



ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, June 15, 2020 - 4:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

II. Work Session

1. Hold work session to discuss and consider 2020-2030 Park Master Plan, and take any action necessary.

III. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
2. Discussion regarding agreements between the City of Rockwall and Blackland Water Supply Corporation (WSC) pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion regarding sale of real property in the vicinity of John King Boulevard pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
4. Discussion regarding Loan Ranger Capital, LLC vs. City of Rockwall pursuant to Section §551.071 (Consultation with Attorney).
5. Discussion regarding assignment of Council subcommittees and board liaisons, pursuant to Section §551.074 (Personnel Matters)
6. Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

IV. Adjourn Executive Session

V. Reconvene Public Meeting (6:00 P.M.)

VI. Invocation and Pledge of Allegiance - Councilmember Hohenshelt

VII. Swearing in of new Councilmember, Place 6

VIII. Open Forum

IX. Take any Action as a Result of Executive Session

X. Consent Agenda

1. Consider approval of the minutes from the June 1, 2020 regular City Council meeting, and take any action necessary.
2. **P2020-019** - Consider a request by Robert Gunby of Royse City Business Ventures for the approval of a Replat for Lot 9, Block C, Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958 & 3966 Ruger Drive, and take any action necessary.

3. **P2020-020** - Consider a request by Clint Vincent of Bloomfield Homes, LP for the approval of a *Final Plat* for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take any action necessary.
4. Consider a request for funding for the Downtown 'Daycation' event on July 3rd in the amount of \$25,000 to be taken from the Administration Department operating fund, and take any action necessary.
5. Consider approval of a professional engineering services contract with Huitt-Zollars, Inc., to perform the engineering design services for the North Lakeshore Bridge repair in an amount not to exceed \$42,500, to be funded out of the Engineering Budget, and take any action necessary.
6. Consider approval of construction contract with JEP Marine Construction, Inc., to perform the repair on the seawall located behind 3636 Lakeside Drive in an amount not to exceed \$39,890, to be funded out of the Engineering Budget, and take any action necessary.

XI. Appointment Items

1. Appointment with Planning & Zoning Commission Chairman to discuss and answer any questions regarding cases on the agenda.
2. Appointment with Anthony DeMaggio to hear a proposal for fireworks shows on the Rockwall shoreline, requesting consideration of \$15,000 in funding, and take any action necessary.

XII. Public Hearing Items

1. **Z2020-018** - Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary **(1st Reading)**.
2. **Z2020-019** - Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary **(1st Reading)**.
3. **Z2020-020** - Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport* on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary **(1st Reading)**.
4. **Z2020-021** - Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of an **ordinance** for a *Zoning Change* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary **(1st Reading)**.
5. **Z2020-022** - Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Detached Garage* that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary **(1st Reading)**.

XIII. Action Items

1. **2020-016** - Discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary **(1st Reading)**.

XIV. Executive Session.

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5. Discussion regarding assignment of Council subcommittees and board liaisons, pursuant to Section §551.074 (Personnel Matters)
6. Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

XV. Reconvene Public Meeting & Take Any Action as Result of Executive Session

XVI. Adjournment

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.087 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 12th day of June, 2020 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary
or Margaret Delaney, Asst. to the City Sect.

Date Removed



**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Honorable Mayor and City Council

FROM: Travis Sales, Director of Parks & Recreation

DATE: June 15, 2020

SUBJECT: 2020-2030 MASTER PLAN

SUMMARY:

DISCUSS AND CONSIDER 2020-2030 PARK MASTER PLAN AND TAKE ANY ACTION NECESSARY

STAFF NOTES & RECOMMENDATIONS:

MHS PLANNING WILL PRESENT AND ASK FOR FEEDBACK FOR THE INFORMATION GATHERING PORTION OF THE MASTER PLAN PROJECT.

CITY OF ROCKWALL

PARKS, RECREATION & OPEN SPACE MASTER PLAN UPDATE



MAY 2017



City of Rockwall, Texas

Parks, Recreation & Open Space Master Plan Update 2017

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I. INTRODUCTION

The purpose for updating the 2010 Parks, Recreation and Open Space Master Plan is to ensure the goals, objectives and proposed developments outlined in the 2010 plan still coincide with the parks and open space needs of the community.

The 2017 Parks, Recreation and Open Space Master Plan Update includes summaries of the following:

- 2017 demographics & projections
- goals and objectives
- park standards
- park inventory
- parks and open space accomplishments since 2010
- new citizen input
- updated needs and priorities
- revised implementation schedule for future developments



Fox Chase Park

COMMUNITY

The City of Rockwall is the county seat for Rockwall County and is located east of Dallas on the eastern shore of Lake Ray Hubbard.

2020 Population Projection

- 47,474

(Texas Water Development Board)

DEMOGRAPHICS

Estimated 2016 Population – 41,370

Population – 35,050 (2010 Census)

- 72.0 % - White
- 16.8 % - Hispanic
- 05.8 % - Black
- 02.4 % - Asian
- 03.0 % - Other

II. GOALS AND OBJECTIVES

Goals and Objectives are provided to give direction for future community decisions regarding parks, recreation and open spaces specifically in the City of Rockwall. The following goals and objectives were established in the 2010 master plan based on input from the City of Rockwall residents. These goals and objectives were reaffirmed in the 2016 public input process and remain valid.

GENERAL PARK AND RECREATION GOAL:

Rockwall's most significant outdoor features – its floodplains, woodlots, shorelands, sensitive habitats and rare ecosystems – should be woven with existing and future parks, greens and commons into a city-wide, comprehensive parks and open space system designed to serve the wide range of ages, abilities and interests of Rockwall's current and future citizenry. This parks and open space system should reflect a level of character, quality and care that communicates responsible stewardship and pride of place.



GENERAL PARK AND RECREATION OBJECTIVES:

- Encourage the creation of small, private greens and commons in new neighborhoods to enhance their character, desirability and the quality of social interaction within them.
- Research the viability of any opportunities to acquire and preserve areas of the native Blackland Prairies and surrounding areas, as important natural and historical landscape feature.
- Ensure that ultimately every Rockwall resident lives within ½ mile of a Neighborhood Park for their use.
- Ensure that ultimately every Rockwall resident lives within 2 miles of a Community Park for their use.

LAKE RAY HUBBARD GOAL:

Actively explore the potential for public waterfront use of the Lake Ray Hubbard shorelands and preserve those areas for use by the public.

LAKE RAY HUBBARD OBJECTIVES:

- Preserve areas identified in this plan (and the 2010 – 2020 Master Plan) for public use and enjoyment.
- Develop a lakeside park to provide a broad array of recreational opportunities along the shores of Lake Ray Hubbard.
- Explore potential for parks and passive greenway trails at appropriate locations along the shoreline.
- Explore potential for future private waterfront development that could include a public access component.



GREENWAYS GOAL:

Incorporate floodplains into an interconnected greenway network that preserves their natural flood water storage functions while providing trails, open spaces and conservation of natural areas.



GREENWAYS OBJECTIVES:

- Allow no significant filling of the 100 – year floodplain.
- Incorporate other significant natural areas, such as steep slopes and sensitive habitats, into the greenway network.
- Develop parks containing quality natural open spaces sensitively with the preservation of the natural environment as a high priority.

DESIGN DEVELOPMENT GOAL:

Design parks and open space improvements as first-class facilities, as they represent the public face or “front yard,” of Rockwall.

DESIGN DEVELOPMENT OBJECTIVES:

- Ensure that park development reflects a high level of quality and a strong design ethic.
- Design park improvements for durability, long life and low maintenance requirements.
- Maintain high maintenance standards for development and maintenance of all Rockwall public land.
- Environmental stewardship measures, including the use of energy conserving components, the use of green building materials, preservation of existing habitat and vegetation and the use of native plant material should be included into the parks and open space network at every opportunity.
- Park design should consider and provide handicapped accessibility to park spaces and ensure meaningful usefulness of park facilities for user groups with varying degrees of abilities.



III. PARK STANDARDS AND INVENTORY

PARK STANDARDS

The Rockwall Parks network is made up of nine different park types – each having a role in satisfying the recreational needs of the community. It is important to note that the development costs of parkland have significantly increased over the past five years due to increased costs of materials and construction. The following chart defines the characteristics of each park type within the City.

CLASSIFICATION	SERVICE AREA	SIZE (ACRES)	POPULATION SERVED	TYPICAL FACILITIES	DEVELOPMENT COSTS
Mini – Park	¼ Mile	1 – 3 acres	500 - 2,500	Landscaping, drinking fountains, sidewalks, & benches	\$75,000 - \$125,000 per acre
Neighborhood Oriented Park (Public Parks associated with school properties)	¼ Mile	1 acre	500 - 2,500	Playground apparatus, landscaping, sidewalks, drinking fountains, lawn area, & benches	\$100,000 - \$150,000 per acre
Neighborhood Park	½ Mile	10 – 12 acres	2,000 - 10,000	Playground apparatus, picnic area(s), pavilion, play courts, play fields, multi-use trails, natural open space, landscaping, & parking	\$150,000 - \$175,000 per acre
Community Park	2 Miles	40 – 150 acres	10,000 - 50,000	Tennis courts, sports fields, playground apparatus, picnic area(s), pavilions, walking/jogging trails, swimming pools, open space, landscaping, recreation centers, restrooms, & parking	\$70,000 - \$200,000 per acre
Regional Park	10 Miles	200 – 1,000 acres	Entire Urban Area	Sports fields, tennis courts, swimming complexes, lakes, hike/bike trails, bridle paths, golf courses, campgrounds, nature areas, play structures, restrooms, & ample parking	\$2,000,000 & Up (Total Cost)

CLASSIFICATION	SERVICE AREA	SIZE (ACRES)	POPULATION SERVED	TYPICAL FACILITIES	DEVELOPMENT COSTS
Natural Area	Varies	Determined by resource	Entire urban area	Nature trails, multi-purpose trails, benches, picnic areas, wildlife viewing stations, educational components, information kiosks, interpretive signs, exercise courses, & drinking fountains	Varies
Greenways	Varies	Varies	5,000 to entire community	Landscaping, multi-purpose trails, benches, information kiosks, exercise courses, & drinking fountains	\$225,000 - \$750,000 per mile
Special Use Park	Varies	Determined by Primary User	Varies – Dependent on Primary Use	Concentration of one or two of the following: Baseball/softball complex, soccer fields, tennis centers, sports stadiums, golf courses, performing arts parks, boat ramps, amphitheaters, & ornamental gardens	Varies
Sports Complex	Entire City	40 – 150 acres	Entire community	Sports fields, tennis courts, multi-purpose trails, concessions, spectator plazas, nature areas, play structures, restrooms, & ample parking	\$5,000,000 - \$8,000,000

* All costs exclude land and are based on 2017 dollars.

ROCKWALL PARK INVENTORY

The existing parks in Rockwall are classified in the Existing Parks and Open Space Inventory shown in the following table. Ideally, all developed residential areas of the city of Rockwall should fall within the service area of a neighborhood park and a community park.

