_ U-BRACKET

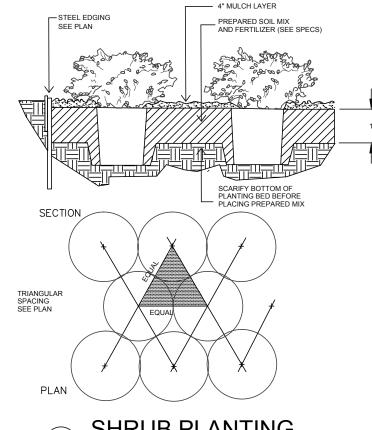
//_ ROOTBALL

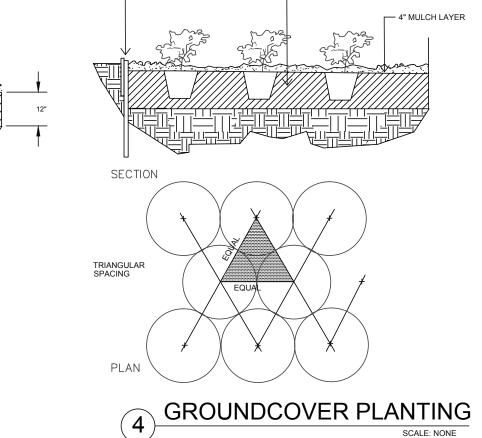
ROOT ANCHORTM BELOW GRADE SAFETY STAKE SIZING CHART					
ITEM#	DESCRIPTION	NAIL LENGTH X 3PC	ITEM#	DESCRIPTION	NAIL LENGTH X
		(INCLUDED)			(INCLUDED)
5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95/100 GALLON OR 36" ROOTBALL	#5 X 48"
15 BG	10/15 GALLON OR 17" ROOTBALL	#4 X 36"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"
30 BG	20/30 GALLON OR 22" ROOTBALL	#4 X 36"	200 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"
45/65 BG	45/65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"
		-	-		

(1) CANOPY TREE PLANTING



(2) MULTI-TRUNK PLANTING





2053

12" DEPTH OF PLANTING MIX

D = DISEASED TREE

★ = PRESERVED TREE

ROW = TREE IN RIGHT OF WAY

EXISTING TREE LIST

ROW

ROW

ROW ROW ROW ROW

ROW ROW

Number	Size	Туре]	Number
2000	8" 8"	Hackberry	1	2054
2001	13"	Cedar	1	2055
2002	7" 10" 10"	Cedar	-	2056
2003	16"	Cedar		2057
2004	17"	Cedar	-	2058
2005	15"	Cedar		2059
2006	12"	Cedar	1	2060
2007	16"	Cedar	1	2061
2008	26"	Cedar	1	2062
2009	10" 13" 18"	Cedar	1	2063
2010	10"	Cedar		2064
2011	8"	Oak	-	2065
2012	12"	Hackberry	-	2066
2013	10"	Cedar	-	2067
2014	14" 20"	Cedar	-	2068
2015	15" 14"	Cedar-Hackberry	_	2069
2016	10"	Hackberry	-	2070
2017	10"	Hackberry	-	2071
2018	10"	Hackberry	-	2072
2019	10"	Hackberry	_	2073
2020	7" 10"	Hackberry	-	2074
2021	13"	Cedar	_	2075
2022	22"	Cedar	_	2076
2023	12" 16"	Cedar	-	2077
2024	16"	Cedar	-	2078
2025	15"	Cedar	-	2079
2026	12"	Hackberry	-	2080
2027	12"	Hackberry	-	2081
2028	11"	Cedar	-	2082
2029	22"	Hackberry	-	2083
2030	27"	Cedar	-	2084
2031	8"	Hackberry	-	2085
2032	10"	Hackberry	-	2086
2032	16"	Hackberry	-	2087
2033	8"	Hackberry	_	2088
2035	22"	Live Oak	_	2089
2035	23"	Mulberry	_	2089
2030	17"	Mulberry	-	2090
2037	32"	Mulberry	_	2091
2038	17"	Mulberry	-	2092
2039	15"	Mulberry	-	2093
2040	18"	Oak	_	2094
2041	8"	Cedar	_	2093
2042	14"	Mulberry	-	2096
2043	12"		-	2097
	8" 10" 10"	Hackberry	-	
2045	10"	Hackberry	<u> </u>	2099
2046		Hackberry		2100
2047	16"	Cedar	_	2101
2048	12"	Cedar	-	2102
2049	10"	Hackberry	-	2103
2050	10"	Hackberry	<u> </u>	2104
2051	10" 10"	Hackberry	-	2105
2052	12"	Hackberry		2106
1000				

Hackberry

2054		паскрепу
2055	10" 17"	Hackberry
2056	7" 9"	Ash
2057	11"	Hackberry
2058	8"	Hackberry
2059	8"	Hackberry
2060	8"	Hackberry
2061	7"	Hackberry
2062	8"	Hackberry
2063	8"	Hackberry
2064	10"	Hackberry
2065	8"	Hackberry
2066	16"	Hackberry
2067	8" 8" 10"	Hackberry
2068	16"	Hackberry
2069	8" 8"	Hackberry
2009	15"	Hackberry
2070	10" 12"	Hackberry
	13"	•
2072	7" 9"	Hackberry
2073	13"	Hackberry
2074		Hackberry
2075	13"	Hackberry
2076	11"	Hackberry
2077	11"	Hackberry
2078	9"	Hackberry
2079	9"	Hackberry
2080	12"	Hackberry
2081	9"	Hackberry
2082	13"	Hackberry
2083	8"	Hackberry
2084	13"	Hackberry
2085	11"	Cedar
2086	13"	Cedar
2087	10"	Cedar
2088	10"	Cedar
2089	10"	Cedar
2090	10"	Cedar
2091	8"	Cedar
2092	12"	Cedar
2093	8" 12"	Cedar
2094	8"	Cedar
2095	10"	Cedar
2096	10"	Cedar
2097	10"	Cedar
2098	12"	Cedar
2099	10"	Cedar
2100	8"	Cedar
2101	10"	Cedar
2102	10"	Cedar
2103	8"	Cedar
2104	15"	Cedar
2105	10"	Hackberry
2106	10"	Hackberry
		ackberry

Size

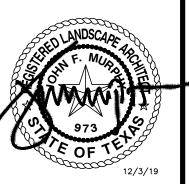
Hackberry

integration studio John F. Murphy, ASLA

512.632.3822 - Tyler 512.589.9584 - Austin www.siteint.com



TEXAS REGISTRATION #14199



CHECKED: SHEET

CASE NUMBER SP2019-043

RANCH TRAIL OFFICE PARK

405 RANCH TRAIL ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:

RAINBOW ACRES,

LOT 18 & S PT OF 19,

JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032

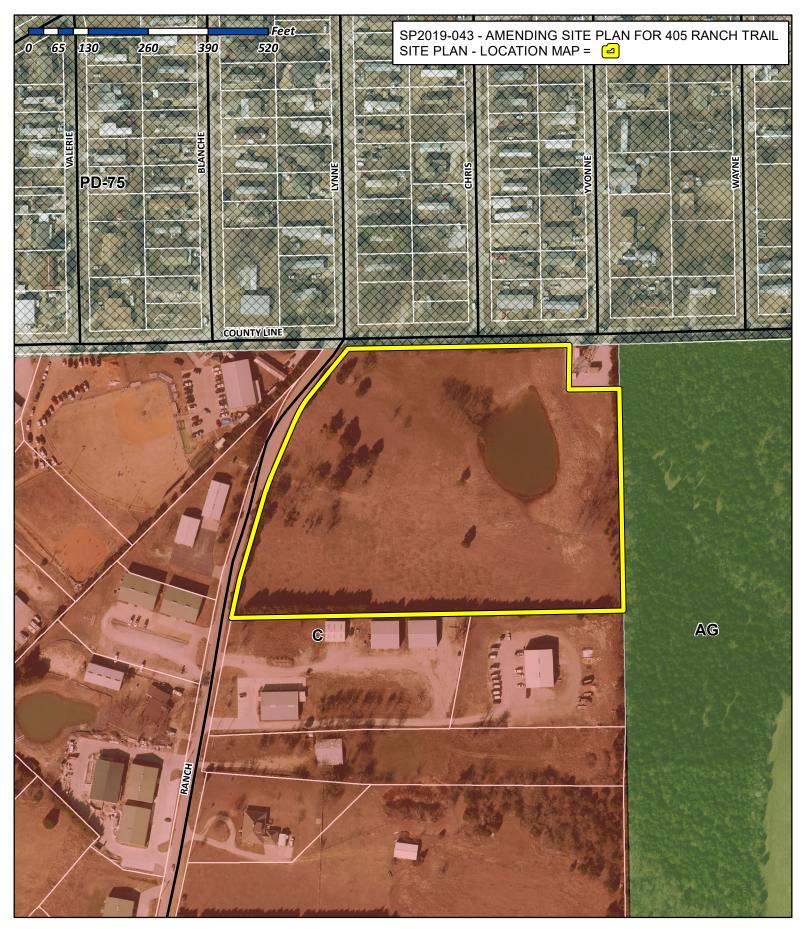
BEDFORD, TX 76021

PH: 817.281.0572

CLAYMOORE ENGINEERING, INC.

1903 CENTRAL DRIVE, SUITE #406

ACRES 9.52





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





December 13, 2019

Mr. Korey Brooks City of Rockwall 385 S. Goliad Street Rockwall, TX 75087 Phone: 972.772.6434

Re: Amended Site Plan – SP19-043 Ranch Trail Office Park – Variance Request Letter

Dear Mr. Brooks:

Ranch Trail Office Park have plans to develop a 9.52 acres site located at S. 405 Ranch Trail. The site is platted as Lot 18 & S PT of 19, Rainbow Acres.

VARIANCE REQUEST DETAILS:

The applicant is requesting approval to provide two (2) compensatory for each variance listed below.

Variance #1: Allow the Buildings 1 to 16 as variance to Articulation Standards.

Compensatory Measures;

- Added Stone/Wainscoting to the Façade facing the Right of Way.
- Additional landscaping along County Line Road have been provided for additional screening.

Variance #2: Allow Buildings 1 & 2 to have parking spaces between the building frontage and property lines.

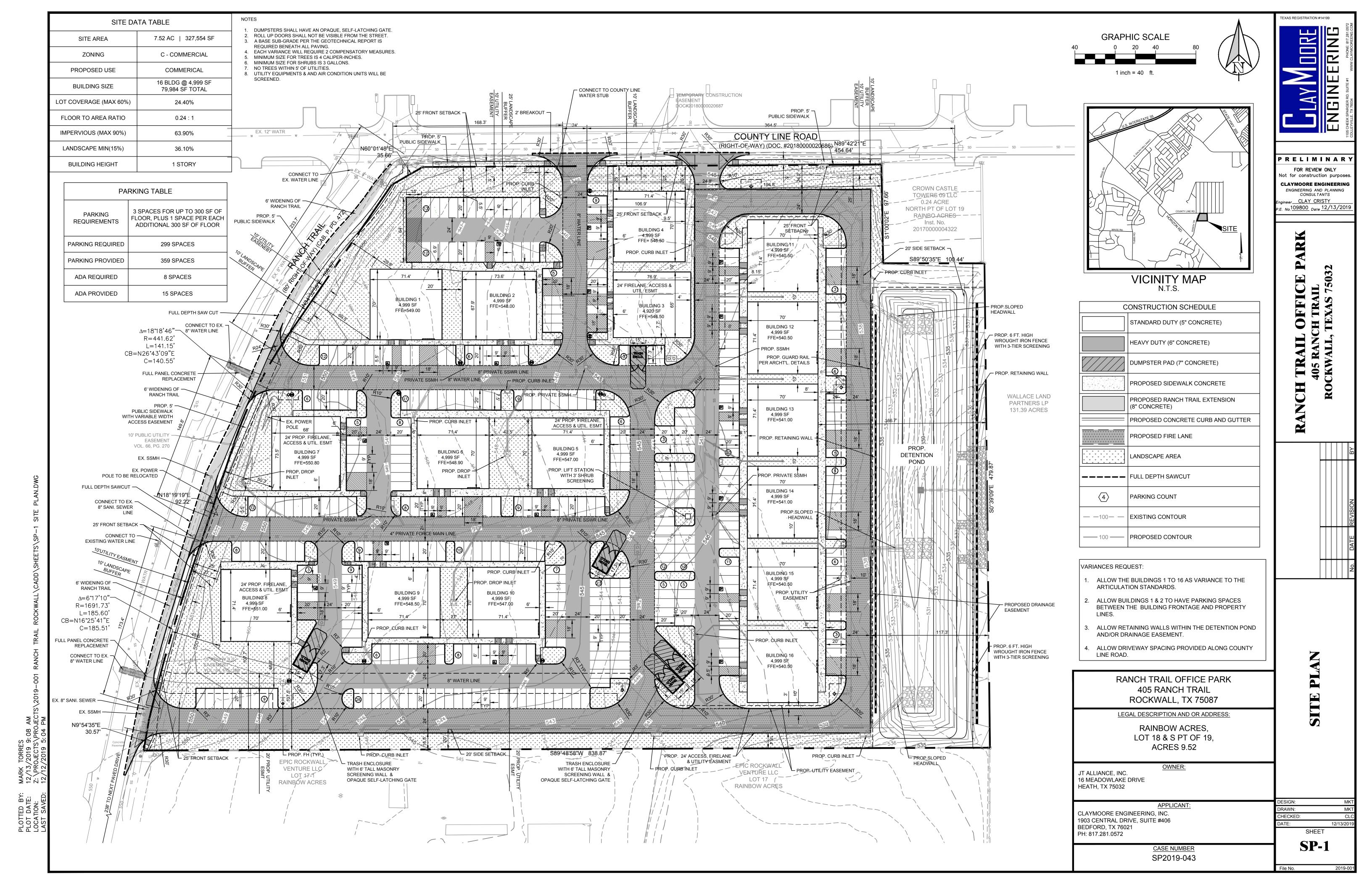
Compensatory Measures;

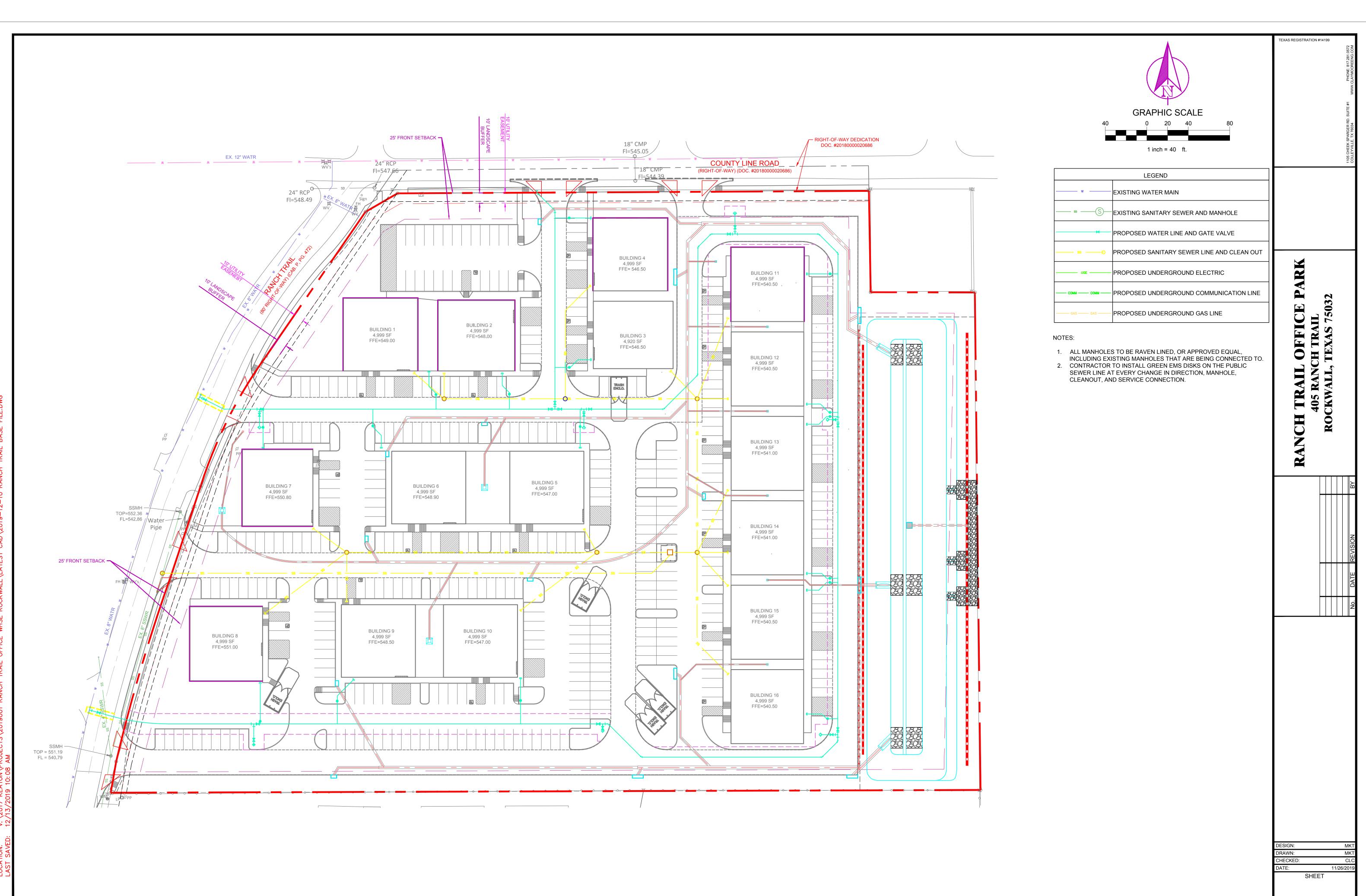
- Increased portion of Landscape Buffer to 25 feet.
- Increased driveway Visibility triangles to 20'x20'.

Thank you and please call if you have any comments or need additional information.

Sincerely,

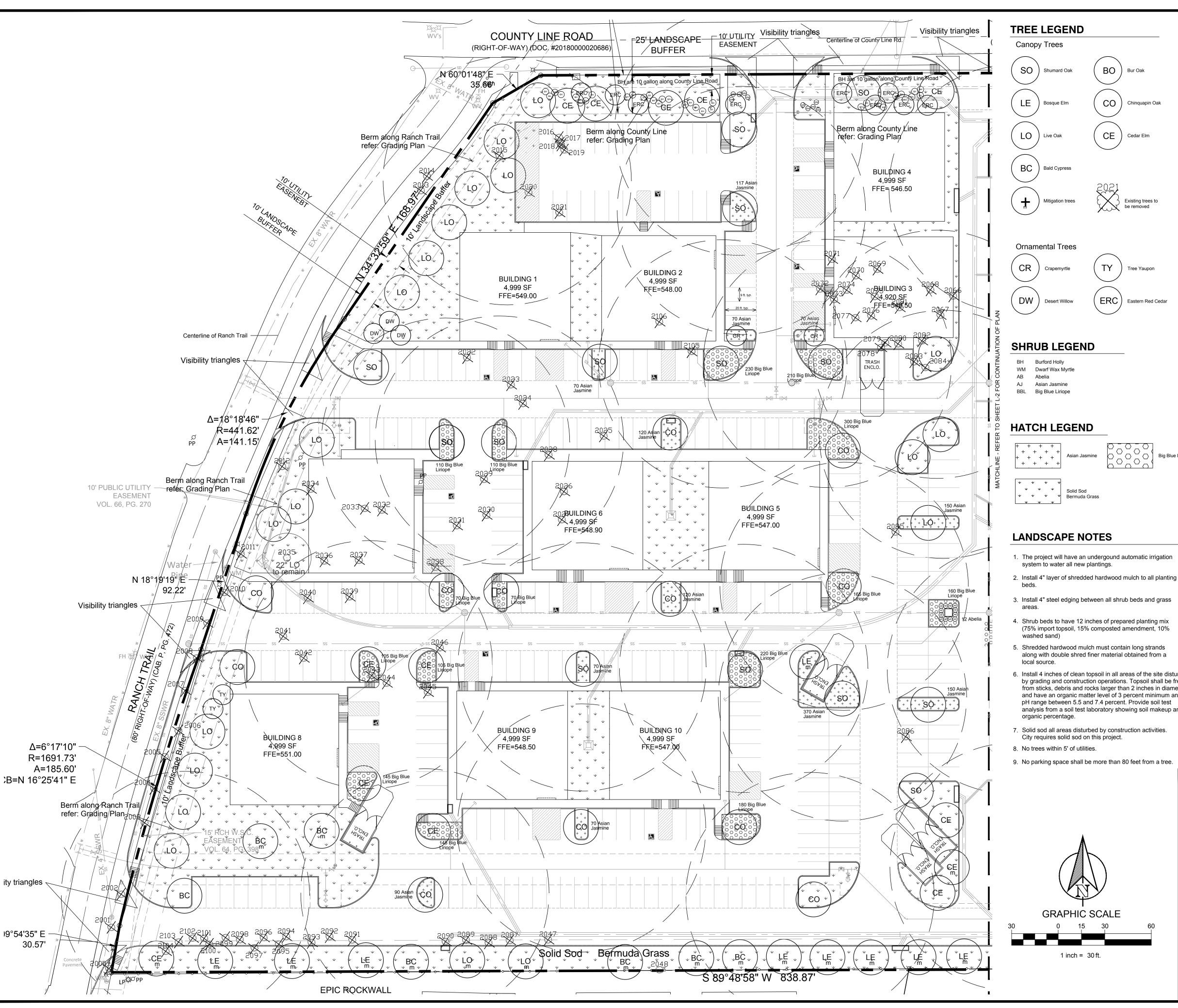
Clay Cristy, PE





| UAIE: | 12/13/2019 | U. 23 AM| ATION: WAY 2017 MENTON DECTS 2010001 DANCH TEAT DAY 12 10 DANCH TEAT DAY 12 10 DANCH TEAT DAY

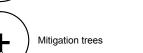
PLOI DAIE:





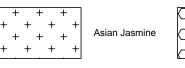














LANDSCAPE NOTES

- 1. The project will have an undergound automatic irrigation system to water all new plantings.

- 4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10%
- 5. Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a
- 6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and
- 7. Solid sod all areas disturbed by construction activities.
- 9. No parking space shall be more than 80 feet from a tree.

SPECIAL NOTE

No trees are to be planted within 5 feet of any utility line.

All R.O.W. to be sodded.

75 - 80% of all disturbed areasmust have a 1" stand of grass, not weeds or winter rye, prior to City acceptance or C.O. /

RANCH TRAIL OFFICE PARK **405 RANCH TRAIL** ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

OWNER: 16 MEADOWLAKE DRIVE

APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572

JT ALLIANCE, INC.

HEATH, TX 75032

CASE NUMBER SP2019-043 CHECKED: SHEET

TEXAS REGISTRATION #14199

AY

integration studio

7.52 AC | 327,554 SF

C - COMMERCIAL

COMMERICAL

16 BLDG @ 4,999 SF

79,984 SF TOTAL

24.40%

0.24:1

63.90%

36.10%

1 STORY

3 SPACES FOR UP TO 300 SF OF

FLOOR, PLUS 1 SPACE PER EACH

ADDITIONAL 300 SF OF FLOOR

299 SPACES

359 SPACES

8 SPACES

15 SPACES

512.632.3822 - Tyler 512.589.9584 - Austin www.siteint.com

John F. Murphy, ASLA

SITE DATA TABLE

PARKING TABLE

SITE AREA

ZONING

PROPOSED USE

BUILDING SIZE

LOT COVERAGE (MAX 60%)

FLOOR TO AREA RATIO

IMPERVIOUS (MAX 90%)

LANDSCAPE MIN(15%)

BUILDING HEIGHT

PARKING

REQUIREMENTS

PARKING REQUIRED

PARKING PROVIDED

ADA REQUIRED

ADA PROVIDED

ANDSCAPE

TREE LEGEND

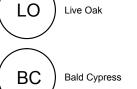
Canopy Trees









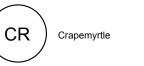








Ornamental Trees





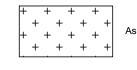




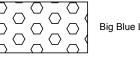
SHRUB LEGEND

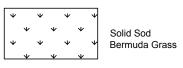
- BH Burford Holly
 WM Dwarf Wax Myrtle
 AB Abelia
- AJ Asian Jasmine
 BBL Big Blue Liriope

HATCH LEGEND



Asian Jasmine (





LANDSCAPE NOTES

- The project will have an undergound automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)

Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a

local source.

6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test

analysis from a soil test laboratory showing soil makeup and

- 7. Solid sod all areas disturbed by construction activities. City requires solid sod on this project.
- 8. No trees within 5' of utilities.

organic percentage.

9. No parking space shall be more than 80 feet from a tree.

SPECIAL NOTE

- No trees are to be planted within 5 feet of any utility line.
- All R.O.W. to be sodded.
- 75 80% of all disturbed areasmust have a 1" stand of grass, not weeds or winter rye, prior to City acceptance or C.O. / T.C.O.

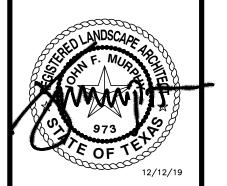


John F. Murphy, ASLA

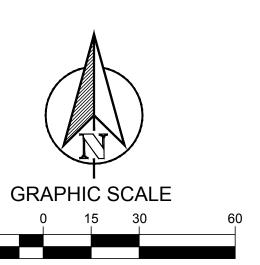
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TEXAS REGISTRATION #14199



ANCH TRAIL OFFICE P 405 RANCH TRAIL ROCKWALL, TEXAS 75032



RANCH TRAIL OFFICE PARK 405 RANCH TRAIL ROCKWALL, TX 75087

1 inch = 30 ft.

LEGAL DESCRIPTION AND OR ADDRESS:

RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

	OWNER:
JT ALLIANCE, INC.	
16 MEADOWLAKE DRIVE	
HEATH, TX 75032	

	APPLICANT:
CLAYMOORE ENGINEERING, 1903 CENTRAL DRIVE, SUITE BEDFORD, TX 76021 PH: 817.281.0572	

CASE NUMBER SP2019-043

DESIGN: CLI
DRAWN: LRI
CHECKED: CLI
DATE: 12/12/2011
SHEET

L-2

ANDSCAPE

le No.

PLA	41 <i>V</i> I	LIS I					
CANOF	Y TREE	ES					
11	LE	Lacebark Elm	Ulmus parviflora	4" cal. B&B 14' ht. 7' spread			
29	LO	Live Oak	Quercus virginiana	4" cal. B&B 14' ht. 7' spread			
12	CO	Chinquapin Oak	Quercus muhlenbergia	4" cal. B&B 14' ht. 7' spread			
27	CE	Cedar Elm	Ulmus crassifolia	4" cal. B&B 14' ht. 7' spread			
13	ВС	Bald Cypress	Taxodium distichum	4" cal. B&B 14' ht. 7' spread			
17	SO	Shumard Oak	Quercus shumardii	4" cal. B&B 14' ht. 7' spread			
8	во	Bur Oak	Quercus macrocarpa	4" cal. B&B 14' ht. 7' spread			
ORNAM	MENTAL	TREES					
2	TY	Tree Yaupon	llex vomitoria	30 gal. 8' ht. multi-trunk female			
2	CR	Crapemyrtle	Lagerstroemia indica 'Tuscarora'	30 gal. 8' ht. 3 trunk 2 1/2" cal. min.			
3	DW	Desert Willow	Chilopsis linearis 'Timeless Beauty'	30 gal. 6' ht. 2 1/2" cal. min.			
16	ERC	Eastern Red Cedar	Red Cedar Juniperus virginiana 30 gal. 6' ht.				
SHRUB	S & GR	OUNDCOVERS					
59	ВН	Burford Holly	llex cornuta burfordii	10 gal. as shown			
106	ВН	Burford Holly	llex cornuta burfordii	5 gal. 48" oc			
68	WM	Dwarf Wax Myrtle	Myrica pusilla	5 gal. 36" oc			
136	AB	Abelia	Abelia grandiflora	5 gal. 36" oc			
2,017	AJ	Asian Jasmine	Trachelospermum asiaticum	1 gal. 18" oc			
2,325	BBL	Big Blue Liriope	Liriope muscari 'Big Blue'	1 gal. 18" oc			

See note on L-2 for additional tree planting in Detention Pond

City of Rockwall, Texas LANDSCAPE CALCULATIONS

Total Lot Area Landscape Area 15%	327,554 SF	Required 49,133 SF	Provided 118,246 SF (36	5.10 ⁹
Street Buffer Trees	1 Shade tree 3" cal. per 50 LF of frontage	Required	Provided	
Ranch Trail	618.51 LF	13	13	
County Line Road	454.64 LF	10	11	
Parking Lot Landsca	ре	Required	Provided	
Parking Spaces	374	38	47	

Tree Mitigation

Primary tree inches removed - 38.5"

38.5" + 293"

Total mitigation required = $\overline{331.5}$ "

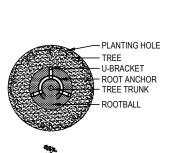
Diseased trees, ROW trees, preserved trees,

Parking Spaces	374
1 tree per 10 spaces	

Secondary tree inches removed - 586" / 2 = 293"

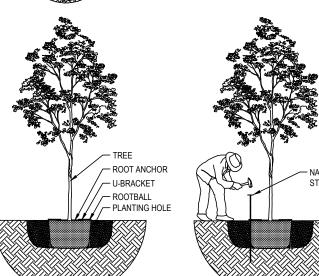
New proposed inches = 468"

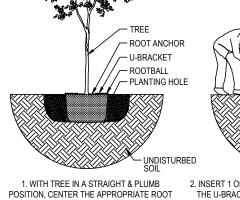
and secondary trees under 11" not included in mitigation total





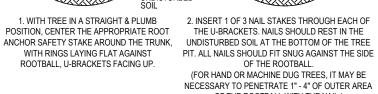
TREE STAKE SOLUTIONS LLC 9973 FM 521 ROAD ROSHARON, TX 77583 PHONE: (281) 778-1400 FAX: (281) 778-1425 www.treestakesolutions.com

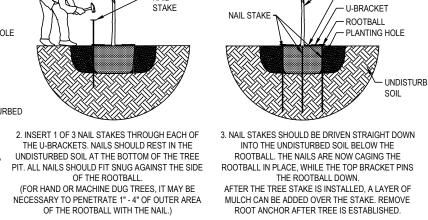




WITH RINGS LAYING FLAT AGAINST

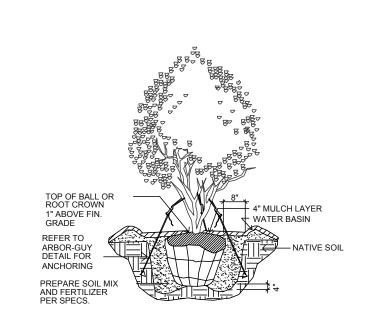
ROOTBALL, U-BRACKETS FACING UP.



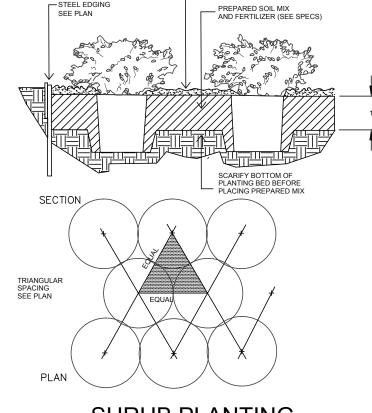


/- ROOT ANCHOR

ROOT ANCHORTM BELOW GRADE SAFETY STAKE SIZING CHART									
	ITEM#	DESCRIPTION	NAIL LENGTH X 3PC	ITEM#	DESCRIPTION	NAIL LENGTH X 3F			
			(INCLUDED)			(INCLUDED)			
	5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95/100 GALLON OR 36" ROOTBALL	#5 X 48"			
	15 BG	10/15 GALLON OR 17" ROOTBALL	#4 X 36"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"			
	30 BG	20/30 GALLON OR 22" ROOTBALL	#4 X 36"	200 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"			
	45/65 BG	45/65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"			

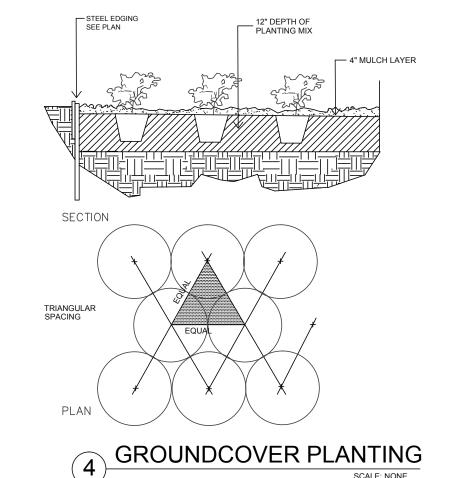


MULTI-TRUNK PLANTING



— 4" MULCH LAYER





EXISTING TREE LIST

ROW

ROW

ROW

ROW

ROW

ROW ROW 2

ROW ROW

ROW

		-	1 1		[c:]	
Number 2000	Size 8" 8"	Type Hackberry	-	Number 2054	Size 8"	Type Hackberry
2000	13"	Cedar		2055	10" 17"	Hackberry
2001	7" 10" 10"	Cedar	_	2056	7" 9"	Ash
2002	16"	Cedar		2057	11"	
2003	17"		-	2057	8"	Hackberry
	15"	Cedar			8"	Hackberry
2005	15"	Cedar	-	2059		Hackberry
2006	16"	Cedar Cedar	-	2060	8" 7"	Hackberry
2007			-	2061	8"	Hackberry
2008	26"	Cedar	-	2062	8"	Hackberry
2009	10" 13" 18"	Cedar		2063		Hackberry
2010	10"	Cedar		2064	10"	Hackberry
2011	8"	Oak		2065	8"	Hackberry
2012	12"	Hackberry		2066	16"	Hackberry
2013	10"	Cedar	-	2067	8" 8" 10"	Hackberry
2014	14" 20"	Cedar		2068	16"	Hackberry
2015	15" 14"	Cedar-Hackberry]	2069	8" 8"	Hackberry
2016	10"	Hackberry]	2070	15"	Hackberry
2017	10"	Hackberry]	2071	10" 12"	Hackberry
2018	10"	Hackberry		2072	13"	Hackberry
2019	10"	Hackberry		2073	7" 9"	Hackberry
2020	7" 10"	Hackberry		2074	13"	Hackberry
2021	13"	Cedar		2075	13"	Hackberry
2022	22"	Cedar		2076	11"	Hackberry
2023	12" 16"	Cedar		2077	11"	Hackberry
2024	16"	Cedar		2078	9"	Hackberry
2025	15"	Cedar		2079	9"	Hackberry
2026	12"	Hackberry		2080	12"	Hackberry
2027	12"	Hackberry		2081	9"	Hackberry
2028	11"	Cedar		2082	13"	Hackberry
2029	22"	Hackberry		2083	8"	Hackberry
2030	27"	Cedar		2084	13"	Hackberry
2031	8"	Hackberry		2085	11"	Cedar
2032	10"	Hackberry		2086	13"	Cedar
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2034	8"	Hackberry		2088	10"	Cedar
2035	22"	Live Oak		2089	10"	Cedar
2036	23"	Mulberry		2090	10"	Cedar
2037	17"	Mulberry		2091	8"	Cedar
2038	32"	Mulberry		2092	12"	Cedar
2039	17"	Mulberry		2093	8" 12"	Cedar
2040	15"	Mulberry]	2094	8"	Cedar
2041	18"	Oak]	2095	10"	Cedar
2042	8"	Cedar]	2096	10"	Cedar
2043	14"	Mulberry]	2097	10"	Cedar
2044	12"	Hackberry]	2098	12"	Cedar
2045	8" 10" 10"	Hackberry]	2099	10"	Cedar
2046	10"	Hackberry	1	2100	8"	Cedar
2047	16"	Cedar	1	2101	10"	Cedar
2048	12"	Cedar		2102	10"	Cedar
2049	10"	Hackberry		2103	8"	Cedar
2050	10"	Hackberry		2104	15"	Cedar
2051	10" 10"	Hackberry		2105	10"	Hackberry
2052	12"	Hackberry	1	2106	10"	Hackberry
2053	8"	Hackberry				•
	1	·	ا ر		1	

D = DISEASED TREE

ROW = TREE IN RIGHT OF WAY

★ = PRESERVED TREE

RANCH TRAIL OFFICE PARK 405 RANCH TRAIL ROCKWALL, TX 75087

> LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE

HEATH, TX 75032

CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572

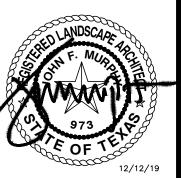
CASE NUMBER SP2019-043 AY

TEXAS REGISTRATION #14199

integration studio

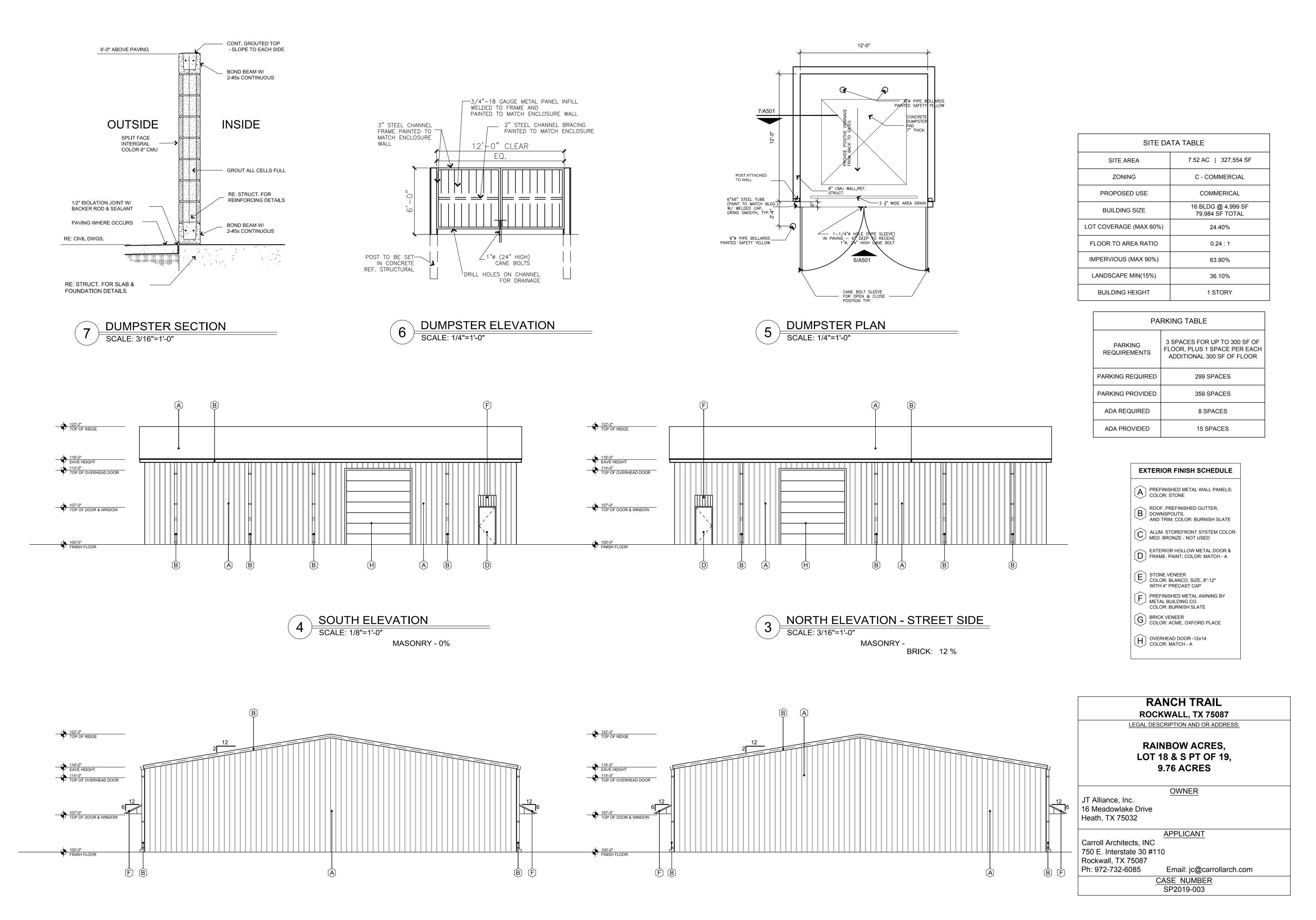
512.632.3822 - Tyler 512.589.9584 - Austin www.siteint.com

John F. Murphy, ASLA



CHECKED:

SHEET



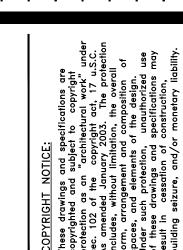
WEST ELEVATION - STREET SIDE

MASONRY -

BRICK: 14 %

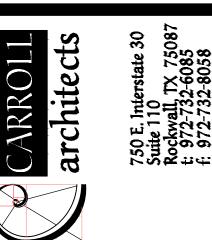
SCALE: 1/8"=1'-0"

ISSUE: OWNER REVIEW: 01-18-2018
CITY SUBMIT: 12-13-2019



NCH TRAIL OFFICE PARI 405 RANCH TRAIL

RANCH TRAIL
DEVELOPMENT
2 ESSEX COURT



EXTERIOR
ELEVATIONS
W/O MASONRY

DATE: SHEET NO:

JAN 2019

PROJECT NO:

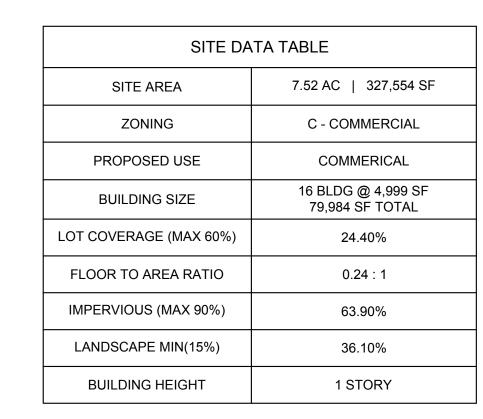
2019001

DRAWN BY:

CHECKED BY:

1 EAST ELEVATION

MASONRY - 0%



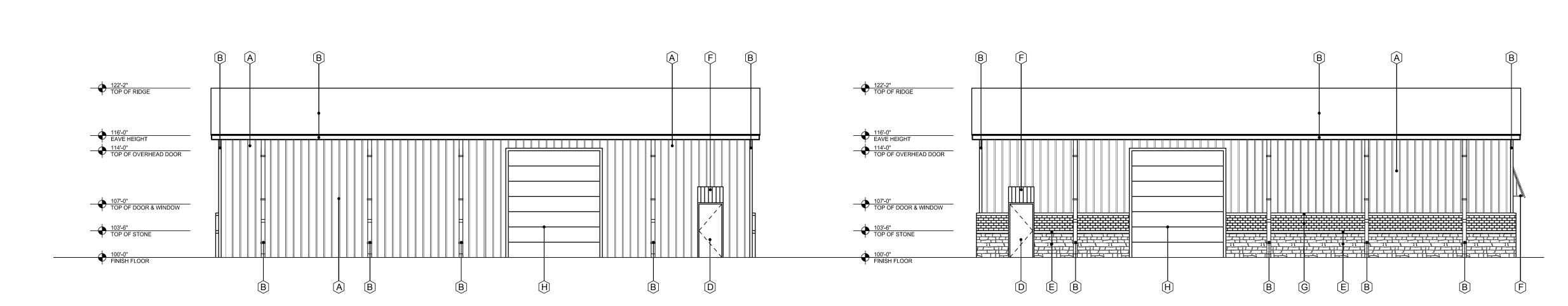
PARKING TABLE							
PARKING REQUIREMENTS	3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR						
PARKING REQUIRED	299 SPACES						
PARKING PROVIDED	359 SPACES						
ADA REQUIRED	8 SPACES						
ADA PROVIDED	15 SPACES						

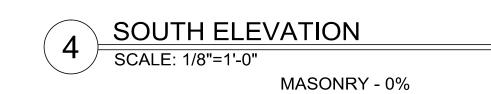
EXTERIOR FINISH SCHEDULE A PREFINISHED METAL WALL PANELS; COLOR: STONE

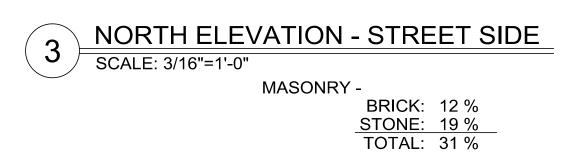
- ROOF, PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM; COLOR: BURNISH SLATE
- ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE NOT USED
- EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT; COLOR: MATCH A
- STONE VENEER
 COLOR: BLANCO, SIZE, 8"-12"
 WITH 4" PRECAST CAP
- PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE
- BRICK VENEER COLOR: ACME, OXFORD PLACE
- OVERHEAD DOOR -12x14
 COLOR: MATCH A

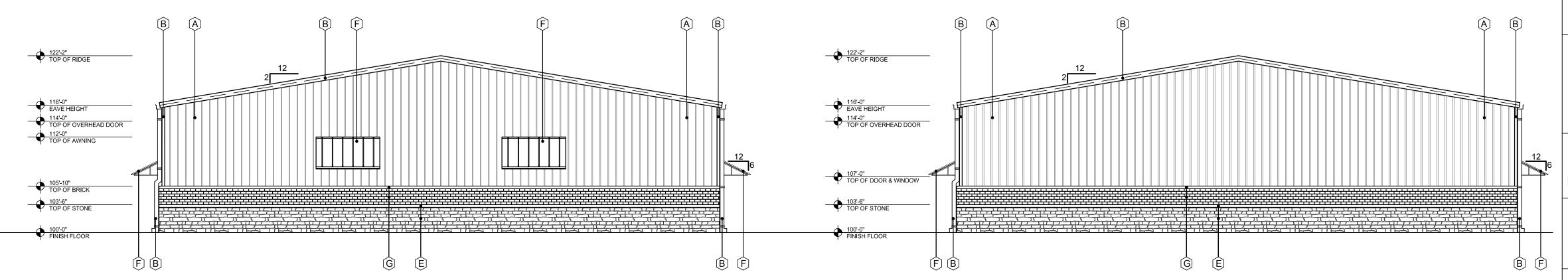


SP2019-003









2 WEST ELEVATION - STREET SIDE SCALE: 1/8"=1'-0"

MASONRY -

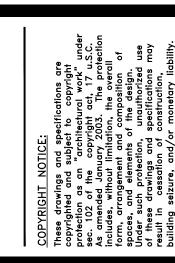
BRICK: 14 % STONE: 21 % TOTAL: 35 %



ISSUE: OWNER REVIEV

O1-18-20

CITY SUBMIT: 12-13-20



RANCH TRAIL OFFICE PARM 405 RANCH TRAIL

PEVELOPMENT

2 ESSEX COURT

HEATH TX 75030



EXTERIOR ELEVATIONS W/ MASONRY

DATE: SHEET NO:

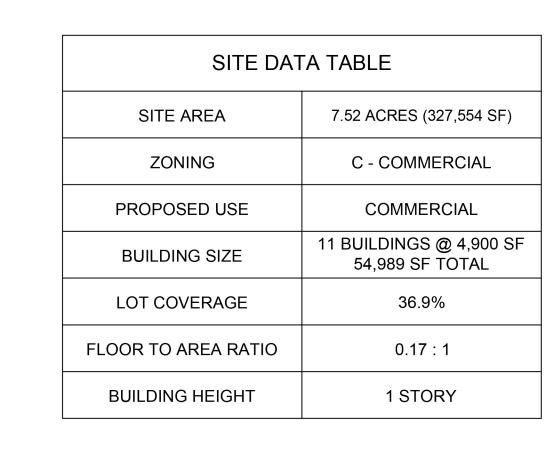
JAN 2019

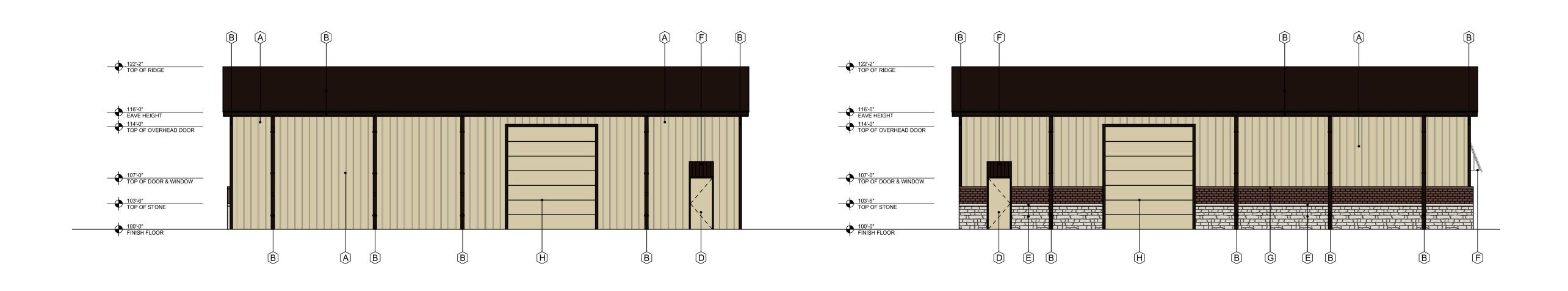
PROJECT NO:

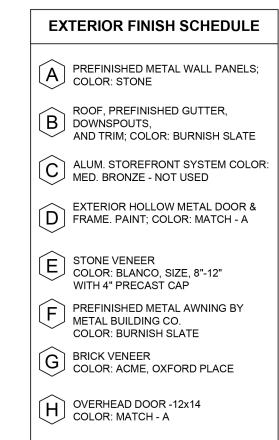
2019001

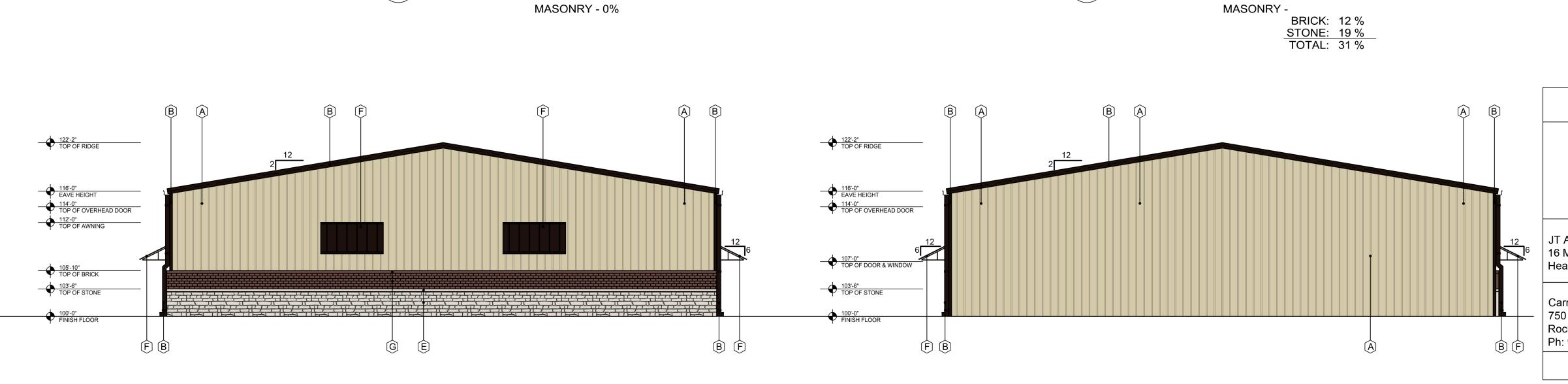
DRAWN BY:

CHECKED BY:









R	ANCH TRAIL
RO	CKWALL, TX 75087
<u>LEGAL DI</u>	ESCRIPTION AND OR ADDRESS:
R.A	AINBOW ACRES,
LOT	18 & S PT OF 19,
	9.76 ACRES
	OWNER
JT Alliance, Inc.	
16 Meadowlake Drive	
Heath, TX 75032	
	APPLICANT
Carroll Architects, INC	· · · · · · · · · · · · · · · · · · ·
750 E. Interstate 30 #	110
Rockwall, TX 75087	
Ph: 972-732-6085	Email: jc@carrollarch.com
	CASE NUMBER
	SP2019-003

2 WEST ELEVATION - STREET SIDE

SCALE: 1/8"=1'-0"

MASONRY
BRICK: 14 %

STONE: 21 %

TOTAL: 35 %

SCALE: 1/8"=1'-0"

1 EAST ELEVATION

SCALE: 1/8"=1'-0"

MASONRY - 0%

NORTH ELEVATION - STREET SIDE

SCALE: 3/16"=1'-0"

ISSUE: OWNER REVIEW:

01-18-2018

work" under t, 17 u.S.C. t, 17 u.S.C. the protection so everall selfion of assign.

solver and the protection of assign.

for FANCH TRAIL DEVELOPMENT 407 RANCH TRAIL ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT



EXTERIOR ELEVATIONS

CHECKED BY:

BEST USE FOR:



STORMWATER





コのく

LIFT STATIONS

ParkUSA®'s PumpTrooper®, submersible pump lift station, is a reliable and cost-effective solution to prevent flooding by receiving and moving stormwater and/or sanitary wastewater to designated locations. Generally, a lift station is used to temporally transfer liquid that cannot flow by gravity on its own. This centrifugal pump system is powered by a close-coupled electric motor. The pumps operate quietly and are cooled by the moving liquid to maximize their lifespan.

Most pump stations are designed for multiple pump installations. The duplex system is the most common where the two pumps alternate in operation to equalize the wear of the pumps and to keep the wet well from solids build-up. The multiple pump system offers continued operation in the case of a pump failure, removal for servicing, and also provides extra capacity in times of extraordinary loading.



FEATURES

- Precast concrete or fiberglass models available
- Various pump types available
- Pedestrian or traffic rated
- Remote maintenance alarm available
- Interior liners available
- Meets all building codes

































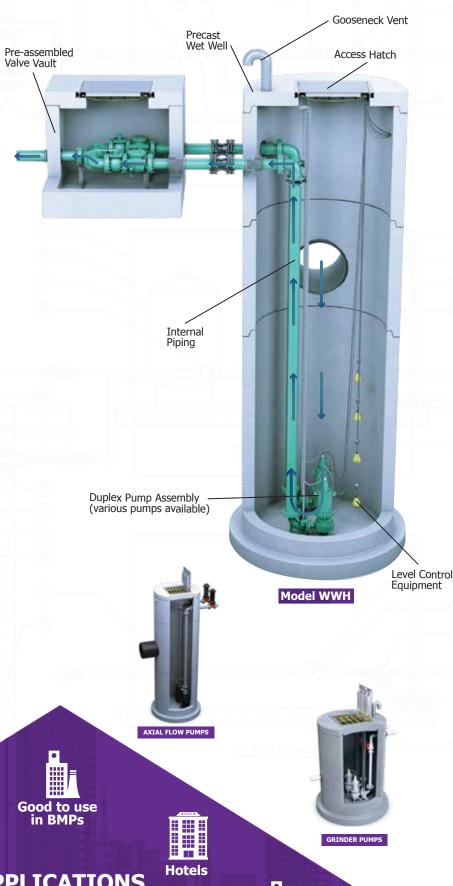
HOW IT WORKS

Sanitary wastewater or storm water enters the wet-well basin through the inlet pipe. An electric liquid level control system monitors the water level and engages the pump(s) at predetermined levels. The pumps then transfer the liquid up and out of the wet-well basin into the sanitary or storm sewer system.

Visit www.pumptrooper.parkusa.com for more information and design assistance.

DESIGN CONSIDERATIONS

Depending on the project, the number of submersible pumps, as well as, the valve system are subject to change. In smaller stations, there can be one submersible pump and the valve assembly is housed within the wet well to save infrastructure cost. In larger stations, which can house multiple submersible pumps, it is recommended that the valve system be housed in a separate valve vault. This makes it easier to conduct maintenance when necessary.







NON-CLOG PUMPS









City of Rockwall



11/18/2019 DG

Project Plan Review History

Owner

Applicant

Project Number Project Name

SP2019-044 Office Complex SITE PLAN

Type Subtype

Site Address

Subdivision

Staff Review Status

City, State Zip

Tract

409 W WASHINGTON ST ROCKWALL, TX 75087

WASHINGTON PLACE

Block Lot No W/2 OF 14

JIMMY MCCLINTOCK

ROSS RAMSAY

Parcel No

General Plan

Applied

Closed

Expired

Status

Zoning

Approved

4180-0014-0000-B0-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	d Status	Remarks
BUILDING	Russell McDowell	11/18/201	9 11/25/201	9 11/18/2019		APPROVED	
ENGINEERING	Sarah Johnston	11/18/201	9 11/25/201	9 11/22/2019	4	COMMENTS	

(11/22/2019 9:26 AM SJ)

- M Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4
- M Must dimension the distance from the driveways to the nearest driveway on either side. Standards of Design 2.6
- M Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.20
- M No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3
- M All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30'min. Standards of Design 2.20
- M No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3
- M All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11
- M Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3
- M Retaining walls in detention require a variance Standards of Design 3.4.4
- M Must stub out the 8" water and 8" sewer to the northern property for future expansion. Standards of Design 5.1.2
- M All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20
- M Must install a 6' sidewalk along the street frontage. Standards of Design 2.14.
- M Proposed & existing water and sewer to be shown on site plan (Not separate sheet)
- M 10' U.E required along ROW
- M Water line must be looped on-site place water line in fire lane instead of TXDOT ROW. Standards of Design 5.2.2
- M Must meet all standards of design and construction.
- I Landscape plan shows walls in detention. Not allowed without variance approval, from P&Z Commission
- I Was the ROW for Second St. purchased?
- I 4% Engineering Fees
- I Impact Fees
- I Must have detention on-site. Manning's C-value is per zoning
- I Water and sewer lines must have 10' of easement on both sides
- I No utilities in detention easements
- I No grate utilities allowed
- I Fire Lane paving to be 8" 3600 psi (6.5 sack mix)
- I No sand allowed under paving.
- I Walls 3' and over must be engineered
- I All retaining walls to be rock or stone face. No smooth concrete walls.
- I If using the pond for detention, it must be over the existing level.
- I Detention outfall must reach sheet flow conditions prior to crossing the property line.
- I Will need TxDOT driveway and utility permits.
- I TIA required w/ fees.
- I Engineering review fees apply

ENGINEERING Sarah Johnston

12/19/2019 12/26/2019 12/19/2019

COMMENTS

Project Reviews.rpt Page 2 of 9

A turning radius of 30-feet for buildings 30-feet or above in height and/or 3 or more stories in height.

Fire lane cannot exceed 10% in grade change, with cross slope not exceeding 5%. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.

GIS 11/18/2019 11/25/2019 11/20/2019 2 APPROVED Lance Singleton See comments

Project Reviews.rpt Page 3 of 9

Type of Review / Note	s Contact	Sent	Due	Received	Elapsed	d Status	Remarks
(11/20/2019 4:48 PM LS)							
Address assignment will be:							
409 W. Washingt	on St, Rockwall, TX 75087						
PLANNING	Korey Brooks	11/18/201	19 11/25/201	9 11/22/2019	4	COMMENTS	Comments

Project Reviews.rpt Page 4 of 9

SP2019-044; 409 W Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (SP2019-044) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- (1) Please do not provide a separate page for utilities. Please show on site plan and landscape plan.
- (2) Please show topo on site plan and landscape plan.
- (3) Please remove labels for Lots 1R and 2R and provide existing lot and block information on site plan.
- (4) Please correct address on plans. Some plans indicate 409 W Washington and some indicate 411 W. Washington.
- (5) Please provide site data table on site plan.
- (6) Please show centerlines of adjacent roadways.
- (7) Please note that all plans need to match (i.e. currently the utility plan does not match site plan.
- (8) Please note that the water line will need to be looped through the site.
- (9) Please check the orientation of the stairs on the site plan.
- (10) Please remove the concrete planter from the parking space
- (11) Please remove signage from the site plan.
- (12) Please utilize a variety of line types and line weights. It is difficult to determine what the lines are (i.e. there are several lines running N/S adjacent to the concrete planter)
- (13) Please note that the dumpster enclosure cannot face the street. Also, a detail has been provided.
- (14) Please dimension a typical parking space.
- (15) Please check radii at drive aisles to ensure conformance to the engineering standards of design.
- (16) Please show and label the property line.
- (17) Please show FL with a hatch pattern, stipple, shade of gray, etc.
- (18) Please provide pavement type and depth.
- (19) Please show proposed sidewalks as a hatch pattern.
- (20) Please dimension distance of building from property lines.
- (21) Please note, the site plan, building elevations, rendering do not seem to match. (i.e. the site plan shows projections/recesses adjacent to Washington Street that do not appear in the rendering and building elevations.
- (22) Please provide all engineering information on site plan.
- (23) Please provide treescape plan
- (24) Please note that walls in the detention area will require a variance.
- (25) Please label detention pond and show on all plans.
- (26) Please show and label property line on LS Plan.
- LANDSCAPE PLAN
- (27) Please remove the cross slope % and show topo on landscape plan.

Project Reviews.rpt Page 5 of 9

- (33) Please note, that the dumpster enclosure cannot face public ROW. Detail has been provided.
- PHOTOMETRIC PLAN
- (34) Please show and label property line.
- (35) Please note, it is difficult to see location of fixtures. Please greyscale FC and bold the fixtures

BUILDING ELEVATIONS

- (36) Please note, that the one-story building is required to be two-stories min
- (37) What is the material below the stairs? Retaining wall? Please show and label.
- I.6 Please note that failure to address all comments provided by staff by 5:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- 1.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested.
- o Revisions for this case will be due on December 3, 2019;
- o The Planning & Zoning Worksession is November 26, 2019.
- o The Planning and Zoning Commission Meeting for this case is December 10, 2019
- o The City Council Meeting for this case is December 16, 2019.

PLANNING Korey Brooks 12/19/2019 12/26/2019 12/20/2019 1 COMMENTS Comments

Project Reviews.rpt Page 6 of 9

SP2019-044; Site Plan for 409 W. Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (SP2019-044) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] a site plan, [2] landscape plan, [3] building elevations and this submittal is complete.

M.6 Site Plan. Please make the following clarifications on the Site Plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

- (1) Please check building elevations. The windows from the second floor of Building 1 do not align with the windows from Building 2.
- (2) Please note, the amount of cast stone seems heavy for a building of this size.
- (3) Please take a look at the south elevation and provide some relief on the portion of the building that has no windows.
- (4) Please note, the rendering does not appear to match the building elevations.
- (5) Please schedule a meeting with staff to discuss revisions.
- (6) Trash/Recycling Enclosures. Trash/Recycling enclosures shall befour (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The opaque, self-latching gate shall not be constructed utilizing wood fencing materials. If the primary building does not use masonry materials, a masonry material that is complimentary in color and scale shall be utilized. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. All trash/recycling enclosures shall be constructed in conformance to the diagram below, unless otherwise approved/required by the City and/or its contractor for trash services. Please provide elevation for dumpster enclosure.
- (1) Utility Equipment and Air Condition Units. Pad or roof mounted utility equipment and air conditioning units shall be screened from the view from of any adjacent public streets or properties. Roof mounted utility equipment and air conditioning units shall be screened using a parapet wall that completely impairs the visibility of the equipment, and is constructed on all sides of the building. Ground mounted Utility equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. Please show how all equipment will be screened.

SUBSECTION 1.08: PUBLIC RIGHT-OF-WAY VISIBILITY

(A) Street/drive intersection visibility obstruction triangles. A landscape plan showing the plan of the street on both sides of each proposed drive/street to the proposed development with the grades, curb elevations, proposed street/drive locations, and all items (both natural and manmade) within the visibility triangles as prescribed below shall be provided with all site plans, if they are not on engineering plans that are submitted at the same time. this plan shall show no horizontal or vertical restrictions (either existing or future) within the areas defined below.

Project Reviews.rpt Page 7 of 9

- (B) Obstruction/interference triangles defined. No fence, wall screen, billboard, sign face, tree or shrub foliage, berm, or any other item, either manmade or natural, shall be erected, planted, or maintained in such a position or place so as to obstruct or interfere within the following minimum standards; however, on non-residentially zoned lots, a single pole for mounting a sign may be placed within this area provided the pole does not exceed 12-inches in diameter, and provided every portion of the sign has a minimum height clearance of nine (9) feet: Please provide where applicable
- (1) Visibility Triangles. Vision at all intersections which intersect at or near right angles shall be clear at elevations between 24-inches and nine (9) feet above the top of the curb elevation, within a triangular area formed by extending the two (2) curblines from their point of intersection, for the following minimum distances for the applicable intersection, and connecting these points with an imaginary line, thereby making a triangle. If there are no curbs existing, the triangular area shall be formed by extending the property lines from their point of intersection for a distance as prescribed below, and connecting these points with an imaginary line, thereby making a triangle as shown below.
- (2) Intersection of two (2) public streets. The minimum required distance from the curb shall be 30-feet and the minimum distance from the property line on streets without a curb shall be 20-feet.
- (3) Intersection of a public street and an alley. The minimum required distance measured from the property line shall be 15-feet, or 25-feet from street curb.
- (4) Intersection of private drive and public street. The minimum required distance from the curbshall be 15-feet and the minimum distance from the property line on streets without a curb shall be ten (10) feet.
- (C) Sight distance requirements. The city hereby adopts the standards for both vertical and horizontal sight distance requirements set forth in the latest edition of AASHTO green book "a policy on geometric design of highways and streets" for the construction of both public street intersections and private drive intersections, unless otherwise approved by the city engineer. If, in the opinion of the city engineer, a proposed street or drive intersection does not meet these standards, additional engineering information exhibiting how the standards have been addressed may be required for submission and approval by the city's engineer.
- I.7 Please note that failure to address all comments provided by staff by 5:00 PM on January 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2020.

M.9 Below are the meeting dates for your request. A representative is required to attend all meetings:

- December 30, 2019 Architectural Review Board (ARB) Meeting 5:00 p.m.—immediately before the Planning and Zoning Worksession.
- December 30, 2019 Planning and Zoning Worksession 6:00 p.m. immediately following the ARB Meeting.
- January 14, 2020 2nd Architectural Review Board (ARB) Meeting (at the discretion of the ARB) 5:00 p.m. immediately before the Planning and Zoning Meeting.
- January 14, 2020 Planning and Zoning Meeting 6:00 p.m. immediately following the ARB Meeting. M.10 Please see standard site plan wording below.

SITE PLAN SIGNATURE BLOCK

APPROVED:

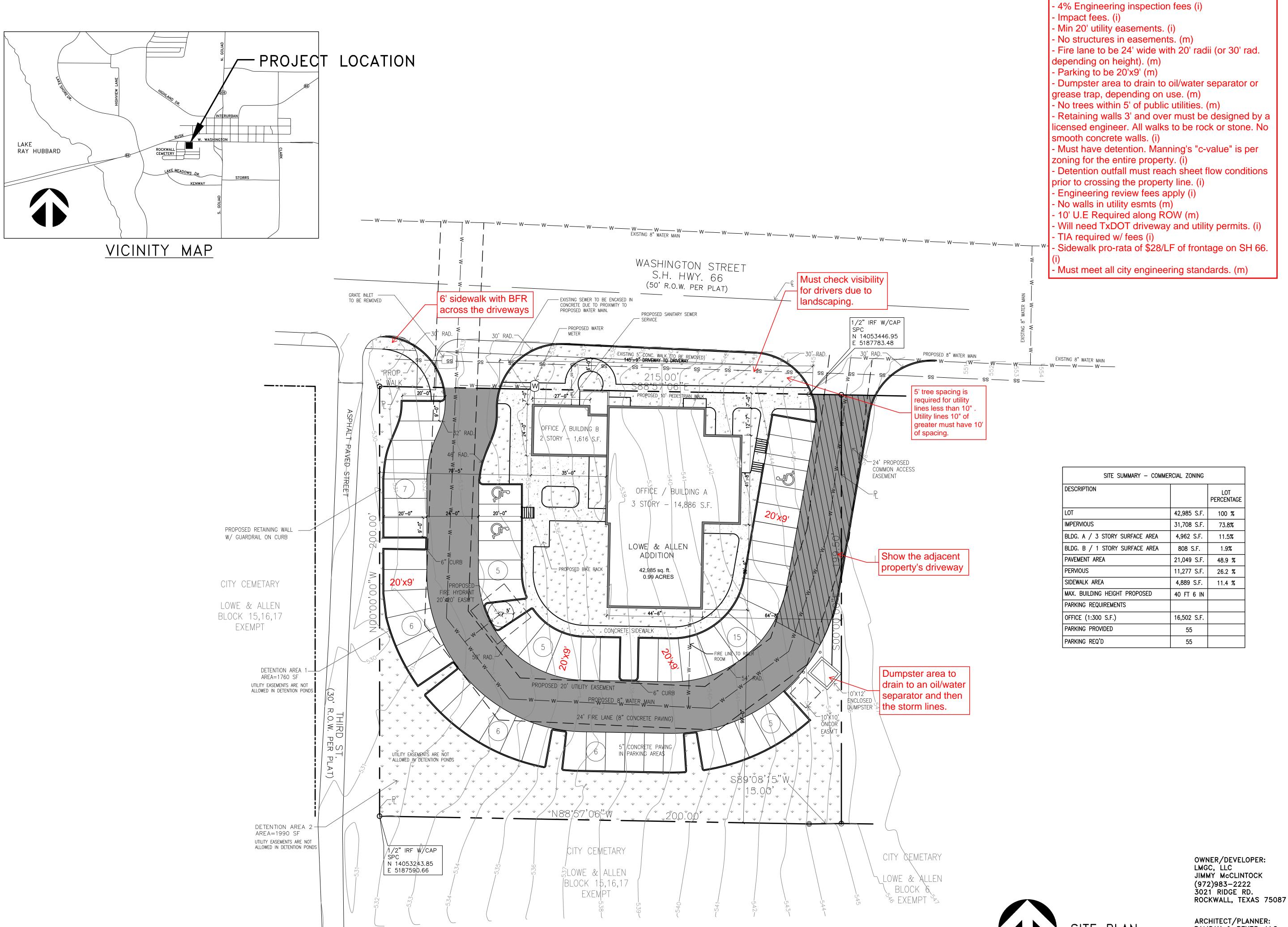
Project Reviews.rpt Page 8 of 9

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

Project Reviews.rpt Page 9 of 9



OF A CLASSIFICATION OF A C

& REYES, LLC
RE-MANAGEMENT

RAMSAY & REYI
ARCHITECTURE - MANAG
2235 RIDGE RD. STE.

S and a second s

l					
		DATE			
	REVISIONS	DESCRIPTIONS/ISSUE			
		No.			

BUSINESS PARK
409 W. WASHINGTON
OCKWALL, TEXAS 75087

ROJECT No.	
RAWN BY	SR
HECKED BY	RR
ιΤΕ	12/13/2019
CALE	1" = 20'
HEET NO.	of

DRAWING NAME:

SITE
PLAN

RAMSAY & REYES, LLC ROSS RAMSAY (214)536-5306 2235 RIDGE RD. STE 201 ROCKWALL, TEXAS 75087

S1.0

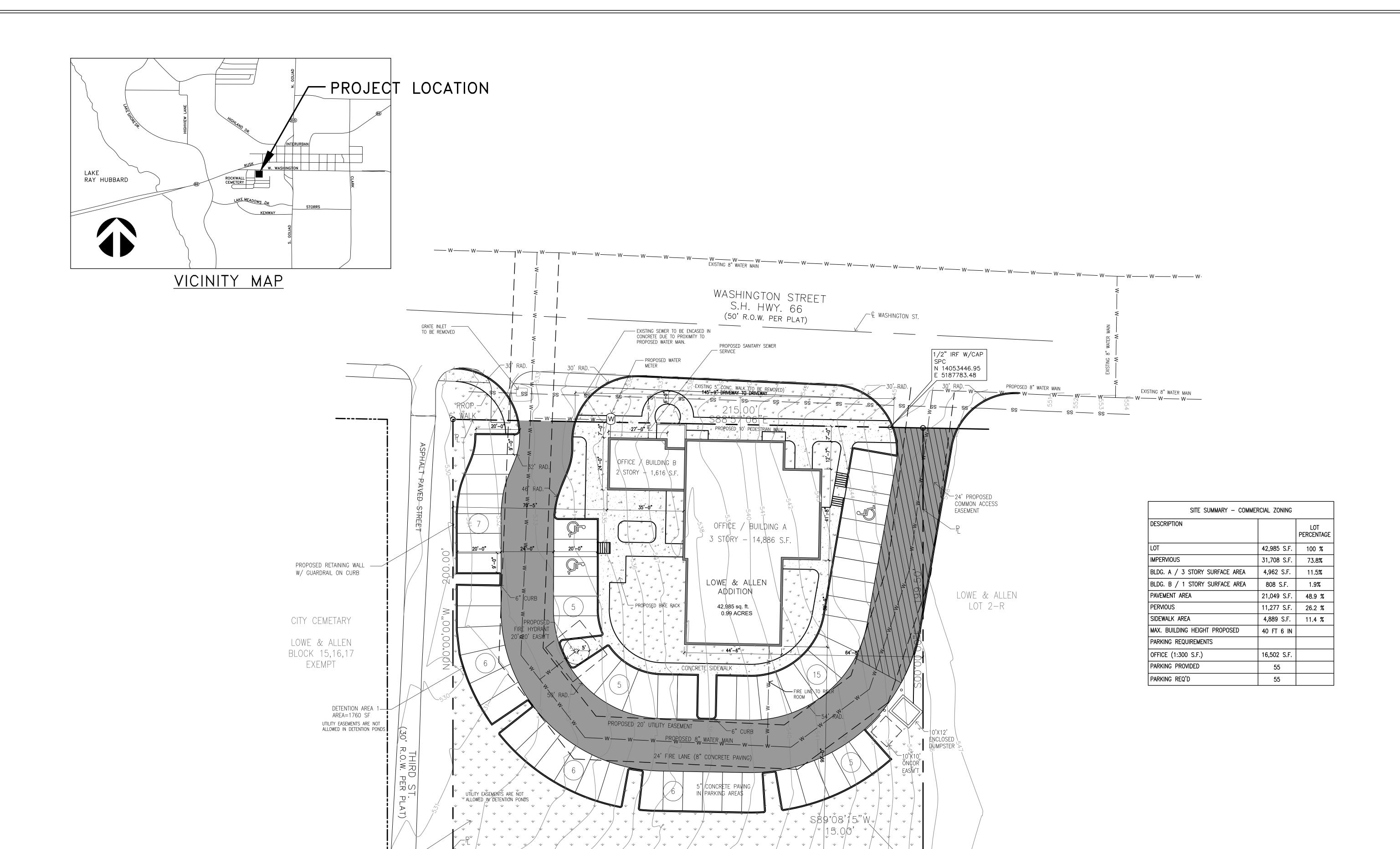




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY CEMETARY

DLOWE & ALLEN

BLOCK 15,16,17

EXEMPT

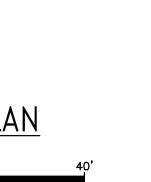
DETENTION AREA 2 — AREA=1990 SF

UTILITY EASEMENTS ARE NOT ALLOWED IN DETENTION PONDS

/1/2" IRF W/CAP

N 14053243.85

E 5187590.66



OWNER/DEVELOPER: LMGC, LLC JIMMY McCLINTOCK (972)983-2222 3021 RIDGE RD. ROCKWALL, TEXAS 75087

> ARCHITECT/PLANNER: RAMSAY & REYES, LLC ROSS RAMSAY (214)536-5306 2235 RIDGE RD. STE 201 ROCKWALL, TEXAS 75087

CITY DEMETARY

LOWE & ALLEN

BLOCK &

S EXEMPT S

 $\bigcap_{i=1}^{n}$

PROJECT No.

DRAWN BY CHECKED BY

SCALE

SHEET NO.

DRAWING NAME:

RAMSAY & REYES, LLC ARCHITECTURE - MANAGEMENT

SITE

PLAN

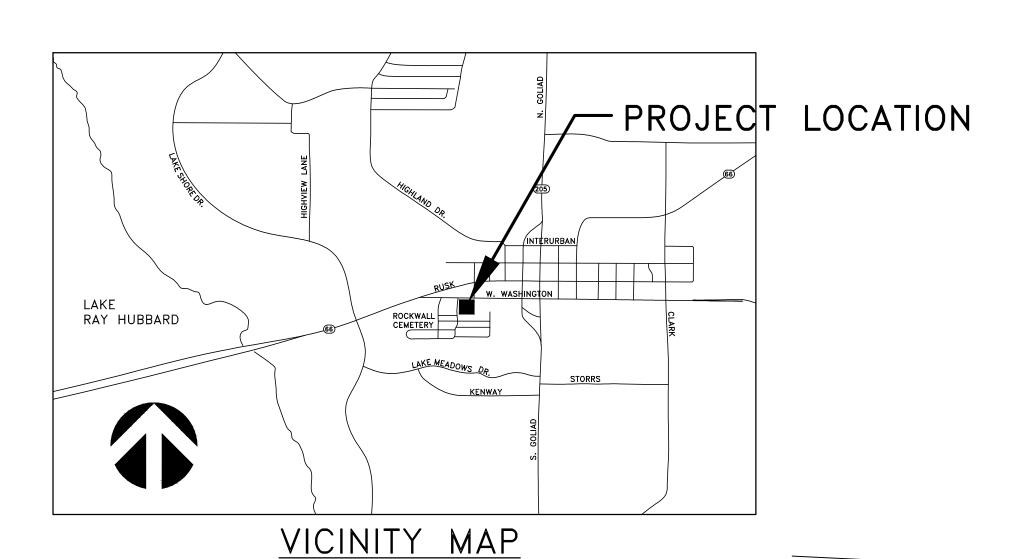
WASHINGTON TEXAS 7508

SR

12/13/2019

1" = 20'

of



WASHINGTON STREET S.H. HWY. 66 (50' r.o.w. per plat)

∕—€ WASHINGTON ST.

1/2" IRF W/CAP N 14053446.95 E 5187783.48 ⁺0.0 ⁺0.0 †0.0 †0.0 \big| 0.0^{+} †0.0 †0.0 †0.0 †0.0 †0.1 °C // [†]0.0 | [†]0.0 | | [†]0.0 0.1 +0.2 +0.3 +0.9 +0.3 †0.**0** †0.0 †0.0 †0.0 ⁺0.0 **\big|\frac{1}{0.2} \displays{0.1} \displays{0.1} \displays{0.0} \displays{0.0} \displays{0.0} \displays{0.0} †0.0 †0.0 †0.0 †0.0 †0.1 $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.1$ 0.2 0.4 1.5_{4} 0.5 † C † 0.3 † 0.2 † 0.1 † 0.0 † 0.0 +0.0 +0.0 +0.0 +0.0 +0.1 +0.2 +0.4 +0.8 +1.2 +0.7 +0.3 $^{\dagger}2.0$ † $^{\dagger}2.8$ † $^{\dagger}1.2$ † $^{\dagger}0.4$ † $^{\dagger}0.2$ † $^{\dagger}0.1$ † † † † $^{\circ}$ $^{\circ}$ 42,985 sq. ft. 0.99 ACRES $^{\dagger}0.0$ † $^{\dagger}0.0$ $^{\dagger}0.0$ $^{\dagger}0.0$ $^{\dagger}0.1$ $^{\dagger}0.2$ $^{\dagger}0.3$ $^{\dagger}0.4$ $^{\dagger}0.3$ $^{\dagger}0.2$ $^{+}2.6$ $^{/4}$ 3 /1 $^{+}1.0$ $^{+}0.8$ $^{+}0.1$ $^{+}0.1$ $^{+}0.0$ $^{+}0.0$ 2.0 +1.3 +0.7 +0.2 +0.1 +0.0 +0.0 $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.1$ $^{+}$ $^{\dagger}0.1$ $^{\dagger}0.2$ $^{\dagger}0.1$ $^{\dagger}0.1$ $^{\dagger}0.1$ $^{\dagger}0.0$ $^{\dagger}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $\begin{picture}(10,0)(-10,0$ N 14053243.85 E 5187590.66

SITE SUMMARY - COMM	ERCIAL ZONING	
DESCRIPTION		LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,708 S.F.	73.8%
BLDG. A / 3 STORY SURFACE AREA	4,962 S.F.	11.5%
BLDG. B / 1 STORY SURFACE AREA	808 S.F.	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,277 S.F.	26.2 %
SIDEWALK AREA	4,889 S.F.	11.4 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,502 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	

E PLAN

OWNER/DEVELOPER:
LMGC, LLC
JIMMY McCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

PHOTOMETRIC SITE PLAN

SCALE: 1"=20'

SCALE: 1" = 20'

PHOTOMETRIC

SITE PLAN

WASHINGTON TEXAS 7508

SR

12/13/2019

1" = 20'

of

BUSIN

PROJECT No.

DRAWN BY

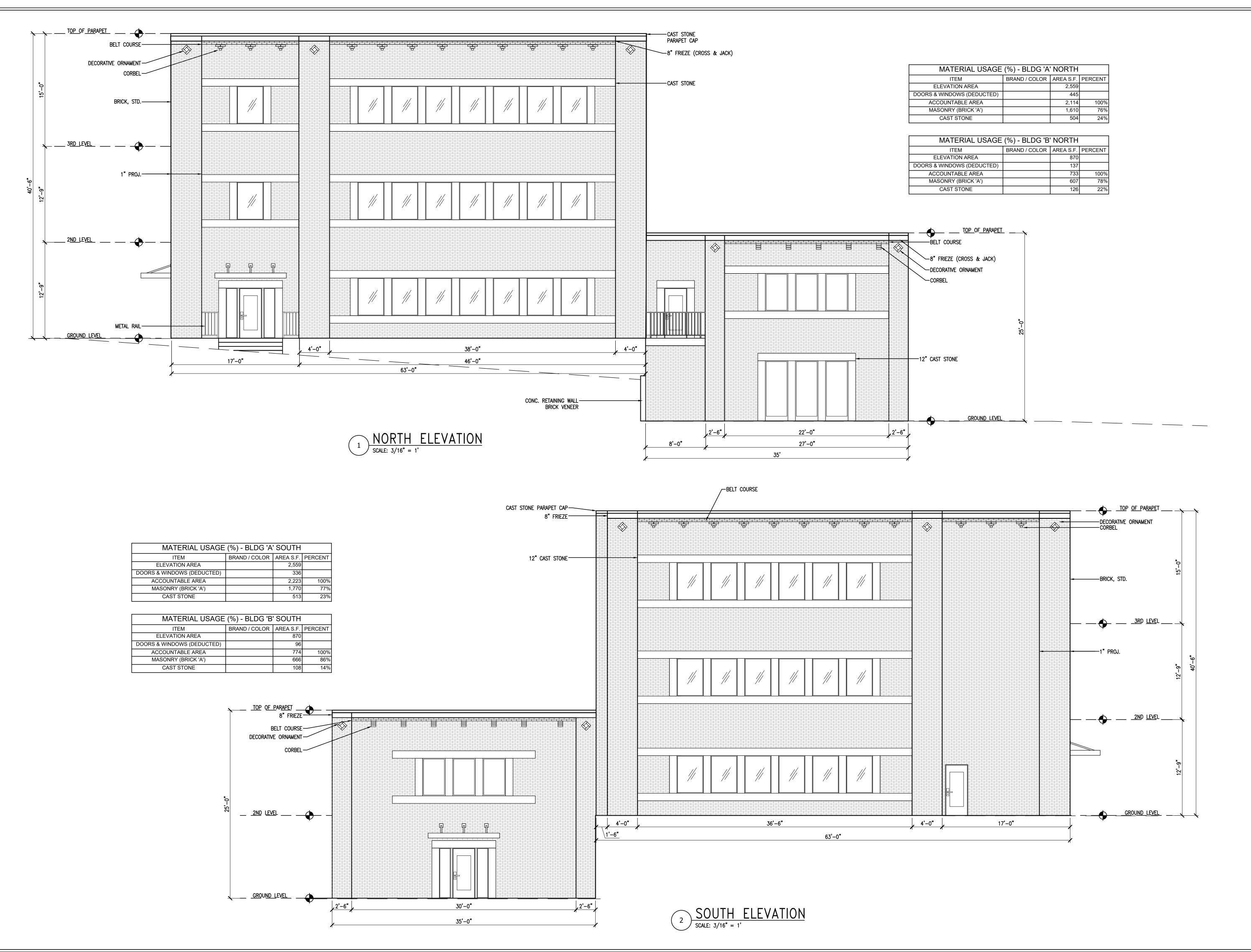
CHECKED BY

SHEET NO.

DRAWING NAME:

SCALE

RAMSAY & REYES, LLC ARCHITECTURE - MANAGEMENT





RAMSAY & REYES, LLC

ATE OF STATE
No. DESCRIPTIONS/ISSUE DATE

BUSINESS PARK
409 W. WASHINGTON

PROJECT No. ---
DRAWN BY SR

CHECKED BY RR

DATE 12/13/2019

SCALE 3/16" = 1'

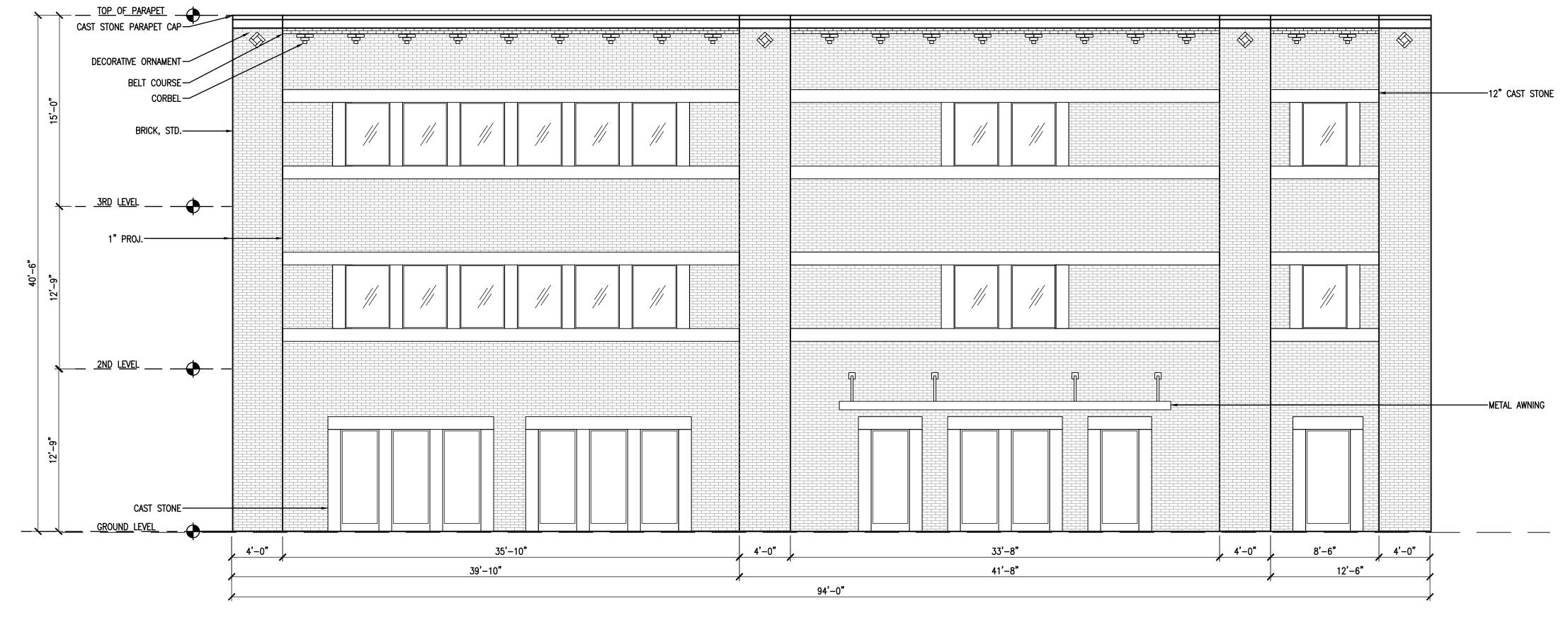
SHEET NO. ###8f ####

DRAWING NAME:

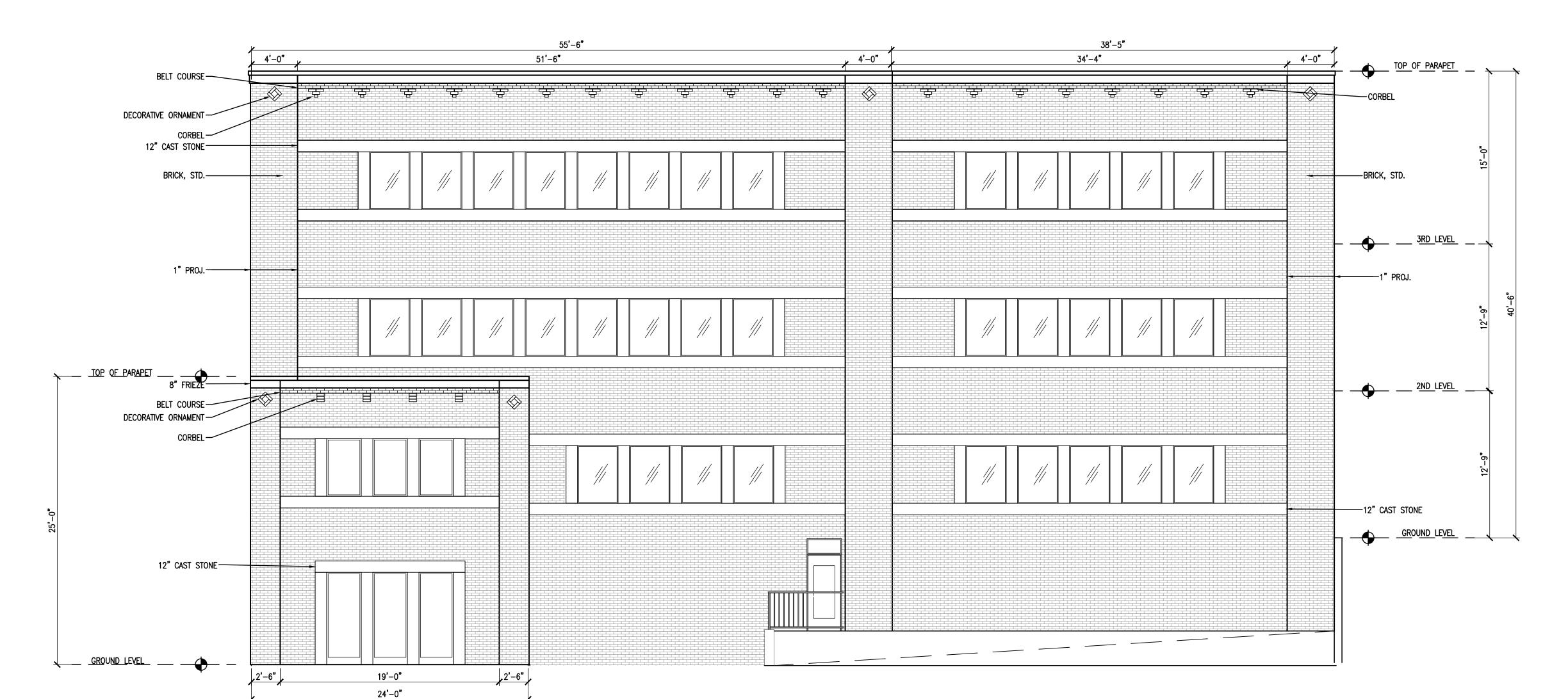
ELEVATION NORTH & SOUTH

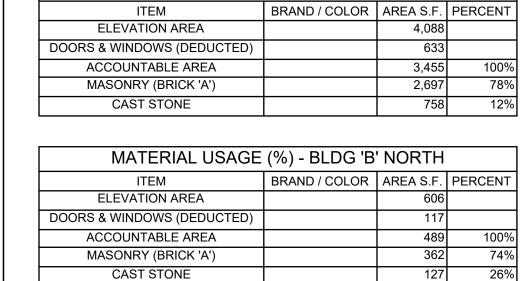
A-20

MATERIAL USAGE (%) - BLDG 'A' EAST						
ITEM	BRAND / COLOR	AREA S.F.	PERCENT			
ELEVATION AREA		3,807				
DOORS & WINDOWS (DEDUCTED)		579				
ACCOUNTABLE AREA		3,228	100%			
MASONRY (BRICK 'A')		2,521	78%			
CAST STONE		707	12%			

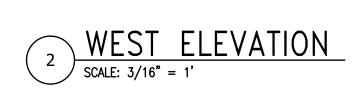


EAST ELEVATION SCALE: 3/16" = 1'





MATERIAL USAGE (%) - BLDG 'A' WEST





RAMSAY & REYES, LLC

BUSINE

PROJECT No. SR DRAWN BY RR CHECKED BY 12/13/2019 3/16" = 1'SCALE ###**#**f #### SHEET NO.

DRAWING NAME:

ELEVATION EAST & WEST

REVISIONS No. DESCRIPTIONS/ISSUE			DATE			
SON		REVISIONS	DESCRIPTIONS/ISSUE			
o s	-0					
			è			

ARK

 $\bigcup_{i=1}^{n}$

Job Name: Quantity:

Suitable for wet location.

(Except when cord mounted)

H-EM-08

Emblem Shade

Collection

FINISH -Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamal liquid, raw metal, or galvanized finishes. Standard Finishes are: 91(Black), 93(White),

95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.

For interior finish of fixture refer to color chart on pages 344-348.

MADE IN THE U.S.A.

HI-LITE MFG.

13450 Monte Vista Avenue

Telephone: (909) 465-1999

CO., INC

Chino, California 91710

Toll Free: (800) 465-0211

web: www.hilitemfg.com

e-mail: sales@hilitemfg.com

Fax: (909) 465-0907

MOUNTING - Stem, Arm, and Flush mounting available.

ACCESSORIES - WGR(Wire Guard) and SK(Swivel Knuckle) available.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:

Incandescent - rated 200 watt max/120 volt, medium base. Compact Fluorescent(CFL) - rated 13/18/26/32 watt max/120/277 volt,

GX24Q base. Metal Halide(MH)

rated 35/50/70/100 watt max/120/208/240/277 volt, medium base, 4KV socket.

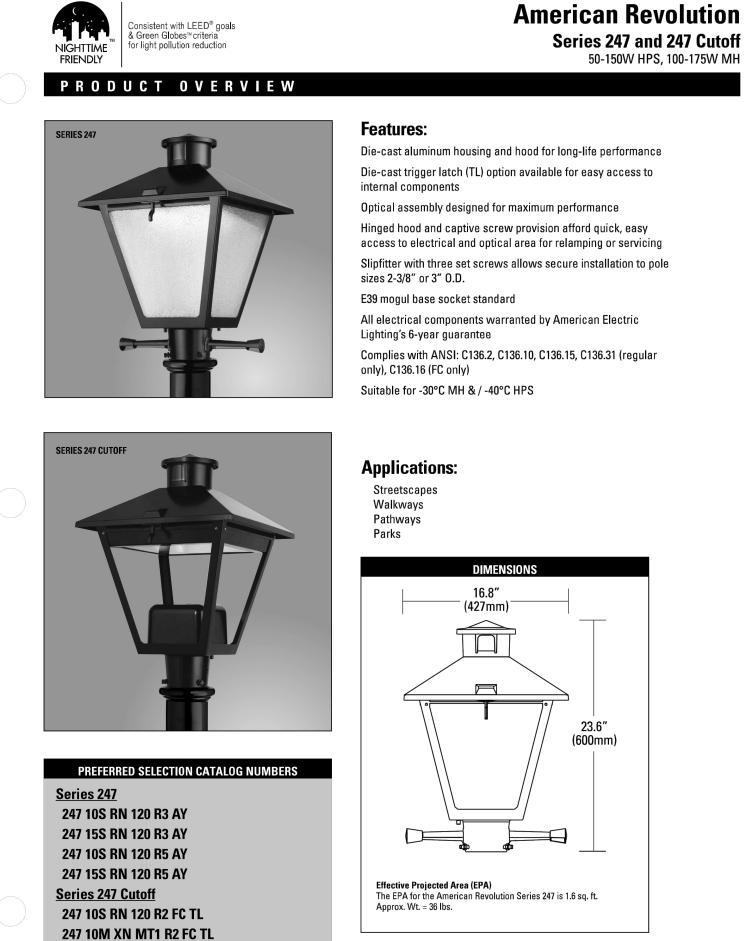
High Pressure Sodium(HPS) rated 50/70/100 watt max/120/277 volt, medium PROJECT No. DRAWN BY SR CHECKED BY RR 12/13/2019 SCALE 1" = 20'SHEET NO. of DRAWING NAME:

TON 7508

ING AS

409 CKW

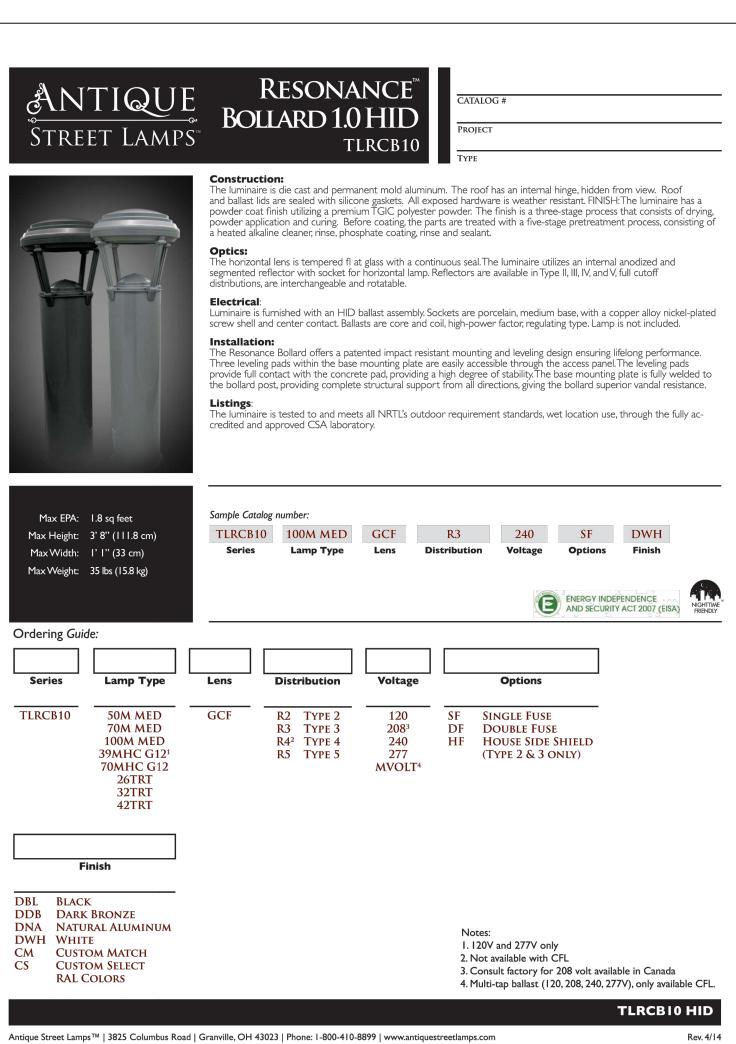
OUTDOOR LIGHT SPECS.

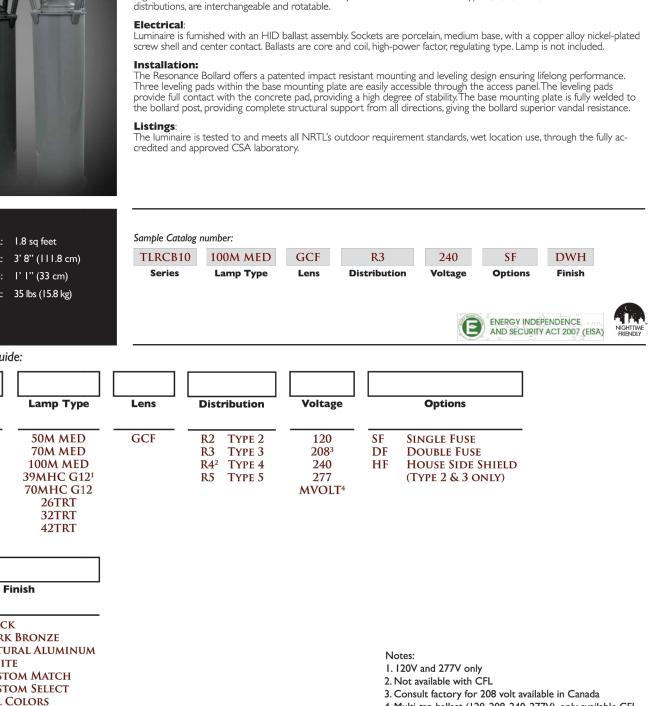


DL-247-A

American Electric Lighting

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City of Rockwall



12/13/2019 AG

Project Plan Review History

FRANK FITE II

JEFF CARROLL

Owner

Applicant

Project Number SP Project Name 81

SP2019-046 810 N. Goliad

SITE PLAN

Subtype

Type

Status Staff Review

Site Address

City, State Zip

810 N GOLIAD ROCKWALL, TX 75087

Subdivision
B F BOYDSTON

Tract A Block 124 Lot No A Parcel No

General Plan

Applied

Closed

Expired

Status

Zoning

Approved

3140-0124-000A-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	d Status	Remarks
BUILDING	Russell McDowell	12/13/2019	9 12/20/2019	9 12/18/2019	5	APPROVED	
Note Stacase with r	more than 12 ft rise requ	iires a midwa	y landing.				
ENGINEERING	Amy Williams	12/13/2019	9 12/20/2019	9			
FIRE	Ariana Hargrove	12/13/2019	9 12/20/2019	9 12/17/2019	4	COMMENTS	

(12/17/2019 4:59 PM AA)

Where a building is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the building, on-site fire hydrants shall be provided. Fire hydrants shall be located 6 feet behind the edge of the fire apparatus access roadway/fire lane pavement. Unless otherwise specifically approved. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads

extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants to be considered for use shall be indicated on the plans. (Ord 16-31 2015 IFC)

GIS	Lance Singleton	12/13/2019 12/20/2019 12/20/2019	7 APPROVED		
PLANNING	Korev Brooks	12/13/2019 12/20/2019 12/20/2019	7 COMMENTS	Comments	

SP2019-47; Site Plan for Fite Agency

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a site plan for an office building on a 0.4590-acre parcel of land identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (SP2019-047) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] a site plan, [2] landscape plan, [3] building elevations and this submittal is complete.
- M.6 Site Plan. Please make the following clarifications on the Site Plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

Subsection 6.04: - North Goliad Corridor Overlay (NGC OV) District

- A. Purpose. The North Goliad Corridor Overlay District is a specialized zoning district overlay along North Goliad Street beginning north of the Downtown District and terminating at Live Oak Street. This Corridor has been identified as one of the important entry points into the City of Rockwall. The district has been established to protect scenic and historic qualities through the use of additional development criteria. The district establishes design standards to guide the new construction and rehabilitation of buildings, streetscapes and architectural styles consistent with the existing historic residential homes and businesses located along the corridor.
- B. Application and boundaries. The boundaries of the North Goliad Corridor Overlay District are as established in the official zoning map of the City of Rockwall. The boundary generally extends from Olive Street north to Live Oak and being more particularly described herein as Exhibit "A" [Ord. No. 07-30, Exhibit A which is on file in the city secretary's office]. use or change of use within the North Goliad Corridor Overlay District. All property developed within the Overlay District must meet both the terms and requirements of the underlying zoning classification applicable to the property and the provisions set forth in the Overlay District. The most restrictive requirement applicable to the property shall apply. Informative
- C. Architectural standards. Most of the historic architecture of the district does not follow one specific style, but is influenced by many. The development along the corridor is an eclectic mix of buildings, but there is a similar vocabulary in the building design and construction materials. The development for the residential and commercial buildings shall generally fit within one or more of the following architectural styles. Informative
- Craftsman An extension of the early bungalow, the craftsman design included a low-pitched gabled roof with a wide, unenclosed eave overhang. Roof rafters are usually exposed and decorative beams or braces are commonly added under gables. Porches are either full or partial-width, with a roof often supported by tapered square columns. The most distinctive features of this are the junctions where the roof joins the wall, where the most ornamentation occurs. This was the dominant style for smaller homes from 1905 to early 1920s. The popularity of the style faded guickly, however, and few were built after 1930. Informative
- D. Building design. The height ofnew buildings shall not exceed this Unified Development Code standards: generally one and two stories are allowed (36 feet maximum). New building additions and alterations should be compatible with the adjoining area and not exceed height, lot coverage and floor area ratio requirements as specified in this Unified Development Code. Informative

The use of consistent architectural styles from the years 1870 to 1940 is strongly encouraged rather than additions or alterations from more recent or different design styles (see architectural styles in subsection C of this section for examples).

New construction should include elements such as cladding, roofing material, roof structure and ornamentation common to the district. Please take a look at the façade facing Goliad and consider the recommendations from the HPAB to incorporate a front porch with a stoop and stairs

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The existing pattern of building facades generally respecting pedestrian or human scale design should be incorporated into new development projects. Roof types generally associated with residential buildings such as gable, hip or gambrel are also appropriate for structure within the North Goliad Corridor Overlay District. Informative.

All decorative fixtures, including awnings, signs and lighting, shall be integrated with other design elements of the structures. Please consider the HPAB recommendation of incorporating trapezoidal columns that are characteristic of Craftsman-style architecture.

Building elevations shall be submitted as part of the development application for review by the historic preservation advisory board who shall make its recommendations to planning and zoning commission. Perspectives, accurate sections or a model of the project may be required to depict the height, mass and scale of the proposed project with respect to its setting and adjacent development. Informative

- E. Parking area restrictions. Any surface parking shall be provided in well-screened parking lots at the rear or behind the main facade of the building. All parking structures shall adhere to the standards of this Unified Development Code and any additional requirements of the underlying zoning district. Please provide landscape screening meeting the requirements for the parking lot
- F. Cross access. Cross access easements may be required by the planning commission and/or city council at the time of site plan approval or platting to ensure access between adjoining properties and to reduce the number of needed curb cuts. Informative
- G. Accessory buildings. New accessory or outbuildings, including garages and enclosures for service areas, trash or recycle containers, or storage structures should be compatible with materials, textures, colors and architectural styles of the principle buildings. Informative
- H. Landscaping standards. Existing trees should be retained where possible. Street trees and other sidewalk area landscaping shall be incorporated if pedestrian circulation will not be obstructed. Front yards should be landscaped compatible with the majority of neighboring properties. All sites shall, as a minimum, meet the requirements of article VIII, Landscape Standards. Informative. Please ensure compliance.
- I. Signs. All signs shall comply with [chapter 32 of the Code of Ordinances] (sign ordinance) and the underlying zoning district that applies to the North Goliad Corridor Overlay District and to the following additional standards. Signs shall be freestanding with two support standards. The maximum size shall be 16 square feet and shall not impede pedestrian or motor vehicle traffic. Monument signs are not allowed. All lighted signs shall be indirectly light no direct or internally light sign shall be allowed. All lighting elements such as wires, junction boxes, transformers, switches and panel boxes shall be concealed from view. Informative. Please ensure compliance.
- J. Lighting standards. In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the North Goliad Corridor Overlay District. All lighting fixtures shall focus light downward and be contained on the site. Lighting elements shall be incandescent, metal Halide, or halogen only. No HID or fluorescent lights (except fluorescent bulbs that screw into standard socket fixtures) may be used on the exterior of buildings. All street lighting shall meet the specifications contained in article V, section 4.07 Downtown (DT) District included in section VI, Streetscape, Lighting and Mechanical, and as attached herein. Informative. Please ensure compliance.
- K. Variance. The city council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require city council approval by a three-quarter majority vote of those city council members present with a minimum of four affirmative votes. Informative.

 ARTICLE VIII, LANDSCAPE AND FENCE STANDARDS, UDC

SECTION 3: LANDSCAPE PLAN

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SUBSECTION 3.01: LANDSCAPE PLAN SUBMITTAL

Submittal of a Landscape Plan. A Landscape Plan is required to be submitted as part of an application for a Site Plan or an Amended Site Plan as stipulated by Section 3, Site Plans, of Article XI, Development Applications and Review Procedures. Informative

Landscape Plan Content. The Director of Planning and Zoning or his/her designee shall establish and maintain a list of the required criteria necessary for the submittal of a Landscape Plan. Informative

Preparation of a Landscape Plan. Landscape Plans shall be prepared by a Landscape Architect or a member in good standing of the American Society of Landscape Architects (ASLA) unless otherwise permitted by the Director of Planning and Zoning. InformativeSUBSECTION 3.02: APPROVAL OF A LANDSCAPE PLAN

Administrative Approval. Landscape Plans that are submitted in conjunction with a Site Plan or an Amended Site Plan that can be reviewed and acted upon at an administrative level -- as defined in Section 3, Site Plans, of Article XI, Development Applications and Review Procedures -- may be approved, approved with condition or denied by the Director of Planning and Zoning or his/her designee. informative

Approval by the Planning and Zoning Commission. The Planning and Zoning Commission may approve a Landscape Plan in accordance with the procedures for approving a Site Plan or an Amended Site Plan as stipulated by Section 3, Site Plans, of Article XI, Development Applications and Review Procedures. Informative

SECTION 4: APPROVED LANDSCAPING MATERIALS

In satisfying the landscape requirements of this Article, it is recommended that all landscaping utilize high-quality, hardy plant materials. Such plant materials shall adhere to the following requirements:

Approved Planting Materials. Please ensure compliance

All planting materials should conform to the recommended planting materials outlined in Appendix F, Landscape Guidelines and Requirements; however, alternative tree, shrub, and grass varieties may be approved by the Director of Planning and Zoning pending the submission of a Landscape Plan and/or a written request.

Unless otherwise noted in this Unified Development Code (UDC), the minimum tree and shrub size at the time of installation shall be as follows:

Canopy Trees shall be a minimum of four (4) caliper inches at DBH.

Accent Trees shall be a minimum of four (4) feet in total height.

Shrubs shall be a minimum of three (3) gallons in size.

Figure 1: Approved Planting Materials and Sizes

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For the purposes of this section, the height of an Accent Tree shall be measured from the root flare or from the soil level if still in the container.

DBH or Diameter at Breast Height is the standard dendrometric measurement for trees, and is measured at a height of four (4) feet above grade.

The City of Rockwall encourages developments to incorporate xeriscaping/smartscaping to promote reduced water usage through the use of drought tolerant plants. The City's Xeriscaping/Smartscaping Standards and Guidelines are outlined in Section 5.05, Xeriscaping and Smartscaping Standards.

Prohibited Planting Materials.

Artificial or synthetic plant materials (e.g. artificial grass, turf, trees shrubs) shall be prohibited.

SECTION 5: LANDSCAPE STANDARDS

SUBSECTION 5.01: LANDSCAPE BUFFERS Please Ensure Compliance

Non-Residential Landscape Buffers.

Abutting a Public Right-of-Way. A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way (i.e. collector street, arterial roadway, or alleyway) or a residentially zoned or used property that is located directly across a public street (regardless of the size of the street). All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer.

Abutting Residential. A minimum of a 20-foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a residentially zoned or used property. For planting requirements in these landscape buffers see Subsection 5.02(B), Screening from Residential.

Figure 3: Commercial Landscape Buffers Example

Buildings and Paving within a Required Landscape Buffer. Buildings and paving (e.g. parking lots) shall not be permitted within any required landscape buffer; however, sidewalks and trails shall be permitted.

SUBSECTION 5.02: LANDSCAPE SCREENING

Loading Docks and Outside Storage Areas. Off-street loading docks and outside storage areas shall be screened from all public streets, open space, adjacent properties and any residential zoning districts or residentially used properties that abut or are directly across a public street or alley from the loading dock or outside storage area in accordance with the requirements of Subsection 1.05, Screening Standards, of Article V, District Development Standards. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates one (1) of the following options:

Alternative #1. A wrought iron fence and three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) along the

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Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

entire length of the adjacency. The canopy trees shall be placed on 20-foot centers.

Figure 4: Alternative #1

Alternative #2. A wrought iron fence with a mix of two (2) rows of staggered mature evergreen trees and one (1) row of deciduous canopy trees (a minimum six [6] caliper inches) along the entire length of the adjacency. All trees will be planted on 20-foot centers.

Figure 5: Alternative #2

Screening from Residential. Any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 & 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees) along the entire length of the adjacency (as depicted in Figure 8, 9, & 10 below). The canopy trees shall be placed on 20-foot centers.

Figure 6: Masonry Fence with Canopy Trees in Plan View

Figure 7: Masonry Fence with Canopy Trees in Perspective View

Figure 8: Wrought Iron Fence with Three (3) Tiered Screening in Plan View

Figure 9: Alternative #1 (Wrought Iron Fence with Three (3) Tiered Screening in Perspective View)

Figure 10: Alternative #2 (Wrought Iron Fence with Three (3) Tiered Screening in Perspective View)

Headlight Screening. Head-in parking adjacent to a street shall incorporate one (1) of the following screening methods to mitigate the potential hazard that

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Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

headlights may pose for on-street vehicular traffic:

Alternative #1. A minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking areas.

Figure 11: Alternative #1 (Headlight Screening using Landscaping and a Berm)

Alternative #2. A minimum of a three (2) foot masonry wall with mature shrubs situated between the wall and the right-of-way along the entire adjacency of the parking areas.

Figure 12: Alternative #2 (Headlight Screening using a Masonry Wall and Landscaping)

General Screening Requirements. All screening shall meet the following requirements:

Approval of a Screening Plan. Prior to construction of any required screening, a site plan and landscape plan shall be approved by the Planning and Zoning Commission showing the type of screening, the proposed materials, and the plant spacing. In approving screening plans, the Planning and Zoning Commission shall determine:

If the proposed screening plan will adequately screen the non-residential land use.

If the proposed screening plantings will withstand the pressures of time and nature.

Certificate of Occupancy (CO). Prior to the issuance of a Certificate of Occupancy (CO), the proposed screening shall be installed and verified by the Director of Planning and Zoning or his/her designee.

SUBSECTION 5.03: LANDSCAPE REQUIREMENTS

Amount of Landscaping. The following landscaping percentages shall be required and shall apply to the total site area to be developed:

ZONING DISTRICTREQUIRED LANDSCAPING (%) REQUIRED LANDSCAPING WITH MAXIMUM ELIGIBLE CREDITS (%)

Multi-Family 14 (MF-14) District 35 22½

Downtown (DT) District See Subsection 4.07, Downtown (DT) District, of Article V, District Development Standards

Residential Office (RO) District 30 17½

Neighborhood Services (NS) District 25 12½

General Retail (GR) District 20 7½

Commercial (C) District 20 7½

Heavy Commercial (HC) District 15 2½

Light Industrial (LI) District 15 2½

Heavy Industrial (HI) District 10 2½

Location of Landscaping. A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage in the

Project Reviews.rpt Page 7 of 12

Multi-Family 14 (MF-14), Residential Office (RO), Neighborhood Services (NS), General Retail (GR) and Commercial (C) Districts. A minimum of 100% of the total required landscaping shall be located in front of and along the side of buildings with street frontages in the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) Districts.

Minimum Size of Required Landscape Areas. All required landscaping shall be no less than five (5) feet wide and be a minimum of 25 SF in area unless it is within ten (10) feet of a building on the same lot.

Detention Basins. Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree of detention area.

Parking Lot Landscaping. The following landscape requirements will apply to parking lots:

Parking lots with more than two (2) rows of parking spaces (i.e. one [1] drive isle with rows of parking on either side) shall have a minimum for five (5) percent or 200 SF of landscaping -- whichever is greater -- in the interior of the parking lot area. Such landscaping shall be counted toward the total required landscaping. Please ensure compliance

If the parking and maneuvering space exceeds 20,000 SF, one (1) large canopy tree for every ten (10) parking spaces shall be required to be planted internal to the parking areas.