	NAME	TYPE OF PARK	TOTAL ACRES	DEVELOPED ACRES	FACILITIES
1	Gloria Williams	Mini Park	.5	.5	<ul style="list-style-type: none"> • Basketball Court • Picnic Tables • Bar-B-Que Grill • Benches • Playground • Pool
2	Lofland	Mini Park	1.2	1.2	<ul style="list-style-type: none"> • Picnic Tables • Bar-B-Que Grills • Playground • Parking Lot
3	Clark Street	Mini Park	1.3	0	
4	Dalton Ranch	Neighborhood Oriented	2	0	
5	Foxwood	Mini Park	.25	.25	<ul style="list-style-type: none"> • Benches • Playground
6	Northshore	Neighborhood	10	1	<ul style="list-style-type: none"> • Basketball Court • Picnic Tables • Playground • Open Lawn Area
7	The Park at Emerald Bay	Neighborhood	11.85	10.3	<ul style="list-style-type: none"> • Picnic Tables • Benches • Multi-Purpose Trails • Pond • Playground • Open Lawn Area • Parking Lot
8	The Park at Foxchase	Neighborhood	10	10	<ul style="list-style-type: none"> • Basketball Court • Picnic Tables • Benches • Multi-Purpose Trails • Pavilion • Pond • Playground • Sprayground • Parking Lot

	NAME	TYPE OF PARK	TOTAL ACRES	DEVELOPED ACRES	FACILITIES
9	The Shores Park	Neighborhood	11.9	11.9	<ul style="list-style-type: none"> • Basketball Court • Picnic Tables • Benches • Multi-Purpose Trails • Pavilion • Playground
10	Windmill Ridge	Neighborhood	8.5	7.5	<ul style="list-style-type: none"> • Picnic Tables • Bar-B-Que Grills • Benches • Playground • Parking Lot
11	Jewel Park	Neighborhood	3.5	3.5	<ul style="list-style-type: none"> • Volleyball Court • Picnic Tables • Bar-B-Que Grills • Benches • Playground • Parking Lot
12	Meadowcreek	Neighborhood	16.5	3.5	<ul style="list-style-type: none"> • Benches • Playground
13	Henry Chandler	Neighborhood	4.2	2.5	<ul style="list-style-type: none"> • Baseball / Softball Fields • Soccer Fields • Parking Lot
14	Hickory Ridge	Neighborhood	25.4	12	<ul style="list-style-type: none"> • Basketball Court • Picnic Tables • Benches • Multi-Purpose Trails • Pavilion • Pond • Playground • Sprayground • Open Lawn Area
15	Fontana	Neighborhood Oriented	5.2	1	<ul style="list-style-type: none"> • Playground
16	The Park at Stone Creek	Neighborhood	12.4	6	<ul style="list-style-type: none"> • Picnic Tables • Bar-B-Que Grill • Benches • Multi-Purpose Trails • Pavilion • Open Lawn Area • Pond • Playground • Parking Lot
17	The Park at Breezy Hill	Neighborhood	61.5	11.5	<ul style="list-style-type: none"> • Picnic Tables • Bar-B-Que Grill • Benches • Multi-Purpose Trails • Pavilion • Open Lawn Area • Pond • Playground

	NAME	TYPE OF PARK	TOTAL ACRES	DEVELOPED ACRES	FACILITIES
18	Alma Williams Howard	Community	46.23	8.0	<ul style="list-style-type: none"> • Open Lawn Area
19	Harry Myers	Community	67	60	<ul style="list-style-type: none"> • Basketball Court • Volleyball Court • Picnic Tables • Bar-B-Que Grills • Benches • Restroom • Multi-Purpose Trails • Pavilion • Ponds • Playground • Community Building • Pool • Baseball / Softball Fields • Concession Stand • Sprayground • Parking Lot
20	Rockwall County YMCA	Community	22	22	<ul style="list-style-type: none"> • Basketball Court • Volleyball Court • Picnic Tables • Restroom • Ponds • Playground • Community Building • Pool • Baseball / Softball Fields • Soccer Fields • Parking Lot
21	The Lakes of Squabble Creek	Neighborhood / Community	168	80	<ul style="list-style-type: none"> • Pond • Fishing Pier • Kayak Launch • Natural Open Space • Multi-Purpose Trails
22	Leon Tuttle	Sports Complex	18.6	18.6	<ul style="list-style-type: none"> • Baseball / Softball Fields • Soccer Fields • Concession • Restroom • Parking Lot
23	Yellow Jacket	Sports Complex	7.6	6.0	<ul style="list-style-type: none"> • Baseball / Softball Fields • Concession • Restroom • Parking Lot

	NAME	TYPE OF PARK	TOTAL ACRES	DEVELOPED ACRES	FACILITIES
24	Highway 66 Boat Ramp	Special-Use	.5	.5	<ul style="list-style-type: none">• Picnic Tables• Shade Structure• Multi-Purpose Trails
25	Squabble Creek Mountain Bike Trails	Special-Use	59.74	59.74	<ul style="list-style-type: none">• Mountain Bike Trails• Hiking / Jogging Trails
26	The Harbor	Special-Use	7	7	<ul style="list-style-type: none">• Benches• Multi-Purpose Trails• Sprayground• Parking Lot
27	The Trails at Squabble Creek	Greenway	11.8	11.8	<ul style="list-style-type: none">• Multi-Purpose Trails
28	Timber Creek	Greenway	8.3	0	
29	Lago Vista	Greenway	7	0	
30	Waterstone	Greenway	12.88	0	
31	Highland Meadows	Greenway	5.9	0	
32	Lynden Park	Greenway	11.3	0	
33	Lakeview Summit	Greenway	33	0	
34	Meadowcreek - Madison	Greenway	17.4	9	<ul style="list-style-type: none">• Multi-Purpose Trails• Playground
35	Lakeside Park	Regional	420	0	
	Total Park Acres		1,110.45		
	Total Developed Park Acres			365.29	
LEVEL OF SERVICE				8.83 ACRES / 1,000 RESIDENTS	

IV. ACCOMPLISHMENTS

One of the main objectives of this master plan update is to address the accomplishments within the existing park system made since the 2010 plan. The City of Rockwall has successfully completed several projects addressed in the 2010 Master Plan and continues to make progress developing the City's parks and recreational opportunities. It is important to address the City's accomplishments in order to focus on what the city needs to accomplish in the upcoming years.

The additional parks that have been acquired and developed has increased the City's developed park acreage and thus increased the Level of Service (number of developed park acres per 1,000 residents) from 8.24 acres per 1,000 residents to 8.83 acres per 1,000 residents.

In order to keep up with the rapidly growing population, the City must develop a large piece of property, such as the Sports Complex or Lakeside Park, in order to further increase and exceed the level of service from past years.

TEXAS RECREATION AND PARK SOCIETY AWARDS



The City of Rockwall was awarded the GOLD MEDAL AWARD in 2017 which is given to honor departments in for excellence in the field of recreation and park management for the past three years. In addition, the city won the PROMOTIONAL AWARD which honors the most outstanding promotional efforts of a park, recreation and leisure agency for the past year.

CITIZEN INVOLVEMENT

To help the City of Rockwall move closer to its vision, volunteers have provided many hours of work improving the City's parks and natural areas. Eagle Scouts, Girl Scouts, civic organizations and churches, to name just a few, have contributed numerous projects and amenities that people desire and value.

The Butterfly Brigade was created as part of the nation wide Mayor's Monarch Pledge program. This passionate group of volunteers have helped create new butterfly way-stations and meadows as well as education and awareness to encourage residents to create their own habitat.



RENOVATIONS AT LEON TUTTLE ATHLETIC COMPLEX

The City of Rockwall has considered developing a Sports Complex for the past several years in order to meet the growing demands of youth athletics in the area. After the failed Sports Complex Bond, the City decided that the renovation of Leon Tuttle Park met the current demand in 2012 and was the most economical choice to best suite the citizens of Rockwall. Leon Tuttle Athletic Complex includes a total of eight renovated baseball / softball fields (six lighted fields), a playground and restroom facilities.



CONSTRUCTION OF THE ALL-INCLUSIVE PLAYGROUND AT YELLOW JACKET PARK



Shadesystemsinc.com

One of the Park Design Objectives for the City of Rockwall is to provide recreational opportunities for all abilities and ages for the residents and surrounding populations. In 2015, the City of Rockwall developed and constructed a playground specifically designed to allow children of all abilities to fully participate in outdoor recreation. The all-inclusive playground is located in Yellow Jacket Park and includes: a barrier free playground, shade canopies, music play, interactive panels and classic recreational playground elements.



Planetrockwall.com

CONSTRUCTION OF THE PHELPS LAKE TRAIL HEAD



The City developed the Raymond Cameron/Phelps Lake Master Plan in 2006 and has continually made improvements around the lakes to develop a large trail network. Since 2006, the City has renamed the lake property to The Lakes at Squabble Creek. In 2015, the City constructed the trail head at Phelps Lake. The trail head consists of a fishing pier / wildlife viewing area, a kayak launch, multi-purpose trails, natural open space, sitting areas and an area for a future native plant garden.



CONSTRUCTION OF THE PARK AT STONE CREEK



The City has strived to develop a park system that provides a neighborhood park ½ mile of every home. As Rockwall continues to grow, the City has committed to developing neighborhood parks in growing areas of the community. In 2016, the City completed the construction of an 11 acre park, The Park at Stone Creek, which includes: a playground, pavilion, multi-purpose trails, an open lawn area, fishing area / lake overlook, picnic area, benches, a drinking fountain and a parking lot. In the public input sessions of the design process, the nearby residents requested that emphasis be placed on the playground element of the park. The park now contains 9,400 sq.ft. devoted to play elements.



DESIGN OF THE PARK AT BREEZY HILL

As the City continues to develop and grow, the City has continued to acquire and develop park land. During the development of this Master Plan Update, the design and construction documents have been completed for an additional neighborhood park in northern Rockwall. The Park at Breezy Hill will consist of a pavilion, playground, walking trail, open lawn area, fishing pier / pond overlook landscaping and social gathering area. The project completion date is slated for November 2017.



THE PARK AT BREEZY HILL

CONSTRUCTION PLANS

CITY OF ROCKWALL, TEXAS

TPWD PROJECT #50-000462
ROCKWALL COUNTY
MARCH 2017

LOCATION

MHS
PLANNING & DESIGN, LLC

STOP! CALL BEFORE YOU DIG!

NO STOP SIGNS TO BE PLACED WITHIN 10 FEET OF ANY EXISTING OR PROPOSED UTILITY. ANY STOP SIGNS PLACED WITHIN 10 FEET OF ANY EXISTING OR PROPOSED UTILITY SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF STOP SIGNS WITH THE CITY OF ROCKWALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL AND THE TEXAS DEPARTMENT OF TRANSPORTATION (TPWD) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES AND STRUCTURES DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES AND STRUCTURES TO THEIR ORIGINAL CONDITION OR BETTER AFTER COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL AND THE TEXAS DEPARTMENT OF TRANSPORTATION (TPWD) BEFORE BEGINNING ANY CONSTRUCTION.

TITLE	SHEET NO.
COVER SHEET	1
SITE PLAN	2
EROSION CONTROL PLAN	3
SWIFT NOTES	4
DRAINAGE PLAN	5
DRAINAGE PROFILES	6
GRADING PLAN	7-8
PAVING AND HORIZONTAL CONTROL PLAN	9-10
INTERSECTION DETAILS	11
PAVING DETAILS	12
LAKE OVERLOOK DETAIL	13
PLAYGROUND PLAN AND DETAILS	14
PAVILION DETAIL	15
UTILITY & IRRIGATION PLAN	16
GRASSING AND LANDSCAPE PLAN	17
MISCELLANEOUS DETAILS	18
ELECTRICAL	19-20
STRUCTURAL	21-24

CONSTRUCTION PLANS
THE PARK AT BREEZY HILL
CITY OF ROCKWALL, TEXAS

MHS
PLANNING & DESIGN, LLC

DATE: 03/01/2017
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

1 of 18

CONSTRUCTION PLANS
THE PARK AT BREEZY HILL
CITY OF ROCKWALL, TEXAS

MHS
PLANNING & DESIGN, LLC

DATE: 03/01/2017
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

1 of 18

DEVELOPMENT OF NORTSHORE PARK

The development of Northshore Park was the number one priority on the Implementation Schedule in the 2010 master plan. Northshore Park was completed in 2011 and consists of: natural open spaces, a playground with swings, a basketball court, picnic stations and benches.