No tree shall be planted closer than five (5) feet to the edge of pavement or five (5) feet from any water or wastewater line that is less than 12-inches. Water and wastewater lines that are 12-inches and greater require trees to be planted a minimum of ten (10) feet from the centerline of the pipe. Please ensure compliance

No required parking spaces may be located more than 80-feet from the trunk of a canopy tree. Please ensure compliance

Protection of Landscape Areas. Required landscape areas must be protected from vehicular traffic through the use of a concrete curb, or other permanent barrier.

Landscaping in Landscape Buffers and Public Right-of-Way. All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). In addition, it shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in public right-of-way is watered and maintained, and to ensure that minimal water will be shed on to the street. The designer of the irrigation system shall base the systems design on the ultimate proposed width of the street. The plans for design of the irrigation system shall be approved by the Building Inspections Department prior to installation and acceptance of the project. Please ensure compliance

Figure 13: Landscape Requirements

SUBSECTION 5.04: IRRIGATION REQUIREMENTSGeneral Irrigation Requirements. The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:

Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.

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Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).

Be maintained and kept operational at all times to provide for efficient water distribution.

Irrigation Methods.

Landscaped Areas. One (1) of the following irrigation methods shall be used to ensure adequate watering of plant material in landscaped areas:

Conventional System. An automatic or manual underground irrigation system that may be a conventional spray or bubbler type heads.

Drip or Leaky-Pipe System. An automatic or manual underground irrigation system in conjunction with a water-saving system such as a drip or a leaky pipe system.

Temporary and Aboveground Watering. Landscape areas utilizing xeriscape plants and installation techniques, including areas planted with native grasses and wildflowers, may use a temporary and above ground system, and shall be required to provide irrigation for the first two (2) growing seasons only.

Natural and Undisturbed Areas. No irrigation shall be required for undisturbed natural areas or undisturbed existing trees.

Compliance with State Law. All irrigation systems shall comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

SECTION 8: FENCE STANDARDS

SUBSECTION 8.01: FENCE PERMIT

No fence shall be constructed within the City without the owner or authorized agent of the owner having secured a permit from the Chief Building Official or his/her designee. A fence repair permit shall be required for the replacement of 25-feet or more of fencing and/or the replacement of five (5) or more posts. The Chief Building Official or his/her designee shall establish and maintain an application for a fence permit that can be utilized for the purpose of issuing fence permits. The fees for such permits shall be established by resolution by the City Council.

SUBSECTION 8.02: GENERAL FENCE STANDARDS

The following general fencing requirements shall apply for all residential and non-residential fences:

Projections. No fence guy wire, brace, light standard, sign, vee arm barbed wire base and arm, or any structure attached to a fence shall protrude over any property line.

Material Requirements. Unless otherwise provided for in this section [i.e. Section 8, Fence Standards], the following material requirements shall apply to all residential and non-residential fences:

Permitted fencing materials are limited to wood pickets, vinyl coated chain link, wrought iron, decorative metal (i.e. with the appearance of wrought iron but is made of powder-coated steel, aluminum or covered with a corrosion protection finish), brick, stone, split face CMU or burnished block, vinyl, fiberglass composite, and concrete with stone face/form liner.

Steel pipe shall be allowed for residential fences as specified in Subsection 8.03(C).

Barb wire fences may be used without restrictions when in conjunction with an agricultural related land use; however, no barbed wire fence shall be located on

Project Reviews.rpt Page 9 of 12

Wood Fences.

fence details:

? Top Rail; ? Galvanized or Stainless-Steel Post (Recommended Minimum of 23/8"); ? Stinger Board (Recommended Minimum of 2" x 3"); ? Minimum ½" Wood Screen.

Wrought Iron Fence.

? Painted or Powder Coated with a Decay Resistant Paint; ? Top Rail; ? Bottom Rail.

Masonry Wall.

? Rowlock Cap; ? Running Bond; ? 3/8 Tooled Joints (Typical); ? Concrete Footing/Mow Strip.

Fence with Masonry Columns.

? Rowlock Cap; ? Running Bond; ? 3/8 Tooled Joints (Typical); ? Wrought Iron or Board-On-Board Wood Fence.

Vinyl Coated Chain-Link Fence.

? Post Cap; ? Top Rail; ? Bottom Rail; ? Tension Band; ? Tension Bar.

Fence Height Requirements. All fence heights shall be measured vertically from the inside natural or mean grade elevation of the yard, and shall adhere to the following height requirements:

Residential fencing shall have a maximum height of eight (8) feet.

Project Reviews.rpt
Page 10 of 12

Non-residential fencing shall have a maximum height of 12-feet.

Temporary Fences. The Chief Building Official or his/her designee may permit temporary fencing for the purpose of protecting or securing a construction site. The temporary fences duration of use, location, height, and materials of the temporary fence shall be stated in the request to the Chief Building Official or his/her designee. Barbed wire fencing may be permitted for temporary use; however, Constantine or razor wire is prohibited.

The proposed office building conforms to the guidelines contained in Appendix D, Historic Preservation Guidelines, of the Unified Development Code (UDC) as follows:

Height. The guidelines stipulate that new buildings be constructed to a similar residential scale as adjacent properties. In this case, the building is 33-feet in height, which is in conformance with the 36-foot height limitation for the Residential-Office (RO) District.

Building Setback and Orientation. The guidelines refer to new buildings being built utilizing similar setbacks and orientations as existing buildings. In addition, the guidelines state that new structures should be constructed so that new buildings maintain the pier-and-beam appearance. The proposed structure does maintain a pier-and-beam appearance by incorporating a brick wainscot along the bottom; however, the building is oriented to the side yard. Staff has recommended to the applicant that a front entry, stoop, and deck be incorporated in the design on the front of the building to create a product that appears to be oriented toward the front of the property (i.e. fronting the building onto S. Goliad Street). Staff should note that no other property in Planned Development District 50 (PD-50) is oriented to the side yard like what is being proposed by the applicant.

Building Facades and Materials. The building elevations for the office building are proposing to utilize a mixture of Hardie Board lap-siding, Hardie Board in a board-and-batten pattern, and brick. All of these materials and installations can be seen within the existing district.

Roofs. The guidelines state that the "(r)oof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District ... (r)oof materials/colors should be visually compatible and complimentary of the style and period of the structure." In this case, the applicant is proposing to utilize a traditional composite asphalt shingle, which is visually compatible with other structures in the district; however, the applicant is also proposing to utilize standing seam metal roofing as an accent material on certain portions of the roof. This has been used on other properties in Planned Development District 50 (PD-50) (i.e. the Spafford House), but does remain a discretionary decision for the Historic Preservation Advisory Board (HPAB) when considering the Certificate of Appropriateness (COA).

Front Yards. As was stated previously, staff has recommended to the applicant changing the western building elevation to incorporate an entryway giving the appearance that the property fronts to S. Goliad Street. In addition, the applicant will be required to provide a detailed landscape plan with the site plan for the front vard areas.

Side Yards. The proposed site plan does appear to conform with the majority of the guidelines' suggestions relating to the side yard; however, staff should point out that currently a staircase appears to be in the ten (10) foot side yard setback. This encroachment would require approval by the Board of Adjustments (BOA) prior to the approval of the site plan.

Fences. Currently, there is an existing chain-link fence located along the rear of the property. The adjacent property is zoned Single Family 7 (SF-7) District, and -- as a result -- the project will require three (3) tiered screening or a masonry screening wall along this adjacency. Staff has outlined this requirement below.

Driveways. The proposed driveways conform to the guidelines.

Paving Materials. All of the proposed paving will be concrete and conform to the City's guidelines, codes and standards of design.

Parking Areas for Commercial Development. According to the guidelines, "(a)ll parking lots for more than five (5) vehicles and having frontage on a public street should be screened from the street by an evergreen hedge not lower than three (3) feet nor higher than four (4) feet tall. If a hedge is not desired than an earthen berm, masonry wall, or combination thereof may be substituted …" The applicant is currently not showing the incorporation of any screening for the parking areas. Staff has added this as a condition of approval of the Certificate of Appropriateness (COA).

Lighting of Yards and Parking Areas. This will be reviewed at the time of site plan.

Paint and Color. Based on the color rendering provided by the applicant the colors of the proposed building appear to be in conformance with the guidelines. Signage for Commercial Properties. All signage is required to conform to the requirements of the North Goliad Corridor Overlay (NGC OV) District.

Project Reviews.rpt Page 11 of 12

With respect to the remainder of the proposed site plan staff has identified the following issues relating to the requirements of the Unified Development Code (UDC) that will need to be addressed with the site plan prior to approval from the Planning and Zoning Commission:

Residential Adjacency. Subsection 5.02(B), Screening from Residential, of Article VIII, Landscape and Screening Standards, of the Unified Development Code (UDC) requires either [1] a minimum six (6) masonry fence with canopy trees on 20-foot centers or [2] three (3) tiered screening with a minimum six (6) wrought iron fence be established adjacent to, "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property..." In this case, the property directly east of the subject property is zoned Single Family 7 (SF-7) District. Currently, there is an existing six (6) foot chain-link fence on this property that is adjacent to the eastern boundary of the subject property. Section 8.02, Non-Residential Fences, of Article VIII, Landscape and Screening Standards, of the UDC goes on to allow wood fences in conformance with the residential fencing standards for new residential fences be permitted in the Residential-Office (RO) District. Based on the applicant's submittal, staff is of the opinion that it would be appropriate for the applicant to either [1] request to incorporate three (3) tiered screening adjacent to the existing chain-link fence or [2] establish a new wood fence with canopy trees on 20-foot centers; however, this is a discretionary decision for the Planning and Zoning Commission at the time of site plan.

Landscape Plan. A more detailed landscape and treescape plan will be required to be submitted to ensure compliance to the tree planting requirements, which require a minimum of one (1) canopy tree and one (1) accent tree be planted adjacent to N. Goliad Street per 100 linear feet of frontage.

- I.7 Please note that failure to address all comments provided by staff by 5:00 PM on January 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2020.
- M.9 Below are the meeting dates for your request. A representative is required to attend all meetings:
 - December 30, 2019 Architectural Review Board (ARB) Meeting 5:00 p.m.—immediately before the Planning and Zoning Worksession.
 - December 30, 2019 Planning and Zoning Worksession 6:00 p.m. immediately following the ARB Meeting.
- January 14, 2020 2nd Architectural Review Board (ARB) Meeting (at the discretion of the ARB) 5:00 p.m. immediately before the Planning and Zoning Meeting.
- January 14, 2020 Planning and Zoning Meeting 6:00 p.m. immediately following the ARB Meeting.
- M.10 Please see standard site plan wording below.

SITE PLAN SIGNATURE BLOCK

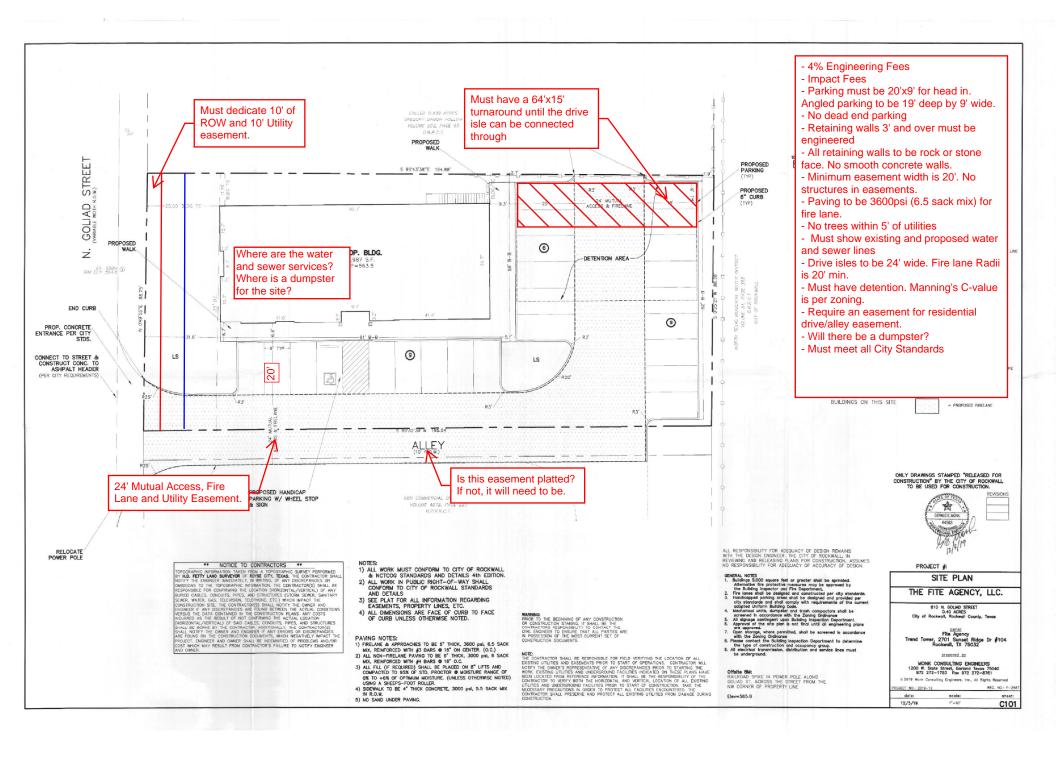
APPROVED:

I hereby certify that the above and foregoingsite plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

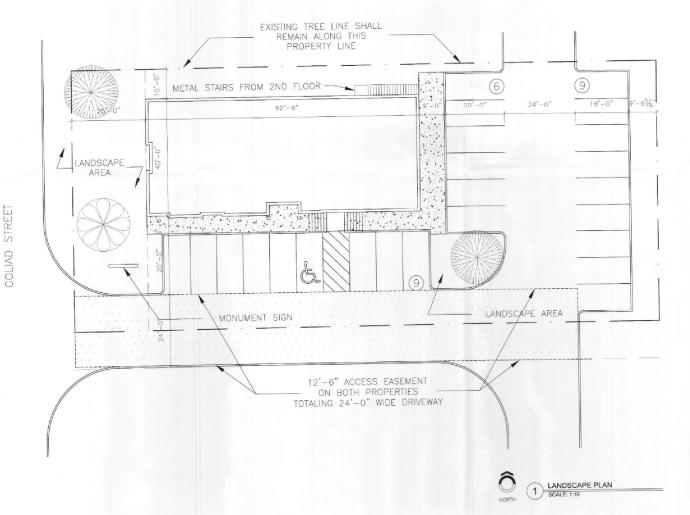
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

Project Reviews.rpt Page 12 of 12



Add note, No trees within 5' of public utilities less than 10". No trees within 10 of public utility lines 10" or greater.



SITE DAT	A TABLE
SITE AREA	0.40 ACRES (17.424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT WAX.	35°-0°

PARKIN	NG TABLE
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

GROSS ANEA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE— 78% OF 17,424 S.F.	13,553 S.F.

TREE/SHRUB LEGEND TREES, INSTALLED W/ MINIMUM 2" CALIPER ()

MED BUD (2) 4' HIGH @ INSTALLATION

BURR GAK (1) 4" MIN. CALIPER

GENERAL NOTES:

- NERGAL NOTES:

 WHEN ALL WILLIES BEFORE CONSTRUCTION
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THE FITE AGENCY



THE	FITE AGENCY
LEGAL DES	CRIPTION AND OR ADDRESS:
	E RITE AGENCY, LLC. ENT #20180000022302 O.P.R.R.C.T.
The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	OWNER
	APPLICANT
Carroll Architects, INC. 750 E. Interstate 30 ≢110 Rockwoll, TX 75087 P: 972-732-6085 E: ja@carrollerch.com	

CITY OF HEATH CASE NUMBER:

LANDSCAPE **PLAN**

JUL 2019 2018055 DRAWN BY:



PROPOSED OFFICE BUILDING FOR THE FITE AGENCY 810 Goliad St. Rockwall, Texas 75087





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

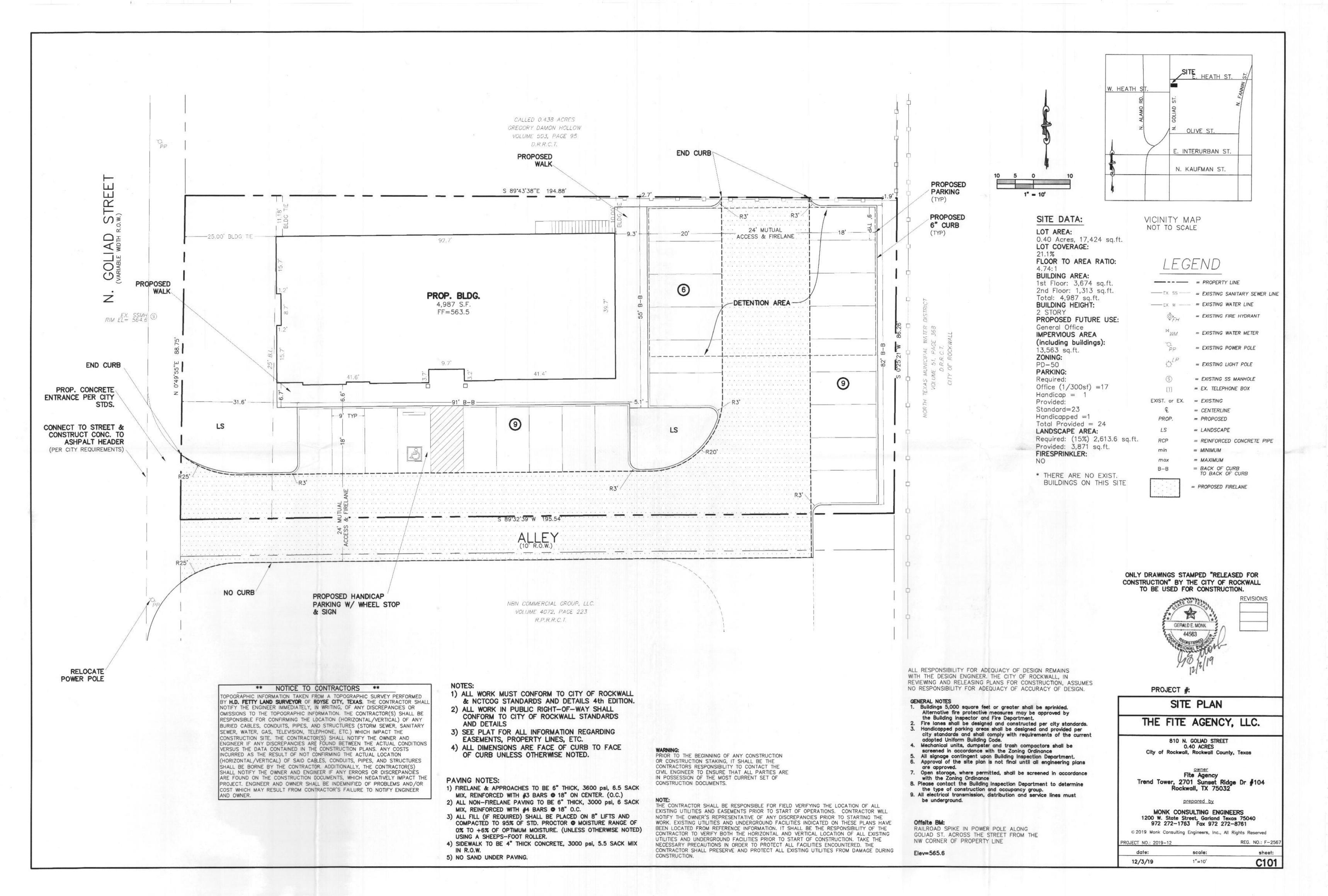
City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

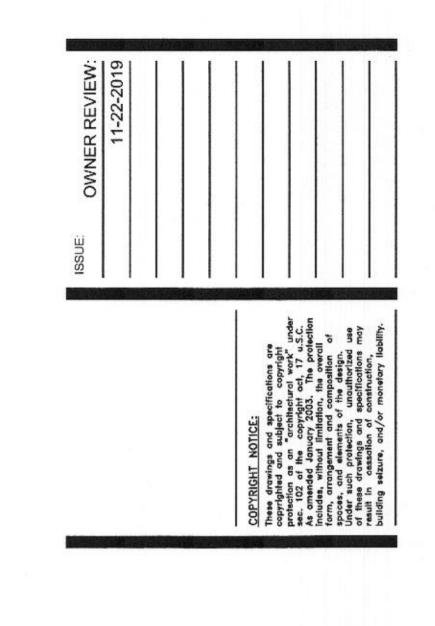
PLANNING & ZON CASE NO.	SP 2019-046
NOTE: THE APPLICATION IS NOT CO CITY UNTIL THE PLANNING DIRECT SIGNED BELOW.	ONSIDERED ACCEPTED BY THE OR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	

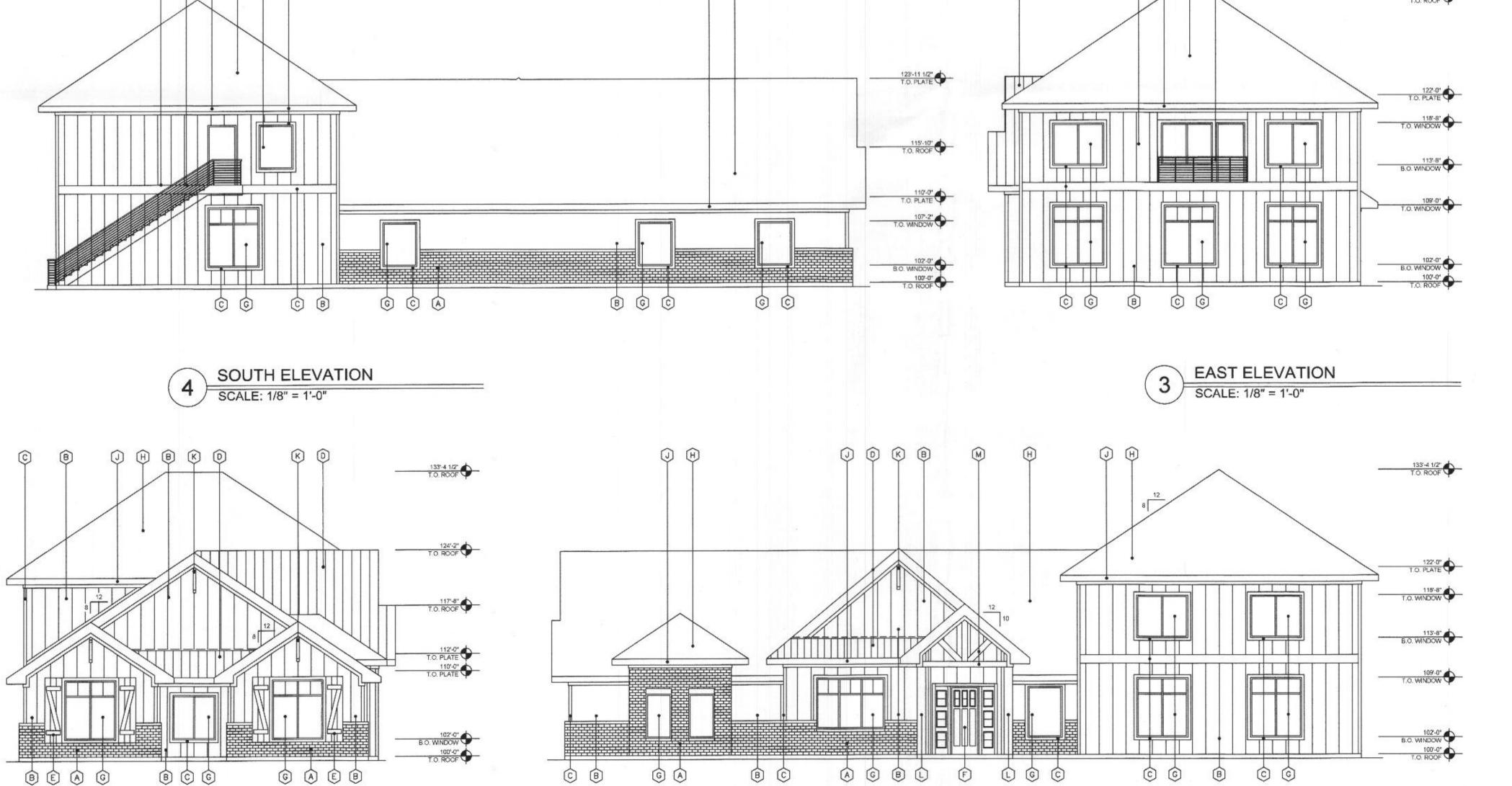
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

[] Preliminary P [] Final Plat (\$300. [] Replat (\$300. [] Amending or [] Plat Reinstate Site Plan Applicate [] Site Plan (\$25	\$100.00 + \$15.00 Acre) 1 lat (\$200.00 + \$15.00 Acre) 1 00.00 + \$20.00 Acre) 1 00 + \$20.00 Acre) 1 Minor Plat (\$150.00) ement Request (\$100.00)	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) Notes: 1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.		
PROPERTY INFO	DRMATION [PLEASE PRINT]			
Address	810. GoLIAS ST.			
Subdivision		Cula-	Lot	
General Location	SEC Goliad & Heath		LUL	Block
ZONING, SITE P				
Current Zoning	LAN AND PLATTING INFORMATION [PLEAS			
		Current Use	N/A	
Proposed Zoning		Proposed Use	OFFICE BLACE	
Acreage	0.40 Ac . Lots [Current]	(1) ENE	Lots [Proposed	
[] Required for Pl	ats: By checking the box at the left you agree to waive Local Government Code.		mit for plat approval in acco	rdance with Section
(W) Owner	CANT/AGENT INFORMATION [PLEASE PRINT/C FRANK FITE II	HECK THE PRIMARY CO	ONTACT/ORIGINAL SIGNATURES	ARE REQUIRED]
	FRANK FITE II	[X] Applicant		htects, IRC.
	2701 Susset Ridge		Jeff Carrol	L
	# 104	Address	750 E. INTERS	tate 30
City, State & Zip			# 110	
Phone	ROCKWALL, TX 75032	City, State & Zip	ROCKWALL, T	4 75087
E-Mail		Phone	214. 632. 170	.2
NOTARY VERIFIC Before me, the undersign information on this applic	ned authority, on this day personally appeared cation to be true and certified the following:	E-Mail	Jue CANTON P	undersigned, who stated the
20 By signing th	n the owner, or duly authorized agent of the owner, for the , to cover the cost of this application, has be his application I agree that the City of Rockwall (i.e. "City") is lso authorized and permitted to reproduce any copyrighted to a request for public information."	een paid to the city of h	day day	of
iiven under my hand and	seal of office on this the day of	, 20		
	's/Applicant's Signature		100	1 1 1
	nd for the State of Texas		1	
			My Commission Expire	25







N J H G C

WEST ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE: A BRICK, MFG-ACME, MODULAR SIZE, COLOR - OXFORD PLACE B HARDIE BOARD SIDING, COLOR: ARCTIC WHITE C HARDIE BOARD, FASCIA & TRIM COLOR - KHAKI BROWN D STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR - CHARCOAL GRAY E WOOD SHUTTERS, COLOR - STAIN WALNUT F ENTRY DOORS AS SELECTED BY OWNER G WINDOW, 1" INSULATED, LOW 'E' 30% TINTED GRAY, FRAME COLOR - BLACK H COMPOSITION ASPHALT ROOF, TYP., (2701b9), COLOR - BLACK PREFINISHED ALUMINUM GUTTER & DOWNSPOUT, COLOR - MATCH TRIM COLOR K GABLE END, 8" DECOR. WOOD TRIM COLOR: KHAKI L 12X12 WOOD POST, COLOR - STAIN WALNUT M 2X WOOD TRIM DECOR. COLUMNS N STEEL TUBE RAILING SYSTEM, COLOR - BLACK

THE FITE AGENCY

LEGAL DESCRIPTION AND OR ADDRESS:

THE FITE AGENCY, LLC.
DOCUMENT #201800000022302
O.P.R.R.C.T.

OWNER

The Fite Agency
2701 Sunset Ridge Ste.104
Rockwall, TX 75087

APPLICANT

Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972—732—6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF HEATH CASE NUMBER:
2019XXX

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



THE FITE AGENCY

EXTERIOR ELEVATIONS

DATE: SHEET NO:

JUL 2019

PROJECT NO:

DRAWN BY:

CHECKED BY:

A501

Rockwall,

810



NORTH

STREE

SITE DAT	A TABLE
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKIN	G TABLE
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA

LANDSCAPE 1	ABULATION
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE— 78% OF 17,424 S.F.	13,553 S.F.

Irrigation shall be provided to all landscaped areas.
 Tree mitigation for this project for existing trees on this property.
 All perimeter parking are within 50'-0" of a shade tree.

STALLATION		
	STALLATION	

GENERAL NOTES:

- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.

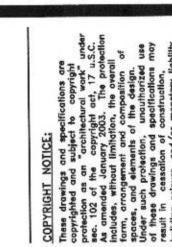
 FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM IF 24" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURE ENGINEER.
- 3. EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
- 4. ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE TAS NOTES & DETAILS.
- 5. LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
- 6. LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION
- SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.

 7. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND
- ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
- 9. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.

 10. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

 11. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/

IEW:	2019			
OWNER REVIEW:	11-22-2019			
OWN				
ISSUE				
n ide		15	i i	b 5





LANDSCAPE **PLAN**

SHEET NO: JUL 2019 PROJECT NO: 2018055

DRAWN BY: CHECKED BY:

THE FITE AGENCY LEGAL DESCRIPTION AND OR ADDRESS: THE FITE AGENCY, LLC.
DOCUMENT #20180000022302
O.P.R.R.C.T. The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087 APPLICANT Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll CITY OF HEATH CASE NUMBER: 2019XXX

City of Rockwall



Project Plan Review History

Project Number

SP2019-047

Owner

BRAD BACON

Applied Approved 12/13/2019 AG

Project Name Type 2055 KRISTY LANE SITE PLAN Applicant JEFF CARROLL

Closed Expired Status

12/19/2019 DG

Subtype

Status P&Z HEARING

Site Address

City, State Zip

2055 KRISTY LN

ROCKWALL, TX 75032

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

LANE BUSINESS PARK

1-M

1-M

3130-0000-0001-M0-0F

Type of Review / Notes	Contact	Sent Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	12/13/2019 12/20	/2019 12/18/2019	5 APPROVED	
ENGINEERING	Sarah Johnston	12/13/2019 12/20	/2019 12/19/2019	6 COMMENTS	

(12/19/2019 3:28 PM SJ)

- M Many dimensions appear to be to the back of curb. Please verify.
- M Must install the sewer line across frontage
- M Existing easement? New easements to be 20' min.
- M Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4
- M Must dimension the distance from the driveways to the nearest driveway on either side Standards of Design 2.6
- M Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.20
- M No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3
- M All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30'min. Standards of Design 2.20
- M No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3
- M All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11
- M Must show existing utilities and your planned service connections.
- M Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3
- M Retaining walls in detention require a variance Standards of Design3.4.4
- M Must stub out the 8" water and 8" sewer to the northern property for future expansion Standards of Design 5.1.2
- M All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20
- M Must loop 8" waterline around the building.
- M Full panel replacement for water line taps.
- M Must have detention A private easement is needed from 2015 Kristy for detention outfall There is off-site drainage passing through the property.
- M Must meet all standards of design and construction

The following items are for your information for engineering design

- I 20' radius, will need a letter from the neighboring property if the radius continues onto their frontage
- 4% Engineering fees
- Impact fees
- Must get a variance for driveway spacing. The proper spacing is not an option.
- Retaining walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- No walls in easements, including detention.
- No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater.
- Must replat this property with new and existing easements.
- Must meet all City Standards of Design and Construction.

FIRE Ariana Hargrove 12/13/2019 12/20/2019 12/19/2019 6 APPROVED

Project Reviews.rpt Page 2 of 6

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
(12/19/2019 10:45	AM AA)						
Fire hydrants shall be located6 foot behind the edge of the pavement. Unless otherwise specifically							
approved.							

The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans.

The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant. A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided

from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.

(Ord	16-31	- 2015	FC)
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GIS	Lance Singleton	12/13/2019 12/20/2019 12/20/2019	7 APPROVED		
PLANNING	David Gonzales	12/13/2019 12/20/2019 12/19/2019	6 COMMENTS	See comments	

Project Reviews.rpt Page 3 of 6

(12/19/2019 6:02 PM DG)

SP2019-047; Site Plan for 2055 Kristy Lane

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a site plan for an office/warehouse building on a 3.57-acre parcel of land identified as Lot 1-M of the Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane.
- 1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (SP2019-047) in the lower right-hand corner of all pages of all revised plan submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), and the Development Standards of Article V, that are applicable to the subject property.
- I.5 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Section 3, of Article IX, of the UDC):

- 1) Indicate and label the widths of all fire lanes existing and proposed for the site (Sec. 3, Art. IX, UDC)
- 2) Indicate and label the widths of all sidewalks existing and proposed for the site Minimum 5-foot sidewalk required along Kristy Lane (Sec. 3, Art. IX, UDC)
- 3) Indicatethe type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall beconstructed of concrete, but may have a surface treatment of brick, stone or other similar material. (Sec. 5.03(C), Art. VI, UDC)
- 4) Paving Notes as listed require review and approval by the engineering department These will be reviewed for accuracy during the civil submittal process (Engineering Standards of Design and Construction Manuel)
- 5) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director as depicted in application package (Sec. 3, Art. IX, UDC)
- 6) Label the height and type of fence proposed or existing. Chain link fences are required to have a vinyl coating (Subsection 8.02(B)(1), Art. VIII, UDC)
- 7) Indicate the street centerline for all existing and proposed streets (Sec. 3, Art. IX, UDC)
- 8) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department). Check engineering mark-ups (Sec. 5.03(C), Art. VI, UDC)
- 9) Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer. Indicate on plan. (Sec. 6.5, Art. VI, UDC).
- 10) Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above. Provide screening detail. (Sec. 1.05(1), Art. V, UDC)
- 11) Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. The enclosure faces Kristy Lane. (Subsection 1.05(2), Art. V, UDC).

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- 12) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure. Indicate all units on site plan. (Sec. 1.05.3, Art. V, UDC).
- 13) Will there be outside storage of materials, equipment, etc.? (Sec. 3, Art. IX, UDC)
- 14) Provide a label for the Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate. (Chapter 38, Municipal Code of Ordinances)
- 15) The building footprint as depicted does not meet the Articulation Standards of Article V, of the Unified Development Code (UDC). Requires a recommendation from the Architectural Review Board (ARB) and approval of an exception by the Planning and Zoning Commission as submitted (see Variance & Exception Request below).

M.7 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Sec. 2, Art. VIII, UDC):

- 1) Indicate the locations and dimensions of the required landscape buffers (Sec. 5, Art. VIII, UDC)
- 2) A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any nonresidential lot that abuts a public right-of-way (i.e. collector street, arterial roadway, or alleyway) or a residentially zoned or used property that is located directly across a public street(regardless of the size of the street). All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer. (Sec. 5.01(B)(1), Art. VIII, UDC).
- 3) Identify visibility triangles on all lots for all driveway intersections and public streets (Subsection 1.08(B), Art. V, UDC).
- 4) Provide screening of loading dock area and outside storage areas (Subsection. 5.02(A), Art. VIII, UDC)
- 5) Provide a hatch for all future building areas (i.e. parking lot and building).
- 6) Remove Parking Lot Lighting table from landscape plan Include this information with the Photometric Plan.
- 1.8 Treescape Plan. No trees being removed from site per applicant, therefore, no plan required. (Sec 1.08, Art. VIII, UDC).
- M. 9 Photometric Plan. Photometric Plan required. Not submitted with site plan package. (Sections 2&3, Art. VIII, UDC).
- M.10 Building Elevations. Please review the articulation formulas contained in Section 5.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). (Subsection 5.01(C), Art. V, UDC)
- M.11 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- 1) If applicable, indicate all RTU units on the building elevations (i.e. dash-in) so that staff can ensure that they meet thescreening requirements dictated by the UDC (Subsection. 1.05(3); Art. V; UDC).
- 2) Provide a material samples board for ARB review. (Sec. 3, Art. IX, UDC)
- 3) Provide material calculation percentages for each exterior material to determine compliance and or variance % required by overlay district. (Subsection 6.02, Art. V, UDC)
- 4) Exceptions to UDC and variances associated with IH-30 Overlay District are listed in the next section

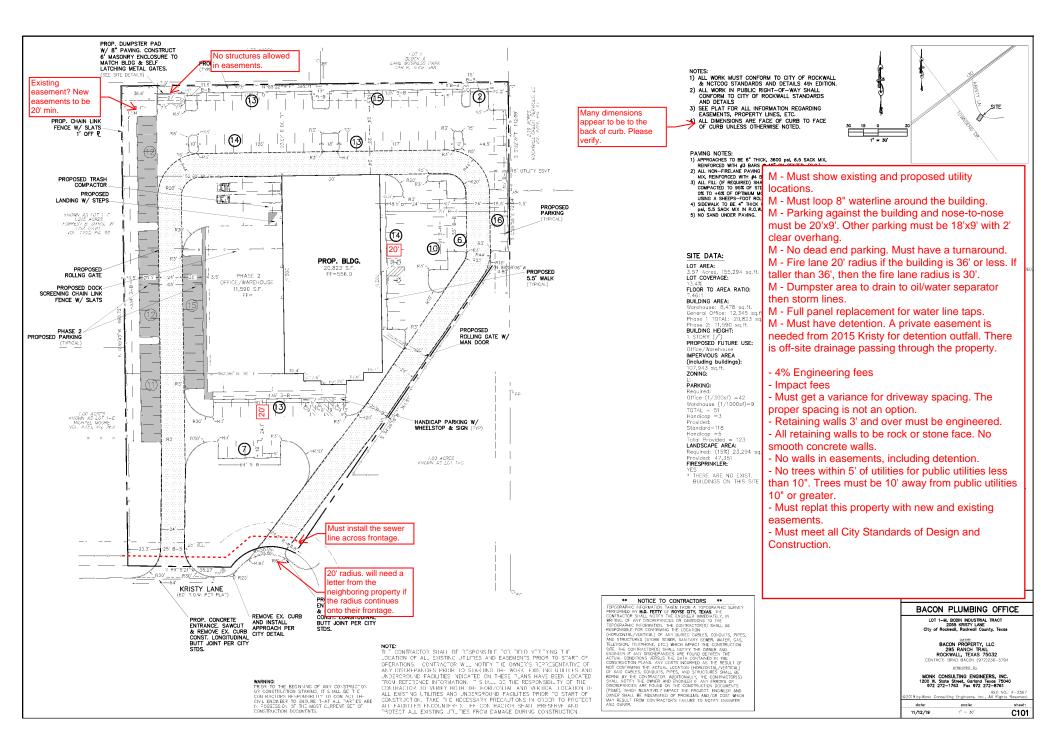
Project Reviews.rpt Page 5 of 6

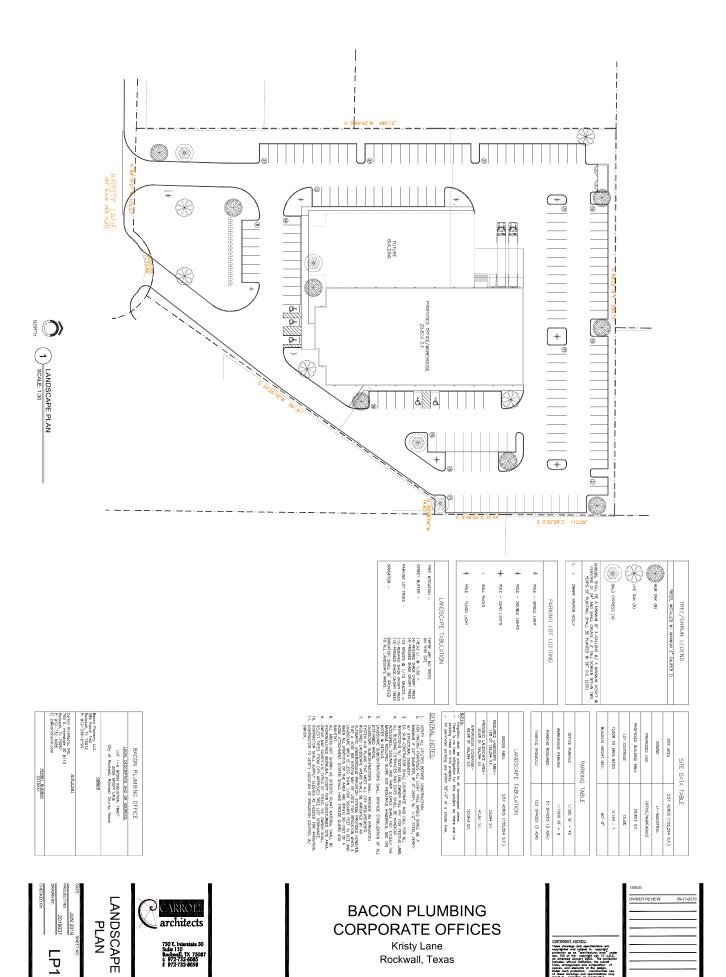
- M.12 Based on the submittal staff has identified the following variances and exceptions to the Unified Development Code(UDC) and the IH-30 Overlay (IH-30 OV) District:
- 1) Building Articulation. The proposed building does not meet the articulation standards established by the UDC and requires approval of an exception Exception Required. (Subsection 5.01(C), Art. V, UDC)
- 2) Dumpster Enclosure. The proposed location of the dumpster enclosure faces a public street Exception Required (Sec. 1.05.3, Art. V, UDC).
- 3) Primary Materials. The proposed building is required to be constructed of 90% stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU). The applicant is proposing a building comprised primarily of metal. Variance Required. (Subsection 6.02(C)(1)(a), Art. V, UDC)
- 4) Primary Materials. The proposed building is required to have a minimum of 20% natural or quarried stone on all building façades. In this case, the applicant is proposing to use a limestone product only on the front façade. Variance Required. ((Subsection 6.02(C)(1)(a)(1), Art. V, UDC)
- 5) Secondary Materials. These are any material that is not deemed to be a Primary Material and includes materials like aluminum composite materials(ACM panels), metal panels, acrylic products (i.e. EIFS products) cast stone, cultured stone or other materials identified by the Director of Planning and Zoning or his/her designee. In this case the applicant is proposing to use a wood product that exceeds 10% of the materials on the front façade. Variance Required (Subsection 6.02(C)(b), Art. V, UDC)
- 6) Four (4) Sided Architecture. The UDC indicates that all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case the applicant is providing architectural features, materials, and detailing only on the front façade. Variance Required (Subsection 6.02(C)(5), Art. V, UDC)

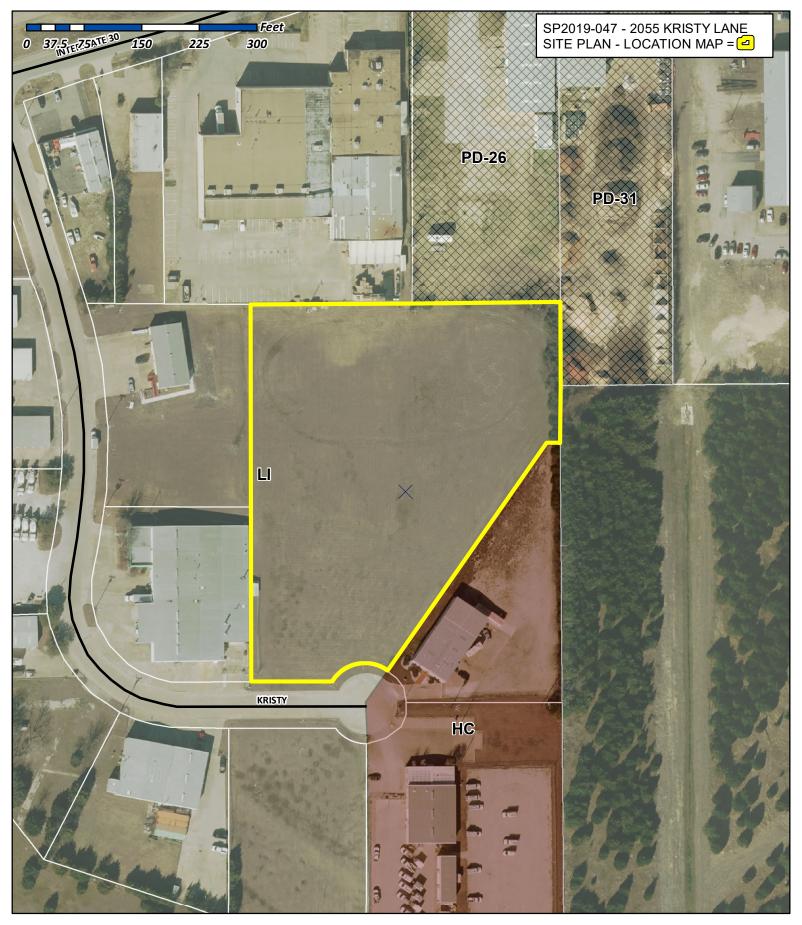
To be able to request a variance an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of tw(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.

- I.13 Please note that failure to address all comments provided by staff by3:00 PM on January 7, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
- I.14 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 14, 2019 Planning & Zoning Meeting.
- ** Please note that the Planning & Zoning Work Session meeting will be held on December 30, 2019.
- I.15 The Architectural Review Board (ARB) meeting will be held on December 30, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission
- I.16 Staff recommends that a representative be present for the meetings as scheduledabove The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.

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City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Platting Application Fees:

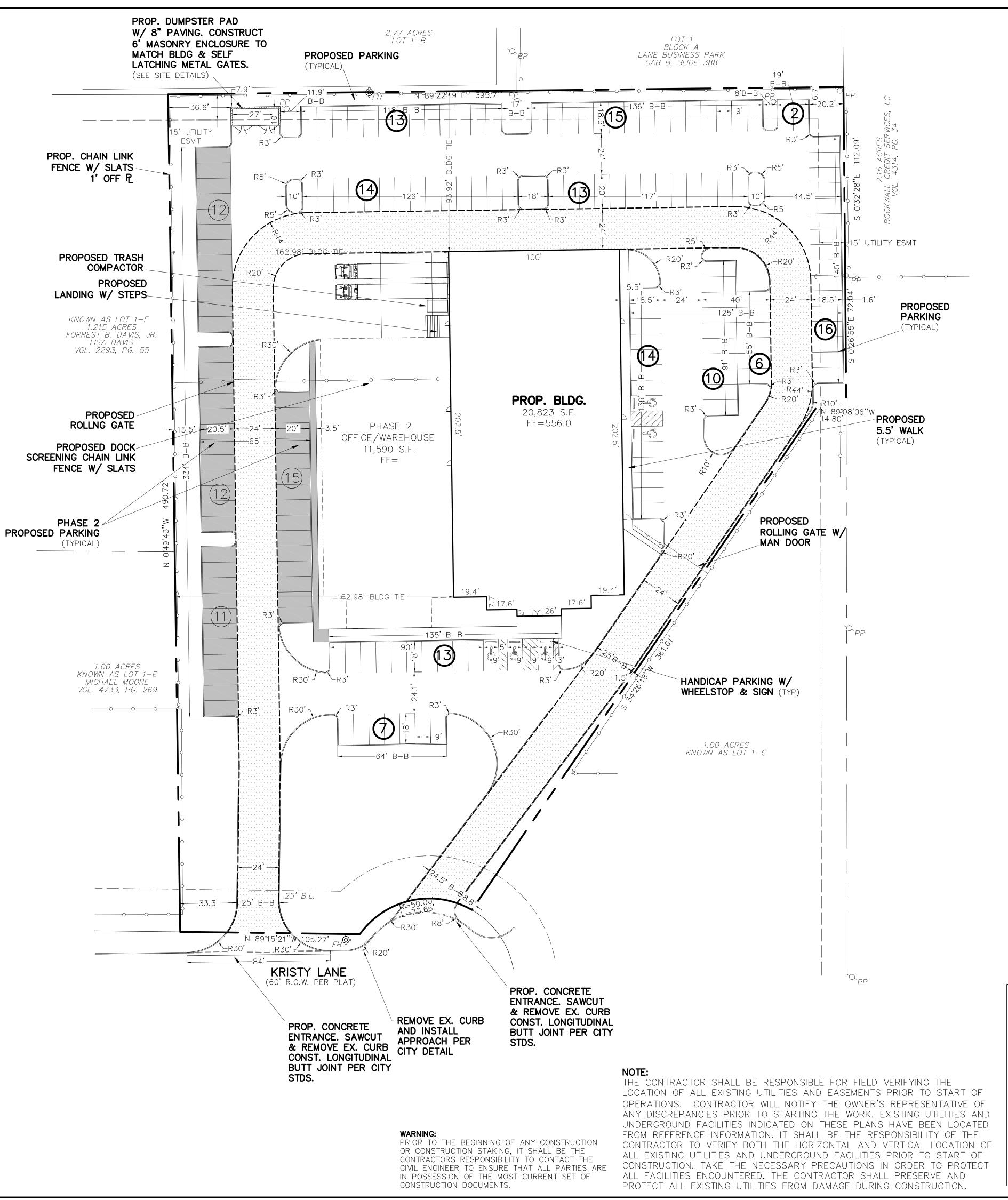
DEVELOPM INT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ON!	
PLANNING & ZC G CASE NO.	502019-047
NOTE: THE APPLICATION IS NOT	
CITY UNTIL THE PLANNING DIREC	TOR AND CITY ENGINEER HAVE
SIGNED BELOW.	
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

[] Preliminary Plat [] Final Plat (\$300.0 [] Replat (\$300.0 [] Amending or M [] Plat Reinstater Site Plan Application Site Plan (\$250.0 [] Site Pl	Minor Plat (\$150.00) ment Request (\$100.00)	[] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) Notes: ¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.				
PROPERTY INFO	RMATION [PLEASE PRINT]					
Address	2055 KRISTY LN.					
Subdivision	BODIN INDUSTRIAL TRAC	<u>-</u> -	Lot	1	Block	
General Location	I-30 & Kristy LN.					
ZONING, SITE PL	AN AND PLATTING INFORMATION [PLEAS	E PRINTI				
Current Zoning	LI	Current Use	N/A			
Proposed Zoning	SAME	Proposed Use		/WARE	HOISE	
Acreage	3.57 KC Lots [Current]	ONE		[Proposed]	ONE	
[] Required for Pla 212.009 of the l	ats: By checking the box at the left you agree to waive Local Government Code.	the statutory time l				
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/C	HECK THE PRIMARY C	ONTACT/ORIGINA	L SIGNATURES A	RE REQUIRED]	
	BACON PROPERTY, LLC.				HIECTS, INC.	
Contact Person	BRAD BACON	Contact Person	JEFF (APRO L	_	
Address	195 RANCHTRAIL	Address	170.00		TATE 30	
			ste: 1	A Marine Stranger of the Control of		
City, State & Zip	ROCKWALL TY 75032	City, State & Zip			75087	
Phone	214.280.2296		972 - 7			
E-Mail	Brade everyon tloves bacon, c	E-Mail	Juec	ALLONA	rc4.com	
Before me, the undersign	CATION [REQUIRED] ned authority, on this day personally appeared SEFF (cation to be true and certified the following:	APROLL	_ [Owner/Applicar	nt Name] the un	dersigned, who stated the	
the application fee of \$ _ 20 By signing to the public. The City is a	m the owner, or duly authorized agent of the owner, for the, to cover the cost of this application, has b his application I agree that the City of Rockwall (i.e. "City") is also authorized and permitted to reproduce any copyrighted to a request for public information."	een paid to the City of authorized and permi	f Rockwall on this ti tted to provide info	he day o	f	
Given under my hand and	d seal of office on this the day of	, 20				
Owner	r's/Applicant's Signature		DE #			
Notary Public in a	nd for the State of Texas		My Con	nmission Expires		



NOTE

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.



- 1) APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

SITE DATA:

LOT AREA: 3.57 Acres, 155,294 sq.ft.

LOT COVERAGE: 13.4%

FLOOR TO AREA RATIO: 7.46:1

BUILDING AREA:

Warehouse: 8,478 sq.ft. General Office: 12,345 sq.ft. Phase 1 TOTAL: 20,823 sq.ft. Phase 2: 11,590 sq.ft.

BUILDING HEIGHT:

1 STORY (/')

PROPOSED FUTURE USE:
Office/Warehouse

IMPERVIOUS AREA (including buildings): 107.943 sq.ft.

ZONING:

PARKING:

Required:
Office (1/300sf) = 42

Warehouse (1/1000sf)=9 TOTAL = 51 Handicap =3 Provided:

Standard=118
Handicap =5
Total Provided = 123 **LANDSCAPE AREA:**

Required: (15%) 23,294 sq.ft. Provided: 47,351

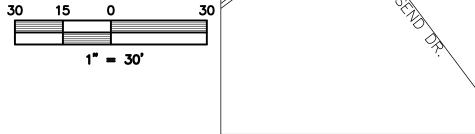
BUILDINGS ON THIS SITE

FIRESPRINKLER:

* THERE ARE NO EXIST.

** NOTICE TO CONTRACTORS ** TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH

MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER



LOCATION MAP
(NOT TO SCALE)

LEGEND

460 = PROPOSED CONTOURS

bw = BOTTOM OF WALL (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTE

----EX. SS ---- = EXISTING SANITARY SEWER LINE

= EXISTING STORM MANHOLE

= EXISTING WATER LINE

©P___ = EXISTING FIRE HYDRANT

 $\stackrel{\textstyle \bowtie}{}_{\scriptstyle WM}$ = EXISTING WATER METER

PP = EXISTING POWER POLE

= EXISTING LIGHT POLE

 \top = EX. WATER VALVE

© = EXISTING GAS METER

EXIST. or EX. = EXISTING

PROP. = PROPOSED

LS = LANDSCAPE

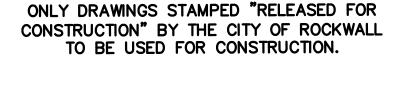
P = REINFORCED CONCRETE PIPE

min = MINIMUM max = MAXIMUM

= PROPOSED FIRELANE

- FROPOSED FIRE

= PHASE 2





CASE #:

SITE PLAN

BACON PLUMBING OFFICE

LOT 1-M, BODIN INDUSTRIAL TRACT 2055 KRISTY LANE City of Rockwall, Rockwall County, Texas

BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032
CONTACT: BRAD BACON (972)236-5794

monk consulting engineers, inc.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

date:

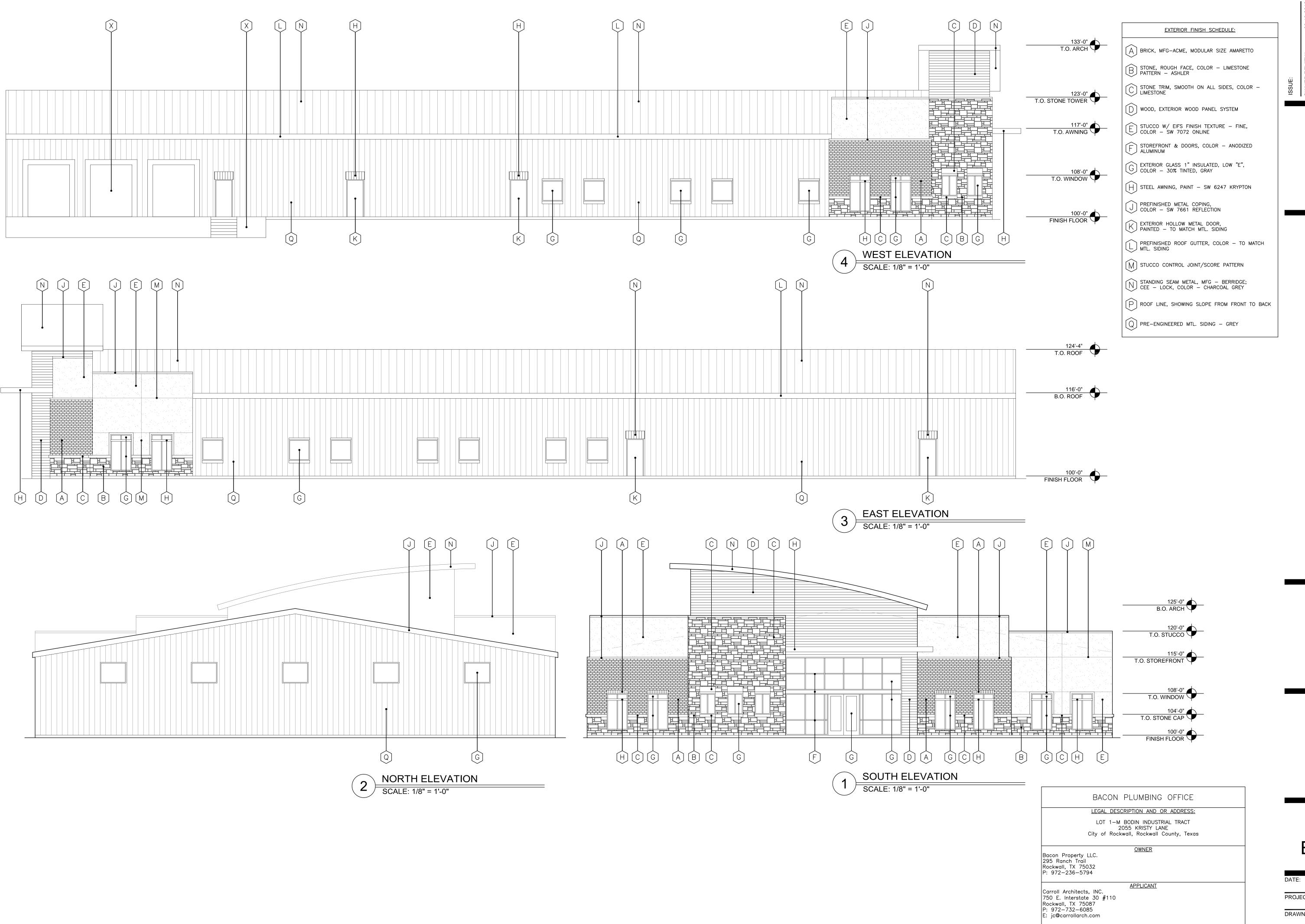
11/12/19

REG NO.: F-2567 2019 by Monk Consulting Engineers, Inc., All Rights Reserved.

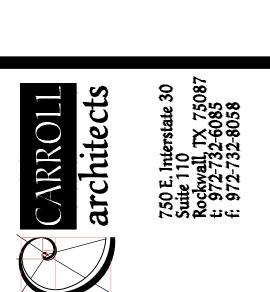
scale: sheet:

1" = 30'

C101





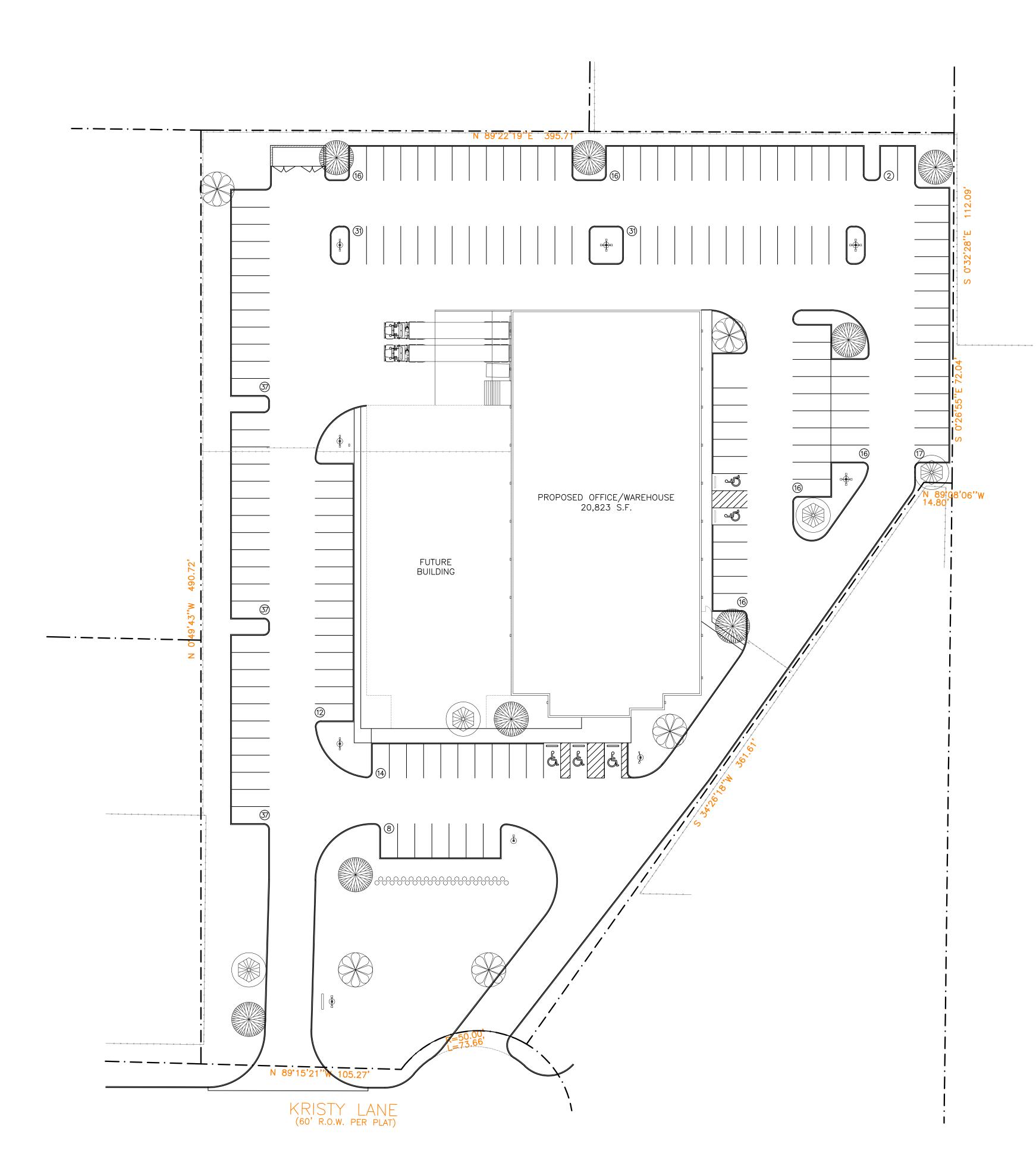


EXTERIOR ELEVATIONS

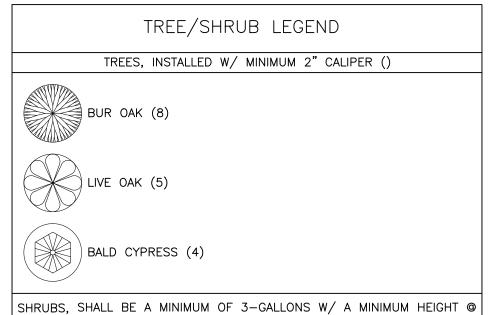
9	SHEET NO:
JUN 2019	
2019037	^ _
	A
	JUN 2019

PERMIT NUMBER 2019XXX





LANDSCAPE PLAN



SHRUBS, SHALL BE A MINIMUM OF 3—GALLONS W/ A MINIMUM HEIGHT @
PLANTING OF 24" AND SHALL CREATE A 3' TALL SCREEN WITHIN TWO
YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C. (230)

1.	0	DWARF	YAVPON	HOLLY

	PARKING LOT LIGHTING
	POLE - SINGLE LIGHT
	POLE - DOUBLE LIGHTS
•	POLE — QUAD LIGHTS
О	WALL PACKS
•	POLE - FLOOD LIGHT

LANDSCAPE	TABULATION
TREE MITIGATION -	THERE ARE NO TREES ON THIS SITE
STREET BUFFER -	178.93 LF. @ 1/50 = (4) REQUIRED SHADE CANOPY TREES (4) PROVIDED SHADE CANOPY TREES
PARKING LOT TREES -	123 SPACES @ 1/10 SPACES = (13) REQUIRED SHADE CANOPY TREES (13) PROVIDED SHADE CANOPY TREES
IRRIGATION -	IRRIGATION SHALL BE PROVIDED TO ALL LANDSCAPE AREAS.

	SITE DATA	A TABLE
	SITE AREA	3.57 ACRES (155,294 S.F.)
	ZONING	L1-INDUSTRIAL
	PROPOSED USE	OFFICE/WAREHOUSE
	PROPOSED BUILDING AREA	20,823 S.F.
	LOT COVERAGE	13.4%
	FLOOR TO AREA RATIO	0.134 : 1
	BUILDING HEIGHT MAX.	60'-0"

PARKING	TABLE
OFFICE PARKING	1/300 SF = 42
WAREHOUSE PARKING	1/1000 SF = 9
PARKING REQUIRED	51 SPACES (3 ADA)
PARKING PROVIDED	123 SPACES (5 ADA)

LANDSCAPE	TABULATION					
GROSS AREA	3.57 ACRES (155,294 S.F.)					
REQUIRED LANDSCAPE AREA— 15% OF 155,294 S.F.	23,294 S.F.					
PROVIDED LANDSCAPE AREA— 30.5% OF 155,294 S.F.	47,351 S.F.					
IMPERVIOUS COVERAGE— 69.5% OF 155,294 S.F. 107,943 S.F.						
NOTES:						

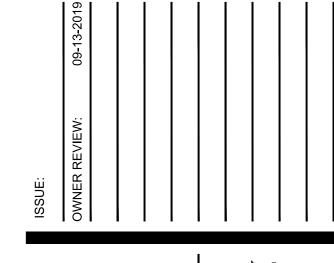
Irrigation shall be provided to all landscaped areas.
 There is no tree mitigation for this project as there are no existing trees on this property.
 All perimeter parking are within 50'-0" of a shade tree.

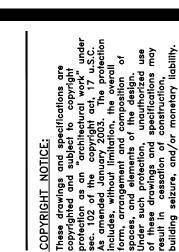
GENERAL NOTES:

- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM IF 24" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
- 3. EA. SUB—CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
- 4. ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP
 ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE
 MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE TAS
 NOTES & DETAILS.
- LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
- 6. LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
- 7. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50—FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND PAINSTAT
- 8. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 9. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL
- SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.

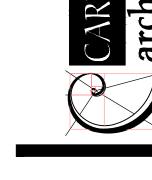
 10. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

 11. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/





BACON PLUMBING CORPORATE OFFICE



CHECKED BY:

LANDSCAPE PLAN

DATE: SHEET NO:

JUN 2019

PROJECT NO:

2019037

DRAWN BY:

LOT 1-M BODIN INDUSTRIAL TRACT
2055 KRISTY LANE
City of Rockwall, Rockwall County, Texas

OWNER

Bacon Property LLC.
295 Ranch Trail
Rockwall, TX 75032
P: 972-236-5794

APPLICANT

Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com

PERMIT NUMBER
2019XXX

BACON PLUMBING OFFICE

LEGAL DESCRIPTION AND OR ADDRESS:

City of Rockwall



Project Plan Review History

Project Number

SP2019-049

Owner

Daniyal M. Awan

12/13/2019 AG

Project Name

Waters Edge at Lake Ray Hubbard

Applicant

Daniyal M. Awan

Approved Closed **Expired**

Status

Applied

Type

Subtype Status

Staff Review

SITE PLAN

Site Address

City, State Zip

2003 Portofino Drive

ROCKWALL, TX 75032

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

HARBOR - ROCKWALL, THE

1

5215-000A-0001-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	d Status	Remarks
BUILDING	Russell McDowell	12/13/202	19 12/20/20	019 12/18/2019	5	APPROVED	
Note: 1. Ramps wit	h more than 5.4% of slo	pe requires	handrails or	n both sid	des with 1	ft extension's	top and bottom . TAS.
2. Staircase v	with more than 12ft of ri	se requires a	a mid point	landing.			
ENGINEERING	Sarah Johnston	12/13/202	19 12/20/20	019 12/20/2019	7	COMMENTS	S
/42/20/2040 0:00 4	N A C I\						

(12/20/2019 9:06 AM SJ)

- M Add note, "Trees to be 5' away from public utility lines less than 10". Trees to be 10' away from public utilities that are 10" or greater." Standards of Design section 4.
- M Dumpster to drain to an oil/water separator and then to the storm lines.
- M Esmt not needed for meters. Only one service off a deadend line.
- M Must verify that the sewer is not plugged.
- M Install a double cleanout at the property line. Sewer will be private services. Standards of Design Section 5.3
- M Where are the sprinkler services? Only one service per deadend line.
- M Verify all water and sewer stub outs. If the proposed improvements conflict, the stubs may need to be plugged.

The following information is for the engineering design.

- 4% Engineering Inspection Fees
- Impact Fees
- Minimum easement width is 20'. No structures in easements.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Dumpster to drain to an oil/water separator prior to storm system depending on use.
- No trees within 5' of public utilities.
- Must meet City of Rockwall Standards of Design.

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	d Status	Remarks
FIRE	Ariana Hargrove	12/13/20:	19 12/20/201	19 12/19/2019	6	APPROVED	
(12/19/2019 10:54 /	AM AA)						
The proposed locati	ion of the Fire Depart	ment Connect	ion (FDC) sha	ll be indicated on	the plan	S.	
The FDC is required	to be along the fire la	ane and within	100-feet as t	the hose lays, of a	a fire hydi	ant. A minimum of a	5-foot wide sidewalk or other approved
"all-weather" pathy	vay shall be provided						
	•						
from the fire lane to	the FDC. Parking/loa	nding spaces ar	e not conside	ered a clear path	way.		
	_	nding spaces ar	re not conside	ered a clear path	way.		
from the fire lane to (Ord 16-31 - 2015 IF GIS	_			ered a clear path	way. 	APPROVED	See comments
(Ord 16-31 - 2015 IF	C) Lance Singleton				way.	APPROVED	See comments
(Ord 16-31 - 2015 IF GIS (12/20/2019 8:33 AI	C) Lance Singleton	12/13/202	19 12/20/201	19 12/20/2019	7		

Project Reviews.rpt Page 2 of 5

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

SP2019-049; Site Plan for Waters Edge at Lake Ray Hubbard

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a site plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circlea request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a site plan for an office building on a 0.4590-acre parcel of land identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (SP2019-049) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).
- M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] a site plan, [2] landscape plan, [3] building elevations and this submittal is complete.
- M.6 Site Plan. Please make the following clarifications on the Site Plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
 - (1) Please note that the new buildings shall match the existing buildings
- (2) Please check building elevations. The North and South Elevations appear to have misaligned windows.
- (4) Please provide the total number of living units.
- (5) Trash/Recycling Enclosures. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The opaque, self-latching gate shall not be constructed utilizing wood fencing materials. If the primary building does not use masonry materials, a masonry material that is complimentary in color and scale shall be utilized. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. All trash/recycling enclosures shall be constructed in conformance to the diagram below, unless otherwise approved/required by the City and/or its contractor for trash services. Please provide elevation for dumpster enclosure.
- (1) Utility Equipment and Air Condition Units. Pad or roof mounted utility equipment and air conditioning units shall be screened from the view from of any adjacent public streets or properties. Roof mounted utility equipment and air conditioning units shall be screened using a parapet wall that completely impairs the visibility of the equipment, and is constructed on all sides of the building. Ground mounted Utility equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. Please show how all equipment will be screened.

SUBSECTION 1.08: PUBLIC RIGHT-OF-WAY VISIBILITY

(A) Street/drive intersection visibility obstruction triangles. A landscape plan showing the plan of the street on both sides of each proposed drive/street to the proposed development with the grades, curb elevations, proposed street/drive locations, and all items (both natural and manmade) within the visibility triangles as prescribed below shall be provided with all site plans, if they are not on engineering plans that are submitted at the same time. this plan shall show no horizontal or vertical restrictions (either existing or future) within the areas defined below.

Project Reviews.rpt Page 3 of 5

- (B) Obstruction/interference triangles defined. No fence, wall screen, billboard, sign face, tree or shrub foliage, berm, or any other item, either manmade or natural, shall be erected, planted, or maintained in such a position or place so as to obstruct or interfere within the following minimum standards; however, on non-residentially zoned lots, a single pole for mounting a sign may be placed within this area provided the pole does not exceed 12-inches in diameter, and provided every portion of the sign has a minimum height clearance of nine (9) feet: Please provide where applicable
- (1) Visibility Triangles. Vision at all intersections which intersect at or near right angles shall be clear at elevations between 24-inches and nine (9) feet above the top of the curb elevation, within a triangular area formed by extending the two (2) curblines from their point of intersection, for the following minimum distances for the applicable intersection, and connecting these points with an imaginary line, thereby making a triangle. If there are no curbs existing, the triangular area shall be formed by extending the property lines from their point of intersection for a distance as prescribed below, and connecting these points with an imaginary line, thereby making a triangle as shown below.
- (2) Intersection of two (2) public streets. The minimum required distance from the curb shall be 30-feet and the minimum distance from the property line on streets without a curb shall be 20-feet.
- (3) Intersection of a public street and an alley. The minimum required distance measured from the property line shall be 15-feet, or 25-feet from street curb.
- (4) Intersection of private drive and public street. The minimum required distance from the curb shall be 15-feet and the minimum distance from the property line on streets without a curb shall be ten (10) feet.
- (C) Sight distance requirements. The city hereby adopts the standards for both vertical and horizontal sight distance requirements set forth in the latest edition of AASHTO green book "a policy on geometric design of highways and streets" for the construction of both public street intersections and private drive intersections, unless otherwise approved by the city engineer. If, in the opinion of the city engineer, a proposed street or drive intersection does not meet these standards, additional engineering information exhibiting how the standards have been addressed may be required for submission and approval by the city's engineer.

SECTION 3: RESIDENTIAL DISTRICTS

SUBSECTION 3.01: GENERAL RESIDENTIAL DISTRICT STANDARDS

All residential development shall conform to the following standards:

- (A) Construction Standards.
- (1) Roof Pitch. All residential structures shall be constructed with a minimum 3:12 roof pitch. Informative
- (2) Concrete Foundation. All residential structures shall be permanently attached to an engineered concrete foundation. Informative
- I.7 Please note that failure to address all comments provided by staff by 5:00 PM on January 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any

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Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

additional information that is requested. Revisions for this case will be due on January 7, 2020.

M.9 Below are the meeting dates for your request. A representative is required to attend all meetings:

- December 30, 2019 Architectural Review Board (ARB) Meeting 5:00 p.m.—immediately before the Planning and Zoning Worksession.
- December 30, 2019 Planning and Zoning Worksession 6:00 p.m. immediately following the ARB Meeting.
- January 14, 2020 2nd Architectural Review Board (ARB) Meeting (at the discretion of the ARB) 5:00 p.m. immediately before the Planning and Zoning Meeting.
- January 14, 2020 Planning and Zoning Meeting 6:00 p.m. immediately following the ARB Meeting. M.10 Please see standard site plan wording below.

SITE PLAN SIGNATURE BLOCK

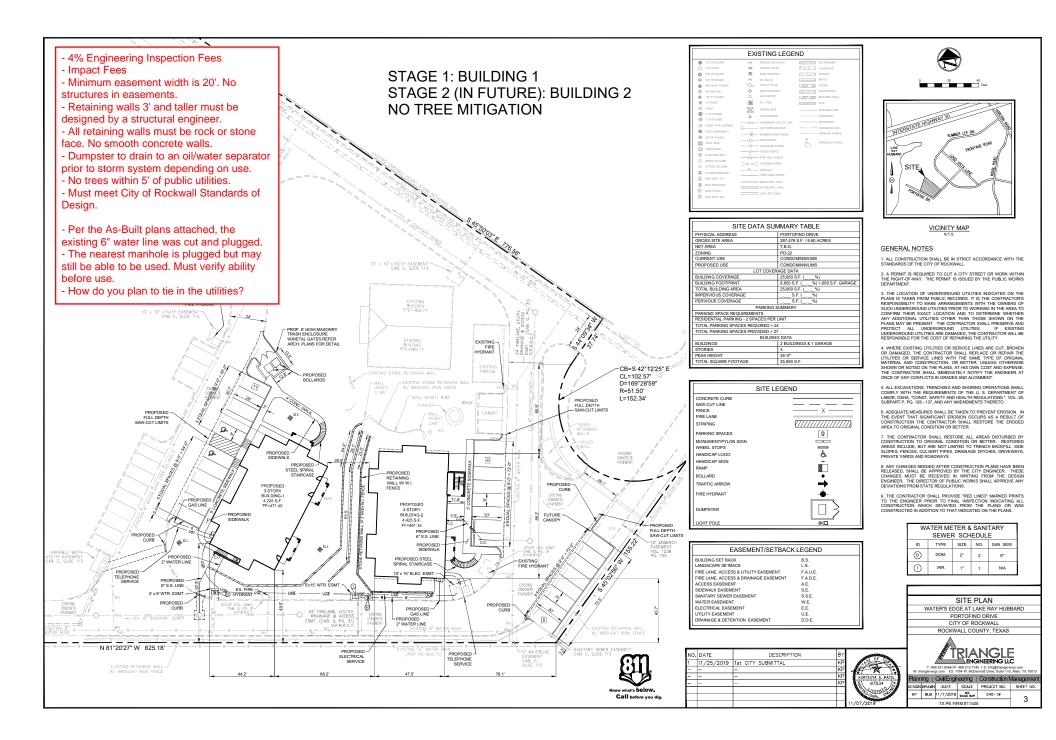
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

Project Reviews.rpt Page 5 of 5



Trees to be 5' away from public utility lines less than 10". Trees to be



REES					
YPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CM LO	6	Crepe Myrtle 'Dallas Red' Live Oak	Lagerstroemia indica 'Dallas Red' Quercus virginiana	6" ht. 3" cal.	container, 3 or 5 trunks, 4' spread min.,tree form container, 13' ht., 5' spread, 5' clear straight trunk
SHRUBS		1			
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DYH IH LOR NPH	14 11 24 27	Dwarf Yaupon Holly Indian Hawthom 'Clara' Loropetalum 'Ruby' Needlepoint Holly	Bex vorationia hana" Phaphiologis indica 'dasa' Longedalum chinensia 'Ruby' Bex comuta "Needlepoint"	5 gal. 5 gal. 5 gal. 5 gal. 5 gal.	container, 18" ht., 18" spread container, 20" ht., 20" spread container, 20" ht., 20" spread container, 20" ht., 20" spread container, 24" ht., 20" spread
	DCOVERS				
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	Cyrnodon dactylon '419'		Solid Sod refer to notes



ALLEN, TEXAS 75013



WATER'S EDGE AT LAKE RAY HUBBARD

ISSUE: FOR APPROVAL 11.21.201

DATE: 11.21.2019

SHEET NAME:

SHEET NUMBER:

L.1

1.1 REFERENCED DOCUMENTS

DESCRIPTION OF WORK

rk included: Furnish all supervision, labor, materials, services, equipment and appliances ulted to complete the work covered in conjunction with the landscaping covered in these cifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
 Bed preparation and fertilization
 Notification of sources
 Water and Maintenance until final acceptance
 Guarantee

- American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1980, Edition: by American National Standards Institute, inc. (260.1) plant material.

- D. Hortis Third, 1976 Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- Samples: Provide representative quantities of sandy loam soil, murch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- Pregion new planting belot by scraping using entiting great and verices an increasing printing printing and printing printing and printing printing and printing printing and printing prin
- C. Grass Areas
 - Alexes is be Sould Soul Bermiddegner. Blocke of lead devoid be leid joint is joint, ideappered joint side fieldings be ground file. Relig pass areas to achieve a wnorsh, exam sertime. The joints hateness the follows of any day and the filling of the popular later by an excluder. Speed opcope, then well not for the filling days. See all the filling of the popular later by an excluder joint good opcop. Then well not form the filling days. See call at reflect of the CID particip per one throughout (1.00) syware field. Use at 8 of both colors of the filling days to the CID particip per one throughout (1.00) syware field. Use at 8 of the CID particip per one throughout (1.00) syware field. Use at 8 of the CID particip per one throughout (1.00) syware field. Use at 8 of the CID particip per one throughout (1.00) syware field. Use at 8 of the CID particip per one throughout (1.00) syware field. Use at 8 of the CID particip per one throughout (1.00) syware field. Use at 8 of the CID particip per one through the CID particip per one through the cid per

3.2 INSTALLATION

- Plant materials shall be delivered to the site only after the bods are prepared and area ready for planting. All six/member of numery materials shall be throughly protected from the dying wind during trainal. Ill plants which cannot be planted at once, after the cytes wind during trainal. Ill plants which cannot be planted at once, after our of earth of 8.8 by plants shall be kept covered with soil or other acceptable material. All plants small for people of the Contractor until freal acceptable material. All plants small set opporty of the Contractor until freal acceptable material.
- Position the trees and shrubs in their intended location as per plan
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth ball, without planted and ex

JOB CONDITIONS

- General Centractor to complete the following punch last: Prior to Landscape Contractor invitaring any postion of landscape installation, General Contractor shall have glassing lost distances. All seasons are contracted in the contract of the contractor of the contractor distances. All seasons are contracted to desirable before of (1) inch below the finish grade of side-wide, divine, and ouths. All construction debtes shall be removed prior to Landscape Distriction beginning any contract.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

- The Landscape Contractor will be had responsible for the mainterance of all work from the time of glaring set that acceptance by the Orane. No trees, british, so that the other time of glaring set that acceptance by the Orane. No trees, british, settledorly sible promotions.

 4. Mainterance shall include wellering of trees and points, collection, receding sport and instruction, golding, principle offers, moving of glass, declaring up and all others innecessary delay. The other offers are points of the other offers and secondaries about the suscernited by the Orane of section of the Orane of section (principle of consideration, and secondaries about the suscernite to the Orane of section work). They give the consideration and secondaries of consideration of the other offers of the Orane of section better or the other orane.

- Custames and the generations for a harder (1) monthly protest that a comprison. Studies are generated and the protest of the p

- The Corner agrees that for the guarantee to be effocive, he will water plants at least tocca seek during dry particle and cultivate bods once a month after final.
 The above guarantee stain of sayly where plants de riefs ecoeptions because of injury from storms, hal, freeze, insectis, diseases, injury by humans, machines or that!
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weether permitting, and in the event the Landscape Contractor observant variety repairs accordingly, the Cover, without further notice to Outstack, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- Selection of Plant Material:
 - Make confact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet ancide exceed project.
- to select and book materials. Develop projection or manesterance general and social states are sense and project a

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage more, harmhae, shape, and fiftee devalopment
 Continer Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- Control of the Contro

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown scock. Listed plant heights from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf fig. Plants will be individually approved by the Archiblect and his decision as to their acceptability while for final.
- Ousity and size. Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insented, sidesses, in juries to the bark or roots, brown branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trush diameter and height requirements of the plant schedule. Blash shall be firm, meet slightly lespend, and well respect on brought, and tree to be less of with broken height a little of plant per less of the plant shall be ten (10) noticed in diameter for each one (1) inch of trans diameter, (Massarde of 10) inched in diameter for each one (1) inch of trans diameter, (Massarde of 10) inched below for inchedulary diameter. (Massarde of 10) inched below for inchedulary diameter, diameter of 10) inchedulary diameter.
- Printing: All printing of trees and shrifts, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

SPACE PLANTS IN A TRIANGULAR PATTERNAS SHOWN, SPACED EQUIALLY FROM EACHOTHER AT SPACING INDICATED ON PLANT LIST.

A = ROW SPACING
B = ON CENTER SPACING
SEP LANTS IN A TRANSICLAR SOFTMIN SPACING FOLIAL P

8888889

GROUNDCOVER PLANTING DETAIL

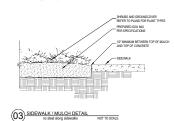
NOT TO SCALE

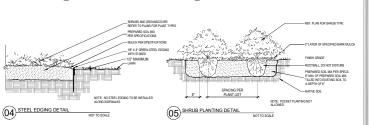
2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- Freich nicht, dat, beer, en 3. hand day breyn, bedact, diones and alter-combooks, melitard and replaceday for whosh and foods, diones and alter-combooks, melitard and replaceday for whosh bed foods of assista. Loam craft anny Dates, and the second of the second food of the second
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% anima waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equa
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Streeded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertiliaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- B. Staking Material for Shade Trees:
- Post: Studded T-Post, #1 Armoo with anchor plate; 6'-0' length; paint green.
 Wire: 12 gauge, single strand, galvanized wire.
 Rubber hose: 2 ply, liber reinforced hose, minimum % inch inside diameter. Color: Black.
- Filter Fabric: Mirat 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.





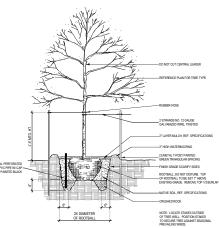


- Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- BacHill only with 5 parts existing soil or sandy born and 5 part bed preparation. White bote is dup in soid rock, lopsoil from the same area should not be used. Careful between the by wateries, to prevent all process. Remove the Lustip from the lap of the as well as all myter, placifs sting and vero mash. Container tross will usually be per bound, if as follow substandard narrays practice of root options.
- Do not wrap trees.
- Mulch the top of the ball. Do not plant grass all the way to the trurk of the tree. Leave th area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- Obstruction below ground. In the event that rock, or underground correlatation work or obtained are executed in any plant at a execution work to be done under this execution are not execution as the execution and the execution work to be done under the changes, the obstructions may be selected by the Others. When leadings could be changed, the obstructions that the removed to a depth of not less than the rest (i) feet below groke and not be so that make (ii) the sole than set (ii) the sole who be obtained and all their plant is the set of such make (ii) the sole than set (iii) the sole than the set (iii) the set of such not or underground electrication encountered at the cost of the Landacago Colembia.
- Trees and large shrute shall be staked as alto conditions require. Position stakes to secure tree against seasonal prevailing winds.

- Doed wood or suckers and breken badly braised branches shall be removed. General agent of the branches is not permitted. Do set out terminal branches. He was a second of the permitted branches, the permitted branches are considered, all the pits shall be covered with a ligen of organic material time (27) inches in depth. This limit of the organic material time (27) inches in depth. This limit of the organic material time (27) inches in depth. This limit of the organic material time.
- Curbing shall be eigned as indicated on plans. Stake out limits of steel curbing and disconniced approach prior in installation, some hards.
 Top of curbing paths 3347 minimum height down grade.
 Top of curbing paths 3347 minimum height down grade.
 Stakes are to be installed on the planting bod side of the outbing, as opposed to the grans side.
 Do not hosts dotted origing paths gradewalks.
 Do not hosts dotted origing paths gradewalks.
 Curbine singer of 60 diggers grade here dight greats sidewalk.

3.3 CLEANUP AND ACCEPTANCE

Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All teach and debts hall be removed from the ote as work progressor. Keep paved areas clean by sweeping or letching at end of carch draw work.



01) TREE PLANTING DETAIL

Ā EDGE, တ WATER

HUBBARD

R¥

LAKE

DRIVE

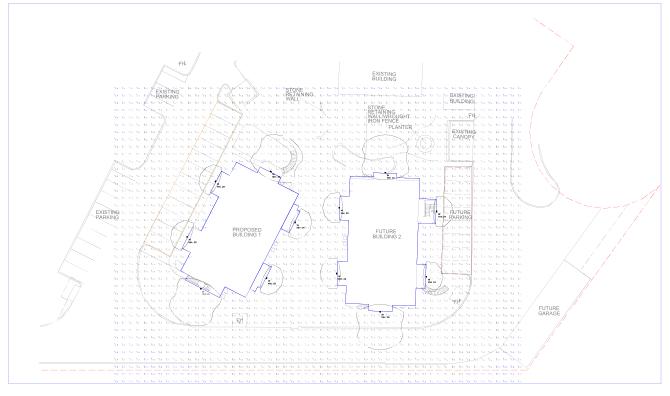
PORTOFINO E ROCKWALL, T

1784 W. McDERMOTT DR SUITE 110 ALLEN, TEXAS 75013 (469) 369-4448 CHRIS@STUDIOGREENSPOT.COM

ISSUE: FOR APPROVAL 11.21.2019

DATE: 11.21.2019 SHEET NAME: LANDSCAPE SPECIFICATIONS

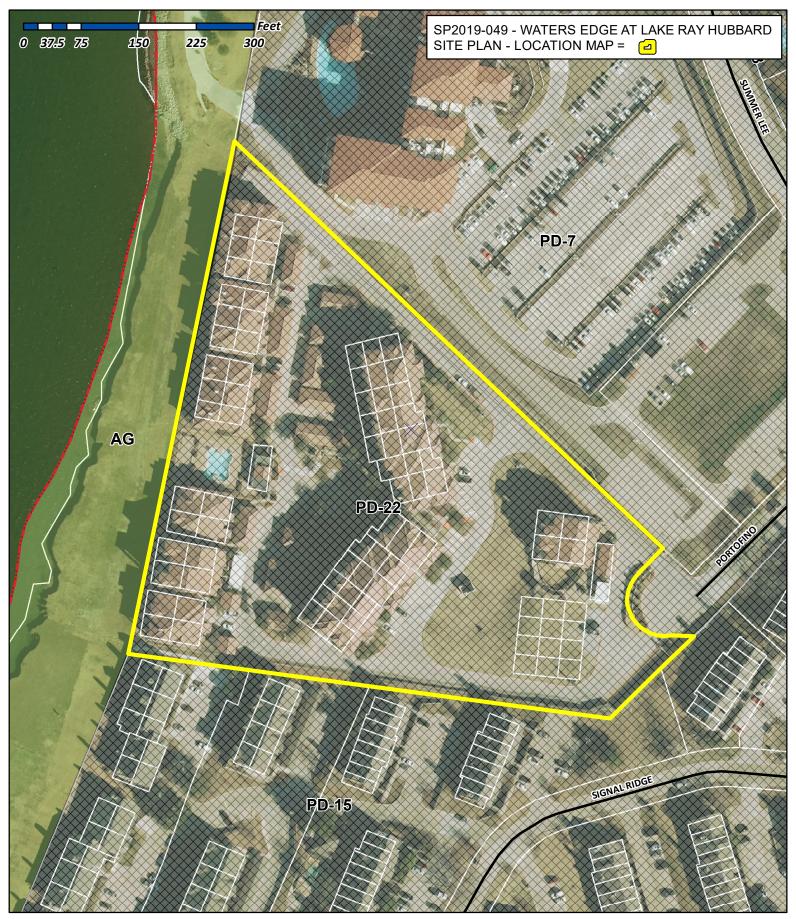
SHEET NUMBER L.2



Luminair	e Schedu	e						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
	W	12	LITHONIA WDGE2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH	3214	22.55	1.000	0.808	1.000

Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Mir
GRADE Planar	0	Fc	0.53	2.9	0.0	N.A.
PARKING1		Fc	0.83	1.4	0.1	8.30
PARKING2		Fc	0.90	1.4	0.3	3.00

PROJECT: WATERS EDGE AT LAKE RAY HUBBARD SALESPERSON: BRYAN JOHNSON SCALE: 1" = 20-0" CALC BY: AK FILE: 191210_WATERS EDGE AT LAKE RAY HUBBARD_V3





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ON

PLANNING & ZONING CASE NO. SP2019-049

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

[] Preliminary P [] Final Plat (\$30 [] Replat (\$300. [] Amending or [] Plat Reinstate Site Plan Applica [] Site Plan (\$25	\$100.00 + \$15.00 Acre) ¹ lat (\$200.00 + \$15.00 Acre) ¹ 00.00 + \$20.00 Acre) ¹ 00 + \$20.00 Acre) ¹ Minor Plat (\$150.00) ement Request (\$100.00)	0.00)	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.					
PROPERTY INFO	ORMATION [PLEASE PRINT]							
Address	Water's Edge at Lake Ra	y Hubbard,	Portofino Dri	ve, Rock	wall, TX			
Subdivision	Villas De Portofino			Lot	1	Block	Α	
General Location	Surplus land within Water	r's Edge co	ndominium c	omplex, lo	ocated on Po	ortofino	drive	
ZONING, SITE P	LAN AND PLATTING INFORMA	ATION [PLEASE	PRINT]					
Current Zoning	PD-22		Current Use	Multifam	ily			
Proposed Zoning	PD-22 (No Zoning chang	e)	Proposed Use	Multifam	ily (No chan	ige requ	ested)	
Acreage	6.60 Lo	ots [Current]	No change	Le	ots [Proposed]	No Cha	ange	
[] SITE PLANS ANd process, and fail	D PLATS: By checking this box you acknowled lure to address any of staff's comments by the	dge that due to the date provided on	he passage of <u>HB316</u> the Development Cal	7 the City no lo endar will resul	onger has flexibility t in the denial of you	with regard ur case.	to its approval	
OWNER/APPLI	CANT/AGENT INFORMATION		IECK THE PRIMARY C	ONTACT/ORIGI	NAL SIGNATURES A	ARE REQUIRE	D]	
[] Owner	Water's Edge at Lake Ray Hubb condominiums owner's associati	ard on INC	[] Applicant	Plutus21 [Development F	Fund 5 LL	С	
Contact Person	Daniyal M. Awan		Contact Person	Daniyal M	. Awan			
Address	6116 N Central Expressway		Address	6116 N C	entral Express	way		
	Suite 700			Suite 700				
City, State & Zip	Dallas, TX 75206		City, State & Zip	Dallas TX	75206			
Phone	4698536007		Phone	46985360	07			
E-Mail	dm47@live.com		E-Mail	dm47@liv	e.com			
Before me, the unders	ICATION [REQUIRED] igned authority, on this day personally appear rue and certified the following:	ed DANIY	AL M. AWAI	[Owner] the	undersigned, who	stated the	information on	

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 382 , to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of DECEMBER, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the

Owner's Signature

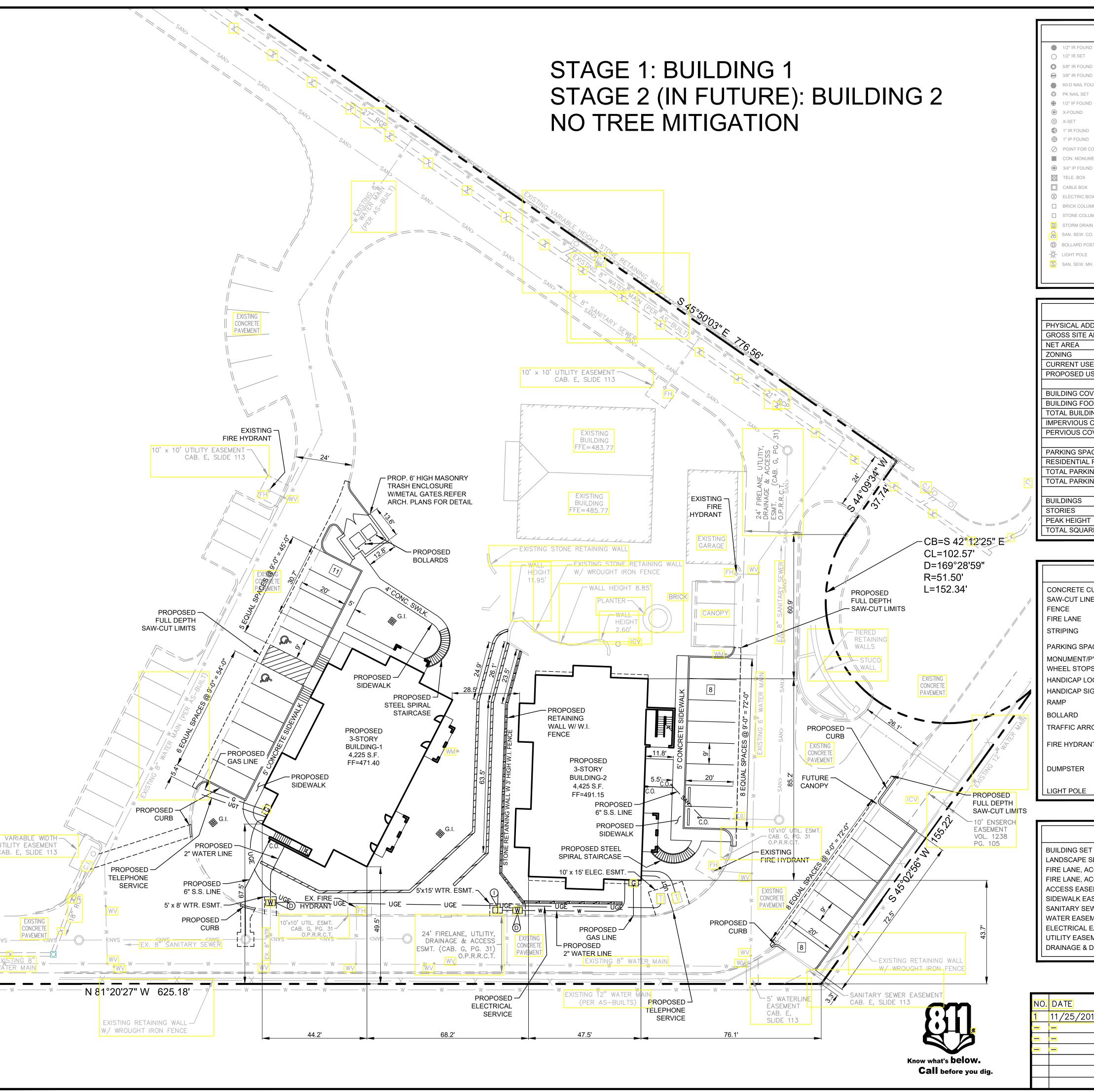
DEVELOPMENT APPLICATION * CITY OF ROCKWA

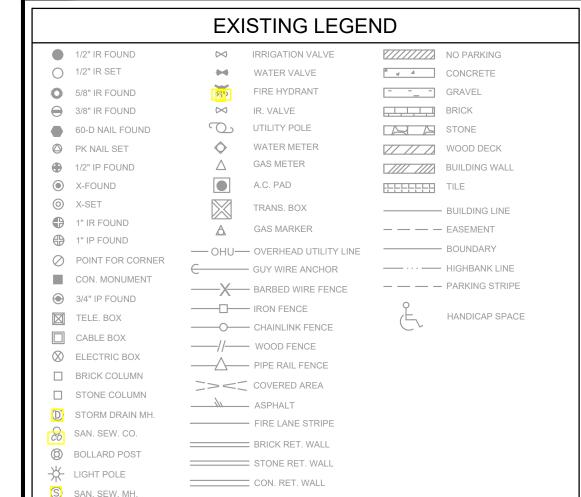
Notary Public in and for the State of Texas

STEPHANIE SMYTH My Notary ID # 129835160 Expires May 30, 2022

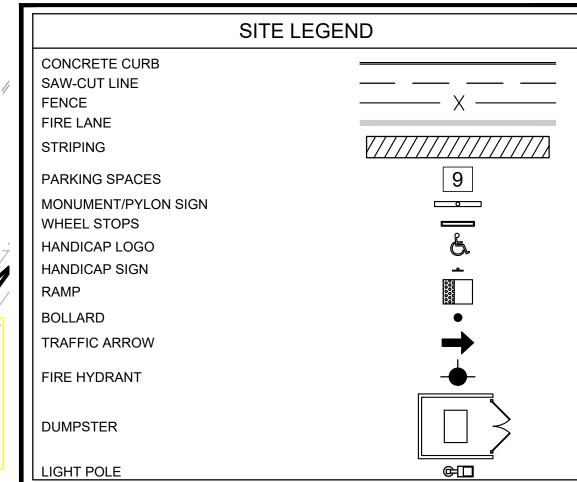
My Commission Expires

5/30/2022



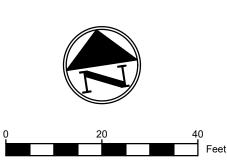


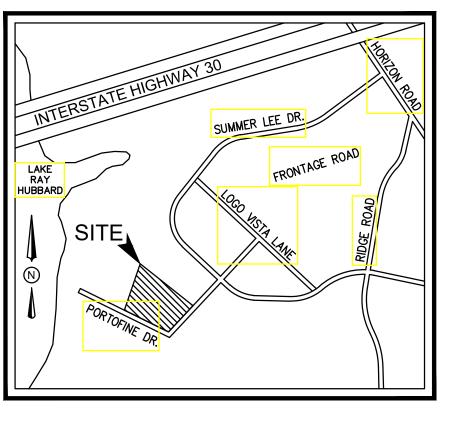
SITE DATA SUMMARY TABLE					
PHYSICAL ADDRESS	PORTOFINO DRIVE				
GROSS SITE AREA	287,476 S.F. / 6.60 ACRES				
NET AREA	T.B.D.				
ZONING	PD-22				
CURRENT USE	CONDOMINIMUMS				
PROPOSED USE	CONDOMINIMUMS				
LOT COVE	RAGE DATA				
BUILDING COVERAGE	25,950 S.F. (%)				
BUILDING FOOTPRINT	8,650 S.F. (%) 1,650 S.F. GARAGE				
TOTAL BUILDING AREA	25,950 S.F. (%)				
IMPERVIOUS COVERAGE	_,S.F. (%)				
PERVIOUS COVERAGE	_,S.F. (%)				
PARKING	SUMMARY				
PARKING SPACE REQUIREMENTS					
RESIDENTIAL PARKING - 2 SPACES PER	RUNIT				
TOTAL PARKING SPACES REQUIRED = :	24				
TOTAL PARKING SPACES PROVIDED = 2	27				
BUILDI	NG DATA				
BUILDINGS	2 BUILDINGS & 1 GARAGE				
STORIES	3				
PEAK HEIGHT	35'-0"				
TOTAL SQUARE FOOTAGE	25,950 S.F.				



EASEMENT/SETBACK	LEGEND
BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

NO.	DATE	DESCRIPTION	BY	
1	11/25/2019	1st CITY SUBMITTAL	KP	
_	_	=	KP	
		<u> </u>	KP	KARTAVYA S. PATEL
_		=	KP	97534 <i>i</i>
				WAS COUNTY OF
				OWIL SEE
				11/07/2019





 $\frac{\text{VICINITY MAP}}{\text{NTS}}$

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.

2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT

3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.

4. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.

5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.

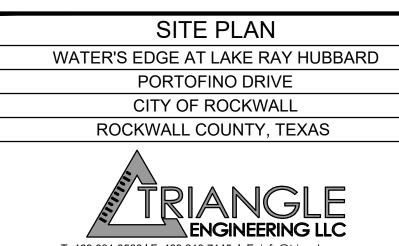
6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.

7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.

8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.

9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

WATER METER & SANITARY SEWER SCHEDULE										
ID TYPE SIZE NO. SAN. SEW.										
(0)	DOM.	2"	2	6"						
\odot	IRR.	1"	1	N/A						



T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Managemen

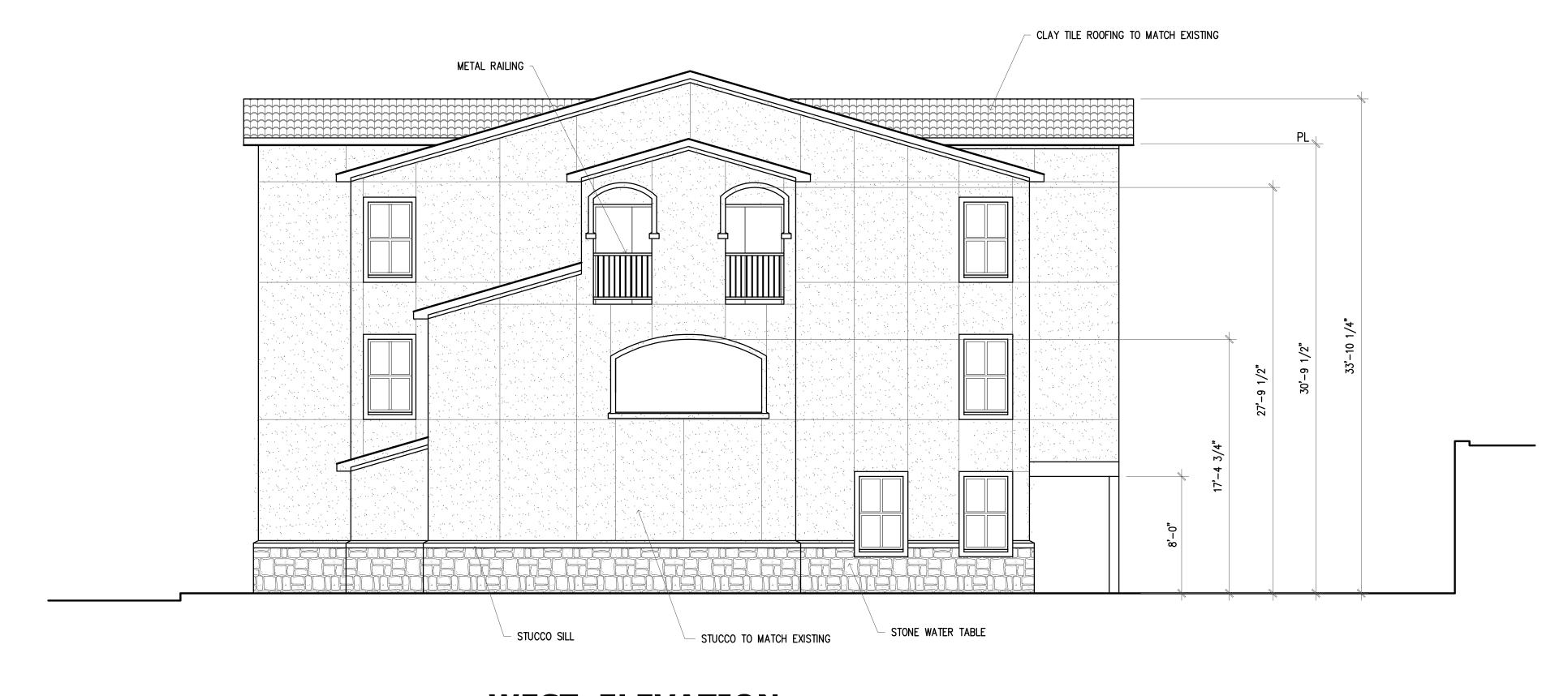
DESIGN DRAWN DATE | SCALE | PROJECT NO. | SHEET NO. |

KP | MLM | 11/7/2019 | SCALE | BAR | 040-19

TX PE FIRM #11525



NORTH ELEVATION



WEST ELEVATION

OWNER
PLUTUS21 DEVELOPMENT
6116 N. CENTRAL EXPWY #700
DALLAS, TEXAS 75206

CASE #SP2019-000

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PRICING & CONSTRUCTION

GENERAL NOTES:

- 1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

SHEET A6

Scale: 3/16" = 1'-0"

Project No.: 190602

Designed: GW

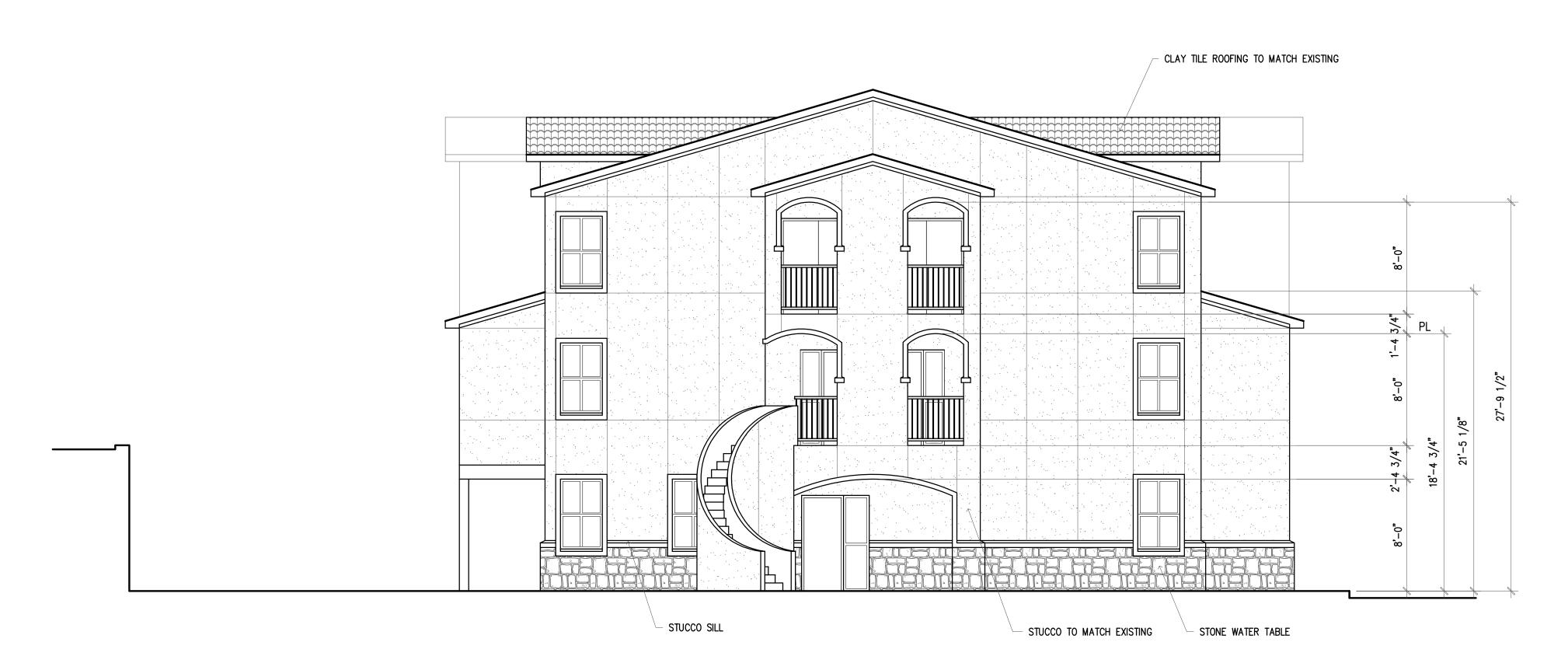
Drawn: GW

Checked: WM

MM/DD/YY

SOUTH ELEVATION

- STUCCO TO MATCH EXISTING



- 8" X 8" WOOD COLUMNS

STUCCO SILL

EAST ELEVATION

OWNER
PLUTUS21 DEVELOPMENT 6116 N. CENTRAL EXPWY #700 DALLAS, TEXAS 75206

CASE #SP2019-000

STONE WATER TABLE

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- 4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

SHEET

Scale: 3/16" = 1'-0"MM/DD/YY

Project No.: 190602 Designed: GW Drawn: GW Checked: WM

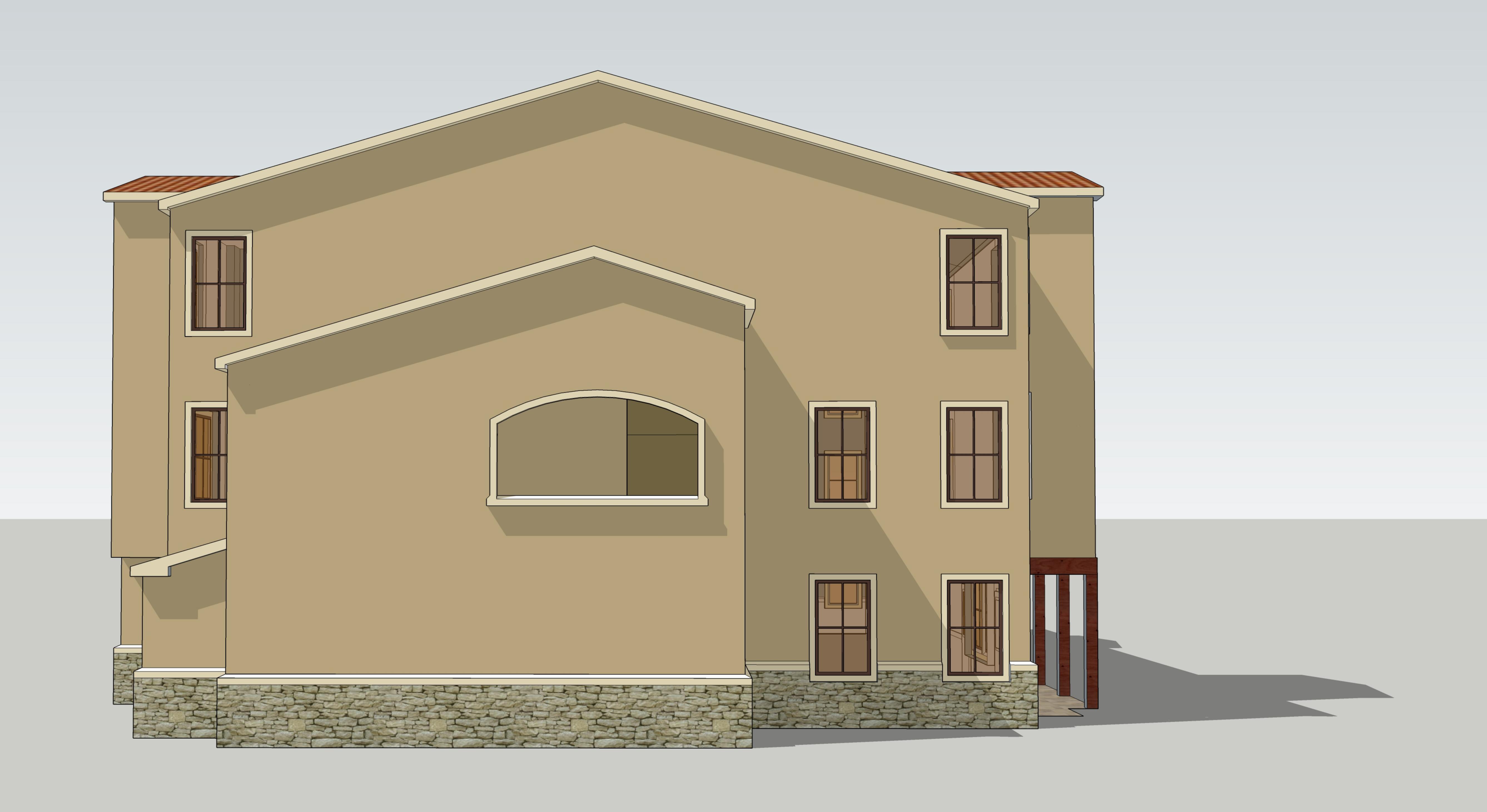


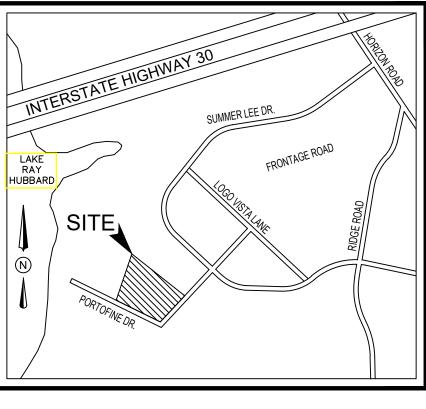












INCLUDE RAIN AND FREEZE SENSORS.

OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE NOTES

STRUCTURES.

UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS.

6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN

VICINITY OF UNDERGROUND UTILITIES.

LANDSCAPE AND IRRIGATION PERMITS.

-CB=S 42°42'25" E

PORTOFINO DRIVE

(60' RIGHT-OF-WAY) VOL. 382, PG. 205 O.P.R.R.C.T.

┌S 4,6°31'49",É

o' ENSERCH EASEMENT

VOL. 1238

PG. 105

23.17'

SIGNAL RIDGE NO. 2 CAB. B, PG. 73

O.P.R.R.C.T.

-EXISTING RETAINING WALL

SANITARY SEWER EASEMENT

CAB. E, SLIDE 113

−N 46°48'12" W

24.33'

W/ WROUGHT IRON FENCE

CL=102.57'

D=169°28'59"

R=51.50'

L=152.34'

CONCRETE PAVEMENT

-√¶ERED

RETAINING

√ WALL

RIM=492.30'

10'x10' UTIL. ESMT. — CAB. G, PG. 31 O.P.R.R.C.T.

-5' WATERLIN<mark>E</mark>

EASEMENT

SLIDE 113

CAB. E,

 $NE-8''_1FL=480.90'$

 $NW-6''_1$ FL=481.1

EXISTING

CONCRETE PAVEMENT

10' x 10' ─\ UTILITY

EASEMENT

VARIABLE -WIDTH UTILITY

EASEMENT

CURB INLET -

TOP = 467.84'18" FL=463.09'

EXISTING

PAVEMEN

STMMH-

FL=

RIM = 466.90

N 8<mark>1°20'27" W 625.18'</mark>

FXISTING RETAINING WALL -W/ WROUGHT IRON FENCE

10' x 10'. UTILITY

EASEMENT

EXISTING BUILDING

FFE=483.77

EXISTING BUILDING

FFE=485.77

11 11 11 11 11 11 11 11 11

-EXISTING STONE RETAINING WALL

HEIGHT

11 95'

EXISTING

GARAGE

CONCRETE

PAVEMENT

EXISTING STONE RETAINING WALL

W/ WROUGHT IRON FENCE

- WALL HEIGHT 8.85'

PROPOSED

3-STORY

/4,425 S.F.