DEVELOPMENT OF TRAIL CONNECTIONS

Trails is and has been the number one priority in the City of Rockwall for several years. The City has been very successful constructing trail and sidewalk connections throughout the community. The construction of small sections of trail can connect miles and miles of trail, thus creating a city-wide trail network. The city has successfully completed three trail sections that have connected several miles of trails throughout neighborhoods and the city.

- The trail section at the intersection of John King Boulevard and CR 1141.
- The trail section at the intersection of John King Boulevard and Quail Run.
- The trail section at Dalton Park



V. CITIZEN INPUT

In order to develop a park system that will be used and highly supported by the citizens of Rockwall, the City has committed to using a citizen-driven needs based approach to park planning. In order to better understand the needs of the community, the City conducted a focus group meeting with local community leaders and a largely attended city-wide public meeting.



Overall, it is apparent that the City of Rockwall has a highly successful park system and is continually progressing. Many of the citizens feel that the City needs to continue moving in the same direction as identified in the 2010 master plan.

The following is a summary of the key responses regarding the City of Rockwall's park system.

FOCUS GROUP INPUT

The focus group consisted of several different community leaders from the City of Rockwall. The discussion primarily focused on the positive aspects of the current park system in Rockwall. In addition, the conversation lead to a handful of suggestions, such as: providing additional recreational opportunities, upgrading existing properties and enhancing the trail system. The group was asked collectively to come up with a the top three recreational priorities in the community and they are:

- 1 – Athletic Fields
- 2 – Lakeside Park Development
- 3 – Indoor Community / Recreation Center

PUBLIC MEETING – November 15th, 2016

The City hosted a public meeting in November in order to better understand the needs and desires of the residents of Rockwall. The meeting was well attended with approximately 35 people sharing their likes and dislikes about the park system. In addition, many of the participants shared their visions for the existing and future park system.

The following is a list of the input obtained from the public input meeting.

- The existing park system is highly maintained
- Additional trails are needed throughout the City to create more connectivity
- Construct a new sports complex
- The city has great programming
- Construct a public archery range
- Construct a community center
- Develop Lake Shore Park property
- Additional boating access is needed on Lake Ray Hubbard
- Trails do not need to be located on or through privately owned land
- Additional Special Needs playgrounds are needed throughout the community
- Construct an outdoor aquatic center
- Continue to maintain the park system at high level
- Construct bike lanes throughout city



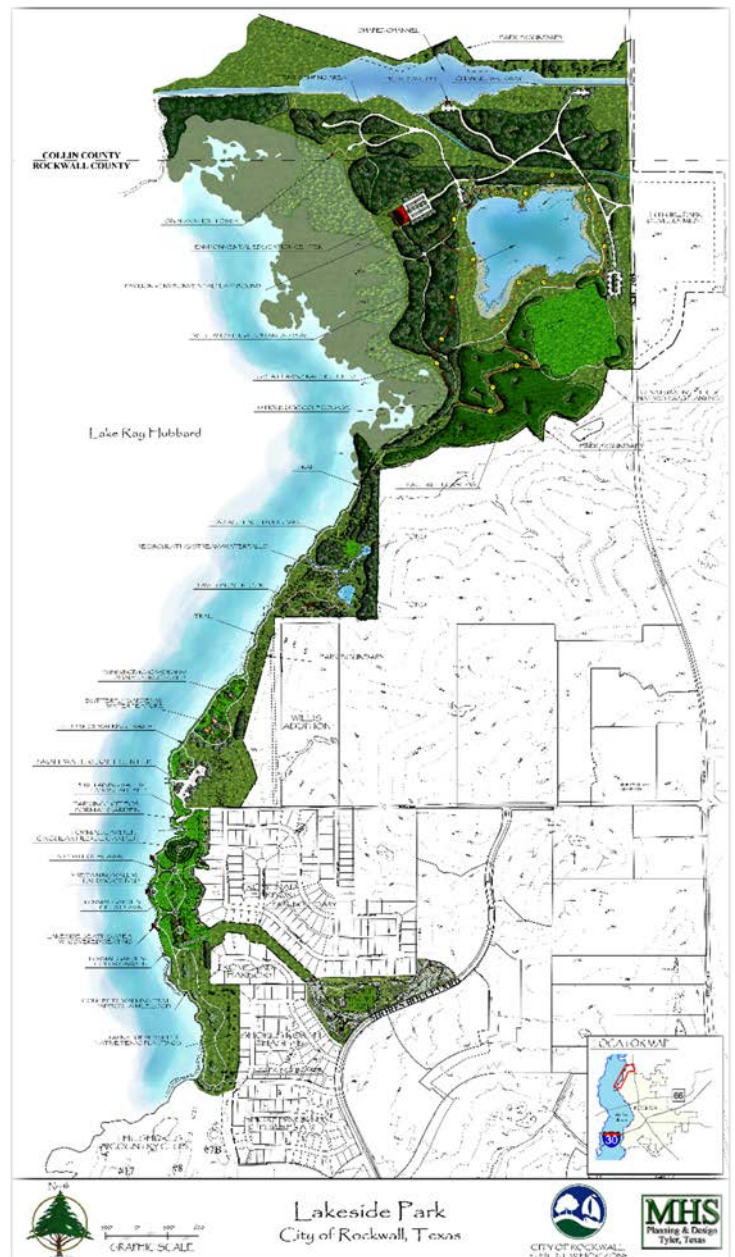
VI. NEEDS AND PRIORITIES

The needs and priorities of the City of Rockwall are based on the goals and objectives, focus group input, citizens input, city staff recommendations and professional opinion. The following needs and priorities have been identified as important areas of focus for the City of Rockwall through 2020.

NEW PARK NEEDS

The City of Rockwall has been successful in the past six years by acquiring and developing additional new parks and open spaces within the city. As the city continues to develop, it is imperative the city focus on acquiring vacant land and greenways for additional parks to serve areas of the community that are not currently served. After conducting meetings with the general public, community leaders and key staff members it is apparent that the City of Rockwall needs to develop the Lakeside Park property in northwest Rockwall. The development of Lakeside Park would provide the residents of Rockwall with a Regional Park that should include:

- Multi-Purpose Trails
 - Nature Trails
- Open Lawn Areas
- Sports Fields
- Pavilions
- Picnic Areas
- Bench Stations
- Water Features
- Nature Areas
- Playgrounds
- Restrooms
- Parking Lot



EXISTING PARK NEEDS

As the City of Rockwall continues to grow, it is essential that the city maintains, updates and renovates existing parks. As noted in the 2010 Master Plan, the level of maintenance of the existing parks is high and pleasing to the general public. There is a need to continue to update and improve existing parks to meet the ever changing demands of the residents of Rockwall.

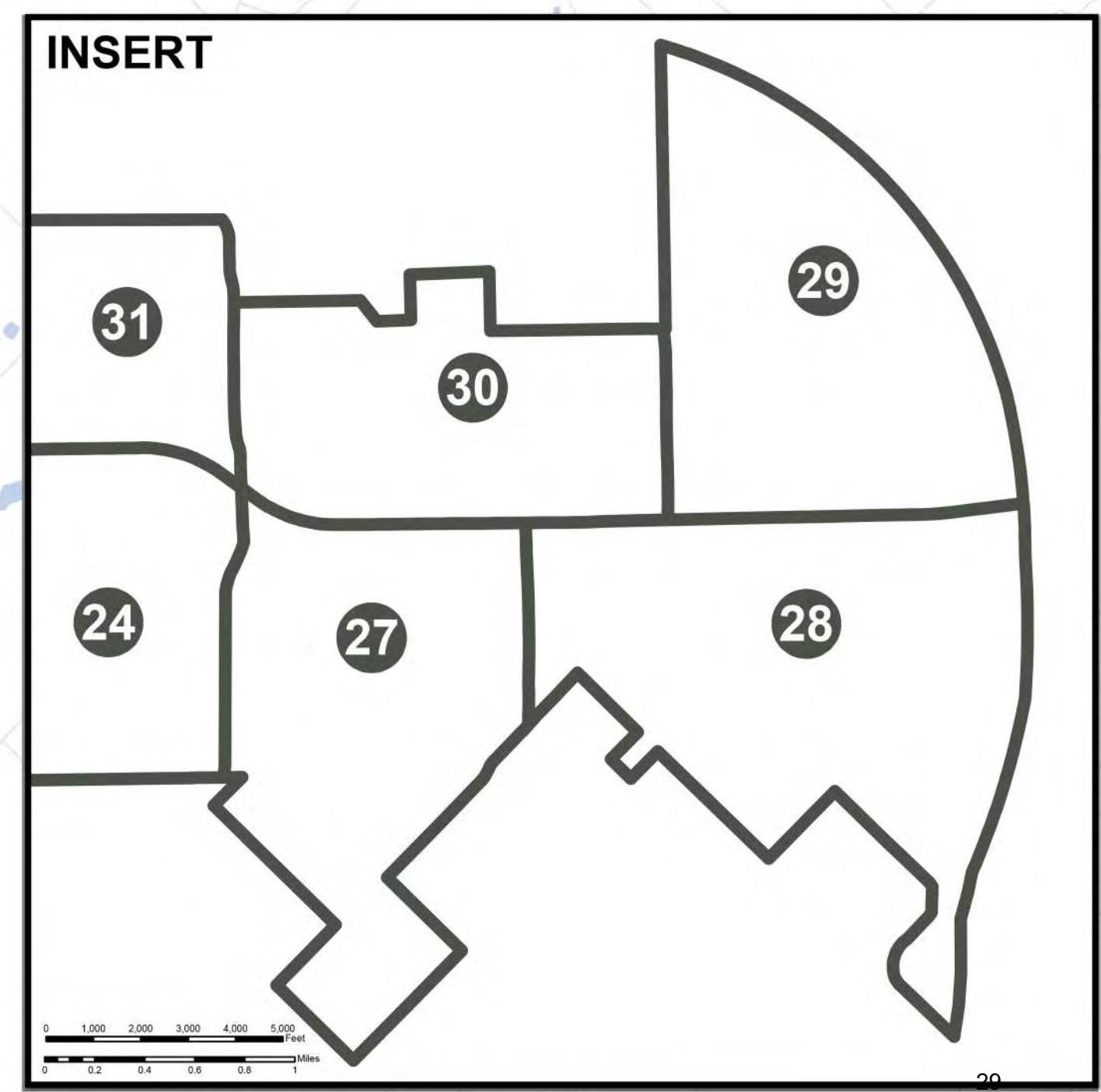
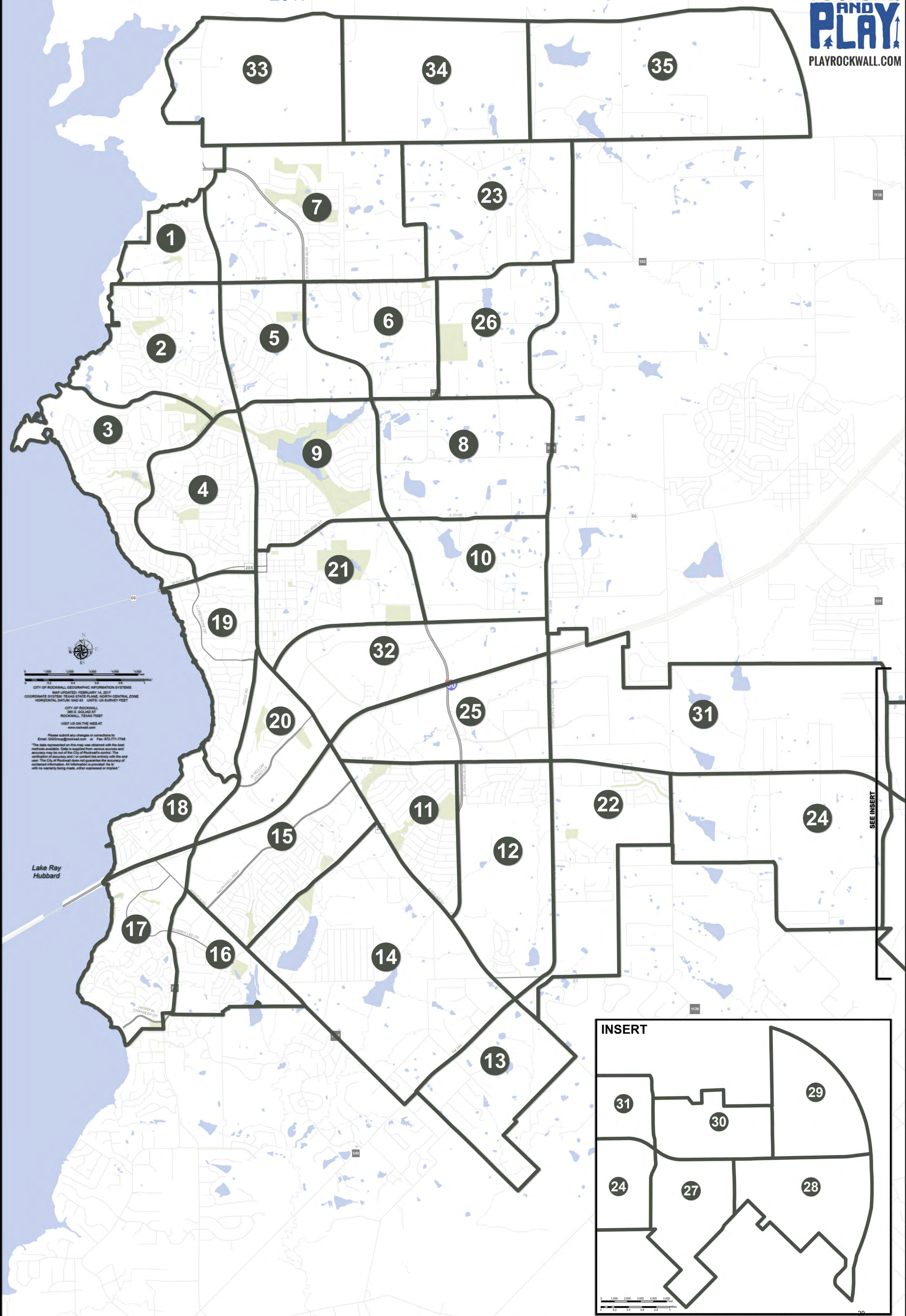