FF=491.15

BUILDING-2

SOLID SOD BERMUDA GRASS

TYPICAL FOR ALL TURF AREAS

(PER AS-BUILTS)

HEIGHT

SOLID SOD BERMUDA GRASS TYPICAL FOR ALL TURF AREAS

0.6676 AC

(29,083 S.F.)

24' FIRELANE, UTLITIY,

DRAINAGEI & ACCESS_

ESMT. (CAB. | G, PG. | 31)

SIGNAL RIDGE NO. 3

CAB. B, PG. 89 O.P.R.R.C.T.

PROPOSED

3-STORY

BUILDING-1

24,225 S.F.

FF=471.40

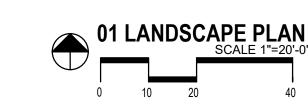
RIM = 480.76'

W-8" FL=4____'

E-8" FL=4____

TREES							
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS		
CM LO	6 6	Crepe Myrtle 'Dallas Red' Live Oak	Lagerstroemia indica 'Dallas Red' Quercus virginiana	6' ht. 3" cal.	container, 3 or 5 trunks, 4' spread min.,tree for container, 13' ht., 5' spread, 5' clear straight k		
SHRUBS							
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS		
DYH IH LOR NPH	14 11 24 27	Dwarf Yaupon Holly Indian Hawthorn 'Clara' Loropetalum 'Ruby' Needlepoint Holly	llex vomitoria 'nana' Rhaphiolepis indica 'clara' Loropetalum chinensis 'Ruby' llex cornuta "Needlepoint'	5 gal. 5 gal. 5 gal. 5 gal.	container, 18" ht., 18" spread container, 20" ht., 20" spread container, 20" ht., 20" spread container, 24" ht., 20" spread		
GROUNI TYPE	OCOVERS QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS		
		'419' Bermudagrass	Cynodon dactylon '419'		Solid Sod refer to notes		

material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



LANDSCAPE ARCHITECT STUDIO GREEN SPOT, INC. 1784 W. McDERMOTT DR. SUITE 110 ALLEN, TEXAS 75013 (469) 369-4448 CHRIS@STUDIOGREENSPOT.COM



A PORTOFINO DRIVE ROCKWALL, TEXAS AKE AT EDGE **WATER'S**

HUBBARD

ISSUE: FOR APPROVAL 11.21.2019

DATE: 11.21.2019

SHEET NAME: LANDSCAPE PLAN

SHEET NUMBER:

L .

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- . Planting (trees, shrubs, and grass) Bed preparation and fertilization
- Notification of sources 4. Water and Maintenance until final acceptance

1.3 REFERENCE STANDARDS

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

1.000) square feet

C. Grass Areas:

3.2 INSTALLATION

All planting areas shall be conditioned as follows:

batter board against the bed areas.

Guarantee

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on
- Product Data: Submit complete product data and specifications on all other specified
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.

Landscape Contractor to inspect all existing conditions and report any deficiencies to the

Prepare new planting beds by scraping away existing grass and weeds as necessary.

compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer

such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand

Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of

3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported

1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint,

topsoil where they are evidently gaped open, then watered thoroughly.

(staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with

2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass

Maintenance of plant materials shall begin immediately after each plant is delivered to the

site and shall continue until all construction has been satisfactorily accomplished.

Plant materials shall be delivered to the site only after the beds are prepared and area

ready for planting. All shipments of nursery materials shall be thoroughly protected from

the drying winds during transit. All plants which cannot be planted at once, after delivery

to the site, shall be well protected against the possibility of drying by wind and sun. Balls

of earth of B & B plants shall be kept covered with soil or other acceptable material. All

Notify the Landscape Architect for inspection and approval of all positioning of plant

depth that, when planted and settled, the crown of the plant shall bear the same

relationship to the finish grade as it did to soil surface in original place of growth.

Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to

permit handling and planting without injury to balls of earth or roots and shall be of such

plants remain the property of the Contractor until final acceptance.

Position the trees and shrubs in their intended location as per plan.

seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8'

topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc.,

2. All planting areas shall receive a two (2") inch layer of specified mulch.

placed in nine (9") inch layers and watered in thoroughly.

Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

Maintenance:

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.

4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

this section.

should be thoroughly moist before removing containers.

- 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such
- cases, the opinion of the Owner shall be final. a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a
- twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately b. At the direction of the Owner, plants may be replaced at the start of the next
- year's planting season. In such cases, dead plants shall be removed from the premises immediately. c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of

Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than

the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension.

Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants

the surface of the ground. The sides of the hole should be rough and jagged, never slick

Percolation Test: Fill the hole with water. If the water level does not percolate within 24

Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When

the hole is dug in solid rock, topsoil from the same area should not be used. Carefully

as well as all nylon, plastic string and wire mesh. Container trees will usually be pot

settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball,

hours, the tree needs to move to another location or have drainage added. Install a PVC

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications
- 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and
- 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs,
- branching habit, insects, injuries, and latent defects. 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

4" DIA. PERFORATED

PVC PIPE W/ CAP -

PAINTED BLACK

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.

2X DIAMETER

OF ROOTBALL

TREE PLANTING DETAIL

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored
- 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves.
- Keep plants moist at all times. Cover all materials during transport.
- 5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
- 6. Remove rejected plant material immediately from site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, Measured six (6") inched above ball. Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

A = ROW SPACING

B = ON CENTER SPACING

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

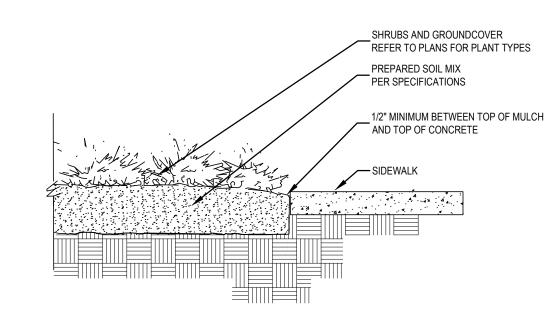
- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam
- containing Dallasgrass or Nutgrass shall be rejected. 2. Physical properties as follows:
 - Clay between 7-27 percent Silt - between 15-25 percent
- Sand less than 52 percent
- 3. Organic matter shall be 3%-10% of total dry weight. 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

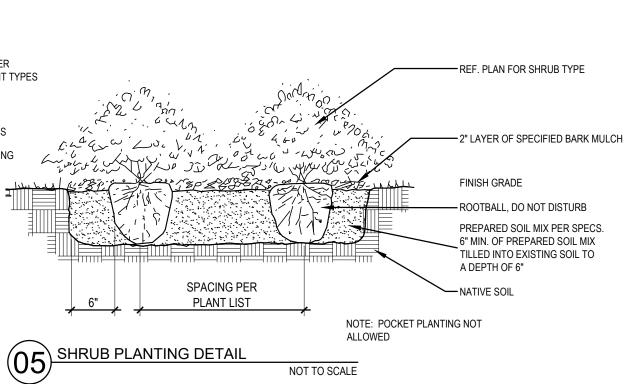
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened
- containers, each bearing the manufacturer's guaranteed statement of analysis. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum
- 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron,
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

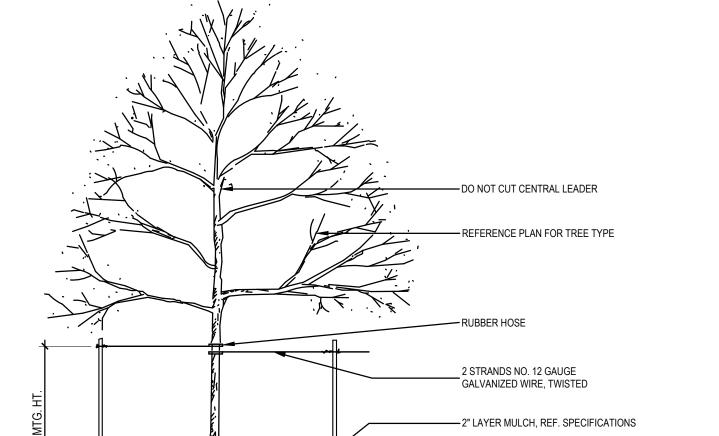
2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 - 1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green. 2. Wire: 12 gauge, single strand, galvanized wire. 3. Rubber hose: 2 ply, fiber reinforced hose, minimum $\frac{1}{2}$ inch inside diameter. Color:
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.









NOT TO SCALE

— 2" HIGH WATERING RING

(3) METAL T-POST PAINTED

GREEN TRIANGULAR SPACING.

FINISH GRADE SCARIFY SIDES

ROOTBALL, DO NOT DISTURB. TOP

OF ROOTBALL TO BE SET 1" ABOVE

- NATIVE SOIL, REF. SPECIFICATIONS

NOTE: LOCATE STAKES OUTSIDE

OF TREE WELL. POSITION STAKES

TO SECURE TREE AGAINST SEASONAL

- CRUSHED ROCK

PREVAILING WINDS.

EXISTING GRADE. REMOVE TOP 1/3 BURLAP.

bound, if so follow standard nursery practice of 'root scoring'.

- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") nches over the entire bed or pit

Do not wrap trees.

Do not over prune.

- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
 - Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association

. Dead wood or suckers and broken badly bruised branches shall be removed. General

- tipping of the branched is not permitted. Do not cut terminal branches Pruning shall be done with clean, sharp tools.
- . Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material Steel Curbing Installation:
- 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and
- obtain Owners approval prior to installation. All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be 3/4" maximum height above grade. Stakes are to be installed on the planting bed side of the curbing, as opposed to the
- Do not install steel edging along sidewalks. 3. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION

SPACE PLANTS IN A TRIANGULAR PATTERNAS SHOWN, SPACED EQUALLY FROM EACHOTHER AT SPACING INDICATED ON PLANT LIST. 2" MULCH DOUBLE SHREDDED HARDWOOD MULCH IN BED PRIOR TO -PLANTING GROUNDCOVER/ANNUALS. PREPARE GROUNDCOVER RED BY TILLING ENTIRE RED-AREA. PROVIDE SOIL MIX EFINED IN THE LANDSCAPE GROUNDCOVER PLANTING DETAIL

SHRUBS AND GROUNDCOVER REFER TO PLANS FOR PLANT TYPES PREPARED SOIL MIX PER SPECIFICATIONS - MULCH PER SPECIFICATIONS 1/8" X 4" GREEN STEEL EDGING WITH STAKES ─ 1/2" MAXIMUM NOTE: NO STEEL EDGING TO BE INSTALLED ALONG SIDEWALKS

(04) STEEL EDGING DETAIL NOT TO SCALE

ISSUE: FOR APPROVAL 11.21.2019

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AKE

A

GE

S

WATER

STUDIO GREEN SPOT. INC

1784 W. McDERMOTT DR.

SUITE 110

ALLEN, TEXAS 75013

(469) 369-4448

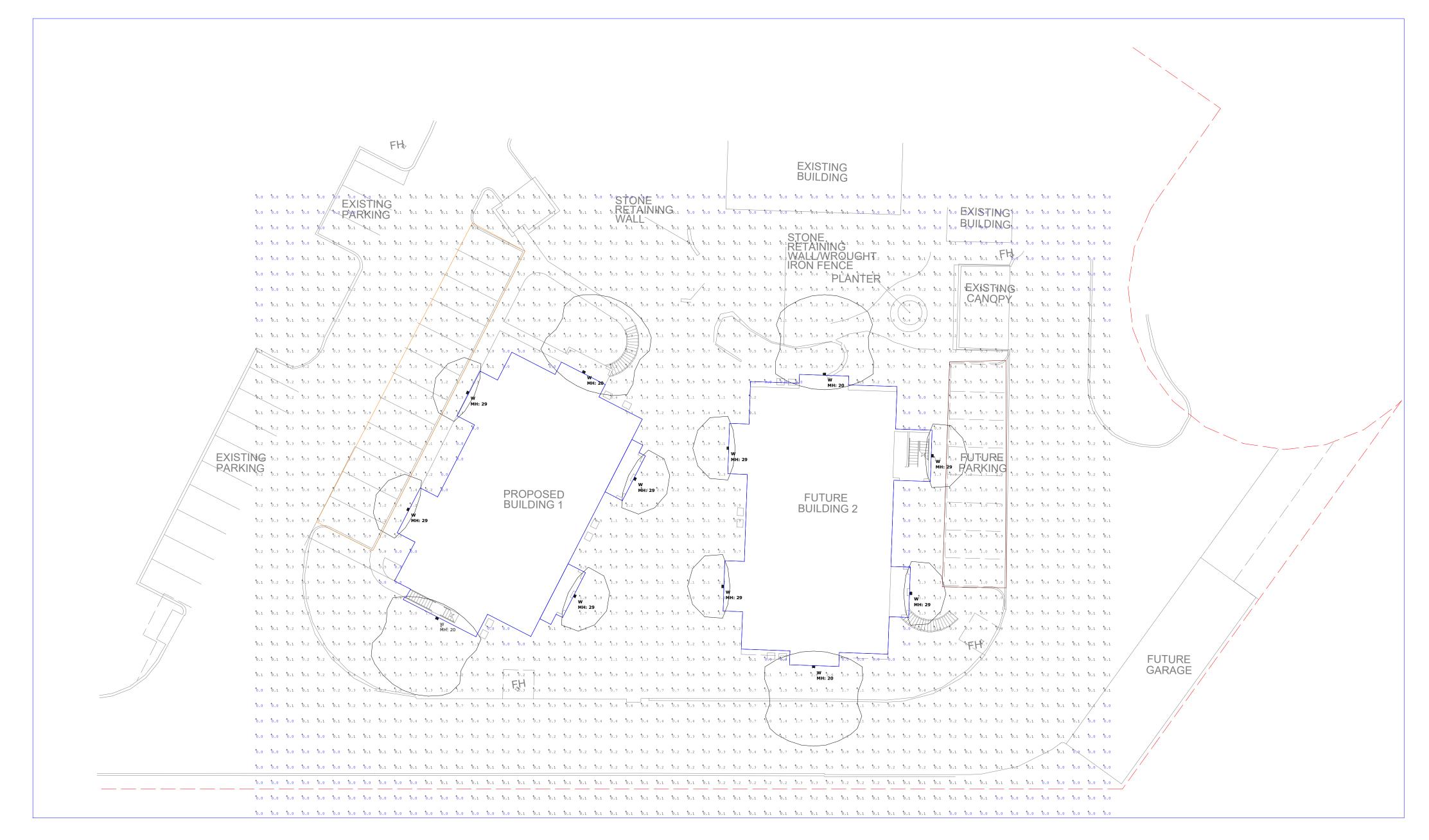
CHRIS@STUDIOGREENSPOT.COM

DATE:

11.21.2019

SHEET NAME: LANDSCAPE SPECIFICATIONS

SHEET NUMBER:



Luminaire Sched	ule						
Symbol Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
→ W	12	LITHONIA WDGE2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH	3214	22.55	1.000	0.808	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.53	2.9	0.0	N.A.
PARKING1		Fc	0.83	1.4	0.1	8.30
PARKING2		Fc	0.90	1.4	0.3	3.00

PARKING1

Illuminance (Fc)
Average = 0.83

Maximum = 1.4

Minimum = 0.1

Avg/Min Ratio = 8.30

Max/Min Ratio = 14.00

Illuminance (Fc)
Average = 0.90
Maximum = 1.4
Minimum = 0.3
Avg/Min Ratio = 3.00
Max/Min Ratio = 4.67

PARKING2

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH."

4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.

7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

FILE: 191210_WATERS EDGE AT LAKE RAY HUBBARD_V3

City of Rockwall



12/13/2019 AG

12/19/2019 DG

Project Plan Review History

MIKE DAUL

ROSS RAMSAY

Owner

Applicant

Project Number Project Name

SP2019-050

315 Ranch Trail

SITE PLAN

Subtype

Type

P&Z HEARING Status

Site Address

City, State Zip

315 RANCH TRAIL ROCKWALL, TX 75032

Subdivision **RAINBOW ACRES** Tract 17

Block

Lot No 17

Parcel No

General Plan

Applied

Closed

Expired

Status

Zoning

Approved

4720-0000-0017-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	ed Status	Remarks
BUILDING	Russell McDowell	12/13/2019	12/20/2019	12/18/2019	5	APPROVED	
ENGINEERING	Sarah Johnston	12/13/2019	12/20/2019	12/19/2019	6	COMMENTS	See markup

(12/19/2019 2:32 PM SJ)

- M Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4
- M Must dimension the distance from the driveways to the nearest driveway on either side Standards of Design 2.6
- M Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.20
- M Driveways must be tied in at a 90-degree angle. Standards of Design 2.6
- M No dead end parking is allowed. Must have a 15'x64' turnaround. Standards of Design and Construction 2.20.
- M No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3
- M All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30'min. Standards of Design 2.20
- M Driveway radii to be 30' min. Standards of Design 2.20
- M No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3
- M All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11
- M Must show existing utilities and your planned service connections.
- M Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3
- M Retaining walls in detention require a variance Standards of Design3.4.4
- M Must stub out the 8" water and 8" sewer to the northern property for future expansion Standards of Design 5.1.2
- M All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20.
- M No structures in easements.
- M Driveway spacing is 100' min on Ranch Trail Must receive a variance from Planning and Zoning if you can't meet the spacing. Standards of Design and Construction 2.6.
- M Must bring sewer to all buildings and back lot.
- M Must install 5' sidewalk along Ranch Trail Standards of Design and Construction 2.3.
- M Must expand Ranch Trail as shown with curb and gutter streets Standards of Design and Construction 2.3.
- M Dumpster area to drain to oil/water separator or grease trap.
- M Must meet all standards of design and construction

The following is for your information for engineering design

- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- Fire lane easement to be on plat. (i)
- 8" water available across Ranch Trl Must loop 8" waterline in site. Full panel concrete replacement required (i)
- 8" sewer in Ranch Trl (i)
- How are the existing buildings getting sewer service? (i)
- Must have full panel concrete replacement for Ranch Trail where the water lines are tying in (i)
- Sewer Pro-Rata of \$94.41 per acre.
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Must have detention. Manning's "c-value" is for any new impervious areas. (i)
- Detention outfall must reach sheet flow conditions prior to crossing the property line (i)
- Engineering review fees apply (i)
- Must meet all Standards of Design and Construction

FIRE Ariana Hargrove 12/13/2019 12/20/2019 12/19/2019 6 APPROVED

Project Reviews.rpt Page 2 of 5

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	d Status	Remarks
GIS	Lance Singleton	12/13/2019	12/20/2019	12/17/2019	4	APPROVED	See comments
(12/20/2019 8:37 A	M LS)						
New buildings addr	es will need to be 351 Ra	nch Trail to ke	eep it in rang	e with area devel	opmen	its.	
PLANNING	David Gonzales	12/13/2019	12/20/2019	12/19/2019	6	COMMENTS	See comments

Project Reviews.rpt Page 3 of 5

(12/19/2019 2:11 PM DG)

SP2019-050: Site Plan for 315 Ranch Trail

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a site plan for an industrial building in an existing multitenant industrial park on a 9.52-acre tract of land identified as Lots 17 & 17-1, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 295, 315, 339, 327 & 331 Ranch Trail
- 1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (SP2019-050) in the lower right-hand corner of all pages of all revised plan submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), and the Development Standards of Article V, that are applicable to the subject property.
- I.5 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Section 3, of Article IX, of the UDC):

- 1) 1) Provide a Legend/Data Table that indicates a graphical representation of the utilities(i.e. fire hydrants, man holes, fencing, etc.) and all easements. (Sec. 3, Art. IX, UDC)
- 2) Indicate and label the widths of all sidewalks existing and proposed for the site (Sec. 3, Art. IX, UDC)3) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loadingareas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (Sec. 5.03(C), Art. VI, UDC)
- 4) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director as depicted in application package (Sec. 3, Art. IX, UDC)
- 5) Delineate and label minimum five (5)-foot sidewalk along Ranch Trail (Sec. 3, Art. IX, UDC)
- 6) Indicate the distance between all existing and planned buildings located on the site (Sec. 3, Art. IX, UDC)
- 7) Indicate all building setbacks adjacent to right-of-way. Minimum required is 15-feet. (Subsection 7.03, Art. V, UDC)
- 8) Indicate the street centerline for all existing and proposed streets (Sec. 3, Art. IX, UDC)
- 9) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department). (Sec. 5.03(C), Art. VI, UDC)
- 10) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure. (Sec. 1.05.3, Art. V, UDC). Indicate all units on site plan.
- 11) Provide detail of the proposed covered parking structure (Sec. 3, Art. IX, UDC)
- 12) Relabel Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement." (Chapter 38, Municipal Code of Ordinances)

M.8 Landscape Plan. Landscape Plan required. Not submitted with site plan package. (Sections 2&3, Art. VIII, UDC).

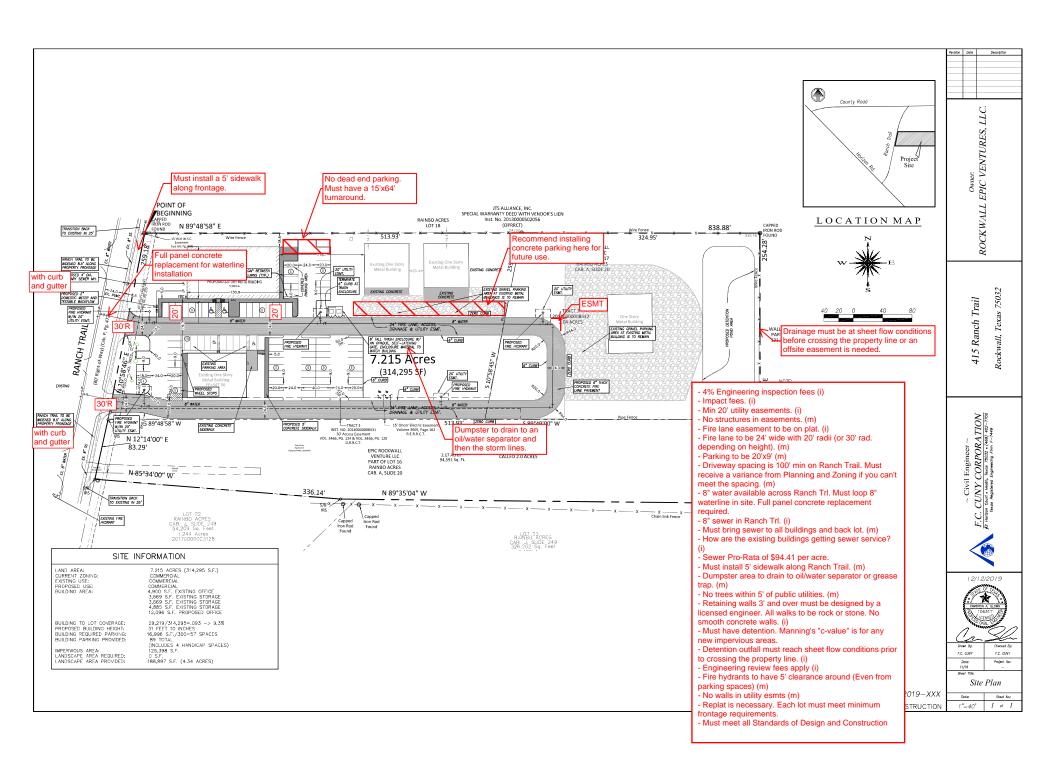
Project Reviews.rpt Page 4 of 5

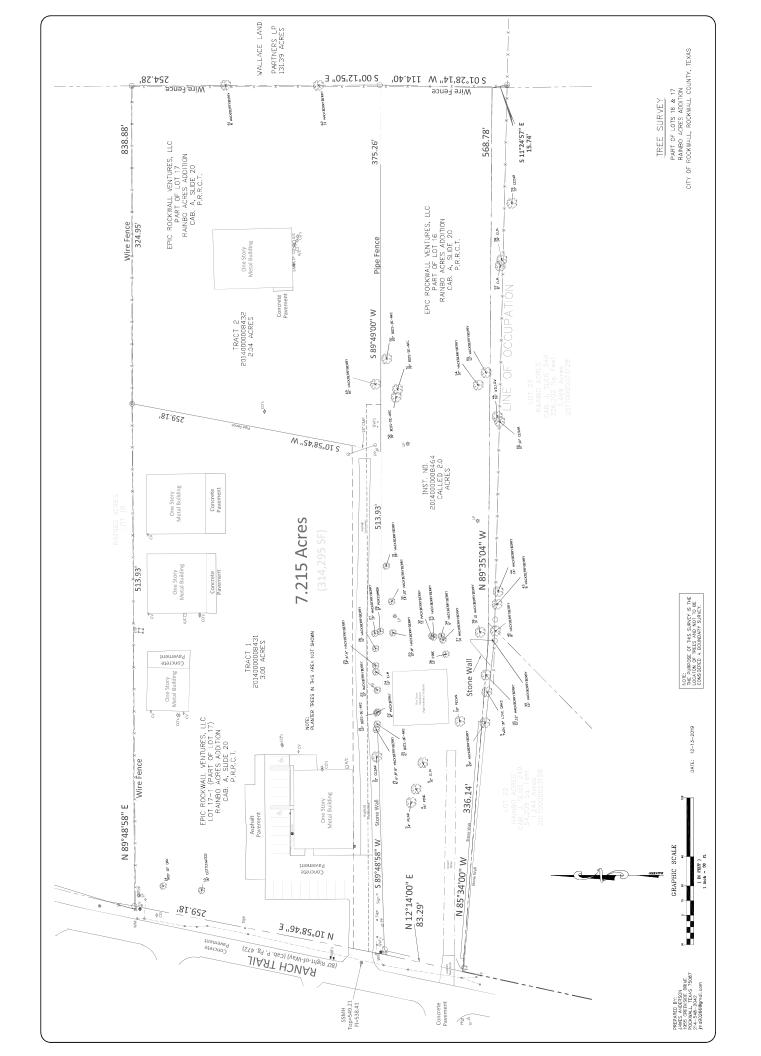
- 1.9 Treescape Plan. No trees being removed from site per applicant, therefore, no plan required.
- I. 8 Photometric Plan. The plan as submitted meets the intent of the Section 3, of Article VII, of the UDC.
- M.7 Building Elevations. Please review the articulation formulas contained in Subsection 4.01.C, of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear meet all the formulas required for building articulation regarding [1] Primary Building Facades & [2] Secondary Building Facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). Based on submittal, this requires a request for an exception to the Building Architectural Standards of Section 9.01, of Article XI, of the UDC. (Subsection 4.01(C), Art. V, UDC)
- I.11 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey al of the required elements to the City's boards and commissions:
- 1) If applicable, indicate all RTU units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05(3); Art. V; UDC).
- M.10 Based on the submittal staff has identified the following variances
- 1) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC

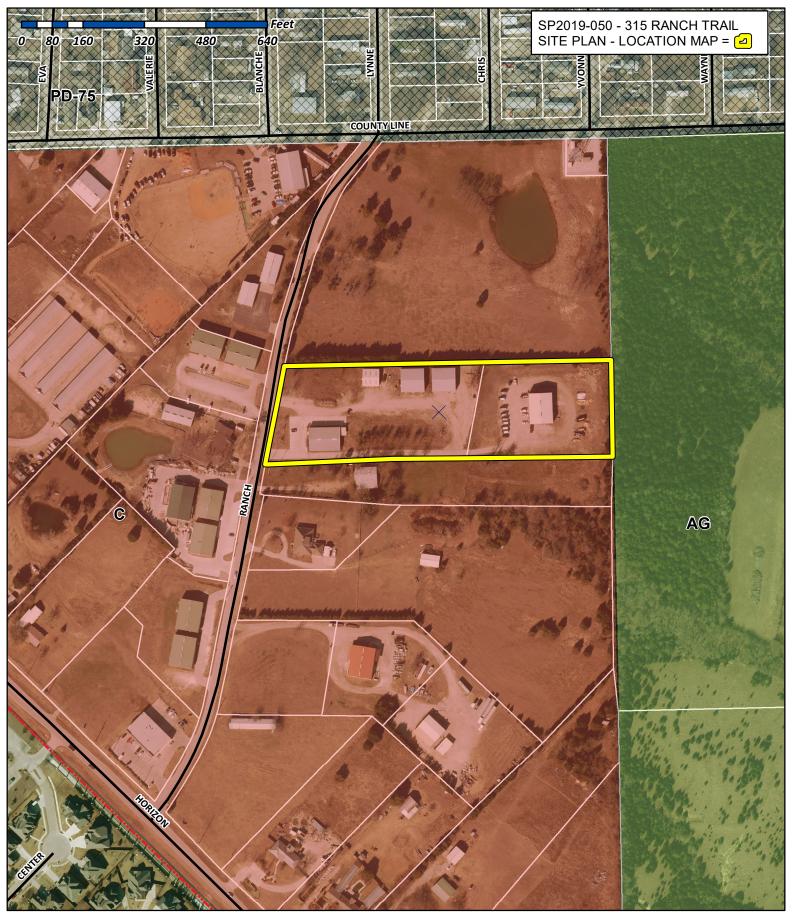
To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of tw(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.

- I.11 Please note that failure to address all comments provided by staff by3:00 PM on January 7, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit thecase.
- I.12 Staff has identified the aforementioned items necessary to continue the submittal process Pleasemake these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 14, 2019 Planning & Zoning Meeting.
- ** Please note that the Planning & Zoning Work Session meeting will be held on December 30, 2019.
- I.12 The Architectural Review Board (ARB) meeting will be held on December 30, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission
- I.13 Staff recommends that a representative be present for the meetings as scheduled above The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.

Project Reviews.rpt Page 5 of 5









City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Platting Application Fees:

[] Master Plat (\$100.00 + \$15.00 Acre) 1

Notary Public in and for the State of Texas

] Preliminary Plat (\$200.00 + \$15.00 Acre) 1

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SPZOL9 -050.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

My Commission Expires 0 2-25-20 21

DIRECTOR OF PLANNING:

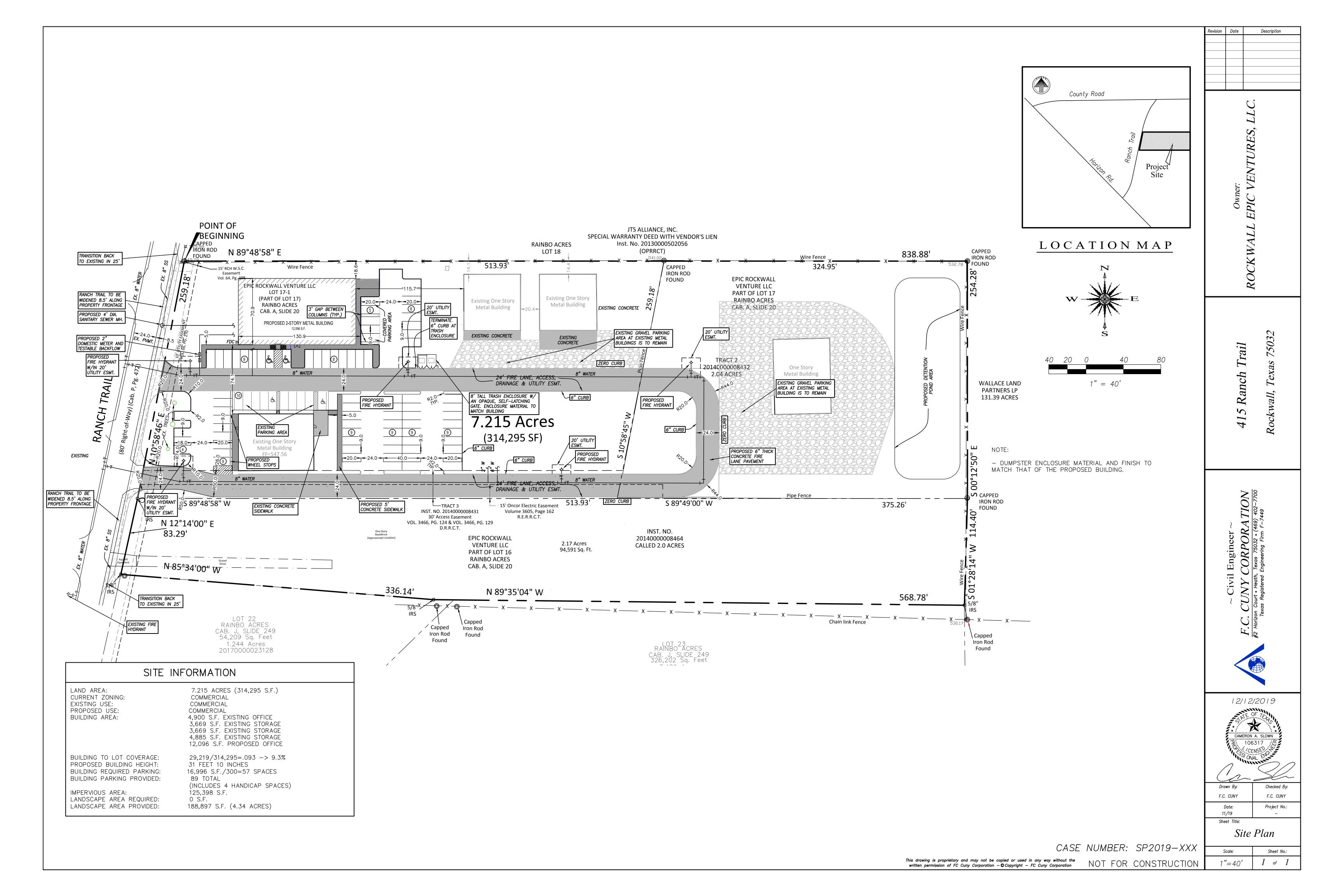
[] Zoning Change (\$200.00 + \$15.00 Acre) 1

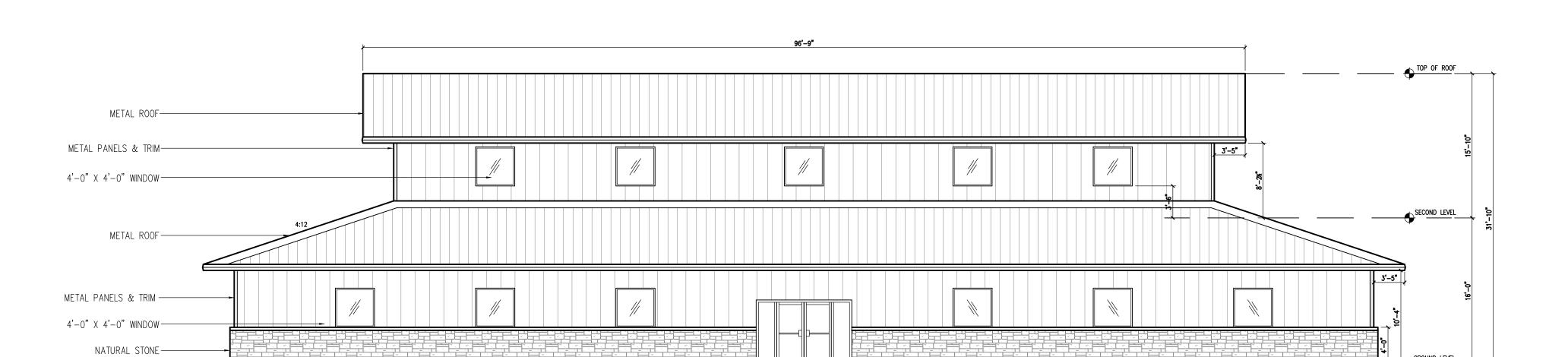
CITY ENGINEER:

Zoning Application Fees:

Please check the appropriate box below to indicate the type of development request [SEL	ELECT ONLY ON	IE BOX]:
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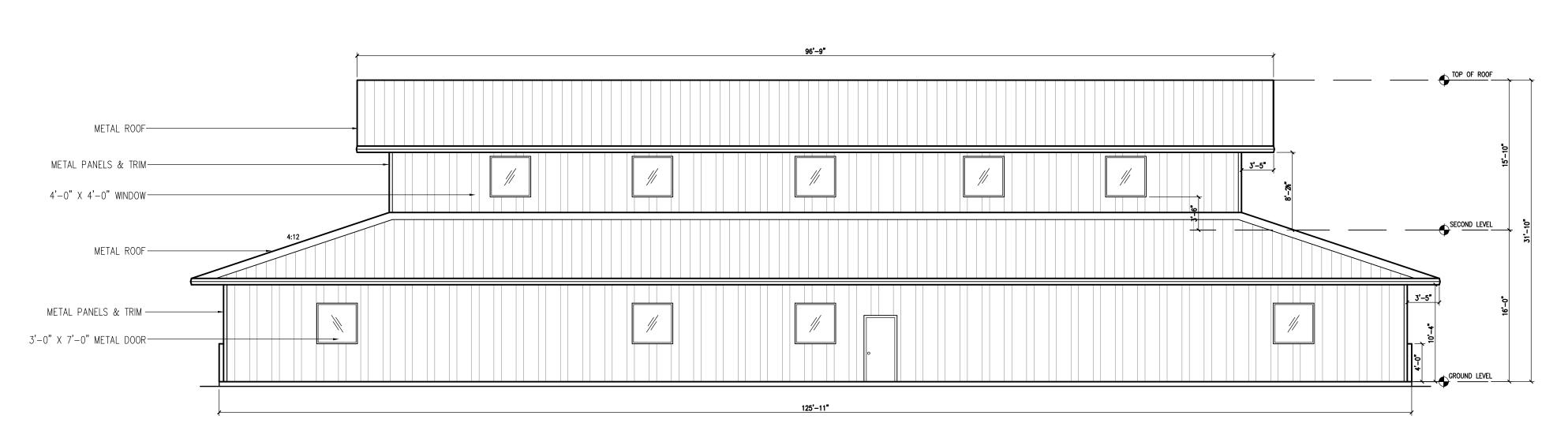
[] Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ [] Final Plat (\$300.00 + \$20.00 Acre) ¹ [] Replat (\$300.00 + \$20.00 Acre) ¹ [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	[] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.
PROPERTY INFORMATION [PLEASE PRINT]	
Address Kanch Trail	Rochuall Tx 75032
Subdivision Resimbon Acres	Lot 17 Block
General Location	
ZONING, SITE PLAN AND PLATTING INFORMATION [PL	EASE PRINT]
Current Zoning Commercia	Current Use
Proposed Zoning Commercial	Proposed Use Office
Acreage 7,215 Lots [Curren	
[] <u>SITE PLANS AND PLATS</u> : By checking this box you acknowledge that due	to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approval
process, and failure to address any of staff's comments by the date provide OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT]	
1 Jowner Epic Rockwall Vantures	[] Applicant PAM Sam Pam and 1 years
Contact Person Wika Da Vi	[] Applicant RGM SAID & RENCS LLC Contact Person RSSS RGMSAM
Address 315 Remoh Trail	Address 2235 Ridiza Road
	=33 K101 TE (2003)
City, State & Zip ROCKWAN TY 75032	City, State & Zip Rockwan Ty 75087
Phone 469-774-261/	City, State & Zip Rockwan Tx 75087 Phone 469-792 8869
E-Mail mdas/Esnapmga.co	E-Mail Y ramson e yoho, com
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared this application to be true and certified the following:	[Owner] the undersigned, who stated the information on
triat the City of Rockwall (i.e. "City") is authorized and permitted to provide infor	ition submitted herein is true and correct; and the application fee of \$\frac{390.00}{0.00}\$, to 16.7 day of \frac{10.000}{0.000}\$ (eq. 10.00). By signing this application, I agree mation contained within this application to the public. The City is also authorized and this application, if such reproduction is associated or in response to a request for public
Given under my hand and seal of office on this the 16% day of Doce	
Owner's Signature	IDS 1 0 7 8 4 0 4 - 7 COMM. EXP. 02-28-2021





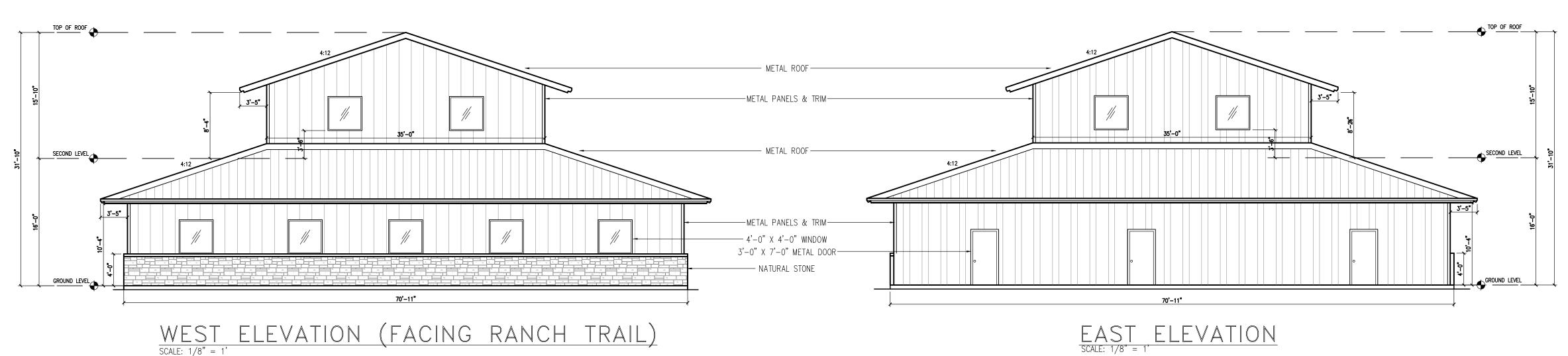
MATERIAL USAGE (%) - SOUTH								
ITEM	BRAND / COLOR	AREA S.F.	PERCENT					
ELEVATION AREA		1,779						
DOORS & WINDOWS (DEDUCTED)		249						
ACCOUNTABLE AREA		1,530	100%					
NATURAL STONE		423	28%					
INSULATED METAL PANELS		1,107	72%					

SOUTH ELEVATION SCALE: 1/8" = 1'



MATERIAL US	MATERIAL USAGE (%) - NORTH							
ITEM	BRAND / COLOR	AREA S.F.	PERCENT					
ELEVATION AREA		1,779						
DOORS & WINDOWS (DEDUCTED)		170						
ACCOUNTABLE AREA		1,003	100%					
INSULATED METAL PANELS		1,003	100%					

NORTH ELEVATION SCALE: 1/8" = 1'



SITE SUMMARY - LIG	HT INDUSTRIAL	
DESCRIPTION		LOT PERCEN ^T AGE
LOT	314,295 S.F.	100 %
IMPERVIOUS	125,398 S.F.	39.9%
PROPOSED BUILDING	12,139 S.F.	3.9%
EXISTING OFFICE	4,900 S.F.	1.5%
EXISTING STORAGE	3,669 S.F.	1.2%
EXISTING STORAGE	3,669 S.F.	1.2%
EXISTING STORAGE	10,900 S.F.	3.4 %
PAVEMENT AREA	41,897 S.F.	43.5 %
PERVIOUS		60.1 %
LANDSCAPE AREA	188,897 S.F.	32.5 %
BUILDING TO LOT COVERAGE	29,219 / 314,295	9.3 %
MAX. BUILDING HEIGHT PROPOSED	31'-10"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,996 S.F.	57
PARKING PROVIDED	4 H.C.	57

WEST	ELEVATION ((FACING	RANCH	TRAIL)
SCALE: $1/8$ " = 1'				,

MATERIAL USAGE (%) - WEST							
ITEM BRAND / COLOR AREA S.F. PERCENT							
ELEVATION AREA		1,041					
DOORS & WINDOWS (DEDUCTED)		95					
ACCOUNTABLE AREA		946	100%				
NATURAL STONE		221	23%				
INSULATED METAL PANELS		725	77%				

MATERIAL USAGE (%) - EAST							
ITEM BRAND / COLOR AREA S.F. PERCENT							
ELEVATION AREA		1,041					
DOORS & WINDOWS (DEDUCTED)		112					
ACCOUNTABLE AREA		929	100%				
INSULATED METAL PANELS		929	100%				

VENTURES,

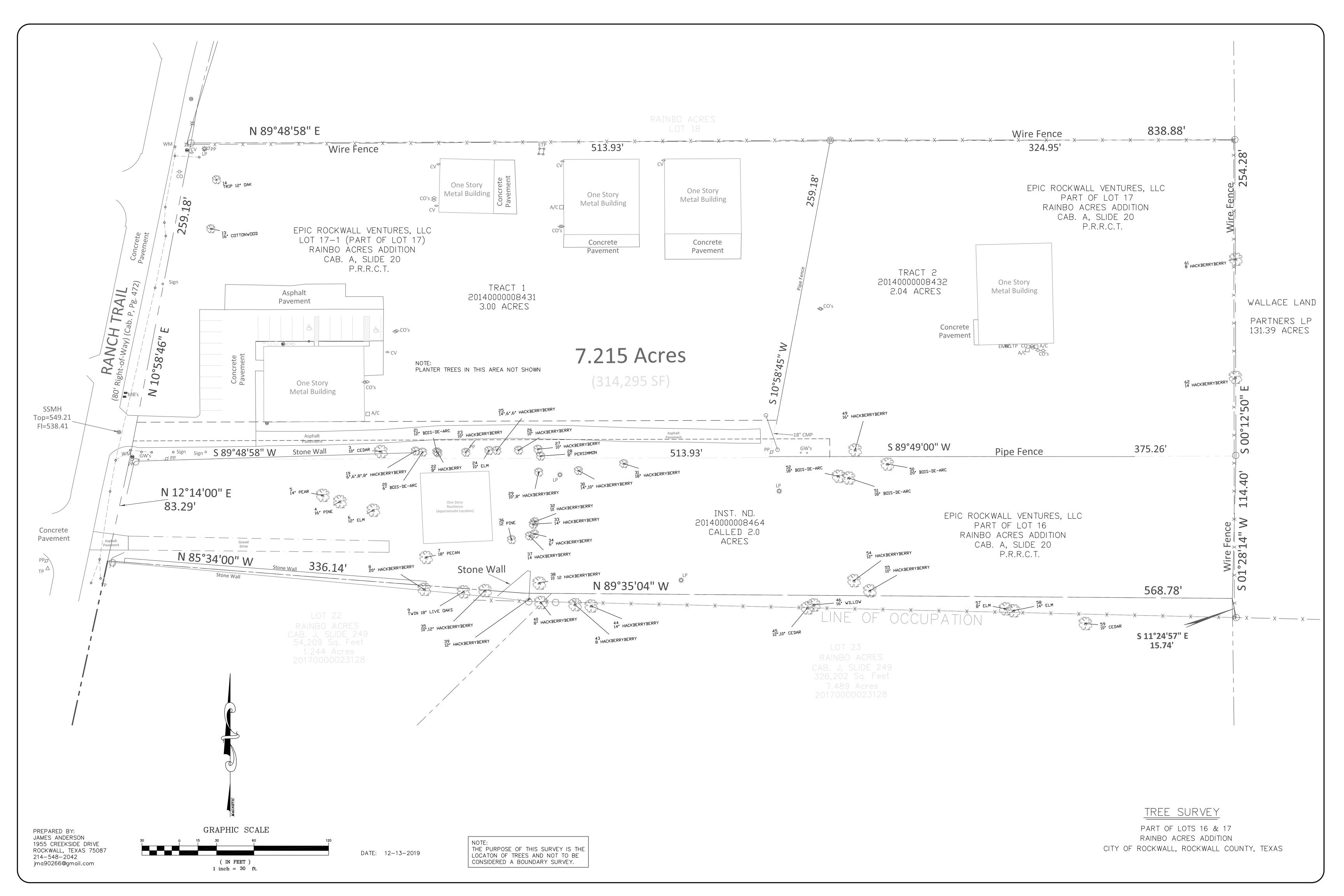
415 RANCH TRAIL ROCKWALL, TEXAS 75032 ROCKWALL

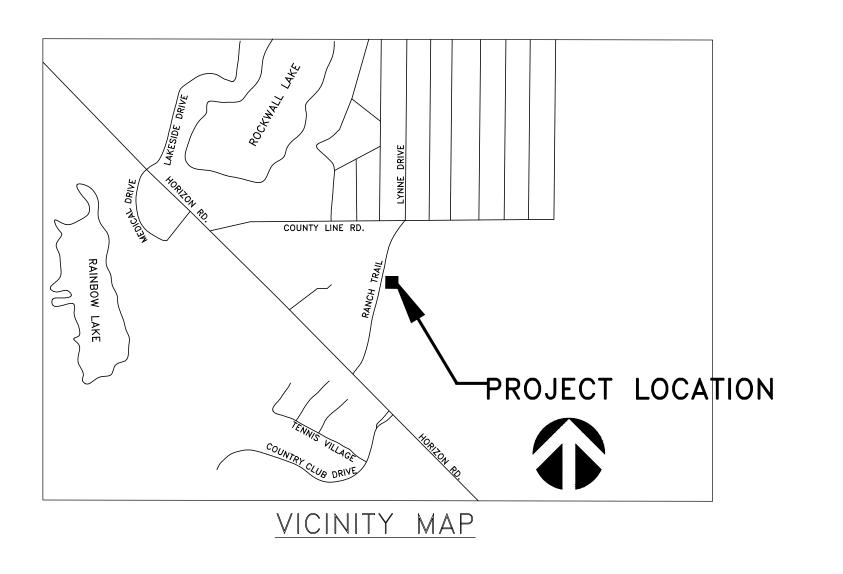
PROJECT No. CHECKED BY 12/13/19 1/8"=1'-0" SHEET NO.

DRAWING NAME:

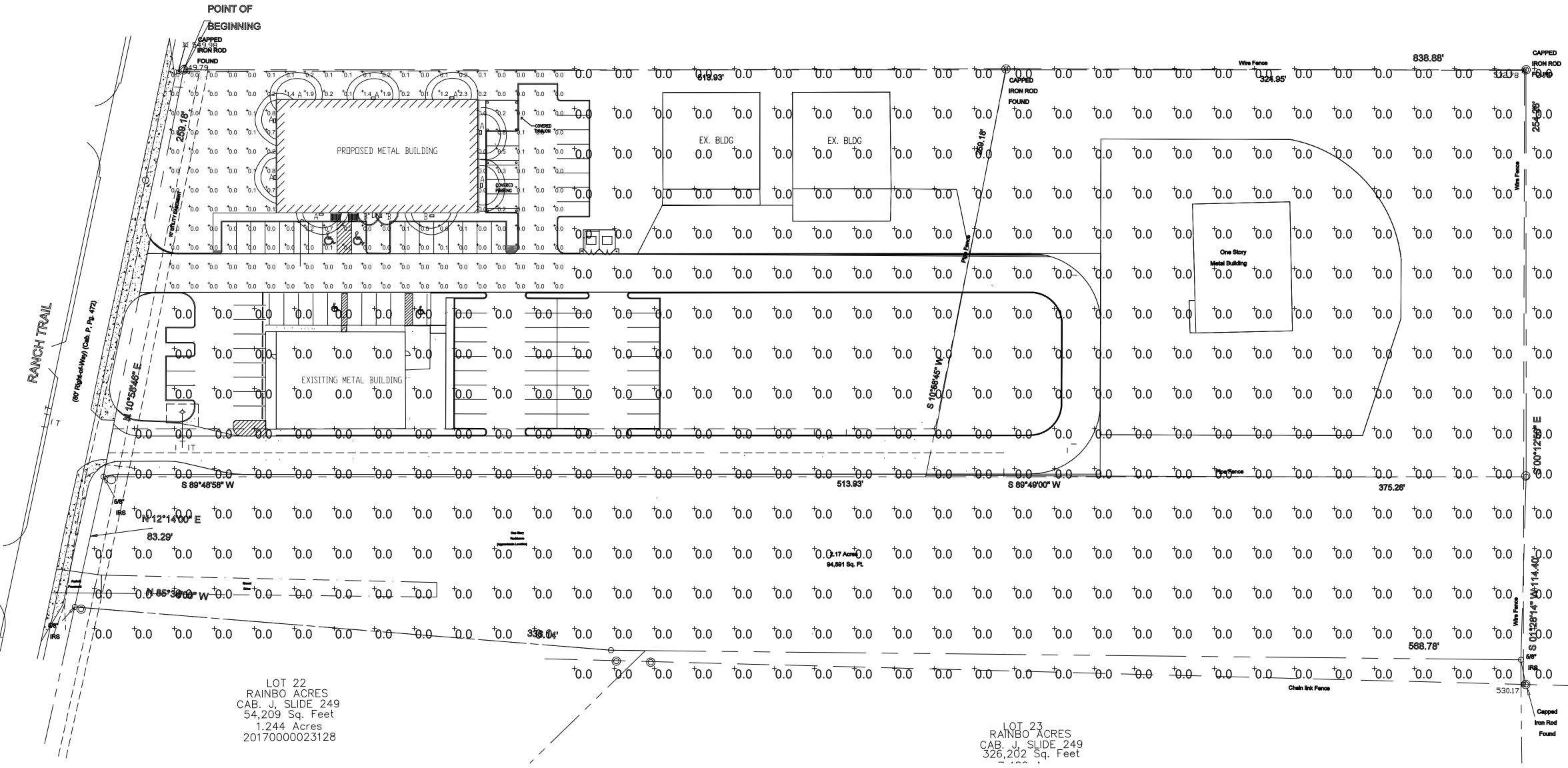
BUILDING ELEVATION

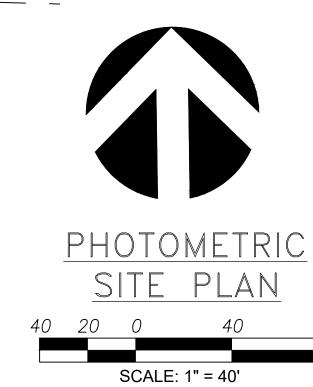






SITE SUMMARY - LIG	HT INDUSTRIAL	
DESCRIPTION		LOT PERCEN AGE
LOT	314,295 S.F.	100 %
IMPERVIOUS	125,398 S.F.	39.9%
PROPOSED BUILDING	12,139 S.F.	3.9%
EXISTING OFFICE	4,900 S.F.	1.5%
EXISTING STORAGE	3,669 S.F.	1.2%
EXISTING STORAGE	3,669 S.F.	1.2%
EXISTING STORAGE	10,900 S.F.	3.4 %
PAVEMENT AREA	41,897 S.F.	43.5 %
PERVIOUS		60.1 %
LANDSCAPE AREA	188,897 S.F.	32.5 %
BUILDING TO LOT COVERAGE	29,219 / 314,295	9.3 %
MAX. BUILDING HEIGHT PROPOSED	31'-10"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,996 S.F.	57
PARKING PROVIDED	4 H.C.	57







& REYES
- MANAGEMENT

ROCKWALL, TEXAS 75032

SHEET NO.

DRAWING NAME:

PHOTOMETRIC

SITE PLAN

11.14.19

1/8"=1'-0"

of

Page 1 of 3

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PROJECT No.

DRAWN BY

CHECKED BY

SHEET NO.

DRAWING NAME:

SCALE

AIL 75032

ANCH TEX

415 F ROCKWALI

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11.14.19 1/8"=1'-0"

of

FIXTURE 'B' **Security**Brands.

g gotham

ONE 150-WATT PAR-38 SPOT INCANDESCENT, 1 LAMP, RATED LUMENS/LAMP: 1740

INPUT WATTAGE: 150 LUMINOUS OPENING: CIRCULAR (DIA: 5.16") TER VALUE: 9 (BF = 1)TER CATEGORY: CYLINDER CIE CLASS: DIRECT 10,268.0 AT HORIZONTAL: 0°, VERTICAL: 0° MAX CD:

VERTICAL BASE-UP POSITION.

ACUITY BRANDS LIGHTING CONYERS LAB

CA6 6"OPEN CYLINDER WITH BLACK MICROGROOVE

SPACING CRITERION: @ 0 = 0.3 / @ 90 = 0.3 **EFFICIENCY:** 74.4% Polar Candela Distribution

CA6 6MB (PAR38/SP)

TEST #:

TEST LAB:

TEST DATE:

CATALOG:

SERIES:

LAMP:

DESCRIPTION:

LAMP OUTPUT:

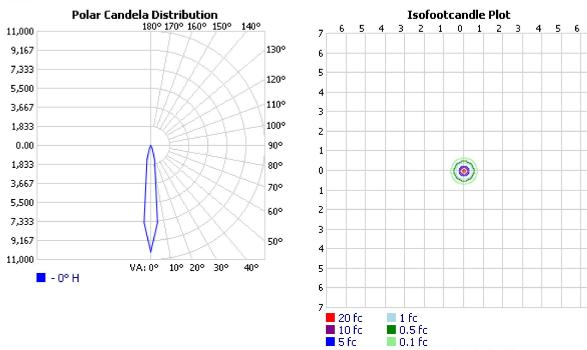
INDOOR PHOTOMETRIC REPORT CATALOG: CA6 6MB (PAR38/SP)

43080

1/31/2008

CA6

CA6 6MB (PAR38/SP)



VISUAL PHOTOMETRIC TOOL 1.2.46 COPYRIGHT 2019, ACUITY BRANDS LIGHTING. THIS PHOTOMETRIC REPORT HAS BEEN GENERATED USING METHODS RECOMMENDED BY THE IESNA. CALCULATIONS ARE BASED ON PHOTOMETRIC DATA PROVIDED BY THE MANUFACTURER, AND THE ACCURACY OF THIS PHOTOMETRIC REPORT IS DEPENDENT ON THE ACCURACY OF THE DATA PROVIDED. END-USER ENVIRONMENT AND APPLICATION (INCLUDING, BUT NOT LIMITED TO, VOLTAGE VARIATION AND DIRT ACCUMULATION) CAN CAUSE ACTUAL PHOTOMETRIC PERFORMANCE TO DIFFER FROM THE PERFORMANCE CALCULATED USING THE DATA PROVIDED BY THE MANUFACTURER. THIS REPORT IS PROVIDED WITHOUT WARRANTY AS TO ACCURACY, COMPLETENESS, RELIABILITY OR OTHERWISE. IN NO EVENT WILL ACUITY BRANDS LIGHTING BE RESPONSIBLE FOR ANY LOSS RESULTING FROM ANY USE OF THIS REPORT. 43080 VISUAL PHOTOMETRIC TOOL

http://www.visual-3d.com/Tools/PhotometricViewer/Default.aspx?GUID=6087be34-571... 11/15/2019

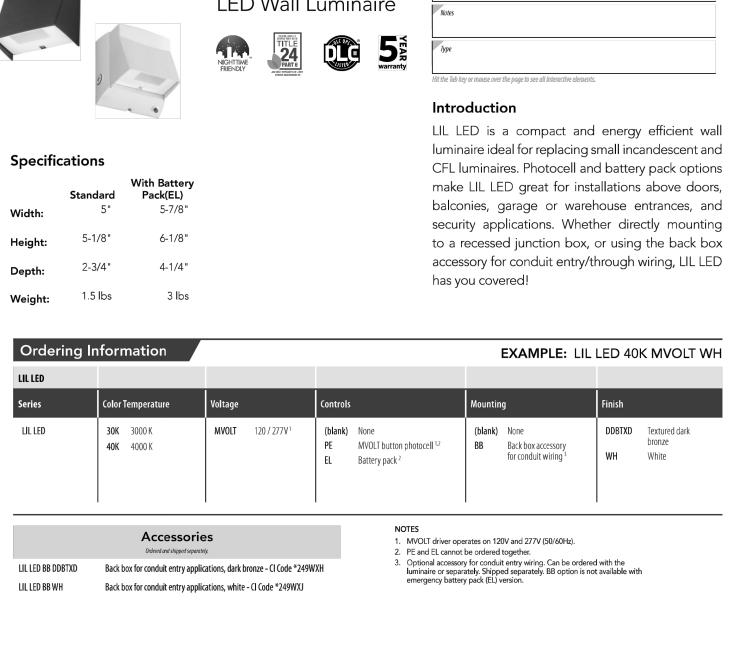
Distance in units of mount height (20ft)

FIXTURES

PUBLISH PAGE 1 OF 3

EXTERIOR

LIGHT



confirm which versions are qualified.