NEIGHBORHOOD PARK NEEDS

Neighborhood Parks have been and will continue to be the backbone of the park system. The City of Rockwall has developed a parks districts map that represents different areas of growth and needs throughout the community. As part of the development process, residential developers are required by ordinance to dedicate land and monies to the city for parks and open spaces.

The districts map was recently reviewed and modified to better suite the needs of the community as it continues to grow and develop. It is imperative that the city continues to develop neighborhood parks, especially in the districts that are lacking neighborhood parks. (See Parks District Map)





NATURAL OPEN SPACE NEEDS

As the City of Rockwall and surrounding communities continue to grow and develop, the amount of natural open space diminishes. The need for acquisition and preservation of natural open space was evident in the focus group meetings. Many of the citizens expressed the need for open spaces, creek corridors and preservation of existing trees. In addition, open spaces and nature trails are both ranked within the top five recreational priorities for the city. It is imperative, especially as the city continues to grow, to focus on preserving the most valuable environmental assets, such as wooded lots, natural open spaces, creek corridors and riparian areas.

Many of the creek corridors throughout the community are located in the floodplain and commercial and residential developments are not permitted. These key areas need to be preserved as natural open spaces and developed as trail corridors throughout the city.

ATHLETIC FACILITY NEEDS

Organized sports, especially youth sports are popular in the City of Rockwall and have continually grown in participation over the past five years.

As the population continues to grow and the field space becomes less and less available for practices, the city needs to consider a new sports complex that provides fields for practices as well as tournament quality fields.

Since the City has taken over the baseball and softball program approximately three years ago, the amount of teams have doubled and created a high demand for additional organized youth athletic fields.



PRIORITIES

The following Parks and Recreational Facility Priorities are based on results from the focus group meeting, public meeting, city staff, the needs analysis and professional opinion. The following list is depicted in order of priority, has been adopted and should be pursued as recreational priorities within the city.

RANK	FACILITY
1	Athletic Fields (Baseball, Softball, Soccer, Etc.)
2	Multi-Use Trails / Greenway Corridors
3	Playgrounds
4	Pavilions / Picnic Areas
5	Natural Open Space
6	Water Features (i.e. small lakes, ponds, creeks)
7	Open Areas for General Play / Sports Practice
8	Swimming Pool / Water Sprayground
9	Skate Parks
10	Tennis Courts
11	Disc Golf
12	Volleyball Courts

In 2016, the Rockwall City Council adopted the Parks and Recreation Department Strategic Plan in order to better guide and direct the needs of the Parks and Recreation Department. It is a priority for the department to review and implement the plan. The strategic plan focuses on the following priorities:

- Focus on the field space needs and requirements for youth baseball and softball
- Develop existing neighborhood parks to the fullest extent (+/- \$1,250,000 for 11 acres of developed park land)
- Acquire and develop +/- 50 acre community park in south Rockwall
- Focus on the development and funding sources of the Lakeside Park Project
- Develop Master Plan for Alma Williams Howard Park
- Continue to develop the Lakes of Squabble Creek
- Focus on non-resident sales tax revenue
- Operate and maintain the existing and future park system at a high level

RECOMMENDATIONS

New Parks:

- Develop Lakeside Park Phase I in north west Rockwall
- Develop Master Plan for Alma Williams Howard Park
- Acquire and develop a sports complex (See Athletics below)
- Acquire and develop +/- 50 acres of land for a community park in south Rockwall
- Acquire and develop neighborhood parks in the growing areas of the community

Existing Park Upgrades:

- Continue to renovate existing neighborhood parks throughout the community. As neighborhoods continue to grow and develop, it is imperative that the neighborhood parks are updated and renovated to meet the needs of the neighborhood.
- Continue to update and renovate Harry Myers Park

Athletics:

- Develop a fully lighted, multi-purpose field sports complex that includes all the necessary athletic fields for tournaments, games and practices facilities as the participation rate and population continues to grow.

Trails:

- Continue to construct trails throughout the community to connect parks, schools, residential areas, commercial areas and employment centers. It is critical to construct trail segments that result in meaningful connectivity. Emphasis should be given to providing trails along creek corridors and other natural resources.

Natural Open Space:

- Acquire, preserve and develop key remaining natural areas for passive recreational opportunities as well as for natural habitats and trail corridors.

Park Operations & Maintenance:

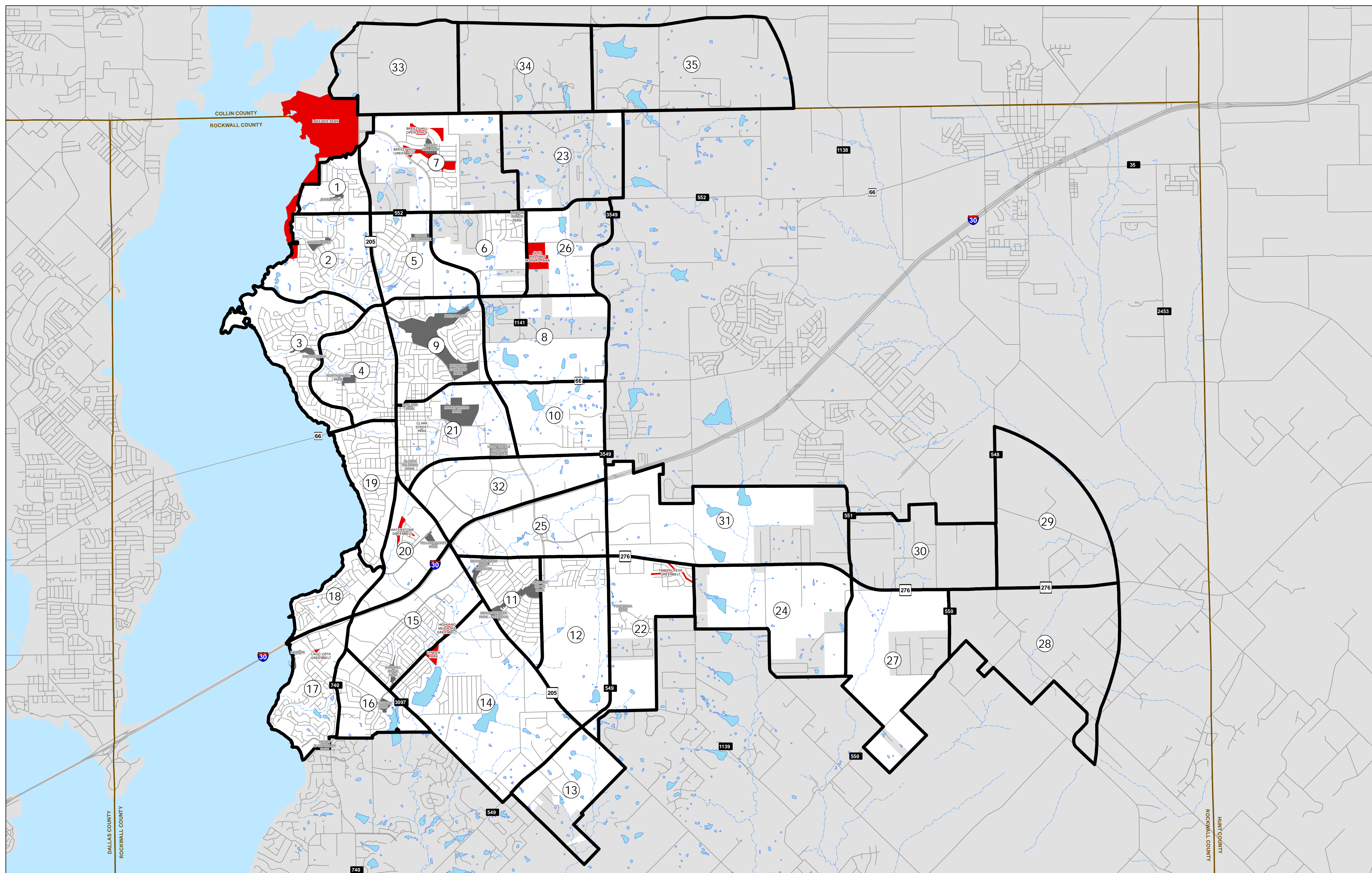
- In order to maintain the park system and public spaces at a high level that is expected and appreciated by the residents, the city needs to continually review and update the parks operations and maintenance budget as the city continues to grow and develop additional properties.

In order to provide the best recreational opportunities for the residents of Rockwall at the best price, it is important that the City be creative in land acquisition, design and development of parks. The City should consider constructing the much needed sports complex on the Lakeside Park property. The combination of a sports complex and community park recreational amenities has proven to be successful in several other communities throughout Texas.

VII. IMPLEMENTATION SCHEDULE

The following table depicts the updated project list for the City of Rockwall for the next five years and beyond. It is important to note that the following schedule is intended to be a flexible guide for the development of parks, recreational facilities and open spaces over the next five years. The city should evaluate and take advantage of any unforeseen opportunities that may arise that are not identified in this implementation schedule as long it meets the goals and objectives of this plan. The city should continually and actively pursue partnerships and non-traditional funding sources to expedite implementation where possible to alleviate some of the burden of implementation expenses on residents.

PROJECT	DATE	ESTIMATED COST	POTENTIAL FUNDING SOURCES
Develop the Alma Williams Howard Community Park Master Plan	2018	\$50,000 - \$75,000	General Fund General Obligation Bond
Acquire 50 acres in South Rockwall for the development of a community park	2019	Market Price / Donation / Dedication	Donation General Fund General Obligation Bond
Develop Lakeside Park – Phase I	2019	\$10,000,000 - \$18,000,000	TPWD Grants General Fund General Obligation Bond
Acquire & Develop a Sports Complex with community park amenities	2020	\$8,000,000 - \$15,000,000	TPWD Grants General Fund General Obligation Bond
Develop Trail Linkages	2017 – 2020	\$250,000 - \$550,000 per mile	TPWD Grants TxDOT Enhancement Grant General Fund General Obligation Bond
Acquire & develop additional neighborhood parks throughout the community	2017 – 2020	Approximately \$150,000 per acre	Developer Fees Land Dedication TPWD Outdoor Grant General Fund General Obligation Bond



A B C D E F G H I J K

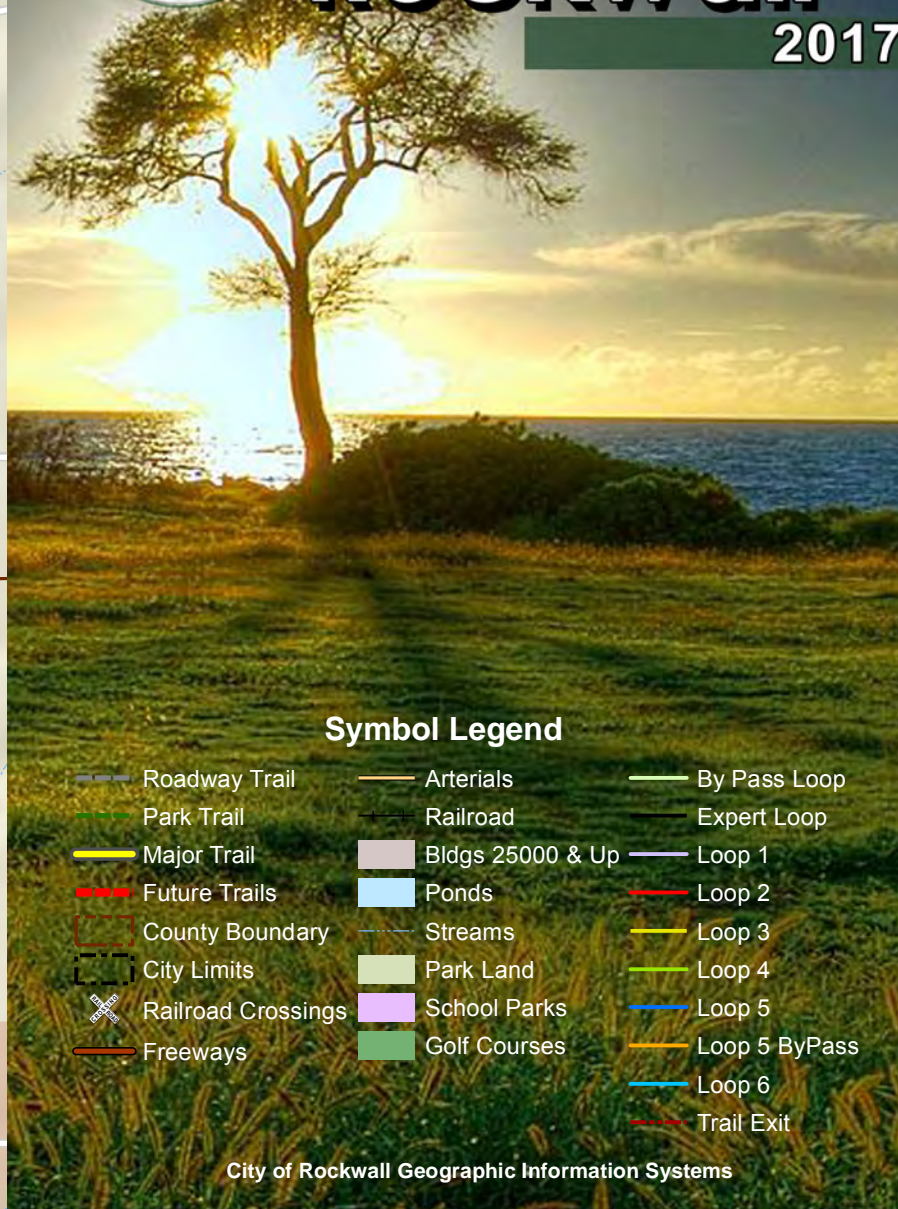
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TRAILS MAP



City of
Rockwall

2017



Symbol Legend

- | | | | | | |
|--|--------------------|--|------------------|--|--------------|
| | Roadway Trail | | Arterials | | By Pass Loop |
| | Park Trail | | Railroad | | Expert Loop |
| | Major Trail | | Bldgs 25000 & Up | | Loop 1 |
| | Future Trails | | Streams | | Loop 2 |
| | County Boundary | | Park Land | | Loop 3 |
| | City Limits | | School Parks | | Loop 4 |
| | Railroad Crossings | | Golf Courses | | Loop 5 |
| | Freeways | | | | Loop 6 |
| | | | | | Trail Exit |

City of Rockwall Geographic Information Systems

TRAILS LEGEND

- | | | | |
|-------------------------------------|----------------|----------------------------------|---------------------------------|
| | PARKS | | LANDMARKS |
| A HARRY MYERS PARK | | 1 TEXAS DPS | |
| B THE LAKES OF SQUIRRELE CREEK | | 2 RECO OFFICE | |
| C ALMA WILLIAMS HOWARD PARK | | 3 ANIMAL SHELTER & GUN RANGE | |
| D GLORIA WILLIAMS PARK | | 4 ROCKWALL CO JUSTICE CENTER | |
| E LORLAND PARK | | 5 ROCKWALL CO COURTHOUSE | |
| F FOWWOOD PARK | | 6 ROCKWALL CO APPRAISAL DISTRICT | |
| G LAGO VISTA | | 7 THE CENTER | |
| H WATERSTONE | | 8 PARKS & RECREATION | |
| I TIMBERCREEK | | 9 COMMUNITY CENTER | |
| J HIGHLANDS MEADOWS | | 10 ROCKWALL CO MAINTENANCE | |
| K LAKEVIEW SUMMIT | | 11 CITY HALL | |
| L MEADOW CREEK - MADISON | | 12 CITY SERVICE CENTER | |
| M MEADOW CREEK - MADISON | | 13 FOOTBALL STADIUM AQUATICS | |
| N CLARK STREET PARK | | 14 LIBRARY | |
| O THE PARK AT STONE CREEK | | 15 HISTORIC COURTHOUSE | |
| P THE PARK AT BREEZY HILL | | 16 ROCKWALL MUNICIPAL COURTS | |
| Q WINDMILL RIDGE PARK | | 17 PUBLIC BOAT RAMP | |
| R HICKORY RIDGE PARK | | 18 CITY CEMETERY | |
| S HENRY M CHANDLER PARK | | 19 ROCKWALL CO ANNEX | |
| T JEWEL PARK | | 20 RALPH HALL MUNICIPAL AIRPORT | |
| U SHORES PARK | | 21 ROCKWALL CO ANNEX | |
| V FONTANNA PARK | | 22 POLICE COMMUNITY CENTER | |
| W EMERALD BAY PARK | | | |
| X THE PARK AT FOX CHASE | | | FIRE STATIONS |
| Y NORTHSHORE PARK | | 1 305 BOYDSTUN AV | |
| Z SH 66 BOAT RAMP PARK | | 2 800 ROCKWALL HWY | |
| AA SQUARE CREEK MOUNTAIN BIKE TRAIL | | 3 191 E QUAL RUN DR | |
| AB THE HARBOR | | 4 1915 S GOLIAD ST | |
| AC LEON TUTTLE ATHLETIC COMPLEX | | | |
| AD YELLOW JACKET PARK | | | ROCKWALL CO EMS STATIONS |
| | | 1 HOSPITAL | |
| | SCHOOLS | | CEMETERY |
| A ROCHELLE ELEM | | 1 BUTLER CEMETERY | |
| B HAYS ELEM | | 2 CHANDLER CEMETERY | |
| C JONES ELEM | | 3 CLARK CEMETERY | |
| D HARTMAN ELEM | | 4 COLORED BURL CLUB CEMETERY | |
| E HERITAGE CHRISTIAN ACADEMY | | 5 GLEN HILLS CEMETERY | |
| F UTLEY MIDDLE | | 6 PARKER CEMETERY | |
| G DOBBS ELEM | | 7 PARKER CEMETERY | |
| H WILLIAMS MIDDLE | | 8 REST HAVEN MEMORIAL PARK | |
| I WILLIAMS ELEM | | 9 ROCKWALL MEMORIAL CEMETERY | |
| J SPRINGER ELEM | | 10 WADE MCCOULSKY CEMETERY | |
| K ROCKWALL HIGH | | 11 GARDENHIRE CEMETERY | |
| L QUEST ACADEMY / ADMIN | | | |
| M SHANNON ELEM | | | |
| N REINHARDT ELEM | | | |
| O CAIN MIDDLE (HEATH) | | | |
| P PULLEN ELEM (HEATH) | | | |



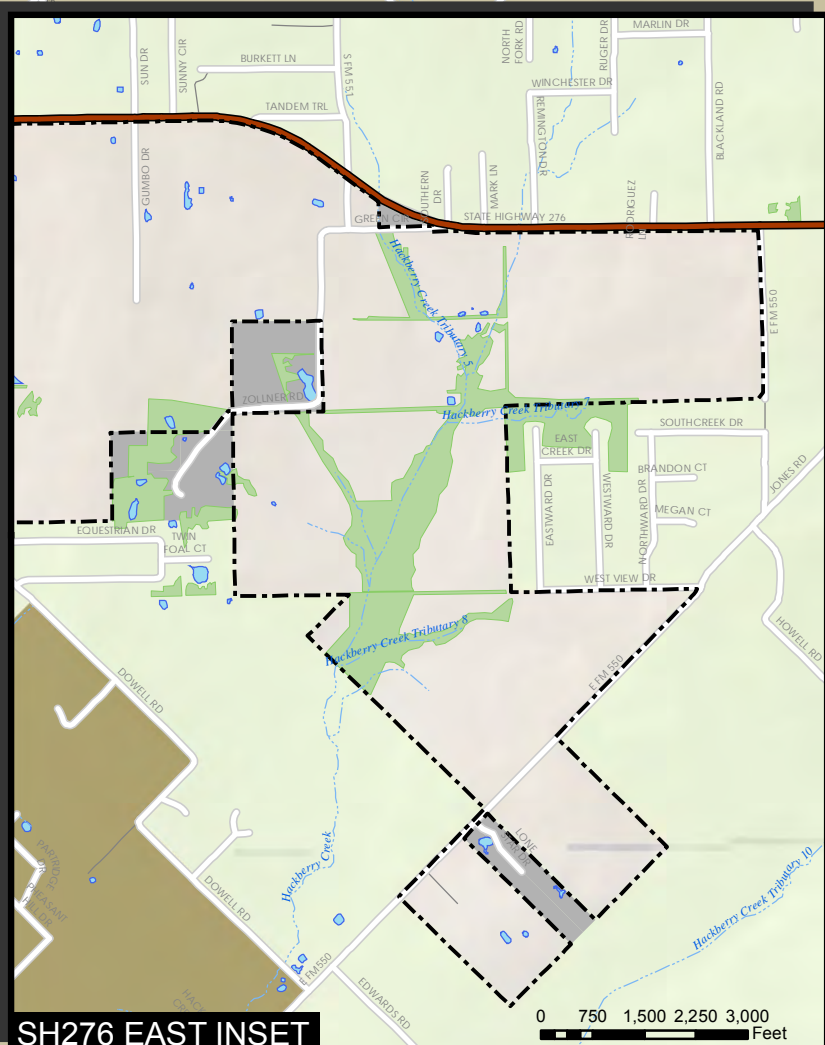
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CITY OF ROCKWALL GEOGRAPHIC INFORMATION SYSTEMS
MAP UPDATED: JANUARY 13, 2016
COORDINATE SYSTEM: TEXAS STATE PLANE, NORTH-CENTRAL ZONE
HORIZONTAL DATUM: NAD 83 UNITS: US SURVEY FEET

CITY OF ROCKWALL
385 S. GOLIAD ST.
ROCKWALL, TEXAS 75087
VISIT US ON THE WEB AT
www.rockwall.com

Please submit any changes or corrections to:
Email: GIS@rockwall.com or Fax: 972-771-7748

"The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and/or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied."