Eligible to be submitted for Title 20 and Title 24 compliance.

5-year limited warranty. Complete warranty terms located at:

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LIL LED

Rev. 08/19/19



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.705.7378 • www.lithonia.com

© 2017-2019 Acuity Brands Lighting, Inc. All rights reserved.

Light engines are available in 3000K and 4000K CCTs. See Lighting Facts label and photometry

LED technology provides long operating life (L70/50,000 hours at 25°C). Electronic drivers have a power factor >90% and THD <20% and a minimum 2.5kV surge rating.

reports for specific fixture performance.

LITHONIA LIGHTING.

COMMERCIAL OUTDOOR

Project Name

City of Rockwall

CRIV SYSTEMS

12/16/2019 AG

Page 1 of 5

Project Plan Review History

Project Number SP2019-051

3150 Horizon Road

Type SITE PLAN
Subtype AMENDING

Status P&Z HEARING

Owner JASON LINSCOTT
Applicant RACHEL GRUBER

Applied
Approved
Closed
Expired

Zoning

Status 12/19/2019 DG

Site Address City, State Zip

3150 HORIZON RD , TX

Subdivision Tract Block Lot No Parcel No General Plan

PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITIOPART OF 22 A PART OF 22 4703-000A-0022-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elaps	ed Status	Remarks
BUILDING	Russell McDowell	12/16/2019	12/23/2019	12/18/2019	2	APPROVED	
ENGINEERING	Sarah Johnston	12/16/2019	12/23/2019	12/20/2019	4	COMMENTS	

(12/20/2019 11:05 AM SJ)

- M Add notes to landscape plan, "- No trees within 5' of public utilities less than 10". No trees within 10' of public utilities 10" or greater. All shrubs must be at least 4' back behind the curb or parking space less than 20' in length." Standards of Design Section 4.
- M Fire line to have 10' clearance to other utilities. Standards of Design Section 5.1
- M Clean storm water. May need an oil/water separator before draining to the storm lines. Standards of Design Section 2.
- M Label all easements dimensions and type.
- M No grate inlets allowed in paving. Must convert to a curb inlet. Standards of Design Section 2.
- M Dedicate 10' utility easement along all frontage. Standards of Design section 5.
- M Dedicate 30'x30' ROW Clip. Standards of Design section 2.
- M 3600 psi concrete must be 6.5 sack mix. Standards of Design section 2.
- M 3000 psi concrete must be 5.5 sack mix. Standards of Design section 2.
- M No sand allowed under paving. Standards of Design section 2.
- M Longitudinal Butt Joint must be installed where tying into existing concrete. Standards of Design section 2.
- M Sawcut line is to be 2' from the back of curb. Standards of Design section 2.
- M Make sure the hatch patterns match the legend.
- M Fire lane radius to be 20' or 30' radius depending on ladder truck route. Standards of Design section 2.
- M Move the hydrant off the proposed curb. Standards of Design section 5.
- I Replat is required.
- I 4% engineering inspection fees.
- I plan review fees apply.
- I Parking against the building or nose-to-nose to be 20'x9' minimum. All other parking to be 18'x9' minimum with a 2' clear overhang.

Type of Review / Notes	Contact	Sent	Due	Received	Elapse	ed Status	Remarks
FIRE (12/19/2019 11:33	Ariana Hargrove AM AA)	12/16/2019	9 12/23/201	9 12/19/2019	3	APPROVED	
· · ·	be located 6 foot behi	nd the edge of t	the pavemen	t. Unless other	wise spec	ifically	
• •	ion of the Fire Depart		` '		•		of a 5-foot wide sidewalk or other approved
· · · · · · · · · · · · · · · · · · ·	way shall be provided	and within 1	too reet us ti	10 1103C 1443, 01	a me mya	ranc. / minimani	or as lost wide sidewalk or other approved

from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.

(Ord 16-31 - 2015 IFC)

GIS	Lance Singleton	12/16/2019 12/23/2019 12/20/2019	4 APPROVED		
PLANNING	David Gonzales	12/16/2019 12/23/2019 12/19/2019	3 COMMENTS	See comments	

Project Reviews.rpt Page 2 of 5

(12/19/2019 8:37 PM DG)

SP2019-051: Site Plan for 3150 Horizon Road

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of an amended site plan for a hospital (Presbyterian Hospital) on a 18.871-acre parcel of land identified as Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road.
- 1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (SP2019-051) in the lower right-hand corner of all pages of all revised plan submittals.
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), Planned Development District No. 9 (PD-9), and the Development Standards of Article V, that are applicable to the subject property.
- 1.5 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Section 3, of Article IX, of the UDC):

- 1) Indicate and label the widths of all fire lanes existing and proposed for the site (Sec. 3, Art. IX, UDC)
- 2) Indicate and label the widths of all sidewalks existing and proposed for the site Minimum 5-foot sidewalk required along Horizon Road & Tubbs Road (Sec. 3, Art. IX, UDC)
- 3) Indicate the type and depth of the pavingmaterial and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (Sec. 5.03(C), Art. VI, UDC)
- 4) Indicate the distance between all property lines and existing and planned buildings located on the site (Sec. 3, Art. IX, UDC)
- 5) Indicate all building setbacks adjacent to right-of-way. Enlarge labels, unable to read. (Sec. 3, Art. IX, UDC)
- 6) Indicate all utilities both existing and proposed Enlarge labels, unable to read. (Sec. 3, Art. IX, UDC)
- 7) Indicate all Drive/Turning Radii and drive widths for existing and proposed (Sec. 3, Art. IX, UDC)
- 8) Indicate location of all Fire Hydrants (Sec. 3, Art. IX, UDC)
- 9) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed (Chapter 38, Municipal Code of Ordinances)
- 10) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department). Check engineering mark-ups (Sec. 5.03(C), Art. VI, UDC)
- 11) Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above. Provide screening detail. (Sec. 1.05(1), Art. V, UDC)
- 12) Loading docks that are within 400 feet of a residential district shall be equipped with noise attenuation devices and screened from view of adjacent residential lots. The CUP is within this distance to the residential neighborhood to the south of Summer Lee Drive. Provide necessary data sheets/plans. (Sec. 6.1(C), Art. VI, UDC)

Project Reviews.rpt Page 3 of 5

M.7 Landscape Plan. Please make the following clarifications and changes to thelandscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Sec. 2, Art. VIII, UDC):

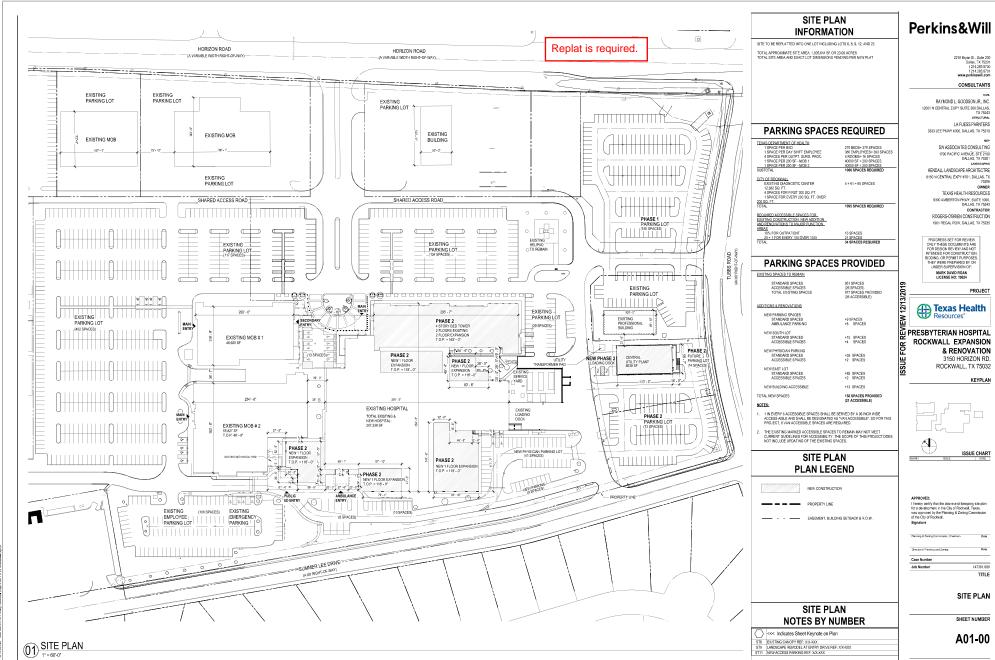
- 1) Indicate the locations and dimensions of the required landscape buffers Minimum of 10-feet required. (Subsection. 5.01(A), Art. VIII, UDC)
- 2) Correct Planting list -- Sheet No. L2-05 -- and indicate all Large Trees to be a minimum4-inch caliper and Shrubs to be a minimum of 3 Gallon. (Sec. 4(A)(2), Art. VIII, UDC)
- 3) Proposed parking lots do not indicate shrubs for headlight screening for proposed parking lots adjacent to street right-of-ways. Provide headlight screening. (Sec. 5.02(C)(1), Art. VIII, UDC)
- 4) Identify visibility triangles on all lots for all driveway intersections and public streets (Subsection 1.08(B), Art. V, UDC).
- 5) Provide screening of loading dock area and outside storage areas Provide detail. (Subsection. 5.02(A), Art. VIII, UDC)
- 6) Provide note indicating irrigation will meet requirements of UDC Update note on Sheet No. L2.02 to include this note. (Subsection 5.04, Art. VIII, UDC)
- M.8 Treescape Plan According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.
- (1) Total mitigation due= 432 caliper inches. Refer to Section 6, of Article IX, Tree Mitigation Requirements of the Unified Development Code (UDC) and notify staff in writing of how the mitigation balance will be satisfied (Sec. 6, Art. IX, UDC)
- M. 9 Photometric Plan. According to Section 3.3, Minimum Requirements, of Article VII, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC.
 - 1) No light pole, base or combination thereof shall exceed an overall height of 30-ft. Provide pole detail. (Art. VII, Sec. 3.3.D)
- M.10 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:
- 1) Indicate all RTU units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements The color of the formed metal wall panel should blend with building. (Subsection. 1.05(3); Art. V; UDC)
- 2) The south elevation of the CUP faces Summer Lee. The roll-up doors and/or service entrance should not to face a public street. Consider reorienting the building or provide additional landscape screening in order to limit visibility of the structure from the rights-of-way. (Sec. 6.1(C), Art. VI, UDC)
- 3) The east elevation of the CUP faces Tubbs Road and the stairway railing, etc. is highly visible. As with item no. 3, consider reorienting the building or additional landscape screening in order to limit visibility of the structure from the rights-of-way. (Sec. 6.1(C), Art. VI, UDC)
- I.11 Please note that failure to address all comments provided by staff by3:00 PM on January 7, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
- I.12 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2019; however, it is encouraged for applicants to submit revisions as soon as

Project Reviews.rpt Page 4 of 5

possible togive staff ample time to review the case prior to the January 14, 2019 Planning & Zoning Meeting.

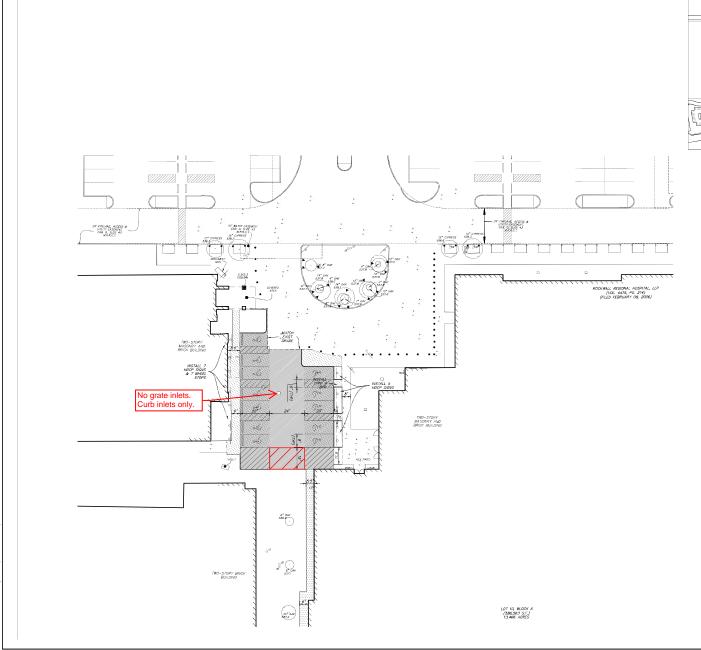
- ** Please note that the Planning & Zoning Work Session meeting will be held on December 30, 2019.
- I.13 The Architectural Review Board (ARB) meeting will be held on December 30, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission
- I.14 Staff recommends that a representative be present for the meetings as scheduled above The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.

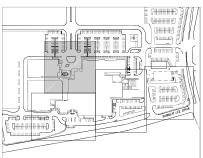
Project Reviews.rpt Page 5 of 5



1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201 LANDSCAPING

TEXAS HEALTH RESOURCES

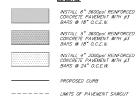




KEYMAP 1°-200°



LEGEND



- 3600 psi concrete must be 6.5 sack mix.
- 3000 psi concrete must be 5.5 sack mix.
- No sand allowed under paving.
- Longitudinal Butt Joint must be installed where tying into existing concrete.
- Sawcut line is to be 2' from the back of curb.
- Make sure the hatch patterns match the legend.

Perkins&Will

2218 Bryan St., Suite 200 Dallas, TX 75201 1214.283.8700 f 214.283.8700

CONSULTANTS

RAYMOND L. GOODSON JR., INC.

LA FUESS PARNTERS 3333 LEE PKWY #300. DALLAS. TX 75219

SW ASSOCIATES CONSULTING ENGINEERS

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

TEXAS HEALTH RESOURCES

9300 AMBERTON PKWY, SUITE 1000,
DALLAS, TX 75243
CONTRACTOR
ROGERS-O'BRIEN CONSTRUCTION
1901 REGAL ROW, DALLAS, TX 75235

FOR REVIEW ONLY NOT FOR CONSTRUCTION

ISSUED 12/13/19

Texas Health

ISSUE FOR REVIEW 12/13/2019

PRESBYTERIAN HOSPITAL ROCKWALL **EXPANSION & RENOVATION**

3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN

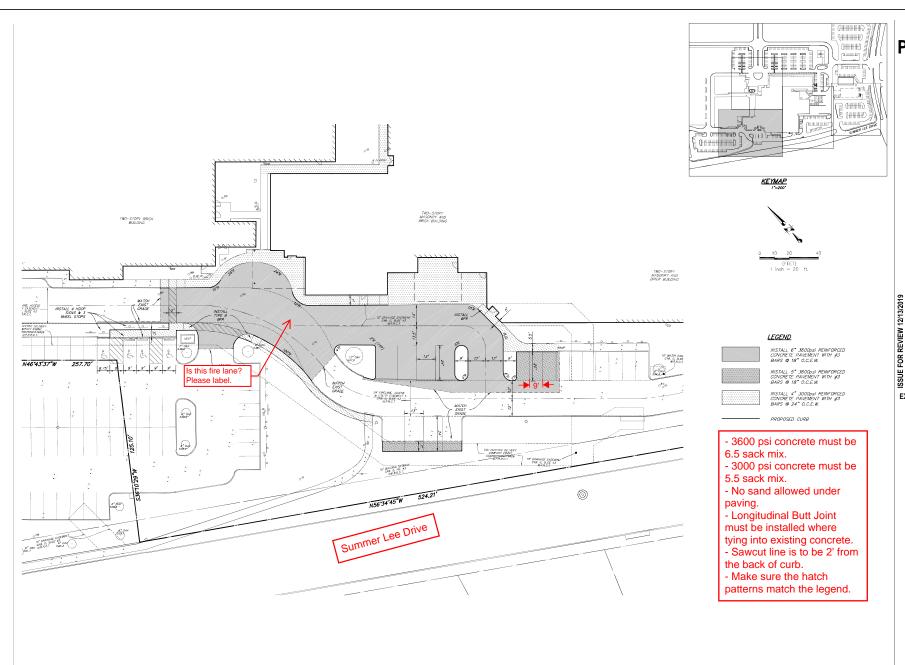


ISSUE CHART

SITE DIMENSIONAL CONTROL PLAN

SHEET NUMBER

C1



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SW ASSOCIATES CONSULTING ENGINEERS

KENDALL LANDSCAPE ARCHITECTRE

8150 N CENTRAL EXPY #701, DALLAS, TX 75206

TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 100, DALLAS, TX 75243 CONTRACTOR ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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PRESBYTERIAN HOSPITAL ROCKWALL **EXPANSION & RENOVATION**

3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN

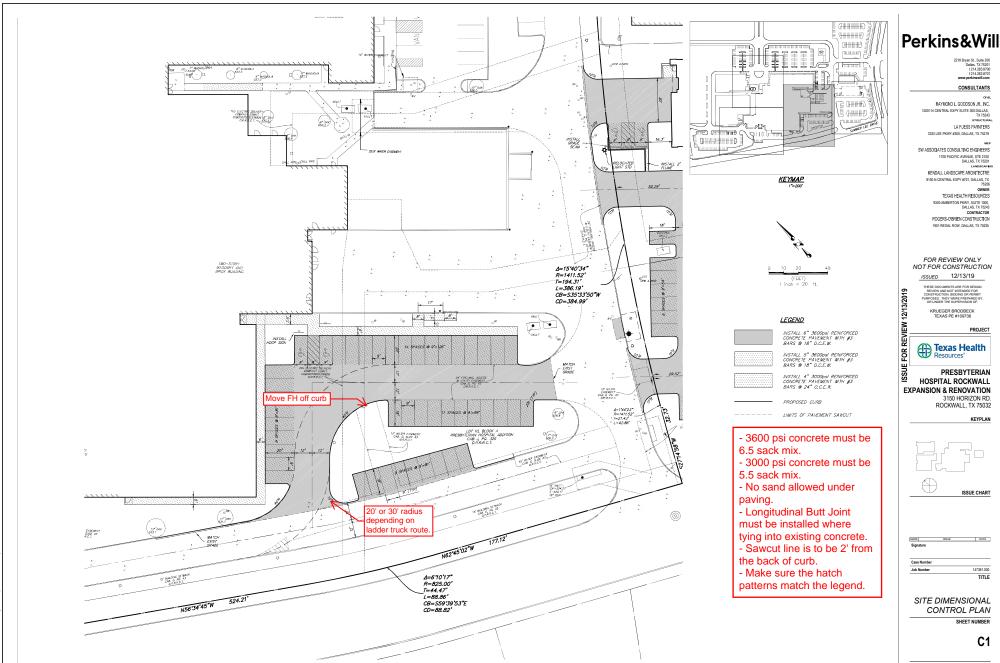


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SITE DIMENSIONAL CONTROL PLAN

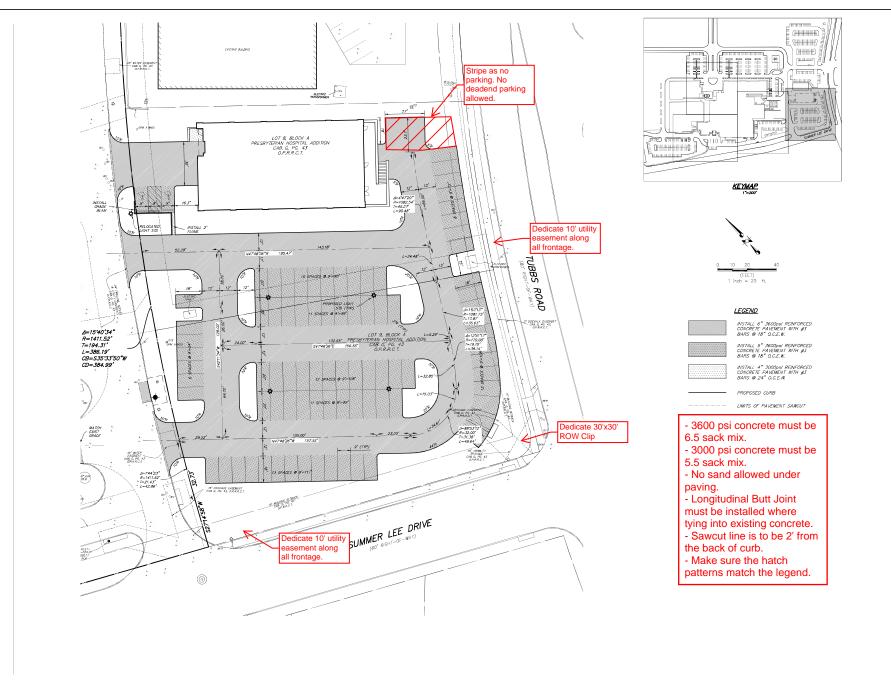
SHEET NUMBER

C2



RAYMOND L. GOODSON JR., INC.





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LA FUESS PARNTERS

SW ASSOCIATES CONSULTING ENGINEERS

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

TEXAS HEALTH RESOURCES

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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ISSUE FOR REVIEW 12/13/2019

PRESBYTERIAN HOSPITAL ROCKWALL **EXPANSION & RENOVATION**

3150 HORIZON RD. ROCKWALL, TX 75032

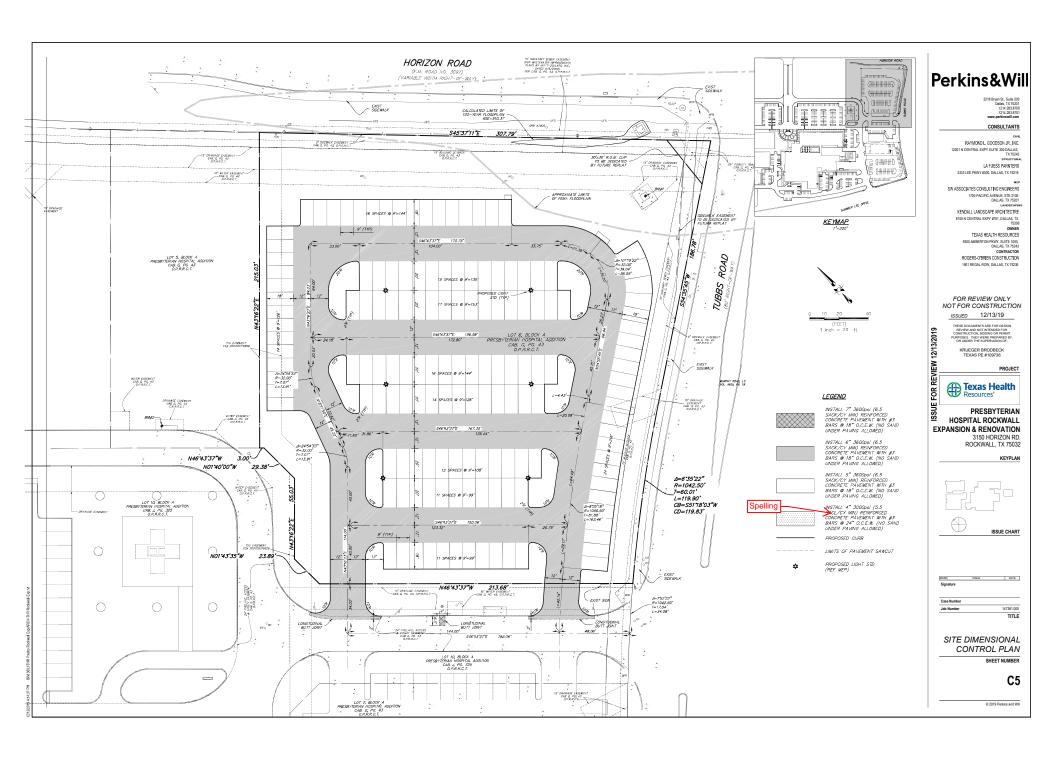
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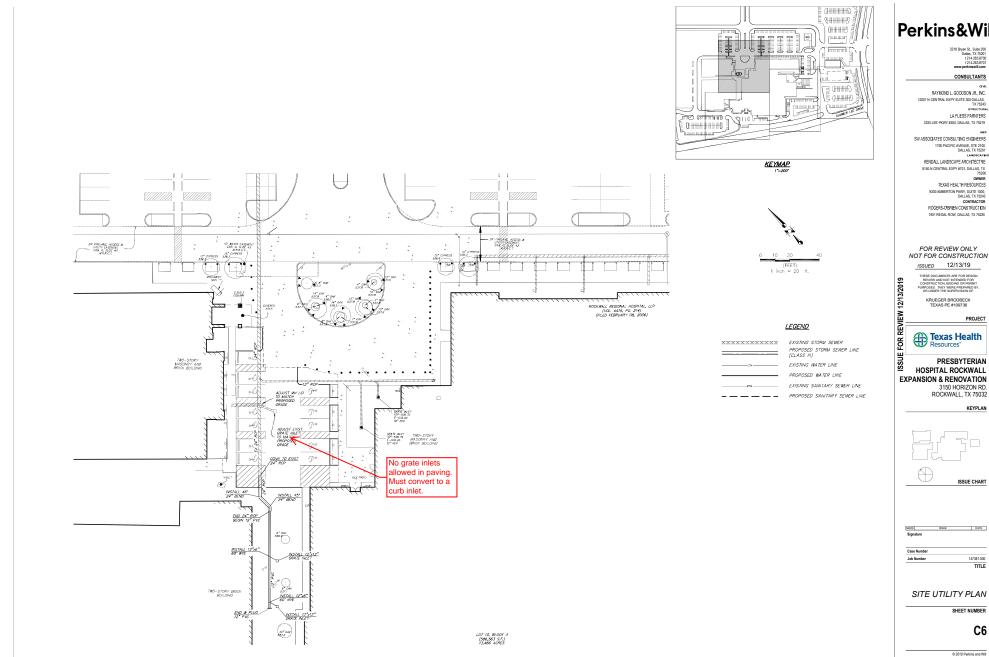


ISSUE CHART

SITE DIMENSIONAL CONTROL PLAN

C4





2218 Bryan St., Suite 200 Dallas, TX 75201 t 214.283.8701 f 214.283.8701 www.perkinswill.com

CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243

LA FUESS PARNTERS

SW ASSOCIATES CONSULTING ENGINEERS

1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

TEXAS HEALTH RESOURCES

TEXAS HEALTH RESOURCES
9300 AMBERTON PKWY, SUITE 1000,
DALLAS, TX 75243
CONTRACTOR
ROGERS-O'BRIEN CONSTRUCTION
1901 REGAL ROW, DALLAS, TX 75235

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Texas Health
Resources'

PRESBYTERIAN HOSPITAL ROCKWALL

3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN

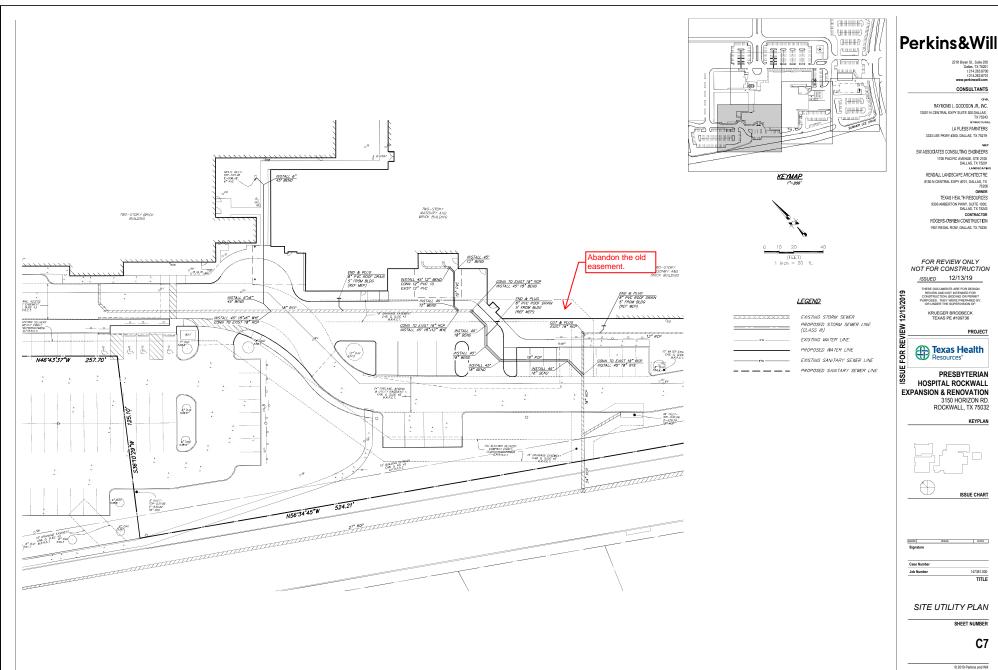


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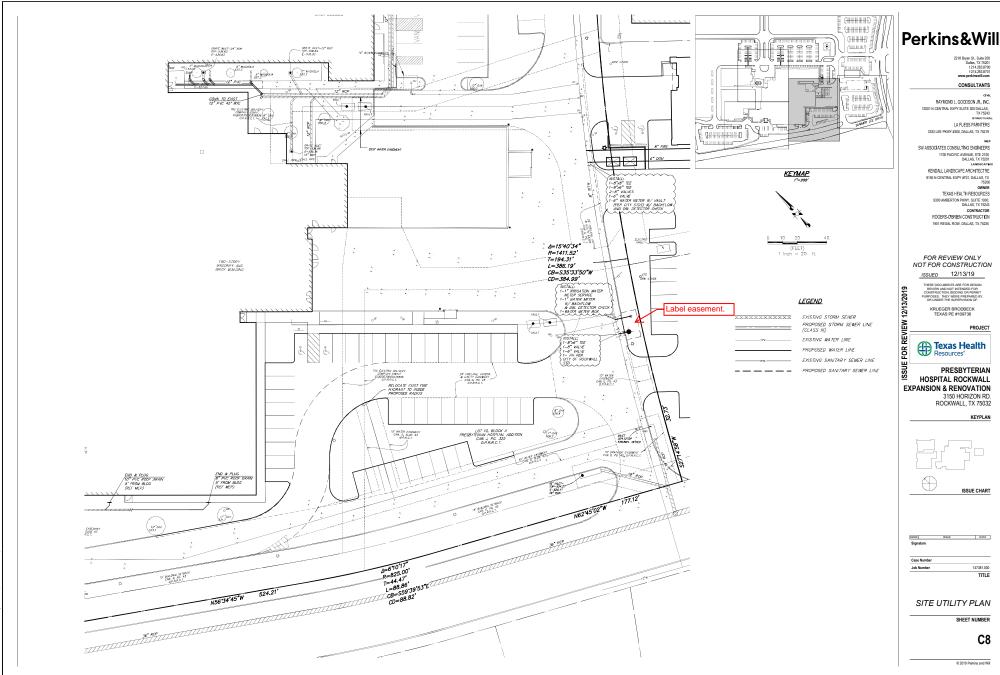
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TITLE

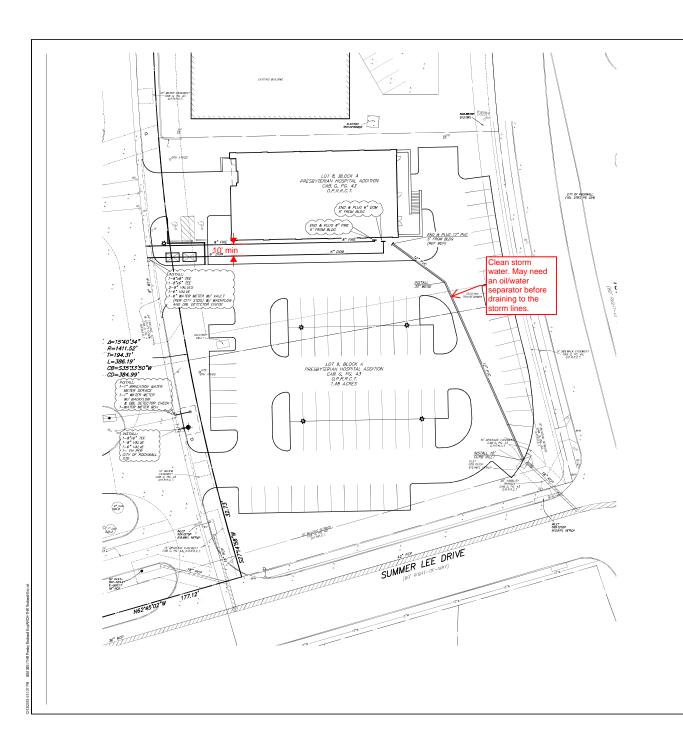


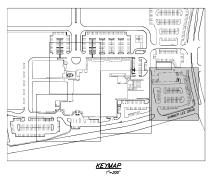
PRESBYTERIAN HOSPITAL ROCKWALL













LEGEND

DING STORM SEWER
SS III)
ING WATER LINE
OSED WATER LINE
ING SANITARY SEWER LINE
OSED SANITARY SEWER LINE

Perkins&Will

2218 Bryan St., Suite 200 Dallas, TX 75201 t 214.283.8700 f 214.283.8701 www.perkinswill.com

CONSULTANTS

CIVIL
RAYMOND L. GOCOSON JR., INC.
12001 N CENTRAL EXPY SUITE 300 DALLAS,
TX 75243
STRUCTURAL

LA FUESS PARNTERS 3333 LEE PKWY #300. DALLAS. TX 75219

SW ASSOCIATES CONSULTING ENGINEERS

KENDALL LANDSCAPE ARCHITECTRE

8150 N CENTRAL EXPY #701, DALLAS, TX 75206 TEXAS HEALTH RESOURCES

9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR
ROGERS-O'BRIEN CONSTRUCTION
1901 REGAL ROW, DALLAS, TX 75235

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Texas Health
Resources'

ISSUE FOR REVIEW 12/13/2019

PRESBYTERIAN HOSPITAL ROCKWALL **EXPANSION & RENOVATION**

3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN



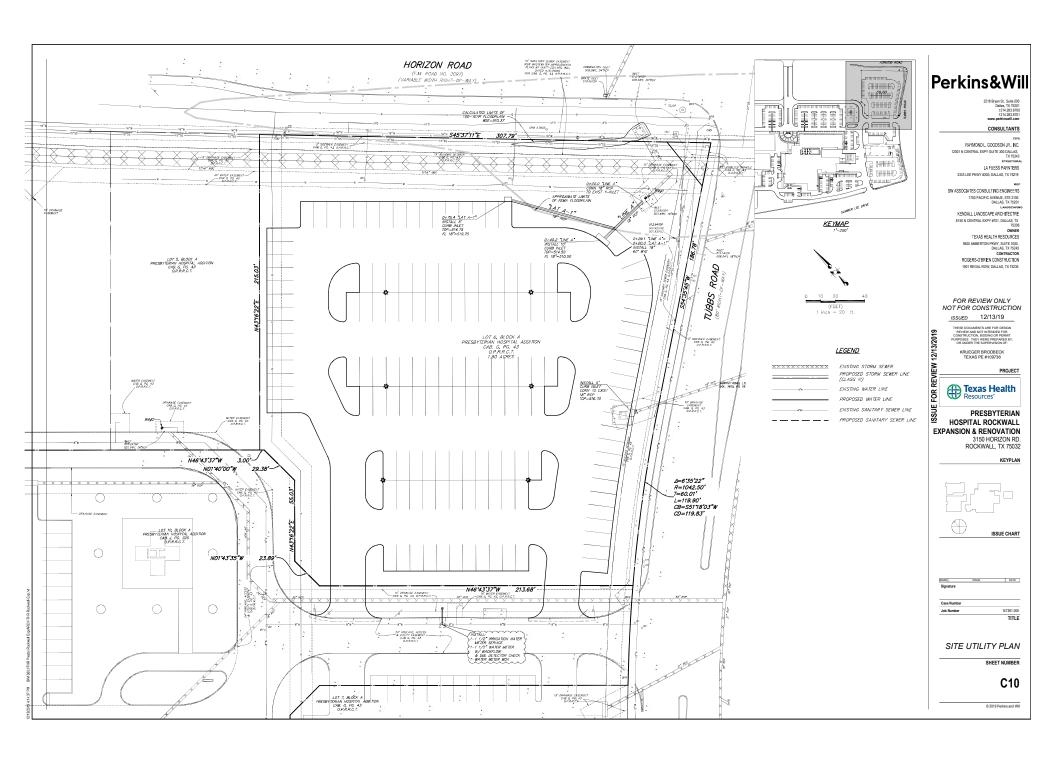
ISSUE CHART

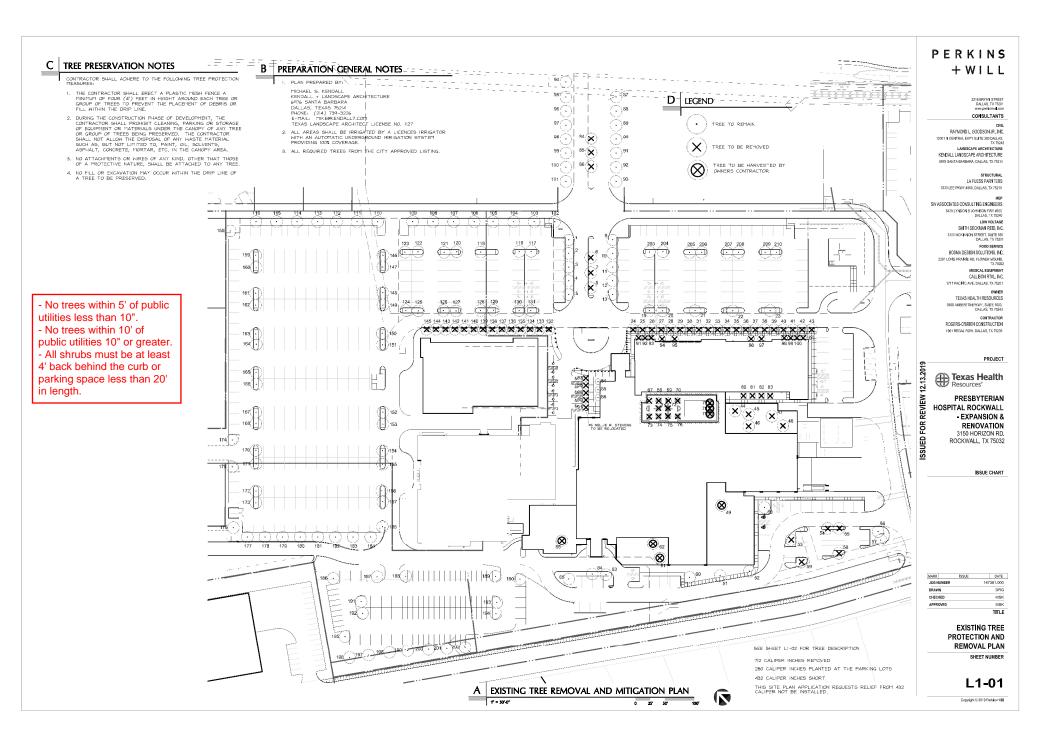
SITE UTILITY PLAN

SHEET NUMBER

C9

TITLE





A EXISTING TREE REMOVAL AND PROTECTION LEGEND

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В. L 9. R	IVE OAK ED OAK	23"	CALIPER	TO REMOVE TO REMAIN AND TO REMAIN AND TO REMAIN AND TO REMAIN AND	PROTECT	117.	DRAKE ELM DRAKE ELM DRAKE ELM	8' CALIPER 8' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
0. R	ED OAK	14"	CALIPER	TO REMAIN AND	PROTECT	119.	DRAKE ELM		TO REMAIN	AND F	ROTECT
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3. R	ED OAK	14"	CALIPER		PROTECT	122.			TO REMAIN	AND F	ROTECT
24. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		123.	DRAKE ELM DRAKE BALD CYRESS	8' CALIPER 8' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT ROTECT
6. B	ALD CYPRESS	14"	CALIPER	TO REMOVE		125.	DRAKE ELM	8 CALIPER	TO REMAIN	AND F	ROTECT
27. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE TO REMOVE		126.	DRAKE ELM	8' CALIPER 8' CALIPER	TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT
9. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		128.	DRAKE ELM	8' CALIPER	TO REMAIN TO REMAIN TO REMAIN TO REMAIN TO BE REM TO BE REM TO BE REM	AND F	ROTECT
80. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		129.	DRAKE ELM	8' CALIPER	TO REMAIN	AND F	ROTECT
52. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		131.	DRAKE ELM	8' CALIPER	TO REMAIN	AND F	ROTECT
33. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		132.	BALD CYPRESS	7' CALIPER	TO BE REM	OVED	
5. B	ALD CYPRESS	14"	CALIPER	TO REMOVE		134.	BALD CYPRESS	7' CALIPER	TO BE REM	OVED	
6. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		135.	BALD CYPRESS	7' CALIPER			
88. B	ALD CYPRESS	14"	CALIPER	TO REMOVE		137.	BALD CYPRESS	7' CALIPER	TO BE REM	OVED	
99. B	ALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		138.	BALD CYPRESS	7' CALIPER	TO BE REM	OVED	
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12. B	MALD CYPRESS	14"	CALIPER	TO REMOVE TO REMOVE		141.	BALD CYPRESS	7 CALIPER	TO BE REM	OVED	
14. R	ED OAK	10"	CALIPER	TO REMOVE		143.	BALD CYPRESS BALD CYPRESS BALD CYPRESS	57' CALIPER 57' CALIPER 57' CALIPER	TO BE REM	OVED	
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60. L	IVE OAK	10"	CALIPER	TO REMOVE TO REMOVE		149.	CEDAR ELM	4' CALIPER 4' CALIPER 4' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
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3. B	UR OAK	8" 1	CALIPER	TO REMAIN AND	PROTECT	152.	CEDAR ELM	4' CALIPER 4' CALIPER 4' CALIPER	TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT
4. B	ALD CYPRESS ED OAK IVE OAK	8" 1	CALIPER	TO REMAIN AND	PROTECT	153.	CEDAR ELM	4 CALIPER	TO REMAIN	AND F	ROTECT
6. R	ED OAK IVE OAK	9" 1	CALIPER	TO REMAIN AND TO REMAIN AND TO REMAIN AND	PROTECT	155.	CEDAR ELM CEDAR ELM CEDAR ELM CEDAR ELM LIVE OAK	4' CALIPER 4' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
7. L	ED OAK IVE OAK ED OAK AWTOOTH OAK ED OAK ED OAK	9" 1	CALIPER	TO REMAIN AND	PROTECT	156.	CEDAR ELM		TO REMAIN	AND F	ROTECT
9.5	AWTOOTH OAK	8" 1	CALIPER	TO REMAIN AND TO REMAIN AND	PROTECT	158.	LIVE OAK	4' CALIPER 6' CALIPER	TO REMAIN TO REMAIN	AND F	POTECT
0. R	ED OAK	12"	CALIPER	TO REMAIN AND	PROTECT	159.	CEDAR ELM CEDAR ELM CEDAR ELM	4 CALIPER 4 CALIPER	TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT
	ED OAK	12"	CALIPER	TO REMOVE TO BE REMOVED		161.	CEDAR ELM		TO REMAIN	AND F	ROTECT
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E D	ED OAK	12"	CALIPER	TO REMAIN AND	PROTECT	164.	CEDAR ELM	4' CALIPER	TO REMAIN	AND F	ROTECT
6. R	ED OAK ISTACHIO	101	CALIPER	TO REMOVE TO BE REMOVED		165.	CEDAR ELM CEDAR ELM	4' CALIPER 4' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
8. P	ISTACHIO	6" 1	CALIPER	TO BE REMOVED		167	CEDAR FLM	4' CALIPER	TO REMAIN	AND F	ROTECT
9. P	ISTACHIO ISTACHIO	8" 1	CALIPER	TO BE REMOVED TO BE REMOVED		168.	CEDAR ELM CEDAR ELM	A! CALIDED	TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT
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4. P	ISTACHIO ISTACHIO	8"	CALIPER	TO BE REMOVED TO BE REMOVED		173.	CEDAR ELM	4' CALIPER 6' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
16 P	ISTACHIO ISTACHIO	10"	CALIPER CALIPER CALIPER CALIPER CALIPER CALIPER CALIPER	TO BE REMOVED		174,	CEDAR ELM LIVE OAK LIVE OAK LIVE OAK LIVE OAK		TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT ROTECT
77 M	IAGNOLIA	7" (CALIPER	TO BE REMOVED TO BE REMOVED		176.	LIVE OAK		TO REMAIN	AND F	ROTECT
19 M		7	CALIPER CALIPER CALIPER	TO BE REMOVED		178.	LIVE OAK	6' CALIPER 6' CALIPER 6' CALIPER	TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT ROTECT
50. M	IAGNOLIA	7" (CALIPER	TO BE REMOVED TO REMAIN AND TO REMAIN AND	PROTECT	179.	LIVE OAK LIVE OAK	6 CALIPER	TO REMAIN	AND F	ROTECT
51. M 52. M	IAGNOLIA IAGNOLIA	7"	CALIPER CALIPER CALIPER	TO REMAIN AND TO REMAIN AND	PROTECT	180.	LIVE OAK	6' CALIPER 6' CALIPER 6' CALIPER 6' CALIPER 6' CALIPER 6' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
3. M	IAGNOLIA IAGNOLIA	7" (CALIPER	TO REMAIN AND	PROTECT	182.	LIVE OAK LIVE OAK	6' CALIPER	TO REMAIN TO REMAIN TO REMAIN TO REMAIN	AND F	ROTECT ROTECT
54. P 55. P	ISTACHIO ISTACHIO ISTACHIO	6" 1	CALIPER CALIPER	TO BE REMOVED TO BE REMOVED TO BE REMOVED		183.	LIVE OAK LIVE OAK LIVE OAK	6' CALIPER	TO REMAIN	AND F	ROTECT
6. P	ISTACHIO	8"	CALIPER CALIPER CALIPER CALIPER CALIPER CALIPER	TO BE REMOVED		185.		6' CALIPER	TO REMAIN	AND F	ROTECT ROTECT
57. L 58. L	IVE OAK IVE OAK	12"	CALIPER	TO REMAIN AND	PROTECT PROTECT	186.	LIVE OAK LIVE OAK LIVE OAK	6' CALIPER 6' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
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11. L	IVE OAK IVE OAK	12"	CALIPER CALIPER	TO REMAIN AND TO REMAIN AND	PROTECT	190.	LIVE OAK LIVE OAK CEDAR ELM CEDAR ELM CEDAR ELM	6' CALIPER 6' CALIPER 6' CALIPER 6' CALIPER 6' CALIPER	TO REMAIN	AND F	ROTECT
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16. L 17. L	IVE OAK IVE OAK	12"	CALIPER	TO REMAIN AND TO REMAIN AND	PROTECT	195.	RED OAK	6' CALIPER	TO REMAIN	AND F	ROTECT ROTECT
18. L	IVE OAK	12"	CALIPER CALIPER CALIPER	TO REMAIN AND TO REMAIN AND	PROTECT	197.	RED OAK	6' CALIPER 6' CALIPER	TO REMAIN	AND F	ROTECT
14. L	IVE OAK	12"	CALIPER	IO KEMAIN AND	PROTECT	199.	RED OAK	6' CALIPER 6' CALIPER 6' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT ROTECT
						200	RED OAK RED OAK	6' CALIPER 6' CALIPER	TO REMAIN TO REMAIN	AND F	ROTECT
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PERKINS + WILL

> 2218 BRYAN STREET DALLAS, TX 75201 www.perkinswilcom CONSULTANTS

CIVIL RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243

LANDSCAPE ARCHITECTURE KENDALL LANDSCAPE ARCHITECTURE 6976 SANTA BARBARA, DALLAS, TX 75214

STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

MEP SW ASSOCIATES CONSULTING ENGINEERS

5429 LYNDON B JOHNSON FWY #300 DALLAS, TX 75240

LOW VOLTAGE SMITH SECKMAN REID, INC. 3100 MCKINNON STREET, SUITE 550 DALLAS, TX 75201

FOOD SERVICE BOSMA DESIGN SOLUTIONS, INC. 2201 LONG PRAIRIE RD, FLOWER MOUND, TX 75022

TX 75022 MEDICAL EQUIPMENT CALLISON RTKL, INC. 1717 PACIFIC AVE, DALLAS, TX 75201

OWNER TEXAS HEALTH RESOURCES 900) AMBERTON PKWY, SUITE 1000, DALLAS, TX 76243

CONTRACTOR ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235



PRESBYTERIAN HOSPITAL ROCKWALL - EXPANSION & RENOVATION

3150 HORIZON RD. ROCKWALL, TX 75032

ISSUED FOR REVIEW 12.13.2019

TREE REMOVAL IS PHASE ONE OF THE HOSPITAL PROJECT.
MITIGATION CAN BE DELAYED TO PHASE 2 OF THE HOSPITAL PROJECT.

280 CALIPER INCHES PLANTED AT THE PARKING LOTS

THIS SITE PLAN APPLICATION REQUESTS RELIEF FROM 432 CALIPER NOT BE INSTALLED.

712 CALIPER INCHES REMOVED

432 CALIPER INCHES SHORT

ISSUE CHART

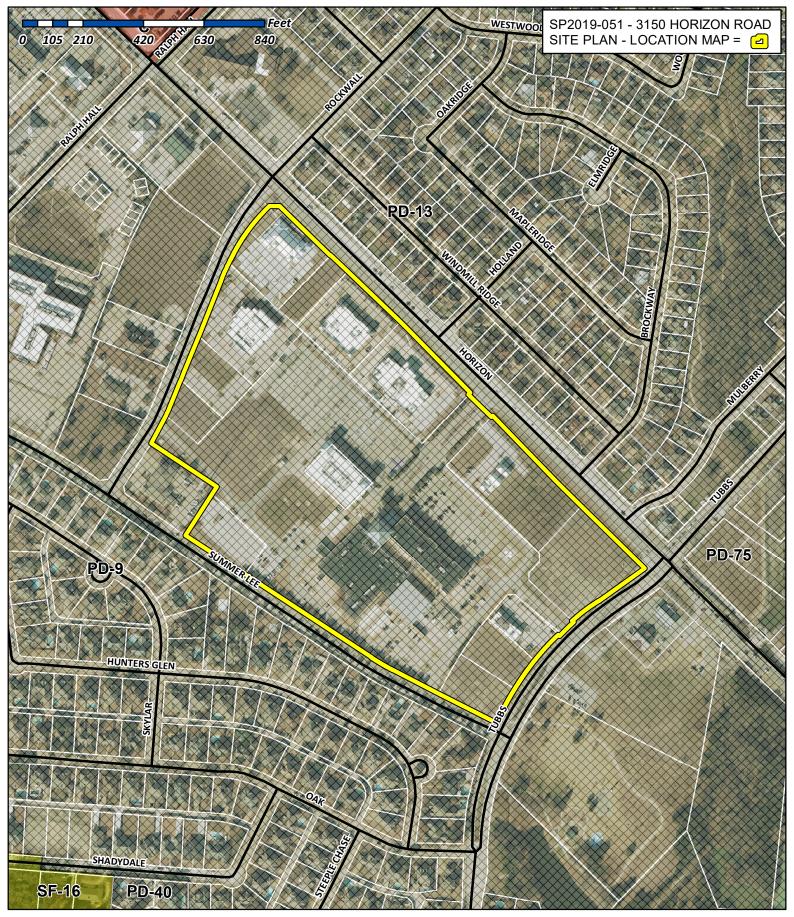
MARK	ISSUE		DATE
JOB NUMBER		147	381,000
DRAWN			DRG
CHECKED			MSK
APPROVED			MSK
			TITLE

EXISTING TREE LISTING

SHEET NUMBER

L1-02

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City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CASE NO.	SP2019-051
NOTE: THE APPLICATION IS NOT C CITY UNTIL THE PLANNING DIREC SIGNED BELOW.	
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]: Platting Application Fees: **Zoning Application Fees:** Master Plat (\$100.00 + \$15.00 Acre) 1 Zoning Change (\$200.00 + \$15.00 Acre) 1 Preliminary Plat (\$200.00 + \$15.00 Acre) 1 Specific Use Permit (\$200.00 + \$15.00 Acre) 1 Final Plat (\$300.00 + \$20.00 Acre) 1 PD Development Plans (\$200.00 + \$15.00 Acre) 1 Replat (\$300.00 + \$20.00 Acre) 1 Other Application Fees: Amending or Minor Plat (\$150.00) Tree Removal (\$75.00) Plat Reinstatement Request (\$100.00) Variance Request (\$100.00) Site Plan Application Fees: Site Plan (\$250.00 + \$20.00 Acre) 1 1: In determining the fee, please use the exact acreage when multiplying by the ✓ Amended Site Plan/Elevations/Landscaping Plan (\$100.00) per acre amount. For requests on less than one acre, round up to one (1) acre. PROPERTY INFORMATION [PLEASE PRINT] Address 3150 Horizon Road, Rockwall, TX 75032 Subdivision 4703 Presbyterian Hospital of Rockwall 23 Block Lot General Location ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] Current Zoning PD-9 Current Use Proposed Zoning PD-9 Proposed Use Acreage 23.0864 Lots [Current] 5 Lots [Proposed] SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case. OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] Owner Texas Health Hospital Rockwall Applicant Perkins and Will Contact Person Jason Linscott Contact Person Rachel Gruber Address 3150 Horizon Road Address 2218 Bryan Street Suite 200 City, State & Zip Rockwall, TX 75032 City, State & Zip Dallas, TX 75201 Phone 469-698-1354 214-283-8809 Phone E-Mail jason.linscott@phrtexas.com E-Mail rachel.gruber@perkinswill.com NOTARY VERIFICATION [REQUIRED] Jason Linscott Before me, the undersigned authority, on this day personally appeared [Owner] the undersigned, who stated the information on this application to be true and certified the following: "I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of December , 20 19 . By signing this application, _ , 20 ____ . By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information." Notary Public, State of Texas Given under my hand and seal of office on this the 13th day of 20 19 Comm. Expires 11-09-2023

Owner's Signature

Notary Public in and for the State of Texas

Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION . CITY OF ROCKWALL . 386 SOUTH COLIAD STREET . ROCKWALL, TX 75087 . [P] (972) 771-7745 . [F] (972) 771-7727

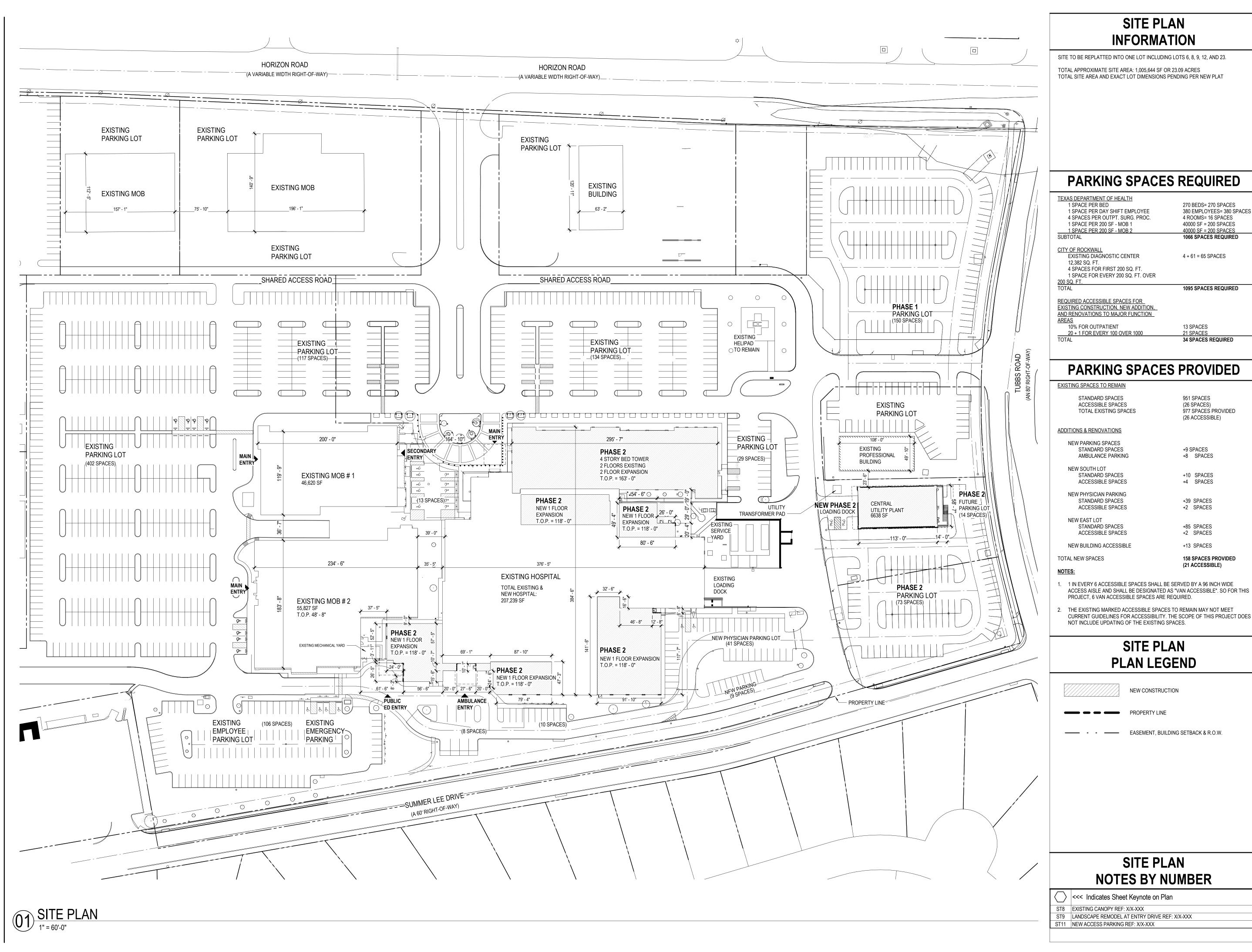


DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY	
PLANNING & ZONING CA	SE NO.
NOTE: THE APPLICATION	IS NOT CONSIDERED ACCEPTED BY THE
CITY UNTIL THE PLANNIN	G DIRECTOR AND CITY ENGINEER HAVE
SIGNED BELOW.	
DIRECTOR OF PLANNING	
CITY ENGINEER:	

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]: Platting Application Fees: **Zoning Application Fees:** Master Plat (\$100.00 + \$15.00 Acre) 1 Zoning Change (\$200.00 + \$15.00 Acre) 1 Preliminary Plat (\$200.00 + \$15.00 Acre) 1 Specific Use Permit (\$200.00 + \$15.00 Acre) 1 Final Plat (\$300.00 + \$20.00 Acre) 1 PD Development Plans (\$200.00 + \$15.00 Acre) 1 Replat (\$300.00 + \$20.00 Acre) 1 Other Application Fees: Amending or Minor Plat (\$150.00) Tree Removal (\$75.00) Plat Reinstatement Request (\$100.00) Variance Request (\$100.00) Site Plan Application Fees: Site Plan (\$250.00 + \$20.00 Acre) 1 1: In determining the fee, please use the exact acreage when multiplying by the Amended Site Plan/Elevations/Landscaping Plan (\$100.00) per acre amount. For requests on less than one acre, round up to one (1) acre. PROPERTY INFORMATION [PLEASE PRINT] Address 3150 Horizon Road, Rockwall, TX 75032 Subdivision 4703 Presbyterian Hospital of Rockwall Lot 23 Block **General Location** ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] Current Zoning PD-9 Current Use F1 Proposed Zoning PD-9 Proposed Use Acreage 23.0864 Lots [Current] 5 Lots [Proposed] 1 SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case. OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] Owner Texas Health Hospital Rockwall ✓ Applicant Perkins and Will Contact Person Jason Linscott Contact Person Rachel Gruber Address 3150 Horizon Road Address 2218 Bryan Street Suite 200 City, State & Zip Rockwall, TX 75032 City, State & Zip Dallas, TX 75201 Phone 469-698-1354 Phone 214-283-8809 E-Mail jason.linscott@phrtexas.com rachel.gruber@perkinswill.com E-Mail NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared _ [Owner] the undersigned, who stated the information on this application to be true and certified the following: "I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$, cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _ that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public Given under my hand and seal of office on this the ____ Owner's Sianature Notary Public in and for the State of Texas My Commission Expires



SITE PLAN **INFORMATION**

SITE TO BE REPLATTED INTO ONE LOT INCLUDING LOTS 6, 8, 9, 12, AND 23.