SH276 EAST INSET

VIII. SUMMARY

Based on all the input received from the focus group input, public meetings, City Staff and professional opinion, it is apparent that the citizens of Rockwall are very satisfied and invested in the existing park system. The City of Rockwall has made significant progress in the parks system with the addition of new parks, renovations of existing parks, planning and design of future parks and the continual development of the overall trail system. In addition, the city has continually maintained the existing park system at a high level. It is imperative to continue this high level of maintenance as the city acquires and develops additional park land.

The main objectives of this updated plan are to:

- Develop Lakeside Park in northwest Rockwall
- Acquire and develop a tournament quality sports complex
- Continue to acquire and develop land as it becomes available
- Focus on the preservation of natural open spaces
- Continue to renovate and upgrade existing parks
- Acquire and develop Neighborhood Parks throughout the city
- Continue to develop multi-use and nature trails that create a larger trail network to connect residential areas with commercial areas, parks and schools.

This master plan update is to be utilized as a guideline which should be reviewed annually and updated every five years to reflect the unique recreational needs of the changing population and demographics of the city. The city should take advantage of any unforeseen opportunities not identified in the plan that may arise, such as donations of land and/or facilities as long as the actions meet the intent of the goals, objectives and recommendations of this plan

The proposed improvements contained in this plan will enhance the quality of life throughout the entire community. The resulting benefits include tourism potential, economic value, increasing property values, civic pride and most importantly, an increased quality of life for the residents of the City of Rockwall.



ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, June 01, 2020 - 3:30 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER (3:30 P.M.)

Mayor Pruitt called the meeting to order at 3:30 p.m. Present were Mayor Jim Pruitt, Mayor Pro Tem Dana Macalik, and Council Members John Hohenshelt, Kevin Fowler, Bennie Daniels and Trace Johannesen. Mayor Pruitt read the below listed discussion items into the record before recessing the public meeting to go into Executive Session at 3:31 p.m.

A quorum of the Council came out of Ex. Session (Pruitt, Fowler, Daniels and Hohenshelt), and Mayor Pruitt briefly called the public meeting back to order at 5:42 p.m. He then read the following discussion item into the record before recessing the public meeting to go back into Ex. Session at 5:42 p.m.:

Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

II. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding filling vacancy for City Council Member Place 6 (interview applicants), pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding annual selection of Mayor Pro Tem, pursuant to Section 551.074 (Personnel Matters)

III. ADJOURN EXECUTIVE SESSION

Mayor and Council adjourned from Executive Session at 6:01 p.m.

IV. RECONVENE PUBLIC MEETING (6:00 P.M.)

Mayor Pruitt reconvened the public meeting at 6:02 p.m.

V. INVOCATION AND PLEDGE OF ALLEGIANCE - MAYOR PRO TEM MACALIK

Mayor Pro Tem Macalik delivered the invocation and led the Pledge of Allegiance.

VI. OPEN FORUM

Mayor Pruitt explained how Open Forum is conducted, asking if anyone would like to address Council at this time. There being no one indicating such, he then closed Open Forum.

VII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

Mayor Pruitt indicated that Council will go back into Ex. Session at the end of the public meeting.

Mayor Pro Tem Macalik moved to authorize and direct the City Manager and City Attorney to negotiate definitive agreements, including a settlement agreement and an amendment to our current, mandatory contract with the North Texas Municipal Water District (NTMWD) to be presented to the City Council at a later date for final approval, as discussed in Executive Session. Councilmember Johannesen seconded the motion. Following lengthy, explanatory comments by Mayor Pruitt, the motion passed by a vote of 6 ayes to 0 nays (with 1 vacancy – Place 6).

Mayor Pro Tem moved to appoint Councilman Kevin Fowler as Mayor Pro Tem for the coming year. Mayor Pruitt seconded the motion, which passed unanimously of those present (6 ayes, 0 nays, and 1 vacancy (Place 6)).

VIII. CONSENT AGENDA

1. Consider approval of the minutes from the May 18, 2020 regular city council meeting, and take any action necessary.
2. Consider approval of an **ordinance** amending the Code of Ordinances in Ch. 26 'Motor Vehicles & Traffic,' Article VII. 'Stopping, Standing or Parking,' Section 26-505 'Prohibited in Specific Places' to include the prohibition of parking in the Rockwall Technology Park, including on Corporate Crossing and streets in the vicinity of Discovery Boulevard, and to allow for an exception during construction of construction-related vehicles, and take any action necessary. **(2nd Reading)**
3. Consider approval of the East Fork Aerial Crossing Replacement Project and authorize the City Manager to execute a contract with Pittard Construction Company, Inc. in an amount of \$193,424.00, and take any action necessary.

Councilmember Hohenshelt moved to approve the Consent Agenda (#s 1, 2 and 3). Councilmember Daniels seconded the motion. The ordinance was read as follows:

CITY OF ROCKWALL ORDINANCE NO. 20-19

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE MUNICIPAL CODE ORDINANCES OF THE CITY OF ROCKWALL, BY AMENDING SECTION 26-505, *PROHIBITED IN SPECIFIC PLACES*, OF ARTICLE VII, *STOPPING, STANDING OR PARKING*, OF CHAPTER 26, *MOTOR VEHICLES AND TRAFFIC*, TO INCORPORATE ADDITIONAL STREETS SUBJECT TO PROHIBITED PARKING AS DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 6 ayes to 0 nays with 1 vacant seat (Place 6).

IX. ACTION ITEMS

1. **Z2020-011** - Discuss and consider a request by Marlyn Roberts for the approval of an **ordinance** for a Specific Use Permit (SUP) for an *accessory building that exceeds the maximum square footage and height*

on an 0.1865-acre parcel of land identified as Lot 5, Block D, Waterstone Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 323 Julian Drive, and take any action necessary **(2nd Reading)**.

Planning Director Ryan Miller provided brief, explanatory comments pertaining to this agenda item. Councilmember Hohenshelt moved to approve this item (Z2020-011) and the associated ordinance. Councilmember Johannesen seconded the motion.

The ordinance was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 20-20
SPECIFIC USE PERMIT NO. S-222**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.1865-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK D, WATERSTONE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 5 ayes, 1 nay (Daniels) and 1 vacant seat (Place 6).

2. Discuss and consider a request by Russell Phillips of Harbor Lake Pointe Investors, LLC for the approval of a resolution abandoning a 0.096-acre tract of the excess right-of-way adjacent to Summer Lee Drive and being directly adjacent to property identified as Lot 6A of the Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and take any action necessary.

Councilmember Hohenshelt recused himself from this agenda item and filed an affidavit of recusal with the City Secretary. Planning Director Ryan Miller provided background information pertaining to this agenda item. The applicant, Russell Phillips, then came forth and provided brief comments to Council pertaining to his request. Mayor Pruitt moved to approve the resolution as presented. Councilmember Macalik seconded the motion, which passed by a vote of 5 ayes with 1 recusal (Hohenshelt) and 1 vacant seat (Place 6).

3. **MIS2020-009** - Discuss and consider a request by Kurt Avery for a variance to the City's Standards of Design and Construction Manual in accordance with the City's Interlocal Cooperation Agreement with Rockwall County for Subdivision Regulations in the City's Extraterritorial Jurisdiction (ETJ) on a 51.08-acre tract of land identified as Tracts 5 & 5-1 of the J. Strickland Survey, Abstract No. 187, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the terminus of Farm Lane east of Anna Cade Road, and take any action necessary.

Planning Director Ryan Miller provided background information pertaining to this agenda item. He explained that, essentially, the applicant is asking for a variance related to paving requirements associated with the roadway.

Mr. and Mrs. Avery
1043 Anna Cade
Rockwall, TX 75087

Mr. Avery provided a PowerPoint presentation to Council, which, in part, contained various photographs of the roadway and provided further explanation of his variance request.

Lengthy discussion took place pertaining to this agenda item. Councilmember Johannesen moved to approve MIS2020-009. Additional, lengthy discussion then ensued before Councilmember Hohenshelt then seconded the motion. The motion passed by a vote of 4 ayes, 2 nays (Macalik and Pruitt) and 1 vacant seat (Place 6).

4. Discuss and consider approval of a request to amend the agreement with HHW Solutions to eliminate the requirement for a performance bond, and take any action necessary.

Assistant City Manager Mary Smith provided brief background information concerning this agenda item. She shared that the city has literally received only one complaint about this company since it first began providing household hazardous waste collection services to residents. City Attorney Frank Garza generally indicated that a performance bond is often required within the first year or two of a new contract as a way of ensuring that the contractor performs its duties, and – if the contractor does not do so – the city could tap into the performance bond to hire a different contractor to fulfill the duties. In this case, Mr. Garza generally seemed to indicate that doing away with the performance bond is likely okay at this juncture, all things considered (the contractor is performing well, almost no complaints, etc.). Councilmember Hohenshelt moved to approve the amendment to the agreement, eliminating the requirements for a performance bond. Mayor Pro Tem Fowler seconded the motion, which passed unanimously of those present (6 ayes, 0 nays with 1 vacancy (Place 6)).

5. Discuss and consider resuming public programs and amenities offered by the City of Rockwall, and take any action necessary.

The Council went through a bulleted list of city-provided facilities, programs and amenities, one-by-one, generally agreeing to re-open most everything on the list (with the exception of city provided programs to senior aged residents at The Center – those will remain cancelled for the foreseeable future). Tammy Sharp, local resident and downtown business owner, came forth and spoke about a proposed July 3rd community event to be held in and around the downtown square. She would like to request funding from the City to help support the event. General discussion took place pertaining to the possibility of the City issuing Hotel Occupancy Tax (HOT) Funding for the event; however, indication was given that this proposed event would not qualify because it will not be marketed outside of Rockwall County, and it will not put 'heads in beds.' Council generally agreed to place an item on the June 15 city council meeting agenda, if necessary, to discuss and consider granting funding for this event (out of

the General Fund). Council took no formal discussion related to this agenda item (only 'direction' to staff was given).

X. CITY MANAGER'S REPORT, DEPARTMENTAL REPORTS AND RELATED DISCUSSIONS PERTAINING TO CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

1. Building Inspections Monthly Report - April
2. Fire Department Monthly Report - April 2020
3. Parks & Rec Monthly Report - April 2020
4. Police Department Monthly Report - April 2020
5. Sales Tax Historical Comparison - April 2020
6. Water Consumption Historical Statistics - April 2020
7. Census 2020 Staff Report

Regarding departmental and staff reports on the agenda, City Manager Rick Crowley offered to answer any questions Council may have. No questions were asked.

Mayor Pruitt then called forth resident Bob Wacker, asking him if he had anything to say since he was late to the meeting and missed his opportunity during "Open Forum."

Bob Wacker
309 Featherstone
Rockwall, TX

Mr. Wacker came forth and asked some clarifying questions regarding reopening of city pavilions and parks, specifically pertaining to the Park at Stone Creek. Indication was given that residents will now be able to reserve city owned pavilions thru contacting city staff at The Center.