TOTAL APPROXIMATE SITE AREA: 1,005,644 SF OR 23.09 ACRES TOTAL SITE AREA AND EXACT LOT DIMENSIONS PENDING PER NEW PLAT

PARKING SPACES REQUIRED

TEXAS DEPARTMENT OF HEALTH 270 BEDS= 270 SPACES 380 EMPLOYEES= 380 SPACES 1 SPACE PER DAY SHIFT EMPLOYEE 4 SPACES PER OUTPT. SURG. PROC. 4 ROOMS= 16 SPACES 1 SPACE PER 200 SF - MOB 1 40000 SF = 200 SPACES 1 SPACE PER 200 SF - MOB 2 SUBTOTAL 40000 SF = 200 SPACES **1066 SPACES REQUIRED** CITY OF ROCKWALL
EXISTING DIAGNOSTIC CENTER 4 + 61 = 65 SPACES 4 SPACES FOR FIRST 200 SQ. FT. 1 SPACE FOR EVERY 200 SQ. FT. OVER **1095 SPACES REQUIRED**

PARKING SPACES PROVIDED

13 SPACES 21 SPACES

34 SPACES REQUIRED

EXISTING SPACES TO REMAIN STANDARD SPACES 951 SPACES (26 SPACES) ACCESSIBLE SPACES 977 SPACES PROVIDED TOTAL EXISTING SPACES (26 ACCESSIBLE) **ADDITIONS & RENOVATIONS NEW PARKING SPACES** +9 SPACES STANDARD SPACES AMBULANCE PARKING +8 SPACES +10 SPACES STANDARD SPACES ACCESSIBLE SPACES +4 SPACES **NEW PHYSICIAN PARKING** STANDARD SPACES ACCESSIBLE SPACES +39 SPACES +2 SPACES +85 SPACES STANDARD SPACES +2 SPACES ACCESSIBLE SPACES **NEW BUILDING ACCESSIBLE** +13 SPACES 158 SPACES PROVIDED (21 ACCESSIBLE)

THE EXISTING MARKED ACCESSIBLE SPACES TO REMAIN MAY NOT MEET CURRENT GUIDELINES FOR ACCESSIBILITY. THE SCOPE OF THIS PROJECT DOES NOT INCLUDE UPDATING OF THE EXISTING SPACES.

PLAN LEGEND

NEW CONSTRUCTION

SITE PLAN

PROPERTY LINE

- EASEMENT, BUILDING SETBACK & R.O.W.

Director of Planning and Zoning

Case Number Job Number

SITE PLAN

SHEET NUMBER

A01-00

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2218 Bryan St., Suite 200 Dallas, TX 75201 t 214.283.8700 f 214.283.8701 www.perkinswill.com

CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243 STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

> SW ASSOCIATES CONSULTING 1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201

LANDSCAPING KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX

> OWNER TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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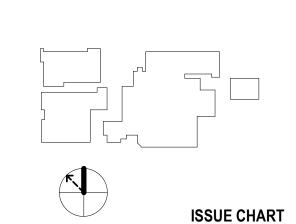
PROJECT

Texas Health Resources® PRESBYTERIAN HOSPITAL

ROCKWALL EXPANSION & RENOVATION 3150 HORIZON RD.

ROCKWALL, TX 75032

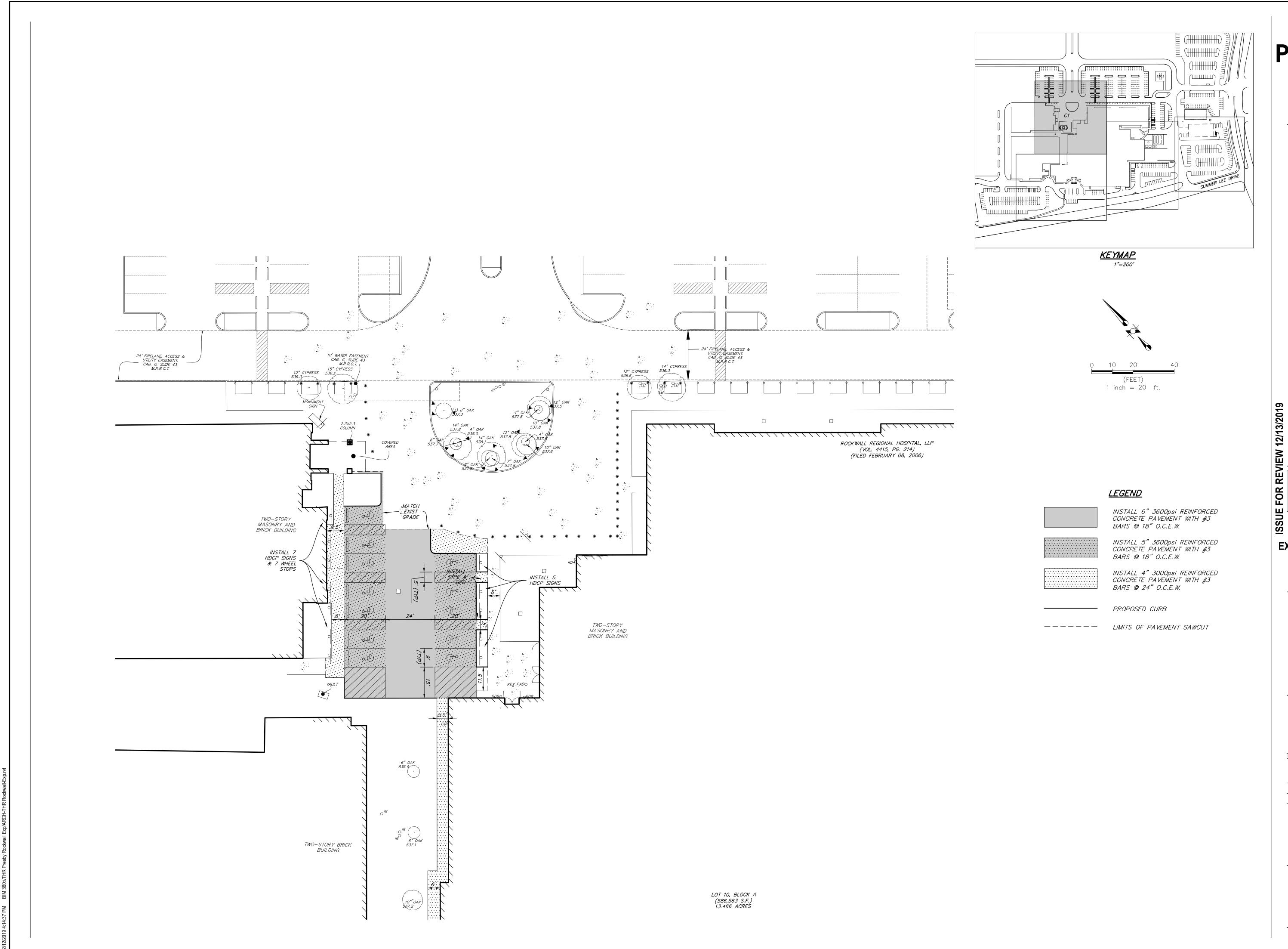
KEYPLAN



I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall.

Planning & Zoning Commission, Chairman

147381.000 TITLE



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CONSULTANTS

RAYMOND L. GOODSON JR., INC.

12001 N CENTRAL EXPY SUITE 300 DALLAS,

TX 75243

STRUCTURAL

LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS

1700 PACIFIC AVENUE, STE 2100
DALLAS, TX 75201

DALLAS, TX 75201

LANDSCAPING

KENDALL LANDSCAPE ARCHITECTRE

8150 N CENTRAL EXPY #701, DALLAS, TX 75206 OWNER

TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243

CONTRACTOR ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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> KRUEGER BRODBECK TEXAS PE #109736

> > PROJECT

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EXPANSION & RENOVATION
3150 HORIZON RD.

ROCKWALL, TX 75032

KEYPLAN



ISSUE CHART

issue date

Case Number

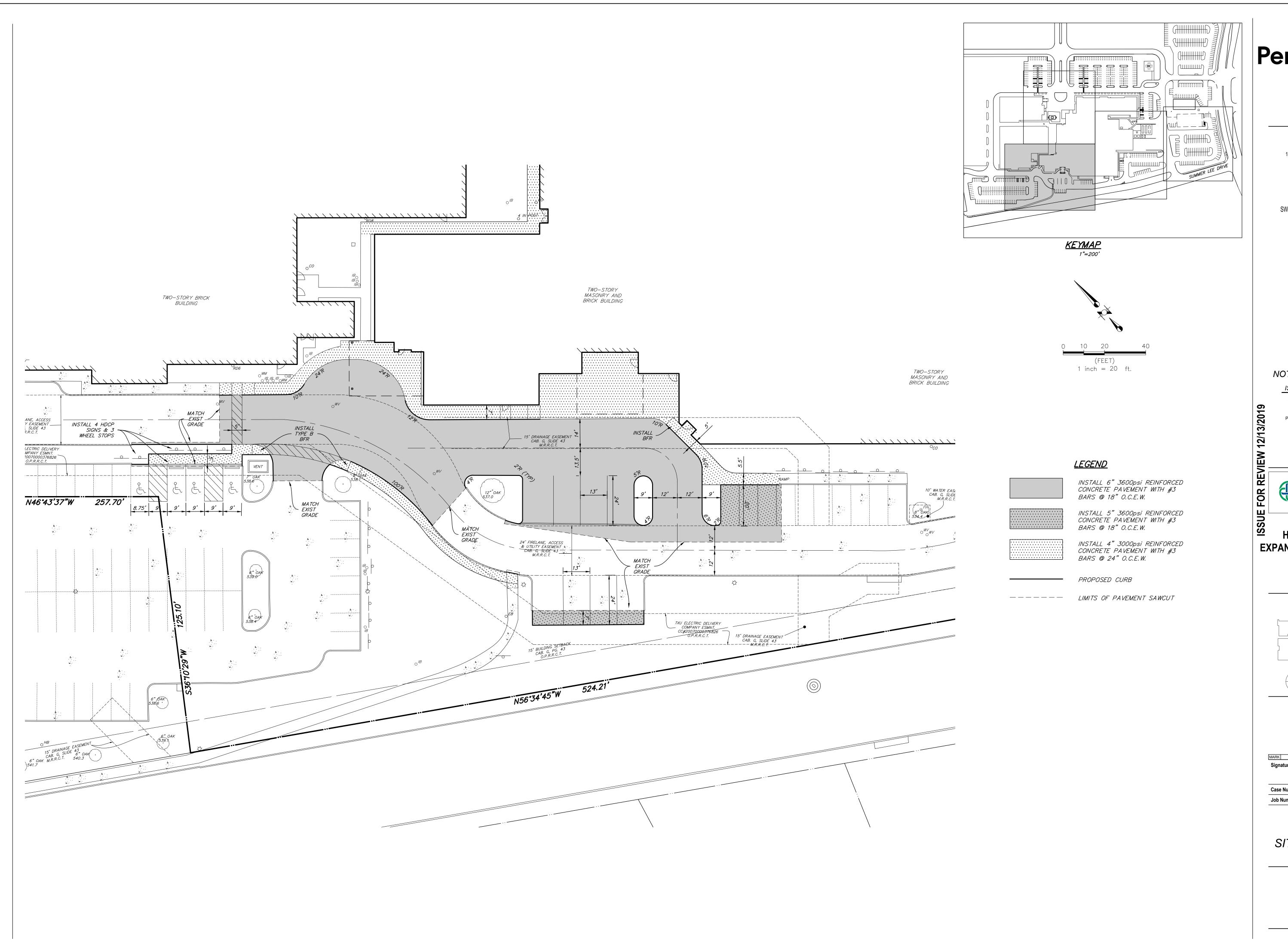
 Job Number
 147381.000

 TITLE

SITE DIMENSIONAL CONTROL PLAN

SHEET NUMBER

O I



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CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243 STRUCTURAL

LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS 1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201

LANDSCAPE ARCHITECTRE
8150 N CENTRAL EXPY #701, DALLAS, TX

75206 **OWNER** TEXAS HEALTH RESOURCES

9300 AMBERTON PKWY, SUITE 1000,
DALLAS, TX 75243
CONTRACTOR
ROGERS-O'BRIEN CONSTRUCTION
1901 REGAL ROW, DALLAS, TX 75235

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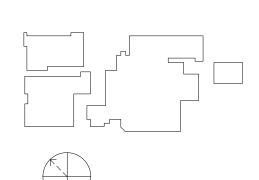
> > PROJECT

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3150 HORIZON RD.
ROCKWALL, TX 75032

KEYPLAN

ISSUE CHART



MARK ISSUE DATE
Signature

Case Number

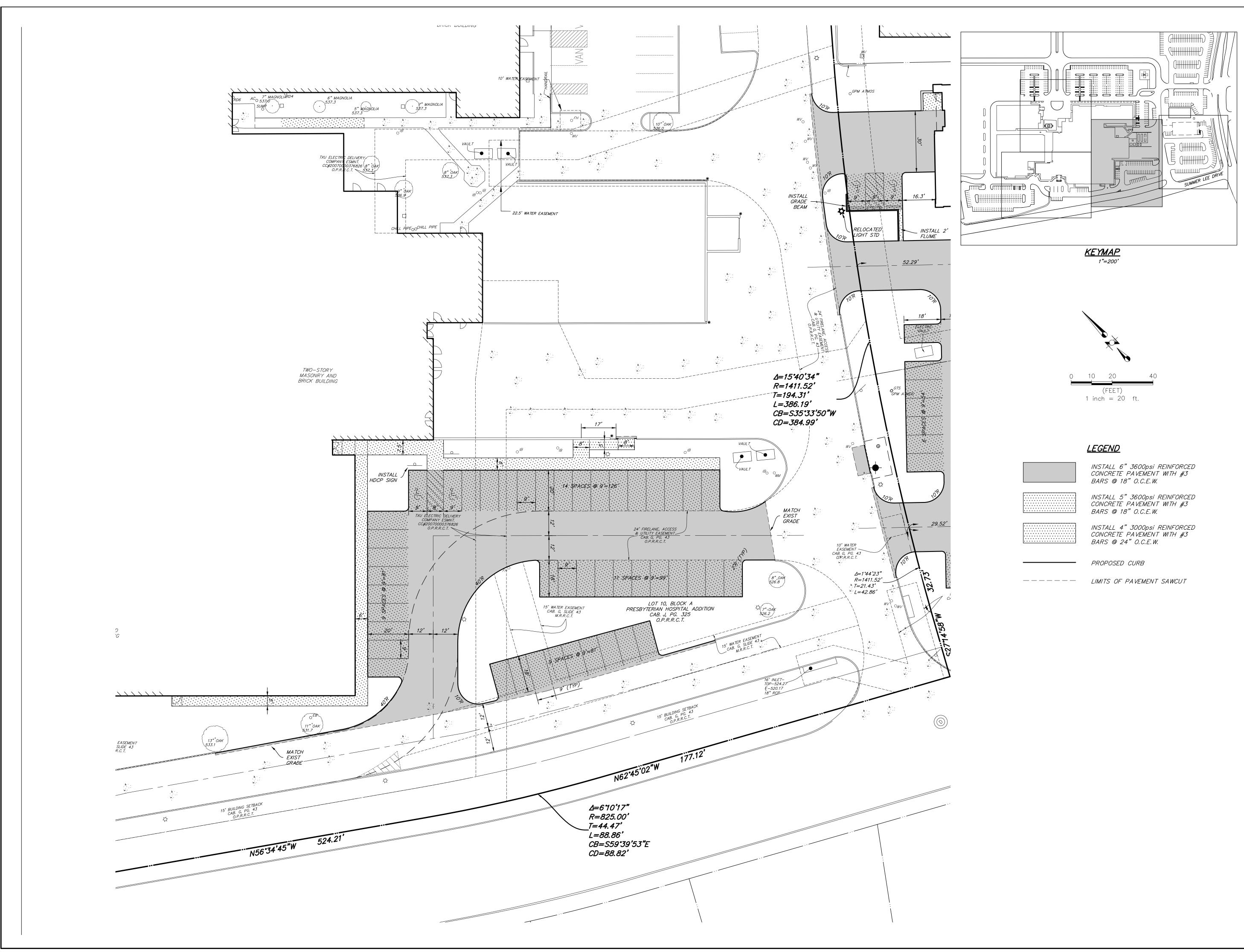
Job Number 147381.000

TITLE

SITE DIMENSIONAL CONTROL PLAN

SHEET NUMBER

C2



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CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243

STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS 1700 PACIFIC AVENUE, STE 2100

DALLAS, TX 75201

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

> OWNER TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243

CONTRACTOR ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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> > **PROJECT**

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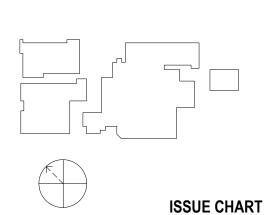
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ISSUE

PRESBYTERIAN HOSPITAL ROCKWALL EXPANSION & RENOVATION 3150 HORIZON RD.

ROCKWALL, TX 75032

KEYPLAN

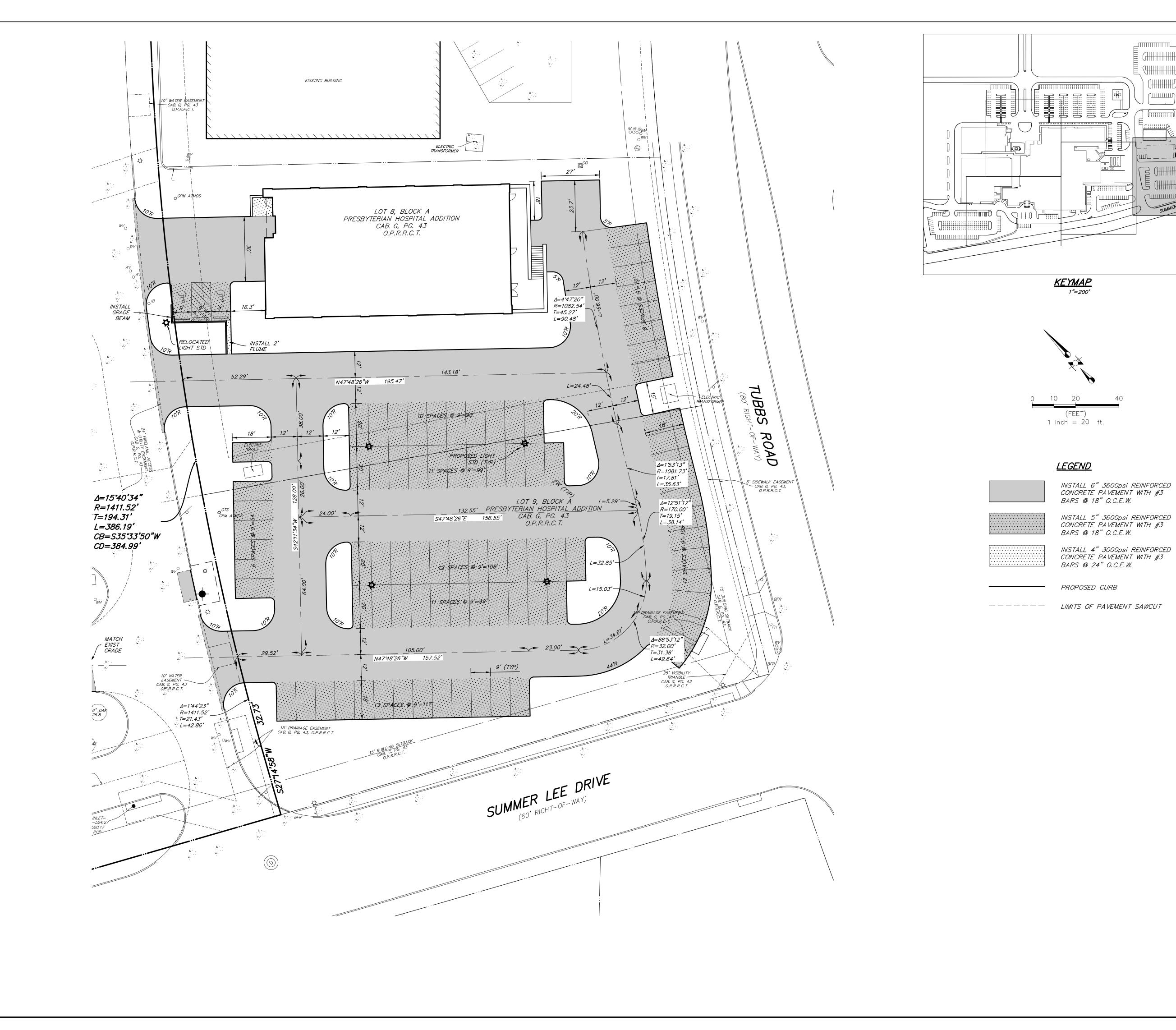


Case Number

Job Number 147381.000 TITLE

SITE DIMENSIONAL CONTROL PLAN

SHEET NUMBER



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CONSULTANTS

RAYMOND L. GOODSON JR., INC.

12001 N CENTRAL EXPY SUITE 300 DALLAS,
TX 75243

STRUCTURAL
LA FUESS PARNTERS
3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS

1700 PACIFIC AVENUE, STE 2100
DALLAS, TX 75201

DALLAS, TX 75201

LANDSCAPING

FNDALL ANDSCAPE ARCHITECTRE

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

OWNER
TEXAS HEALTH RESOURCES
9300 AMBERTON PKWY, SUITE 1000,
DALLAS, TX 75243
CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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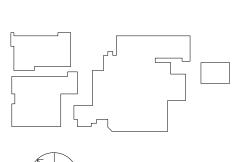
> > PROJECT

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3150 HORIZON RD.

ROCKWALL, TX 75032

KEYPLAN



ISSUE CHART

MARK ISSUE DATE
Signature

Case Number

Job Number

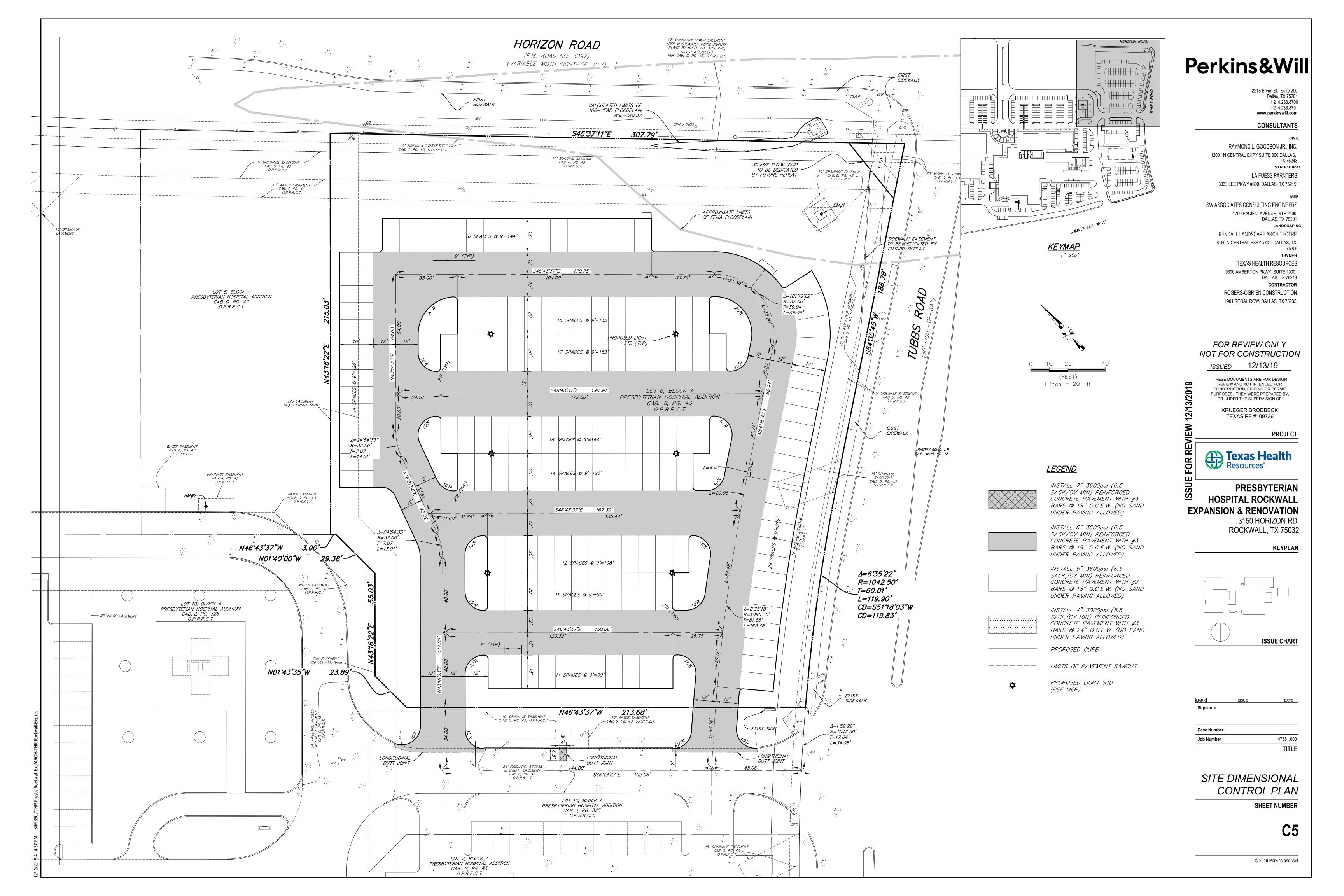
SITE DIMENSIONAL CONTROL PLAN

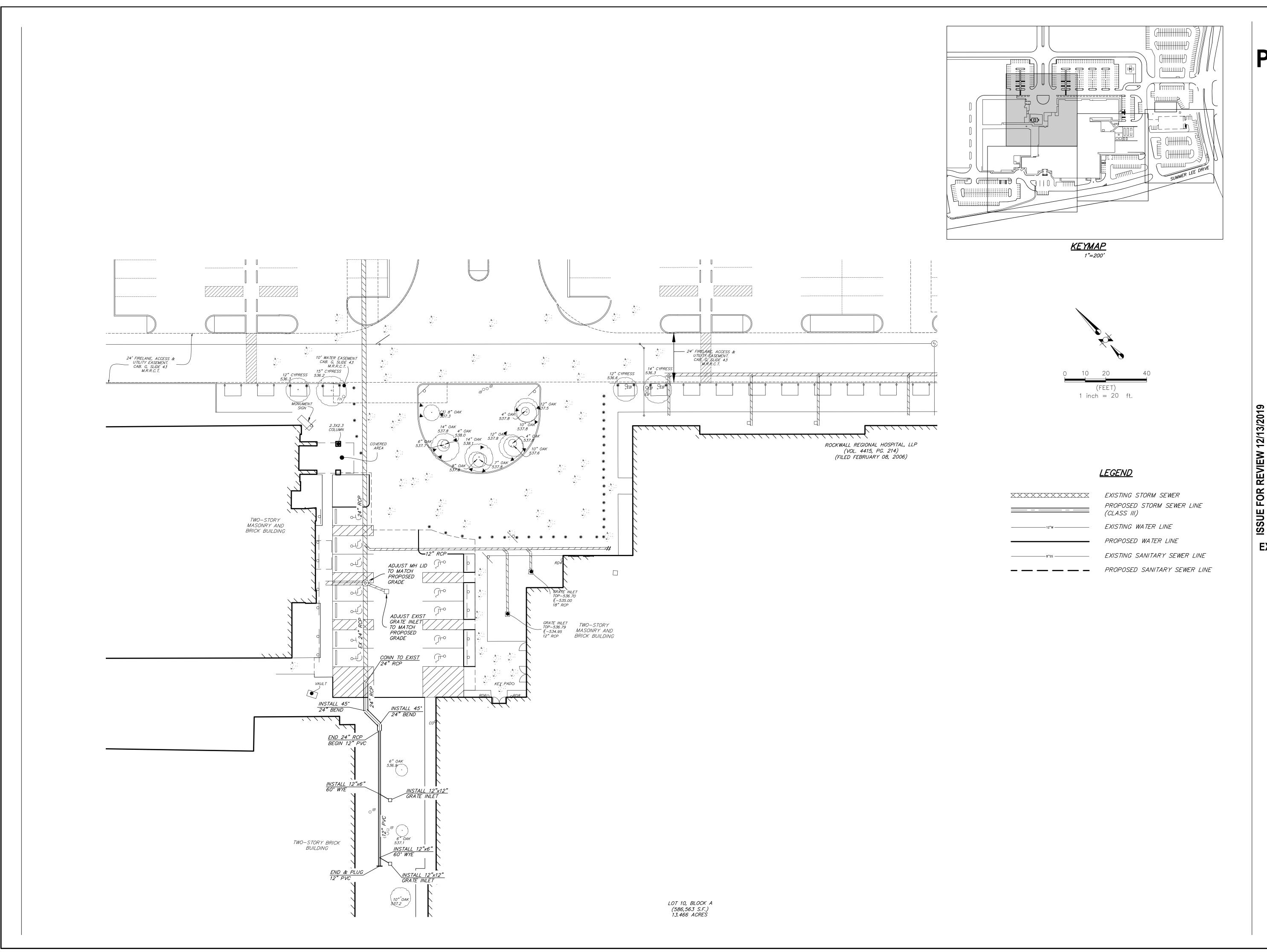
SHEET NUMBER

C4

147381.000

TITLE





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CONSULTANTS

RAYMOND L. GOODSON JR., INC.

12001 N CENTRAL EXPY SUITE 300 DALLAS,

TX 75243

STRUCTURAL

LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS

1700 PACIFIC AVENUE, STE 2100
DALLAS, TX 75201

DALLAS, TX 75201

LANDSCAPE ARCHITECTRE

8150 N CENTRAL EXPY #701, DALLAS, TX 75206 OWNER

TEXAS HEALTH RESOURCES
9300 AMBERTON PKWY, SUITE 1000,
DALLAS, TX 75243
CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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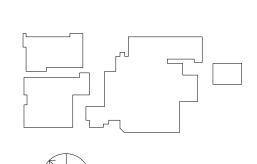
> > PROJECT

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3150 HORIZON RD.

KEYPLAN

ROCKWALL, TX 75032



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K ISSUE DATE

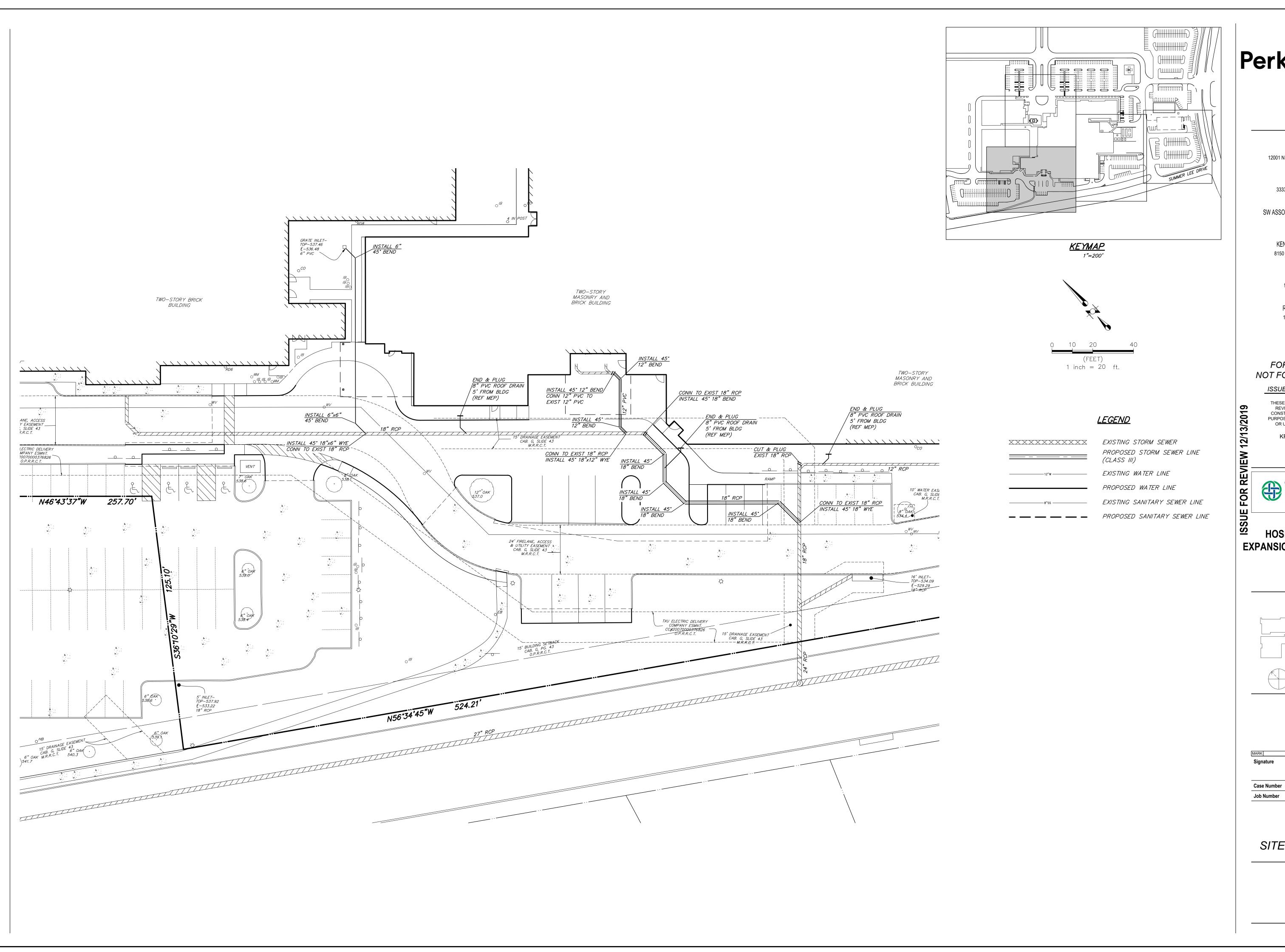
 Case Number
 147381.000

 TITLE

SITE UTILITY PLAN

SHEET NUMBER

C6



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CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243 STRUCTURAL LA FUESS PARNTERS

3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS 1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

OWNER TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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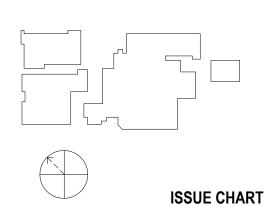
KRUEGER BRODBECK TEXAS PE #109736

PROJECT



PRESBYTERIAN HOSPITAL ROCKWALL EXPANSION & RENOVATION 3150 HORIZON RD. ROCKWALL, TX 75032

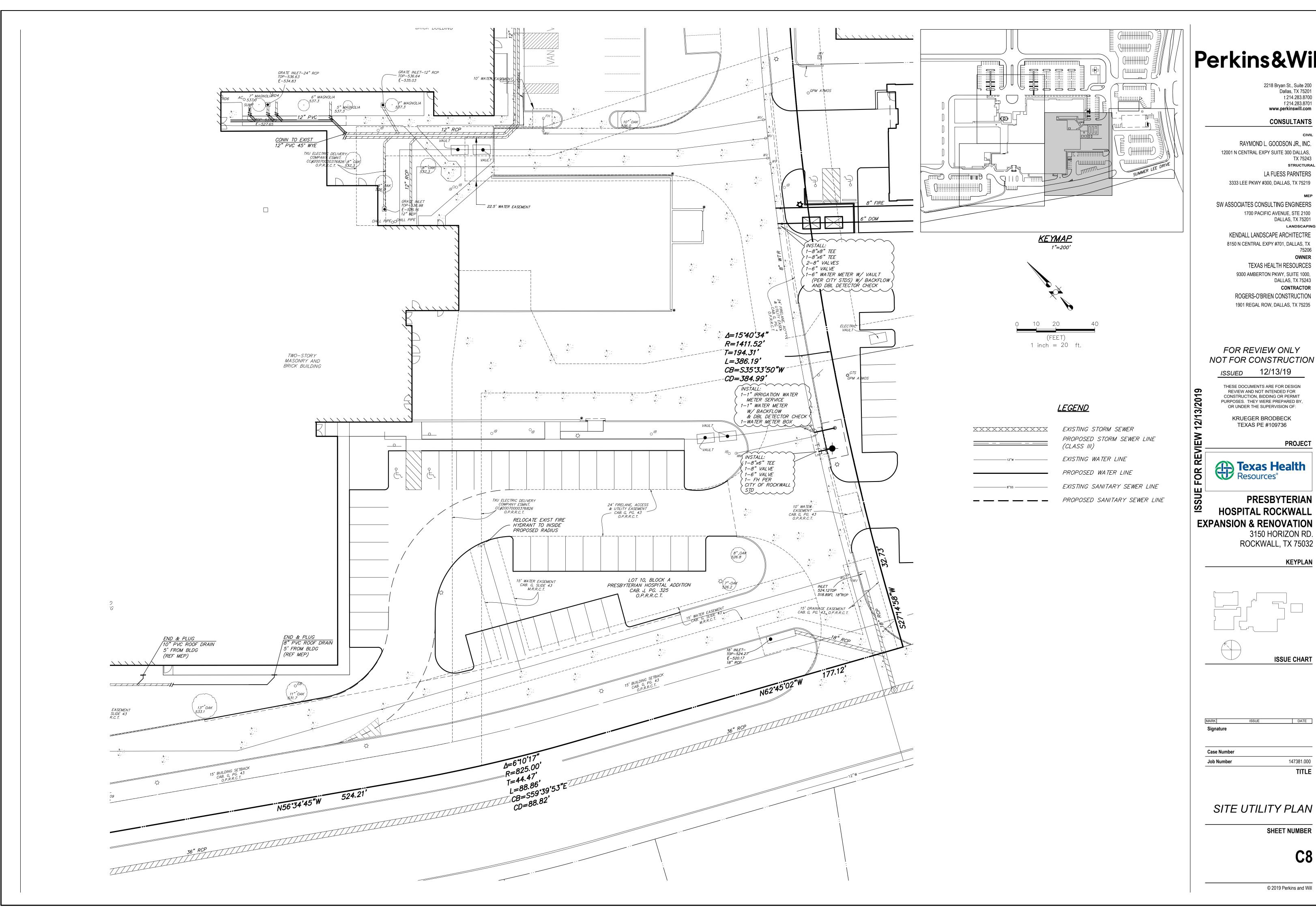
KEYPLAN



147381.000 TITLE

SITE UTILITY PLAN

SHEET NUMBER



Perkins&Will

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TX 75243 STRUCTURAL

3333 LEE PKWY #300, DALLAS, TX 75219

1700 PACIFIC AVENUE, STE 2100

DALLAS, TX 75201

8150 N CENTRAL EXPY #701, DALLAS, TX 75206 OWNER

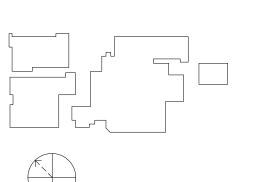
> 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

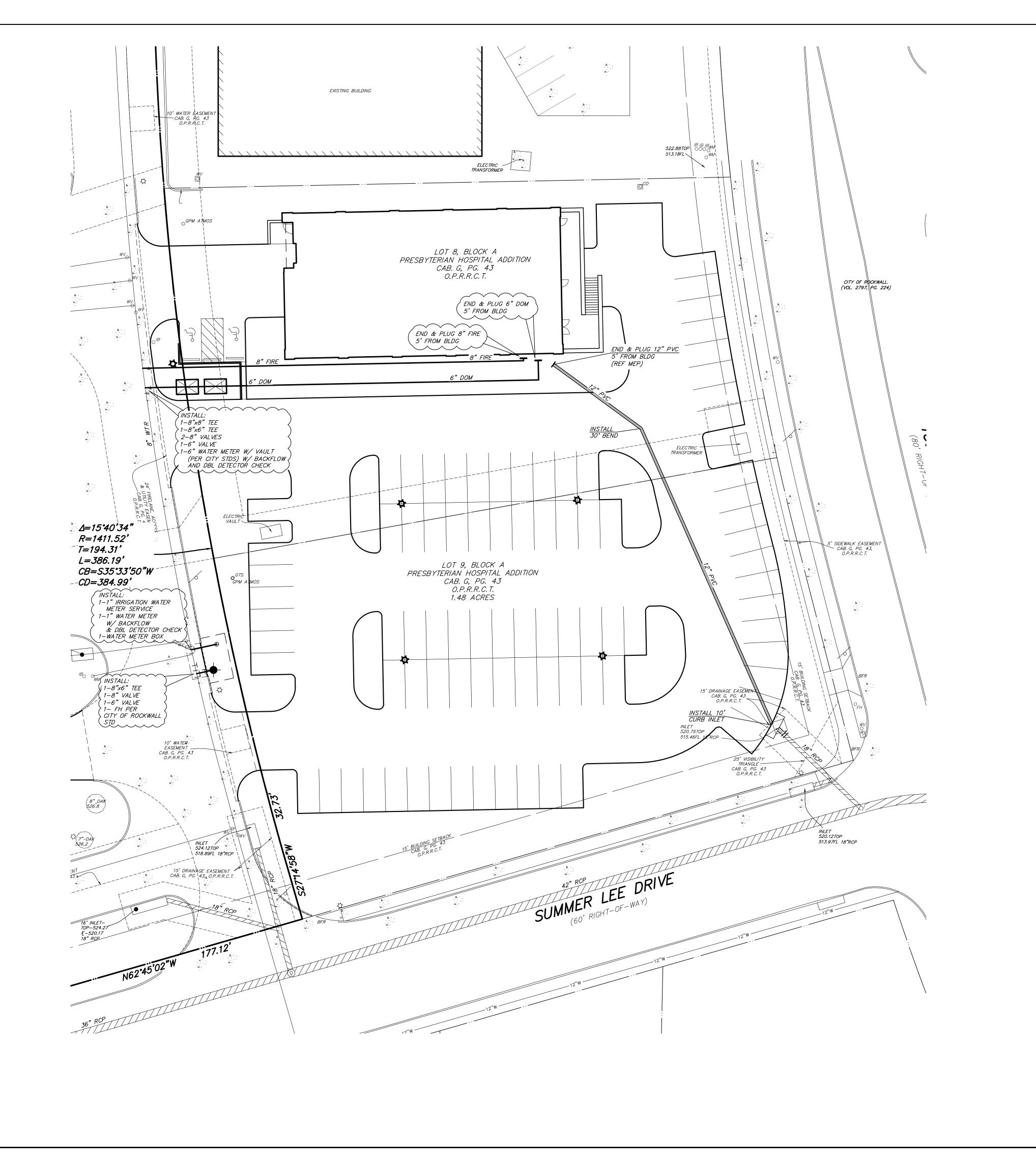
PROJECT

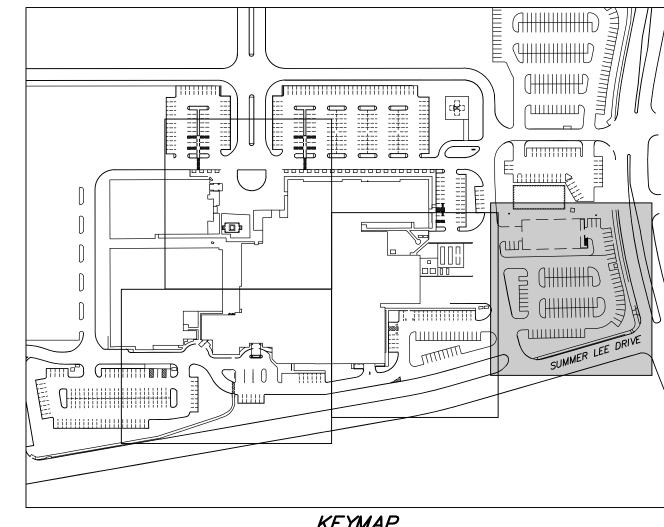
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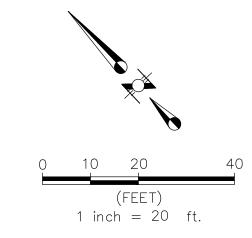
147381.000 TITLE





<u>KEYMAP</u>

1"=200'



<u>LEGEND</u>

XXXXXXXXXXX	EXISTING STORM SEWER
	PROPOSED STORM SEWER LINE (CLASS III)
12"W	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE

Perkins&Will

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CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243

STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS 1700 PACIFIC AVENUE, STE 2100

DALLAS, TX 75201 LANDSCAPING

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

> OWNER TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243

CONTRACTOR ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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> KRUEGER BRODBECK TEXAS PE #109736

> > **PROJECT**

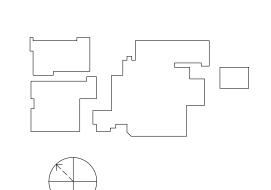


ISSUE **PRESBYTERIAN HOSPITAL ROCKWALL EXPANSION & RENOVATION** 3150 HORIZON RD.

ROCKWALL, TX 75032

KEYPLAN

ISSUE CHART

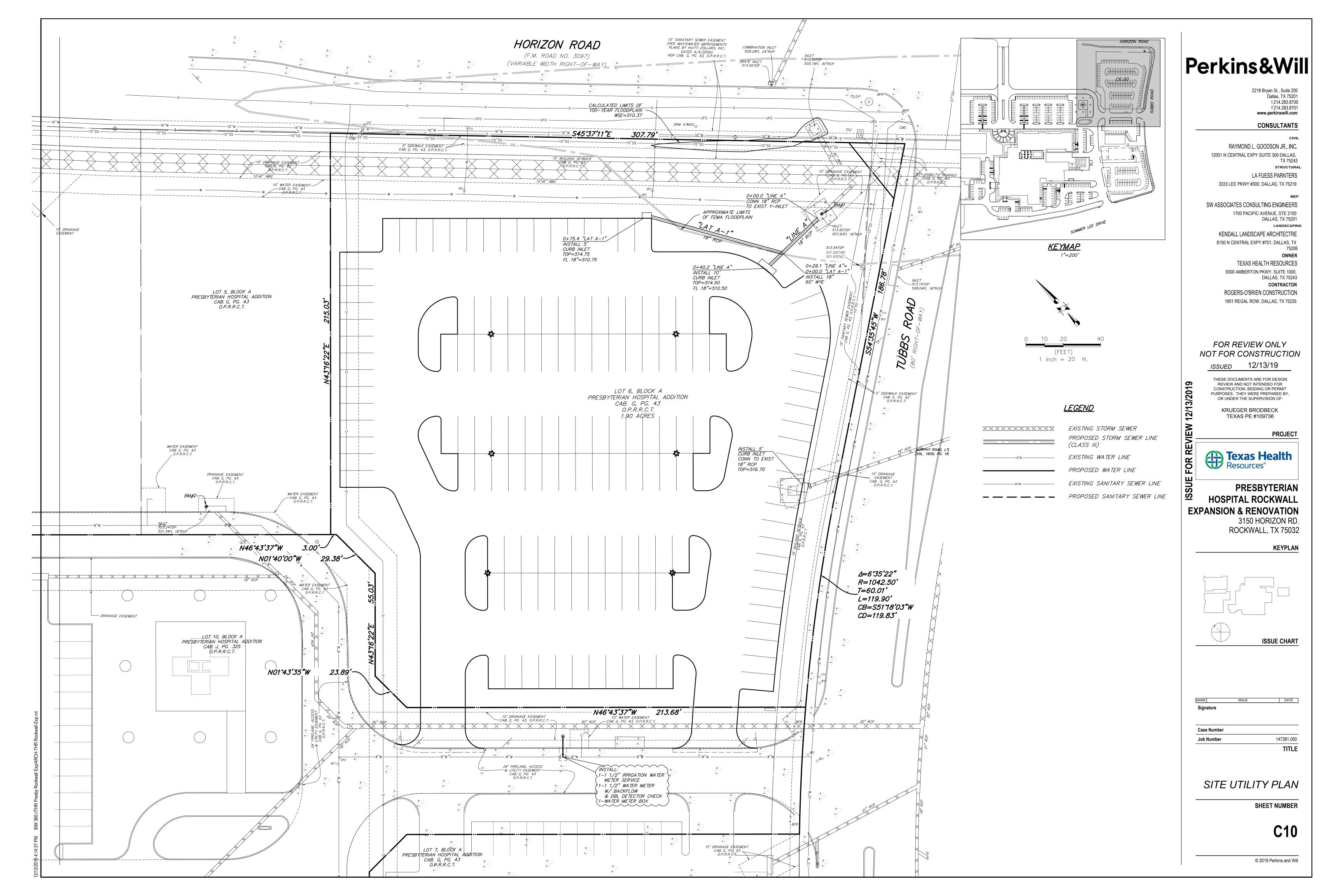


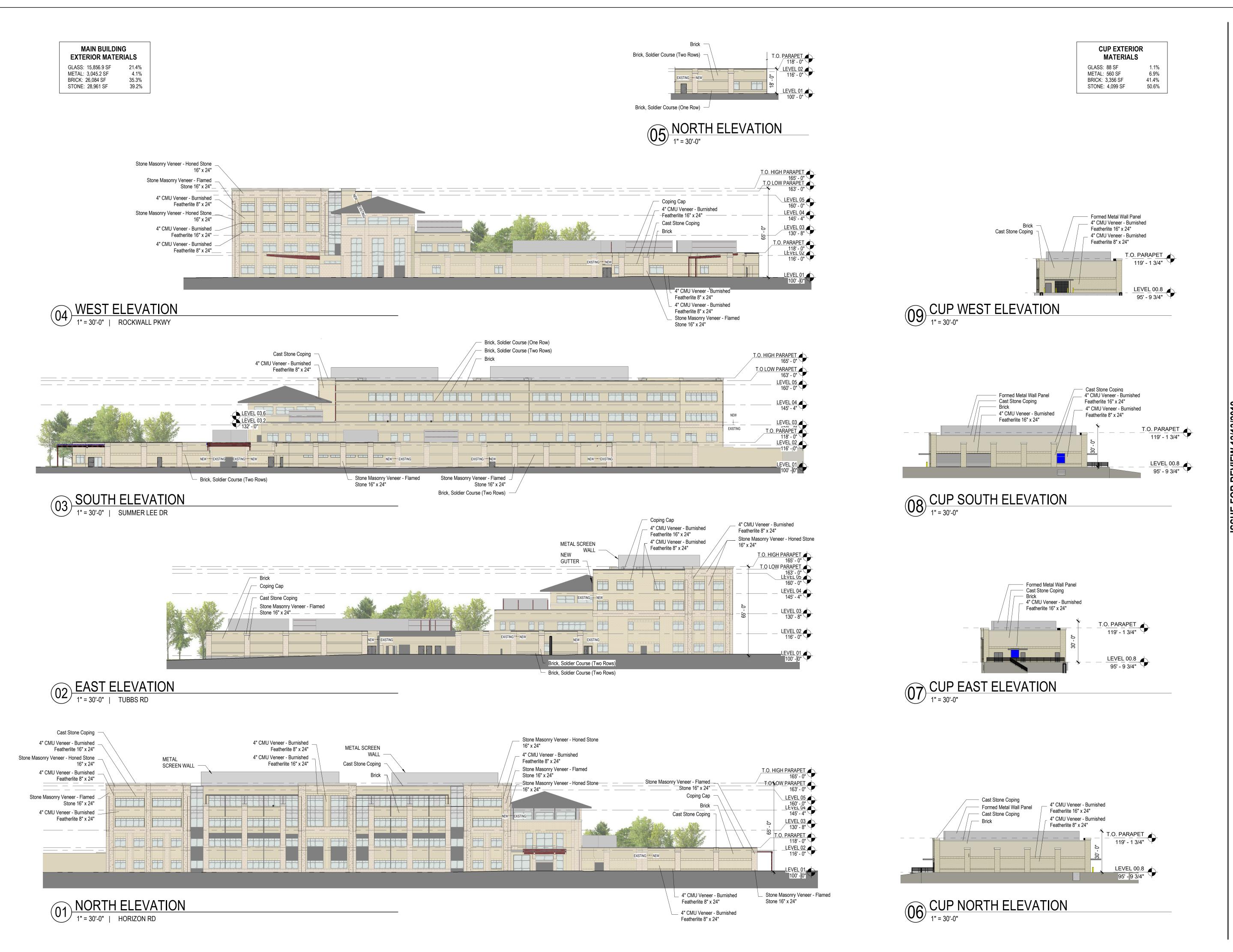
Case Number Job Number 147381.000 TITLE

SITE UTILITY PLAN

SHEET NUMBER

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CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243 STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING

1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201 LANDSCAPING

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206 OWNER

TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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LICENSE NO: 19624

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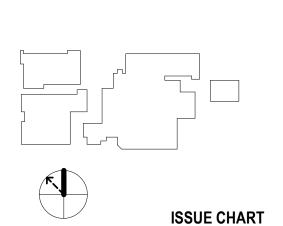
PRESBYTERIAN HOSPITAL

ROCKWALL EXPANSION

& RENOVATION

& RENOVATION 3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN



I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall.

Planning & Zoning Commission, Chairman

Case Number Job Number 147381.000

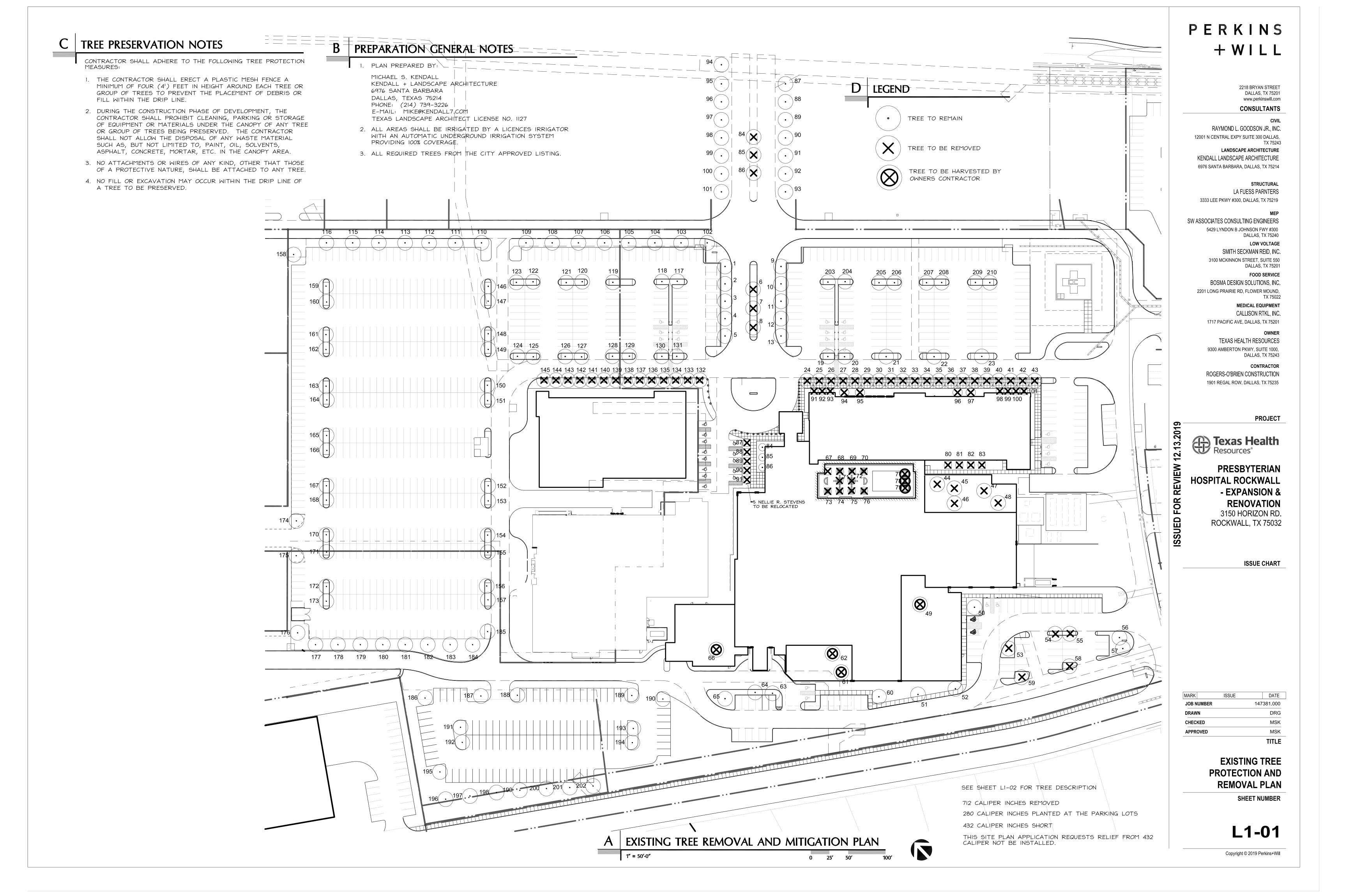
> **EXTERIOR ELEVATIONS**

> > SHEET NUMBER

TITLE

18

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RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, LANDSCAPE ARCHITECTURE KENDALL LANDSCAPE ARCHITECTURE 6976 SANTA BARBARA, DALLAS, TX 75214

> STRUCTURAL LA FUESS PARNTERS

3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS 5429 LYNDON B JOHNSON FWY #300 DALLAS, TX 75240 LOW VOLTAGE SMITH SECKMAN REID, INC.

3100 MCKINNON STREET, SUITE 550 DALLAS, TX 75201

FOOD SERVICE BOSMA DESIGN SOLUTIONS, INC. 2201 LONG PRAIRIE RD, FLOWER MOUND,

> MEDICAL EQUIPMENT CALLISON RTKL, INC.

1717 PACIFIC AVE, DALLAS, TX 75201

TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243

CONTRACTOR ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

PROJECT



PRESBYTERIAN HOSPITAL ROCKWALL - EXPANSION & **RENOVATION** 3150 HORIZON RD. ROCKWALL, TX 75032

ISSUE CHART

		TITLE
APPR	OVED	MSK
CHEC	KED	MSK
DRAW	/N	DRG
JOB N	IUMBER	147381.000
MARK	ISSUE	DATE

TREE REMOVAL IS PHASE ONE OF THE HOSPITAL PROJECT.

THIS SITE PLAN APPLICATION REQUESTS RELIEF FROM 432 CALIPER NOT BE INSTALLED.

280 CALIPER INCHES PLANTED AT THE PARKING LOTS

712 CALIPER INCHES REMOVED

432 CALIPER INCHES SHORT

209. DRAKE ELM 8" CALIPER TO REMAIN AND PROTECT 210. DRAKE ELM 8" CALIPER TO REMAIN AND PROTECT MITIGATION CAN BE DELAYED TO PHASE 2 OF THE HOSPITAL PROJECT.

EXISTING TREE LISTING

SHEET NUMBER

L1-02

LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	100. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
LIVE OAK 12" CALIFER	TO REMAIN AND PROTECT	101. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	102. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	103. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	104. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
. PISTACHIO 10" CALIPER . PISTACHIO 10" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT	105. LIVE OAK 106. LIVE OAK	12" CALIPER 12" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
. PISTACHIO 10" CALIPER	TO REMAIN AND PROTECT	107. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
I. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	108. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
D. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	109. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	IIO. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
2. LIVE OAK	TO REMAIN AND PROTECT TO REMAIN AND PROTECT	III. LIVE OAK II2. LIVE OAK	12" CALIPER 12" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
4. LIVE OAK 23" CALIPER		113. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
5. LIVE OAK 23" CALIPER		114. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
6. LIVE OAK 23" CALIPER		115. LIVE OAK	12" CALIPER	TO REMAIN AND PROTECT
7. LIVE OAK		116. LIVE OAK 117. DRAKE ELM	12" CALIPER 8" CALIPER	TO REMAIN AND PROTECT
B. LIVE OAK	TO REHOVE TO REMAIN AND PROTECT	117. DRAKE ELIT 118. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
O. RED OAK 14" CALIPER	TO REMAIN AND PROTECT	119. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
1. RED OAK 14" CALIPER	TO REMAIN AND PROTECT	120. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
2. RED OAK 14" CALIPER	TO REMAIN AND PROTECT	121. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
3. RED OAK 14" CALIPER 4. BALD CYPRESS 14" CALIPER	TO REMAIN AND PROTECT TO REMOVE	122. DRAKE ELM 123. DRAKE ELM	8" CALIPER 8" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
5. BALD CYPRESS 14" CALIPER	TO REMOVE	124. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
6. BALD CYPRESS 14" CALIPER	TO REMOVE	125. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
7. BALD CYPRESS 14" CALIPER	TO REMOVE	126. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
8. BALD CYPRESS 14" CALIPER	TO REMOVE	127. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
9. BALD CYPRESS 14" CALIPER 0. BALD CYPRESS 14" CALIPER	TO REMOVE TO REMOVE	128. DRAKE ELM 129. DRAKE ELM	8" CALIPER 8" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
I. BALD CYPRESS 14" CALIPER	TO REMOVE	130. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
2. BALD CYPRESS 14" CALIPER	TO REMOVE	131. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
3. BALD CYPRESS 14" CALIPER	TO REMOVE	132. BALD CYPRES		TO BE REMOVED
4. BALD CYPRESS 14" CALIPER	TO REMOVE	I33. BALD CYPRES		TO BE REMOVED
5.BALD CYPRESS 14" CALIPER 6.BALD CYPRESS 14" CALIPER	TO REMOVE TO REMOVE	134. BALD CYPRESS 135. BALD CYPRESS		TO BE REMOVED TO BE REMOVED
7. BALD CYPRESS 14" CALIPER	TO REMOVE	136. BALD CYPRES		TO BE REMOVED
8. BALD CYPRESS 14" CALIPER	TO REMOVE	137. BALD CYPRES	57" CALIPER	TO BE REMOVED
9. BALD CYPRESS 14" CALIPER	TO REMOVE	138. BALD CYPRES		TO BE REMOVED
O. BALD CYPRESS 14" CALIPER	TO REMOVE TO REMOVE	139. BALD CYPRES		TO BE REMOVED
I. BALD CYPRESS 14" CALIPER 2. BALD CYPRESS 14" CALIPER	TO REMOVE TO REMOVE	140. BALD CYPRESS 141. BALD CYPRESS		TO BE REMOVED TO BE REMOVED
3. BALD CYPRESS 14" CALIPER	TO REMOVE	142. BALD CYPRES		TO BE REMOVED
4. RED OAK 10" CALIPER	TO REMOVE	143. BALD CYPRES		TO BE REMOVED
5. LIVE OAK 10" CALIPER	TO REMOVE	144. BALD CYPRES		TO BE REMOVED
6. LIVE OAK 10" CALIPER 7. LIVE OAK 10" CALIPER	TO REMOVE TO REMOVE	145. BALD CYPRES: 146. CEDAR ELM	4" CALIPER	TO BE REMOVED TO REMAIN AND PROTECT
8. LIVE OAK 10" CALIPER	TO REMOVE	147. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
9. LIVE OAK 10" CALIPER	TO REMOVE	148. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
O. LIVE OAK 10" CALIPER	TO REMOVE	149. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
I. RED OAK	TO REMOVE TO REMOVE	150. CEDAR ELM 151. CEDAR ELM	4" CALIPER 4" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
3. BUR OAK 8" CALIPER	TO REMAIN AND PROTECT	151. CEDAR ELIT	4" CALIPER	TO REMAIN AND PROTECT
4. BUR OAK 8" CALIPER	TO REMAIN AND PROTECT	153. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
5. BUR OAK 8" CALIPER	TO REMAIN AND PROTECT	154. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
6. RED OAK 9" CALIPER	TO REMAIN AND PROTECT	155. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
7. LIVE OAK 9" CALIPER 8. RED OAK 10" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT	156. CEDAR ELM 157. CEDAR ELM	4" CALIPER 4" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
9. SAWTOOTH OAK 8" CALIPER	TO REMAIN AND PROTECT	158. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
0. RED OAK 12" CALIPER	TO REMAIN AND PROTECT	159. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
I. RED OAK 12" CALIPER	TO REMOVE	160. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
2. RED OAK 12" CALIPER 3. RED OAK 10" CALIPER	TO BE REMOVED TO REMAIN AND PROTECT	161. CEDAR ELM 162. CEDAR ELM	4" CALIPER 4" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
4. RED OAK 10" CALIPER	TO REMAIN AND PROTECT	162. CEDAR ELIT 163. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
5. RED OAK 12" CALIPER	TO REMAIN AND PROTECT	164. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
6. RED OAK 10" CALIPER	TO REMOVE	165. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
7. PISTACHIO 10" CALIPER 8. PISTACHIO 6" CALIPER	TO BE REMOVED TO BE REMOVED	166. CEDAR ELM 167. CEDAR ELM	4" CALIPER 4" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
8. PISTACHIO 6" CALIPER 9. PISTACHIO 8" CALIPER	TO BE REMOVED	167. CEDAR ELIT 168. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
O. PISTACHIO 10" CALIPER	TO BE REMOVED	169. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
1. PISTACHIO 6" CALIPER	TO BE REMOVED	170. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
2. PISTACHIO 8" CALIPER	TO BE REMOVED	171. CEDAR ELM	4" CALIPER	TO REMAIN AND PROTECT
3. PISTACHIO 8" CALIPER 4. PISTACHIO 8" CALIPER	TO BE REMOVED TO BE REMOVED	172. CEDAR ELM 173. CEDAR ELM	4" CALIPER 4" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
5. PISTACHIO 10" CALIPER	TO BE REMOVED	174. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
6. PISTACHIO 10" CALIPER	TO BE REMOVED	175. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
7. MAGNOLIA 7" CALIPER	TO BE REMOVED	176. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
8. MAGNOLIA 7" CALIPER 9. MAGNOLIA 7" CALIPER	TO BE REMOVED TO BE REMOVED	177. LIVE OAK 178. LIVE OAK	6" CALIPER 6" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
0. MAGNOLIA 7" CALIPER	TO BE KLINOVED TO REMAIN AND PROTECT	170. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
I. MAGNOLIA 7" CALIPER	TO REMAIN AND PROTECT	180. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
2. MAGNOLIA 7" CALIPER	TO REMAIN AND PROTECT	181. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
3. MAGNOLIA 7" CALIPER	TO REMAIN AND PROTECT	182. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
4. PISTACHIO 10" CALIPER 5. PISTACHIO 6" CALIPER	TO BE REMOVED TO BE REMOVED	183. LIVE <i>O</i> AK 184. LIVE <i>O</i> AK	6" CALIPER 6" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
6. PISTACHIO 8" CALIPER	TO BE REMOVED	185. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
7. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	186. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
8. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	187. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
9. LIVE OAK 12" CALIPER 0. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT	188. LIVE <i>O</i> AK 189. LIVE <i>O</i> AK	6" CALIPER 6" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
II. LIVE OAK 12 CALIPER	TO REMAIN AND PROTECT	199. LIVE OAK 190. LIVE OAK	6" CALIPER	TO REMAIN AND PROTECT
2. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	191. CEDAR ELM	6" CALIPER	TO REMAIN AND PROTECT
3. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	192. CEDAR ELM	6" CALIPER	TO REMAIN AND PROTECT
14. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	193. CEDAR ELM	6" CALIPER	TO REMAIN AND PROTECT
5. LIVE OAK	TO REMAIN AND PROTECT TO REMAIN AND PROTECT	194. CEDAR ELM 195. LIVE <i>O</i> AK	6" CALIPER 6" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
7. LIVE OAK 12" CALIFER	TO REMAIN AND PROTECT	196. RED OAK	6" CALIPER	TO REMAIN AND PROTECT
8. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	197. RED <i>O</i> AK	6" CALIPER	TO REMAIN AND PROTECT
9. LIVE OAK 12" CALIPER	TO REMAIN AND PROTECT	198. RED OAK	6" CALIPER	TO REMAIN AND PROTECT
		199. RED OAK 200.RED OAK	6" CALIPER 6" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
		200. RED OAK 201. RED OAK	6" CALIPER	TO REMAIN AND PROTECT
		202. RED OAK	6" CALIPER	TO REMAIN AND PROTECT
		203. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
		204. DRAKE ELM 205. DRAKE ELM	8" CALIPER 8" CALIPER	TO REMAIN AND PROTECT TO REMAIN AND PROTECT
		205. DRAKE ELM 206. DRAKE ELM	8" CALIPER 8" CALIPER	TO REMAIN AND PROTECT
		207. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
		208. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT
		209. DRAKE ELM	8" CALIPER	TO REMAIN AND PROTECT

D PARKING LOT PLANT LIST

ILEX VOMITORIA NANA

GROUNDCOVER

LAWN

CYNDON

ILEX CRENATA BURFORDII NANA

EUONYMUS FORTUNEI 'COLORATA'

IF QUANTITIES ARE SHOWN, CONTRACTOR IS RESPONSIBILE FOR VERIFYING QUANTITIES. PLAN REFERENCES GOVERN. COMMON NAME DESCRIPTION BOTANIC NAME SIZE LARGE TREES QUERCUS SHUMARDII SHUMARD RED OAK 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. QUERCUS VIRGINIANA LIVE OAK 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. QUERCUS MACROPHYLUM BUR OAK 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. CEDAR ELM ULMUS CRASSIFOLIA 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. ORNAMENTAL TREES VITEX VITEX AGNUS-CASTUS 65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD MULTI-TRUNK - 3 CANES MAXIMUM JUNIPER VIRGINIANA EASTERN RED CEDAR 65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD MULTI-TRUNK - 3 CANES MAXIMUM ILEX VOMITORIA TREE YAUPON 65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD MULTI-TRUNK - 3 CANES MAXIMUM SHRUBS

3 GALLON

3 GALLON

1 GALLON

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED.

DWARF YAUPON HOLLY

DWARF BURFORD HOLLY

PURPLE WINTERCREEPER

SOLID SOD BERMUDA

E LANDSCAPE ORDINANCE - ROCKWALL, TEXAS - SOUTH PARKING

24" ON CENTER

24" ON CENTER

18" ON CENTER

11,500 PROVIDED SQUARE FEET

- I. 101 LANDSCAPE BUFFER
 PROVIDED AT ROCKWALL
- PROVIDED AT ROCKWALL PARKWAY
- 2. SCREENING OF OFF-STREET LOADING AREAS NOT APPLICABLE
- 3. RESIDENTIAL ADJACENCY
- MATCHING EXISTING SCREENING ALONG THE BALANCE OF THE PROJECT.

4. **BUFFER LANDSCAPING** 1 TREE PER 50 LINEAR FEET TUBBS

TUBBS

165 /50

3 TREES REQUIRED
8 TREES PROVIDED

SUMMER LEE DRIVE

240 /50

5 TREES REQUIRED

13 TREES PROVIDED

5. PARKING LOT LANDSCAPING

33,600 *.05

1,680 REQUIRED SQUARE FEET

7,700 PROVIDED SQUARE FEET

6. OPEN SPACE

OFFICE ZONING REQUIRES 20%

47,500 *.20

9,500 REQUIRED SQUARE FEET

B PREPARATION GENERAL NOTES

I. PLAN PREPARED BY:

MICHAEL S. KENDALL
KENDALL + LANDSCAPE ARCHITECTURE
6976 SANTA BARBARA
DALLAS, TEXAS 75214
PHONE: (214) 739-3226

PHONE: (214) 739-3226
E-MAIL: MIKE@KENDALL7.COM
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127

PROVIDING 100% COVERAGE.

- 2. ALL AREAS SHALL BE IRRIGATED BY A LICENCES IRRIGATOR WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM
- 3. ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.

C | TREE PRESERVATION NOTES

CONTRACTOR SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:

- 1. THE CONTRACTOR SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF FOUR (4') FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
- 2. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE CONTRACTOR SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE CONTRACTOR SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC. IN THE CANOPY AREA.
- 3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAT THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- 4. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED.



1" = 40'-0"

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RAYMOND L. GOODSON JR., INC.

12001 N CENTRAL EXPY SUITE 300 DALLAS,
TX 75243

LANDSCAPE ARCHITECTURE

KENDALL LANDSCAPE ARCHITECTURE

6976 SANTA BARBARA, DALLAS, TX 75214

STRUCTURAL LA FUESS PARNTERS

3333 LEE PKWY #300, DALLAS, TX 75219

SW ASSOCIATES CONSULTING ENGINEERS
5429 LYNDON B JOHNSON FWY #300
DALLAS, TX 75240
LOW VOLTAGE
SMITH SECKMAN REID, INC.
3100 MCKINNON STREET, SUITE 550

3100 MCKINNON STREET, SUITE 550 DALLAS, TX 75201 FOOD SERVICE

BOSMA DESIGN SOLUTIONS, INC. 2201 LONG PRAIRIE RD, FLOWER MOUND, TX 75022

MEDICAL EQUIPMENT
CALLISON RTKL, INC.
1717 PACIFIC AVE, DALLAS, TX 75201

TEXAS HEALTH RESOURCES
9300 AMBERTON PKWY, SUITE 1000,

DALLAS, TX 75243

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235

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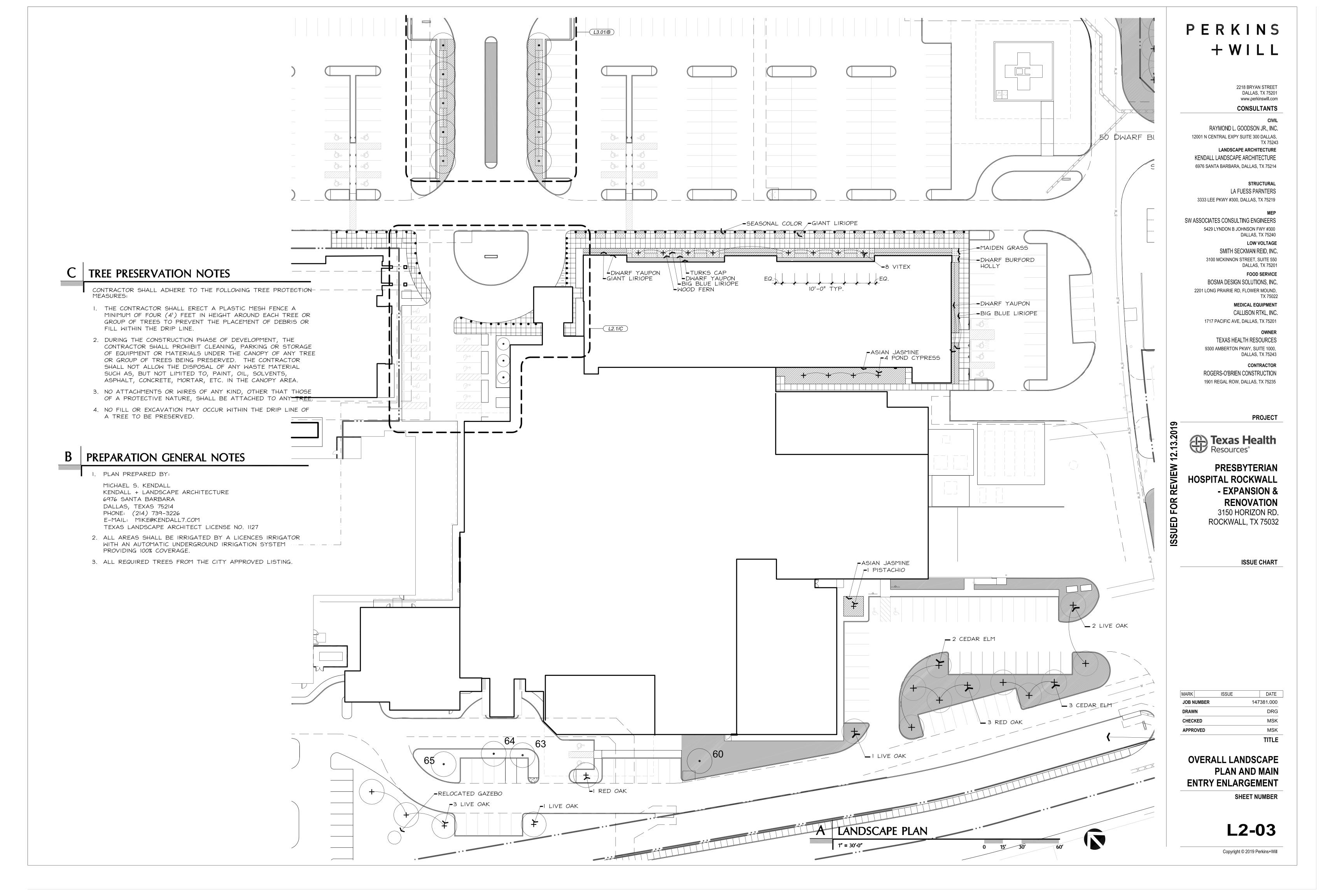
ISSUE CHART

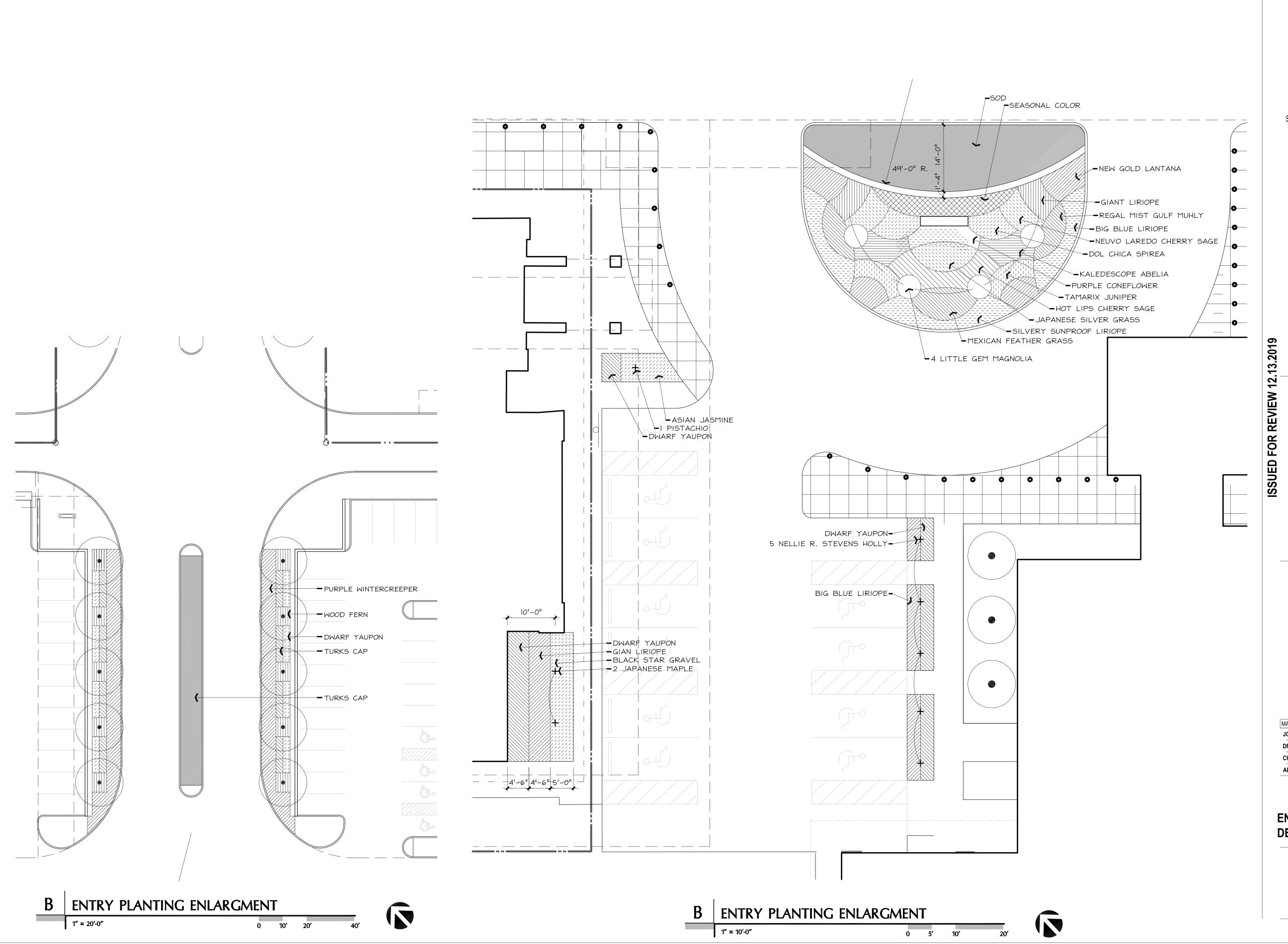
				TITLE			
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CHEC	KED		MSK				
DRAW	WN DRG						
JOB NUMBER 147381.							
MARK	ISSUE DATE						

PARKING LOT LANDSCAPE PLAN AND DETAILS

SHEET NUMBER

L2-02





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LANDSCAPE ARCHITECTURE

LANDSCAPE ARCHITECTURE KENDALL LANDSCAPE ARCHITECTURE 6976 SANTA BARBARA, DALLAS, TX 75214

> STRUCTURAL LA FUESS PARNTERS

LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

MEP SW ASSOCIATES CONSULTING ENGINEERS 5429 LYNDON B JOHNSON FWY #300

DALLAS, TX 75240

LOW VOLTAGE

SMITH SECKMAN REID, INC.

3100 MCKINNON STREET, SUITE 550 DALLAS, TX 75201

FOOD SERVICE
BOSMA DESIGN SOLUTIONS, INC.

2201 LONG PRAIRIE RD, FLOWER MOUND, TX 75022 MEDICAL EQUIPMENT

MEDICAL EQUIPMENT CALLISON RTKL, INC. 1717 PACIFIC AVE, DALLAS, TX 75201

TEXAS HEALTH RESOURCES
9300 AMBERTON PKWY, SUITE 1000,
DALLAS, TX 75243

CONTRACTOR
ROGERS-O'BRIEN CONSTRUCTION
1901 REGAL ROW, DALLAS, TX 75235

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ROCKWALL, TX 75032

ISSUE CHART

		TITLE
APPR	OVED	MSK
CHECI	KED	MSK
DRAW	N	DRG
JOB N	UMBER	147381.000
MARK	ISSUE	DATE

ENLARGED SITE PLAN, DETAILS AND PLANT LIST

SHEET NUMBER

L2-04

A PLANT LISTING

SUMMER - NEW GOLD LANTANA - I GALLON, 18" ON CENTER

LAWN

CYNDON SPP.

FALL - CHRYSANTHEMUM 'SEMINOLE' - 4" POT, 8" ON CENTER.

BERMUDA GRASS - SOLID SOD AND SEEDING - SEE LEGEND

ALL SIZES SHOWN ARE MINIMUM. SMAL	LER CONTAINERS MEETING THE S	PECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED.	
BOTANIC NAME	COMMON NAME	SIZE	DESCRIPTION
LARGE TREES			
PISTACHIO CHINENSIS	PISTACHIO	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 9' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER
QUERCUS SHUMARDII	SHUMARD RED OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS CRASSIFOLIA	CEDAR ELM	3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	BALLED AND BURLAPPED, SINGLE STRAIGHT LEADER.
		3 3 1/2 OMEN EN, O TO THEIGHT, A 3 STREAM	'
ORNAMENTAL TREES ILEX CORNUTA 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
ACER JAPONICA	JAPANESE MAPLE	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
MAGNOLIA GRANDIFLORA 'LITTLE GEM'		100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
SOPHORA SECUNDIFOLIA	TEXAS MOUNTAIN LAUREL	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
VITEX ANGUS-CASTUS	VITEX	65 GALLON CONTAINER, 3 -3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
TAXODIUM ASCENDUM	POND CYPRESS	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
SHRUBS			
ABELIA GRANDIFLORA	KALIDESCOPE ABELIA	3 GALLON	30" ON CENTER
ILEX BURFORDII 'NANA'	DWARF BURFORD HOLLY	3 GALLON	24" ON CENTER
ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GALLON	24" ON CENTER
SALVIA GREGGI 'HOTLIPS'	HOTLIPS CHERRY SAGE	I GALLON	24" ON CENTER
SALVIA GREGGI 'NEUVO LAREDO'	NEUVO LAREDO CHERRY SAGE	I GALLON	24" ON CENTER
JUNIPERUS TAMARIFOLIA	TAMARIX JUNIPER	3 GALLON	24 ON CENTER
SPIREA 'DOL CHICA'	DOL CHICA SPIREA	I GALLON	18" ON CENTER
GROUNDCOVER			
EUONYMUS FORTUNEI 'COLORATUS'	PURPLE WINTERCREEPER	I GALLON	18" ON CENTER
LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	4" POT	8" ON CENTER
LIRIOPE MUSCARI 'GIANT'	GIANT LIRIOPE	I GALLON	15" ON CENTER
LIRIOPE MUSCARI 'SILVERY SUNPROOF'	SILVERY SUNPROOF LIRIOPE	4" POT	8" ON CENTER
TRACHELSPERMUM ASIATICUM	ASIAN JASMINE	I GALLON	15 ON CENTER
PERENNIALS			
LANTANA X 'NEW GOLD'	NEW GOLD LANTANA	I GALLON	24" ON CENTER
MISCANTHUS SINENSIS 'X'	JAPANESE SILVER GRASS	I GALLON	18" ON CENTER
DRYOPTERIS SPP	WOOD FERN	I GALLON	15" ON CENTER
HESPERALOE PARVIFOLIA	RED YUCCA	I GALLON	18" ON CENTER
NASELLA TENUISSIMA	MEXICAN FEATHER GRASS	I GALLON	15" ON CENTER
MUHLENBERGIA CAPILLARIS 'REGAL MIS	STREGAL MIST GULF MUHLY	I GALLON	18" ON CENTER
ECHINACEA	PURPLE CONEFLOWER	I GALLON	18" ON CENTER
ANNUALS			
	'MAXIM BILIF' OR 'IMPERIAL SILV	'ER PRINCESS' - 4" POT, 8" ON CENTER.	
STRING TANSIES BLACON FILLD OR	TO WITH DECK OR THE LINE SILV	LIX I KINGLOO T I OI, O ON CLIVILIX.	

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OWNER

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ISSUE CHART

			TITLE
APPROVED			MSK
CHECKED			MSK
DRAWN			DRG
JOB NUMBER	R	147	'381.000
MARK	ISSUE		DATE

PLANT LIST

SHEET NUMBER

L2-05







Specifications

17-1/2" 7-1/8" 36 lbs. (16.4 kg)

17-1/2"

KAD LED LED Area Luminaire

Type WS

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded

To learn more about A+, visit <u>www.acuitybrands.com/aplus</u>.

- 1. See ordering tree for details.
- 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

Series			40K	R3	480		SPD09				
	LEDs	Drive current	ССТ	Distribution	Voltage		Voltage Mounting'				
KAD LED	20C ¹ 20 LEDs 30C ¹ 30 LEDs 40C 40 LEDs 60C 60 LEDs	530 530 mA ¹ 700 700 mA 1000 1000 mA	30K 3000 K 40K 4000 K 50K 5000 K	R2 Type II R3 Type III R4 Type IV R5 Type V	1203 3	277 ³ 647 ^{1,2} 180 ^{1,2}	Shipped included SPUMBAK Square pole universal mounting adaptor ⁵ RPUMBAK Round pole universal mounting adaptor ⁵ SPD Square pole RPD Round pole WBD Wall bracket WWD Wood pole or wall	04 06 09 12	4" arm 6" arm 9" arm ⁴ 12" arm ⁵	Shipped so DAD12P DAD12WB KMA	Degree arr (pole)
2 HEAD	@ 180 DEG	REES					DI	DBXD			

2 HEAD @ 180 DEGREES								DDBXD			
Option								Finish (re			
Shipp	ed installed					Ship	ped separately 16	DDBXD	Dark bronze	DDBTXD	Textured dark
PERS	NEMA twist-lock five-wire receptacle only (no controls) 6.78	PIR1FC3V	Bi-level, motion/ambient sensor, 8–15' mounting height, ambient	PNMTDD3	Part night, dim till dawn ^{2,10,15}	WG	Wire guard	DBLXD DNAXD	Black Natural	DBLBXD	bronze Textured blac
PER7	Seven-wire receptacle only (no controls) 67.8		sensor enabled at 1fc 2,9,10,11,12	PNMT5D3	Part night, dim			Divino	aluminum	DNATXD	Textured natu
SF	Single fuse (120, 277, 347V) 3	PIRH1FC3V	Bi-level, motion/ambient sensor, 15–30'mounting height, ambient	200000000000000000000000000000000000000	5 hrs ^{2,10,15}			DWHXD	White		aluminum
DF	Double fuse (208, 240, 480V) 3		sensor enabled at 1fc 2,9,10,11,12	PNMT6D3	NT6D3 Part night, dim 6 hrs ^{2,10,15}					DWHGXD	Textured whi
PIR	Bi-level, motion/ambient sensor, 8–15' mounting height, ambient sensor enabled at 5fc ^{2,9,10,11,12}	BL30	Bi-level switched dimming, 30% 28.9.10	PNMT7D3	Part night, dim 7 hrs ^{2,10,15}						
PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc 2.9,10,11,12	BL50	Bi-level switched dimming, 50% 28,9,10	HS	Houseside shield 16						

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KAD-LED Rev. 07/18/18 HOSPITAL ROCKWALL **EXPANSION &** 3150 HORIZON RD. ROCKWALL, TX 75032

Texas Health

Resources[®]

Perkins&Will

2218 Bryan St., Suite 200

CONSULTANTS

LA FUESS PARNTERS

DALLAS, TX 75201

DALLAS, TX 75243

CONTRACTOR

LANDSCAPING

OWNER

RAYMOND L. GOODSON JR., INC.

12001 N CENTRAL EXPY SUITE 300 DALLAS,

3333 LEE PKWY #300, DALLAS, TX 75219

KENDALL LANDSCAPE ARCHITECTRE

8150 N CENTRAL EXPY #701, DALLAS, TX

SW ASSOCIATES CONSULTING

1700 PACIFIC AVENUE, STE 2100

TEXAS HEALTH RESOURCES

9300 AMBERTON PKWY, SUITE 1000,

ROGERS-O'BRIEN CONSTRUCTION

1901 REGAL ROW, DALLAS, TX 75235

Dallas, TX 75201 t 214.283.8700

f 214.283.8701 www.perkinswill.com

TX 75243

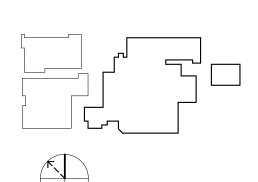
STRUCTURAL

KEYPLAN

PRESBYTERIAN

12/13/19

PROJECT



ISSUE CHART

Case Number

Job Number

SITE PLAN - NORTH -

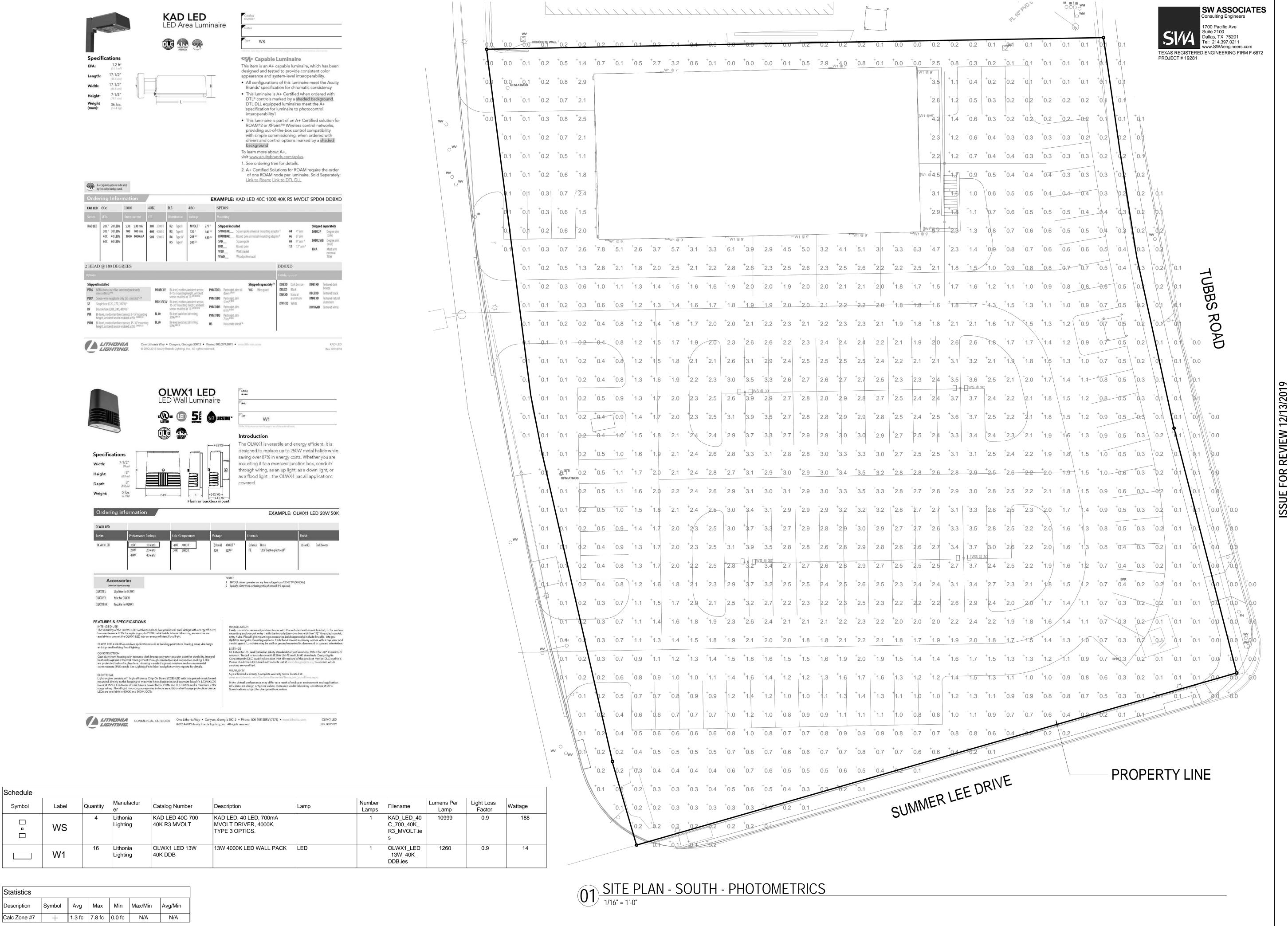
147381.000 TITLE

PHOTOMETRICS

E01-01P

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SHEET NUMBER



Perkins&Will

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CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243 STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

> SW ASSOCIATES CONSULTING 1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201 LANDSCAPING

KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX

OWNER TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235



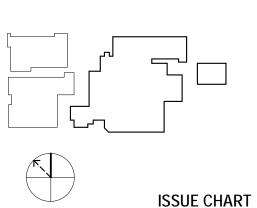
12/13/19

PROJECT

Texas Health Resources®

PRESBYTERIAN HOSPITAL ROCKWALL **EXPANSION &** 3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN



Case Number Job Number

SITE PLAN - SOUTH -**PHOTOMETRICS**

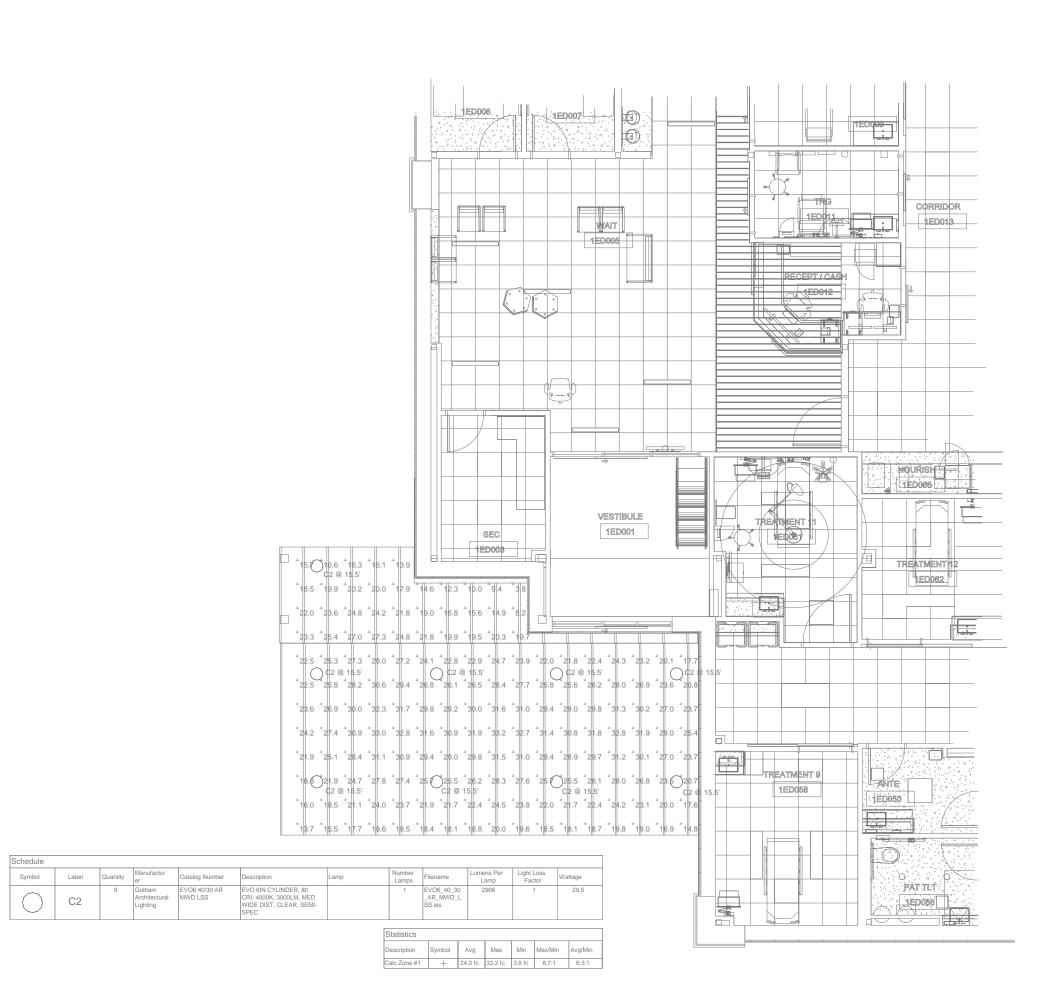
147381.000

TITLE

E01-02P

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SW ASSOCIATES Consulting Engineers 1700 Pacific Ave Suite 2100 Dallas, TX 75201 Tel: 214.397.0211 www.SWAengineers.com

PROJECT # 19281

TEXAS REGISTERED ENGINEERING FIRM F-6872

Perkins&Will

2218 Bryan St., Suite 200 Dallas, TX 75201 t 214.283.8700 f 214.283.8701 www.perkinswill.com

CONSULTANTS

RAYMOND L. GOODSON JR., INC. 12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243 STRUCTURAL LA FUESS PARNTERS 3333 LEE PKWY #300, DALLAS, TX 75219

> SW ASSOCIATES CONSULTING 1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201

LANDSCAPING KENDALL LANDSCAPE ARCHITECTRE 8150 N CENTRAL EXPY #701, DALLAS, TX 75206

> OWNER TEXAS HEALTH RESOURCES 9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243 CONTRACTOR

ROGERS-O'BRIEN CONSTRUCTION 1901 REGAL ROW, DALLAS, TX 75235



12/13/19

PROJECT

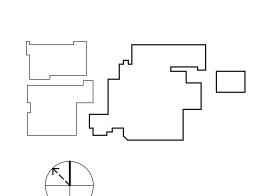
Texas Health Resources

PRESBYTERIAN HOSPITAL ROCKWALL **EXPANSION &** 3150 HORIZON RD. ROCKWALL, TX 75032

KEYPLAN

ISSUE CHART

147381.000



Case Number

Job Number

TITLE SITE PLAN -

PHOTOMETRICS

E01-03P

SHEET NUMBER

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Catalog Number: EXAMPLE: EV06 35/150 AR MWD LSS MVOLT EZ1 | 27/ | 2700 K | 3000 K | 35/ | 3500 K | 40 | 4000 lumens | 50 | 5000 lumens | 50 | 5000 lumens | 50 | 6000 lumens | 60 | 6000 Trim Style Distribution blank) Self-flanged VND Very Narrow (0.5 s/mh) Flangeless ND Narrow (0.7 s/mh) ECOS2⁵ Lutron® Hi-Lume® 2-wire forward-phase driver. Min-imum dimming fevel 1%, 120V only. Minimum 1000 lumens/Maximum 4000 lumens. EZ10 eldoLED 0-10V ECOdrive. Linear dimming to 10% min. LS Specular Lutron Ecosystem digital Hi-Lume 1% soft-on, fade to black. Max: 4000LM. EZ1 eldoLED 0-10V ECOdrive. Linear dimming to 1% min. EZB eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%. EDAB^s eldoLED SOLOdrive DALL Logarithmic dimming to <1%. DXB* eldoLED POWERdrive DMX with RDM (remote device management).
Square Law dimming to <1%. Includes termination resistor. Refer
DMXR Manual. Minimum 1000 lumens/Maximum 15000 lumens. N8O¹º nLight® Lumen Compensation Single fuse. Specify 120V or 277V BGTD Bodine generator transfer device. Specify 120V or 277V. White painted flange NLTER^{23,9} nLight[®] dimming pack controls emergency circuit Black painted flange DCRI High CRI (90+) NLTAIR2¹³ nLight[®] AIR enabled Emergency battery pack, 10W, with integral test switch Chicago Plenum. Specify 120V or 277V. NLTAIRER 2^{4,8,13} nLight[®] AIR enabled emergency Emergency battery pack, 10W, with self-diagnostics, with remote test switch Emergency battery pack, 10W, with self-diagnostics, integral test switch RRL_ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature XPoint Wireless, eldoLED driver. Linear Emergency battery pack, 10W, with self-diagnostics, remote test switch E10WCP Emergency battery pack, 10W Constant Power, CA Title 20 compliant with integral test switch XPoint Wireless, eldoLED driver. Logarithmic dimming to dark E10WCPR Emergency battery pack, 10W Constant Power, CA Title 20 compliant with remole test switch ACCESSORIES - order as separate catalog numbers (shipped separately) Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to IECH-190. CTA4-8 YKHL Ceiling thickness adapter for 10,000LM and above (extends mounting frame to accommodate ceiling thickness up to 5"). Adds --4" to fixture height. Ceiling thickness adapter for 8,000LM and below (extends mounting frame to accommodate ceiling thickness up to 5"). Adds --4" to fixture height. Vandal-resistant trim accessory. Refer to TECH-200. 0-10V wallbox dimmer. Refer to ISD-BC. ORDERING NOTES Not available with finishes. ER for use with generator supply power. Will require an emergency hot feed and normal hot Not available with emergency battery pack options. 10. Fixture begins at 80% light level. Must be specified with NLT or NLTER. Only available with Supplied with factory installed step down transformer.

@ gotham*

MRI Surgical Patient Suite Room Special Applications Dynamic Food Service Vandal Glean Room Shower EVO6-OPEN page 1 of 9 GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Convers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com © 2014-2019 Acuity Brands Lighting Inc. All Rights Reserved. Rev. 11/18/19 Specifications subject to change without notice. **②** gotham' ⊨ ∨ o General Illumination Round Downlight Luminaire Type:

Feature Set

Distribution

Superior Performance

Bounding Ray™ optical design

45° cutoff to source and source image

engine to the lower reflector for complete opti-

Fully serviceable and upgradeable lensed LED

Coordinated Apertures I Multiple Layers of Light

General Illumination Layer I EV0

Refer to TECH-240 for compatible dimmers.

8. For use with different reflector finish only (i.e. AR, PR, WTR, GR op-

tions). Not applicable with BR (black reflector) or FL (flangeless) optio

Not available with nLight® and XPoint options.

Specify voltage.

page 2 of 9

2.5 SDCM; 85 CRI typical, 90+ CRI optional

Batwing distribution with feathered edges

provides even illumination on horizontal and

Lumens 87.4 83.7 94.6 103.5 100.1 101.8 102.7 104.3 104.8 103.3 95.8 107.9 110.6 110.1 109.5 107.2 104.5 per Watt

High Center Beam Layer I Incito

Core

Healthcare

(ID TO ED)

Available with 10% dimming, 1% dimming, or

Unitized optics mechanically attach the light
 Fixtures are wet location, covered ceiling

• 70% lumen maintenance at 60,000 hours • ENERGY STAR® certified product

11. 12,000LM max with EL or nLight® options. 5,000LM max with Lutron drivers combined with

EL. Not available with ELR, HAO, EXA1, or EXAB options.

For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not applicable with WR (white reflector) or FL (flangeless) option.

12. Only available 5000LM - 15,000LM with eldoLED drivers.

13. Not available DALI or DMX drivers. Not available with CP or N80 options. Not recommended

GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Conyers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com

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for metal ceiling installations.

City of Rockwall



12/16/2019 AG

Project Plan Review History

David Hughes

Project Number SP2019-052

Project Name Ladera Amenity Center

Type SITE PLAN

Subtype PD

Status P&Z HEARING

John Delin Approve

Approved Closed

Expired

Status 12/19/2019 DG

Site Address

City, State Zip

900 N JOHN KING BLVD ROCKWALL, TX 75087

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

LADERA ROCKWALL 5 5 0122-0000-0005-00-0R

Owner

Applicant

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/16/2019	9 12/23/2019)			
ENGINEERING	Amy Williams	12/16/2019	9 12/23/2019)			
FIRE	Ariana Hargrove	12/16/2019	9 12/23/2019	12/19/2019	3	APPROVED	_
GIS	Lance Singleton	12/16/2019	9 12/23/2019	12/20/2019	4	APPROVED	
PLANNING	David Gonzales	12/16/2019	9 12/23/2019	12/19/2019	3	COMMENTS	See comments

(12/20/2019 12:28 PM DG)

SP2019-052; PD Site Plan for the Ladera Rockwall Development

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a site plan for an amenities center for the Ladera of Rockwall Subdivision being a37.80-acre parcel of land identified as Lot 1, Block A, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northeast corner of the intersection of SH66 and John King Boulevard.
- 1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (SP2019-052) in the lower right-hand corner of all pages of all revised plan submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC) and Planned Development District No. 85 (PD-85) that are applicable to the subject property.
- I.5 The PD site plan must be approved, all comments must be addressed prior to the approved PD site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed PD site plan will be forwarded to you.

M.6 PD Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Section 3, of Article IX, of the UDC):

- 1) Provide an Amenities Table that lists the amenities offered such as:
- a. Trail system
- b. Activity Center
- c. Pool
- d. Pickle Ball Courts
- e. Other amenities...
- 2) Provide a label identifying the amenities being offered
- 3) Remove the depicted profile grade line street sections at upper left portion of the plan
- 4) Remove the General Retail(GR) portion located on the west side of John King Blvd from the plan
- 5) With the removal of the street sections and the GR portion, enlarge the residential area providing a better depiction of the site and amenities
- 6) Differentiate the line weights to better delineate all of the objects on the plan(i.e. trees, labels, property line, sidewalks, trail system, fence detail, etc.). The line weight being used is heavy and distorts these objects.
- 7) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director as depicted in application package (Sec. 3, Art. IX, UDC)

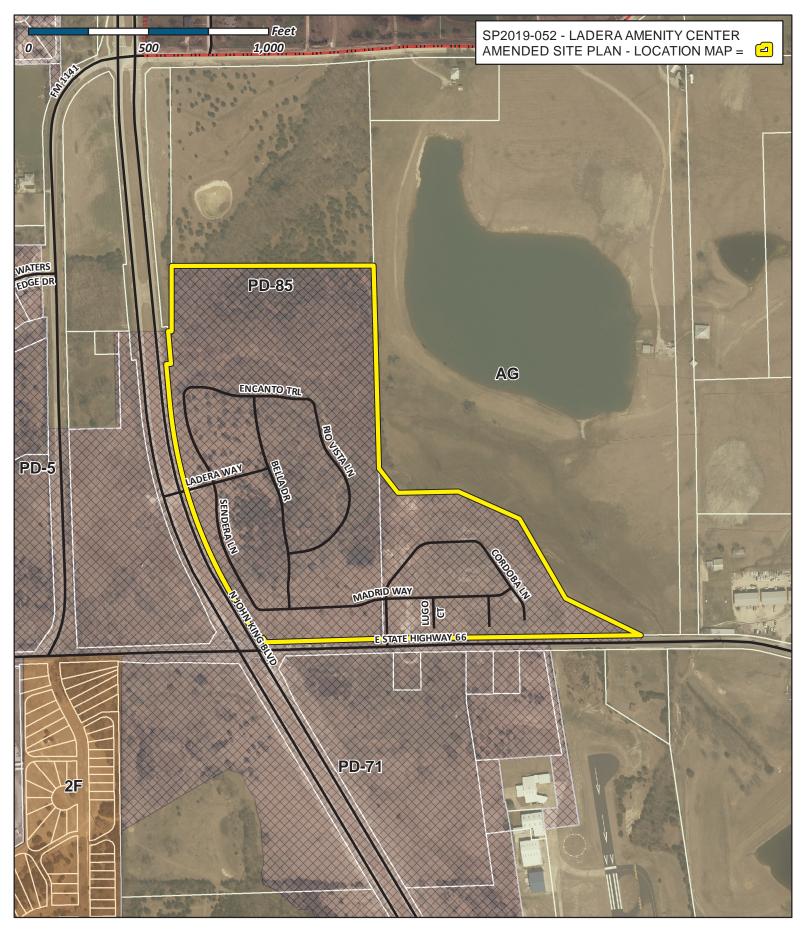
[Planned Development District No. 85 (PD-85) (Ordinance No. 18-32)]

M.7 Building Elevations. The building elevations of the activity center require a recommendation forwarded to the Planning and Zoning Commission for approval (Section 3.04(A)(1), of Article XI, of the UDC).

Project Reviews.rpt Page 2 of 3

- I.8 Photometric Plan. The photometric plan submitted does not represent a photometric lighting plan and has not been reviewed. It appears to be an electrical plan and would be submitted during the building permit process.
- I.9 Please note that failure to address all comments provided by staff by3:00 PM on January 7, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
- I.10 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested Revisions for this case will be due on January 7, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 14, 2019 Planning & Zoning Meeting.
- ** Please note that the Planning & Zoning Work Session meeting will be held on December 30, 2019.
- I.11 The Architectural Review Board (ARB) meeting will be held on December 30, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission
- I.12 Staff recommends that a representative be present for the meetings as scheduled above The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.

Project Reviews.rpt Page 3 of 3





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY -

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

My Commission Expires 03/07/20

DIRECTOR OF PLANNING:

CITY ENGINEED.

	CIT ENGINEER.
Please check the appropriate box below to indicate the type	of development request [SELECT ONLY ONE BOX]:
Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) 1 [] Preliminary Plat (\$200.00 + \$15.00 Acre) 1 [] Final Plat (\$300.00 + \$20.00 Acre) 1 [] Replat (\$300.00 + \$20.00 Acre) 1 [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) 1 [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.
PROPERTY INFORMATION [PLEASE PRINT]	
Address 900 N. John King	Blvd Rockwall . TX 75087
Subdivision Ladera Rockwall Pha	61 Lot 1 Block A
General Location Corner of John King	Blvd. & Highway 66
ZONING, SITE PLAN AND PLATTING INFORMATIO	
Current Zoning Plan Development	Current Use SF - 7
Proposed Zoning	Proposed Use
Acreage 37,80 Lots [C	Current] D Lots [Proposed] 172
[] <u>SITE PLANS AND PLATS</u> : By checking this box you acknowledge the process, and failure to address any of staff's comments by the date in	at due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approve provided on the Development Calendar will result in the denial of your case.
	E PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[]Owner RW Ladera, LLC	Mapplicant Integrity Group, LLG
Contact Person, John Pelin	Contact Person David Hyghes
Address 361 W. Byron Nelson	Bld. Address 361 W. Byron Nelson Blud
Ste 204'	Ste 204
City, State & Zip Roanoke, Th 7626	2 City, State & Zip Roanoke, TX 76262
Phone 817-932-0330	Phone 214-897-1883
E-Mail John @ integrity groups	s.com E-Mail davidh eintegritygraps
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared this application to be true and certified the following:	
that the City of Rockwall (i.e. "City") is authorized and permitted to provide permitted to reproduce any copyrighted information submitted in conjunction information."	information submitted herein is true and correct; and the application fee of \$
Given under my hand and seal of office on this the 12th day of De	Cember, 2012. Notary Public, State of Texas Comm. Expires 03-07-2020
and since AM	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0

Owner's Signature

Notary Public in and for the State of Texas