Regarding the 2020 Census Update, Assistant City Manager Joey Boyd indicated that Rockwall is currently at a 66.6% self-response rate. Field workers will soon be knocking on doors and visiting local residents who have not yet submitted their 2020 Census response. City Manager Rick Crowley and City Councilmember Bennie Daniels highly encouraged all residents to submit their Census response (so that they do not receive an in-person visit from a Census worker).

Mayor Pruitt recessed the public meeting to go into Executive Session at 7:23 p.m. Pruitt then left the meeting due to an unforeseen, personal emergency. Council proceeded in Ex. Session without Mayor Pruitt.

XI. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding filling vacancy for City Council Member Place 6 (interview applicants), pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding annual selection of Mayor Pro Tem, pursuant to Section 551.074 (Personnel Matters)

3. Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

XII. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council came out of Executive Session, and Mayor Pro Tem Fowler reconvened the public meeting at 7:57 p.m.

Councilmember Macalik moved to appoint applicant Anna Campbell to fill the current vacancy for City Council Member, Place 6. Councilmember Johannesen seconded the motion, which passed by a vote of 5 in favor with 1 absence (Pruitt) (and 1 vacant seat (Place 6)).

XIII. ADJOURNMENT

Mayor Pro Tem Fowler adjourned the meeting at 7:57 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 15th DAY OF JUNE, 2020.

JIM PRUITT, MAYOR

ATTEST:

KRISTY COLE, CITY SECRETARY



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: P2020-019; LOT 9, BLOCK C, REMINGTON PARK, PHASE 2 ADDITION (ETJ)

Attachments

Development Application

Location Map

Replat

Summary/Background Information

Discuss and consider a request by Robert Gunby of Royse City Business Ventures for the approval of a *Replat* for Lot 9, Block C, Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958 & 3966 Ruger Drive, and take any action necessary.

Plat Information

1. The applicant is requesting to replat a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition by removing a lot line and combining the two lots to create *Lot 9, Block C, Remington Park, Phase 2 Addition* for the purpose of constructing an additional building and providing the necessary easements for the development of the site. The subject property is addressed as 3958 & 3966 Ruger Drive, Rockwall County, Texas, and situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall.
2. The purpose of the replat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall* of the *Interim Interlocal Agreement* between Rockwall County and the City of Rockwall. The proposed replat does meet the intent and stated purpose for development of the site.
3. The surveyor has completed the majority of the technical revisions requested by

staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

4. Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
5. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

Conditions of Approval

If the City Council chooses to approve the replat for *Lot 9, Block C, Remington Park, Phase 2 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to filing of the plat with Rockwall County; and
- (2) The applicant shall have the city approved plat mylar signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission made a motion to recommend approval of the replat with staff conditions. The motion was approved by a vote of 7-0.

Action Needed

The City Council is being asked to approved the proposed replat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☒ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3958 RUGER DRIVE

Subdivision REMINGTON PARK PHASE TWO

Lot 1/2 Block C

General Location ROYSE CITY

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage 3.04

Lots [Current] 2

Lots [Proposed] 1

- ☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner ROYSE CITY BUSINESS VENTURES ☐ Applicant SAME

Contact Person ROBERT GUNBY Contact Person

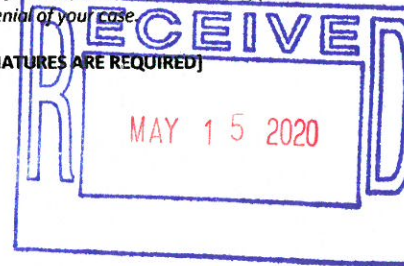
Address 8235 DOUGLAS AVE Address

SUITE 350

City, State & Zip DALLAS, TX 75225 City, State & Zip

Phone 214-445-4305 Phone

E-Mail RHOOKER@RTGCAPITOL.COM E-Mail



NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Roger C Gault [Owner] the undersigned, who stated the information on this application to be true and certified the following:

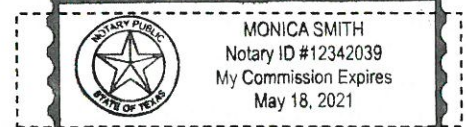
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 360.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 23rd day of January, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 23rd day of January, 2020.

Owner's Signature

Roger C Gault

Notary Public in and for the State of Texas



My Commission Expires

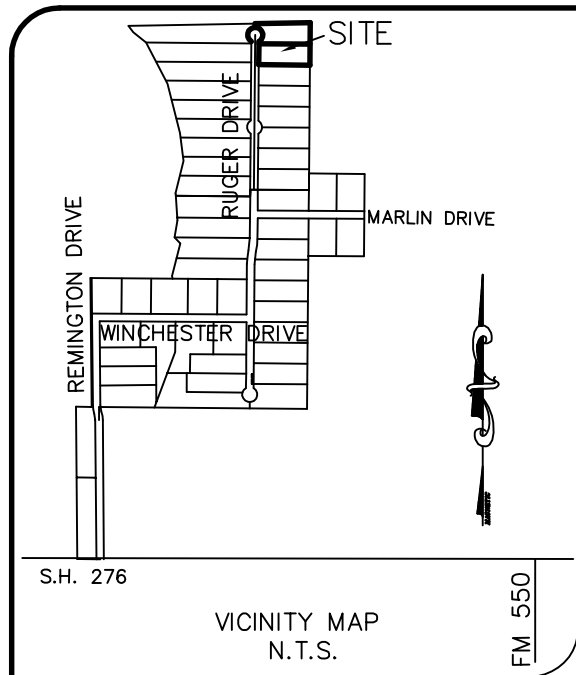


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND:

IRF = IRON ROD FOUND
(C.M.) CONTROL MONUMENT

N 7020982.48
E 2626344.90 = STATE PLANE COORDINATES

FLOODZONE CERTIFICATE:

NO PORTION OF THE PROPERTY SHOWN HEREON LIES WITH A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 48397C0065L WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

WAT LAO SIRBUDDHAVAS, INC
2772 BLACKLAND ROAD
VOL. 996, PG. 442
R.P.R.R.C.T.

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WE, ROYSE CITY BUSINESS VENTURES, LLC DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS LOT 9, BLOCK C, A REPLAT OF LOTS 1 AND 2, BLOCK C OF THE REMINGTON PARK PHASE TWO, ADDITION, AN ADDITION TO THE COUNTY OF ROCKWALL, TEXAS AS RECORDED IN CABINET G, PAGE 289 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

Robert Gunby
ROYSE CITY BUSINESS VENTURES, LLC

Date

I further acknowledge that the dedication and/or exaction's made herein are proportional to the impact of Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I and my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Property Owners Signature

STATE OF TEXAS

COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Robert Gunby, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration herein stated.

Given upon my hand and seal of office this _____ day of _____, 2020.

Notary Public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATION:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Rudy Rangel, do hereby certify, that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown hereon were properly placed under my personal supervision

Registered Professional Surveyor
TBPLS NO. 10077100

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020 in accordance with requirements of the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

FINAL PLAT
REMINGTON PARK
PHASE TWO
LOT 9, BLOCK C
A REPLAT OF LOTS 1 & 2, BLOCK C
AMBROSE M. WILSON SURVEY
ABST. No. 223
ROCKWALL COUNTY, TEXAS



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: P2020-020; FINAL PLAT FOR TERRACINA ESTATES, PHASE 1

Attachments

Development Application

Location Map

Final Plat

Summary/Background Information

Discuss and consider a request by Clint Vincent of Bloomfield Homes, LP for the approval of a *Final Plat* for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take any action necessary.

Plat Information

1. The applicant is requesting the approval of a final plat for a 54.995-acre portion of a larger 81.49-acre tract of land identified Tract 16 of the J. A. Ramsay Survey, Abstract No. 186. The purpose of the final plat is to establish 110 single-family residential lots as part of the Terracina Estates, Phase 1 Subdivision. This is the first of three (3) phases of the Terracina Estates Subdivision, which upon completion will consist of a total of 352 single-family lots for Planned Development District 82 (PD-82).
2. The proposed final plat conforms to the Preliminary Plat (*i.e.* P2017-055) and Master Plat (*i.e.* P2017-054), which were approved by the City Council on November 20, 2017.
3. On June 20, 2016, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to Planned Development District 82 (PD-82) by *Ordinance No. 16-43 [i.e. Case No. Z2016-043]*. On January 2, 2018, the City Council approved *Ordinance No. 18-08 [Case No. Z2017-063]* amending Planned Development District 82 (PD-82) for the purpose of incorporating an additional

98.341-acre tract of land within PD-82 and creating a 179.831-acre single-family residential subdivision consisting of three (3) phases.

4. On June 2, 2020, the Parks and Recreation Board reviewed the final plat, and made a motion to recommend approval of the final plat with the proposed 8.24-acre park with the condition that the park land and amenities meet or exceed the total for pro-rata equipment fees in the amount of \$52,360.00 (*i.e.* \$476.00 x 110 lots) and cash in lieu of land fees in the amount of \$55,330.00 (*i.e.* \$503.00 x 110 lots) or a total of \$107,690.00. The park and amenities are to be built to city specifications.
5. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
6. Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
7. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

Conditions of Approval

If the City Council chooses to approve the *Final Plat* for *Phase 1 of the Terracina Estates Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) The applicant shall adhere to the recommendations made by the Parks Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission made a motion to recommend approval of the final plat with staff conditions. The motion was approved by a vote of 7-0.

Action Needed

The City Council is being asked to approve the final plat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☒ Final Plat (\$300.00 + \$20.00 Acre)¹ $51 \text{ AC} \times \$20 = \1020
☐ Replat (\$300.00 + \$20.00 Acre)¹ $+ 300$
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00) $\$1320$

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3500 BLOCK ROCHELL ROAD
 Subdivision TERRACINA PHASE I Lot _____ Block _____
 General Location WEST SIDE OF ROCHELL RD. APPROX. 1500FT. SOUTH OF HWY 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-B2 Current Use PASTURE
 Proposed Zoning PD-B2 Proposed Use SINGLE FAMILY RESIDENTIAL
 Acreage 50.154 Lots [Current] 1 Lots [Proposed] 110

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner BLOOMFIELD HOMES, LP ☐ Applicant
 Contact Person CLINT VINCENT Contact Person _____
 Address 1050 E. HWY. 114, SUITE 210 Address _____
 City, State & Zip SOUTHLAKE, TX 76092 City, State & Zip _____
 Phone 817-416-1572 Phone _____
 E-Mail _____ E-Mail _____

NOTARY VERIFICATION [REQUIRED]

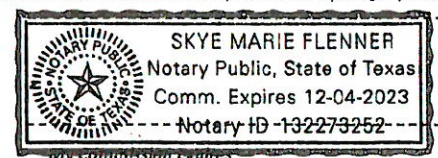
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

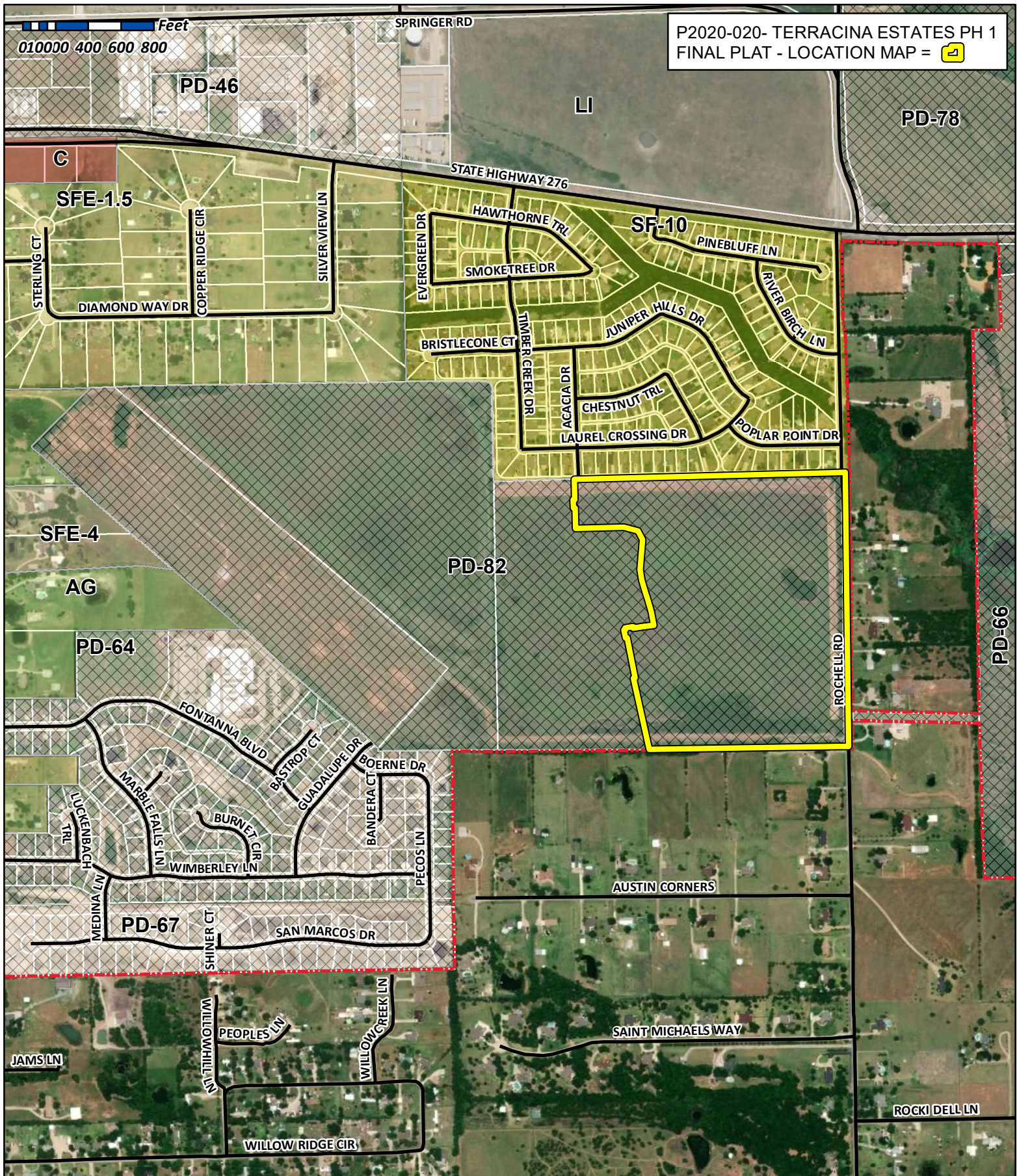
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 1320, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of May, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



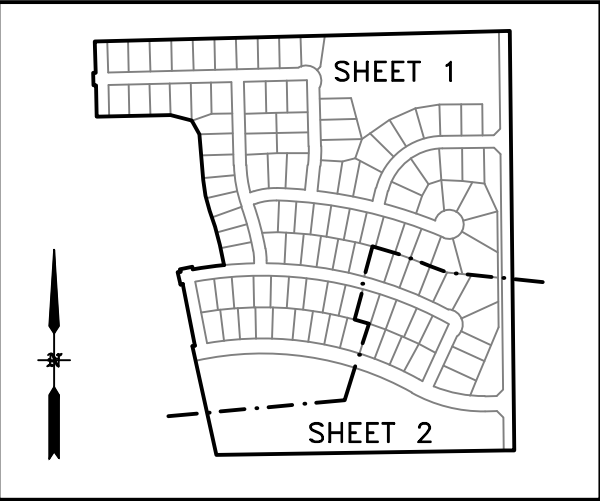
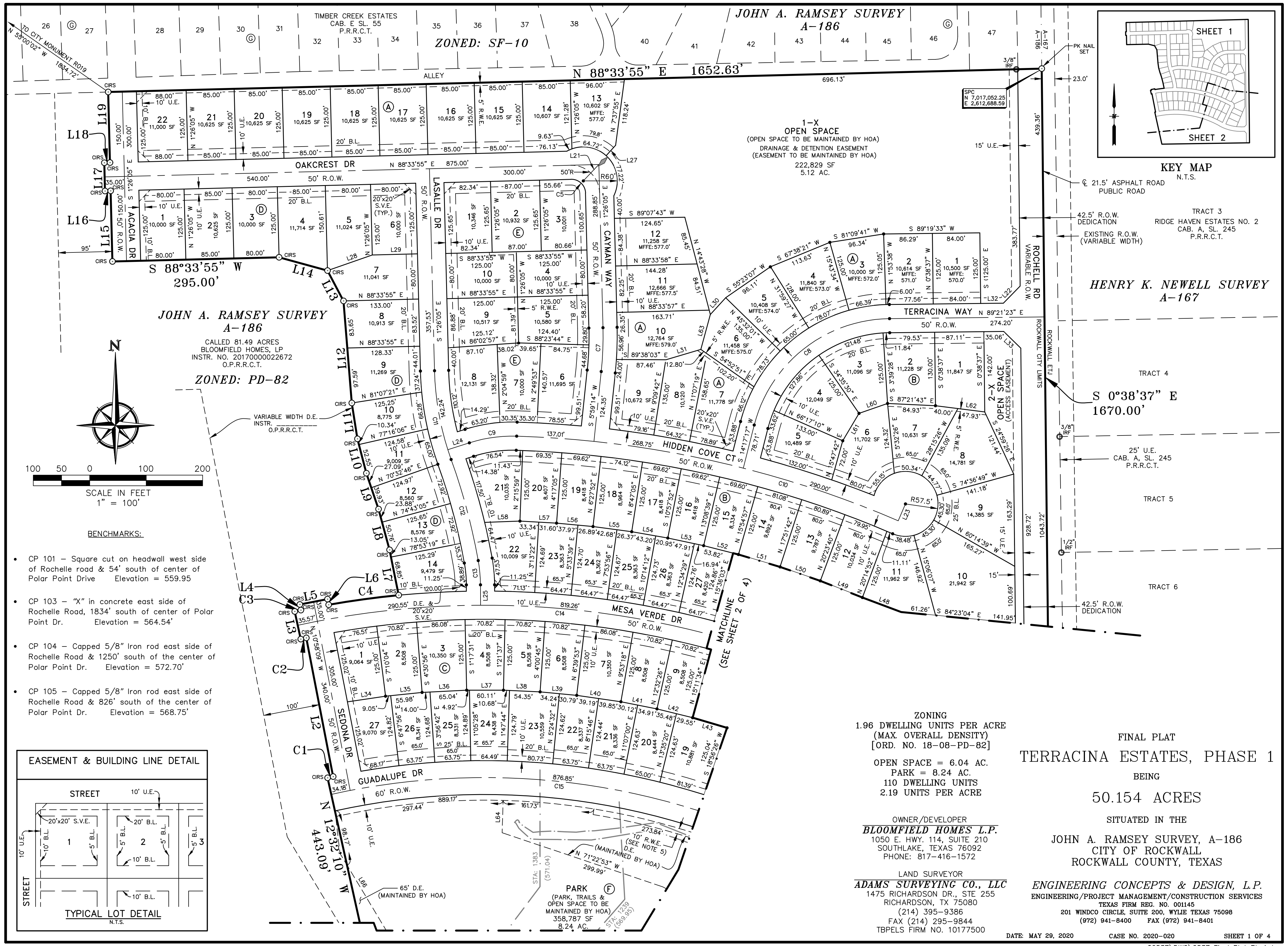


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
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KEY MAP
N.T.S.
21.5' ASPHALT ROAD
PUBLIC ROAD
42.5' R.O.W.
DEDICATION
EXISTING R.O.W.
(VARIABLE WIDTH)
TRACT 3
RIDGE HAVEN ESTATES NO. 2
CAB. A, SL. 245
P.R.R.C.T.
HENRY K. NEWELL SURVEY
A-167

TRACT 4
S 0°38'37" E
1670.00'
25' U.E.
CAB. A, SL. 245
P.R.R.C.T.
TRACT 5
TRACT 6
42.5' R.O.W.
DEDICATION

ZONING
1.96 DWELLING UNITS PER ACRE
(MAX. OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

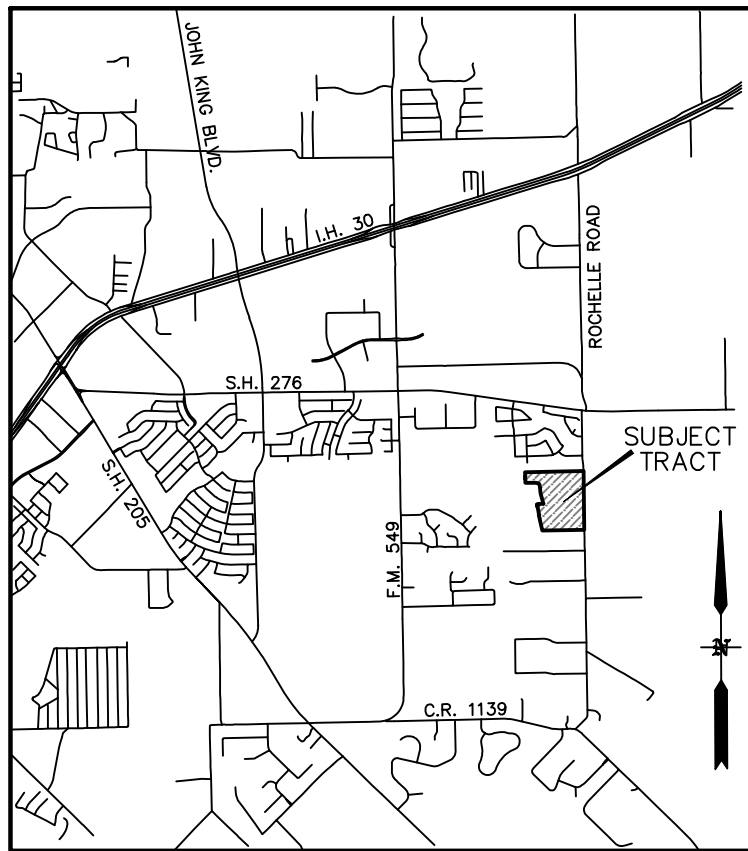
OPEN SPACE = 6.04 AC.
PARK = 8.24 AC.
110 DWELLING UNITS
2.19 UNITS PER ACRE

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572

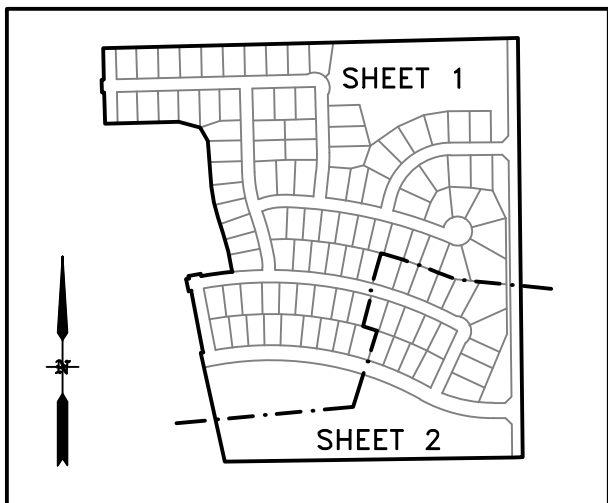
LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

FINAL PLAT
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES
SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

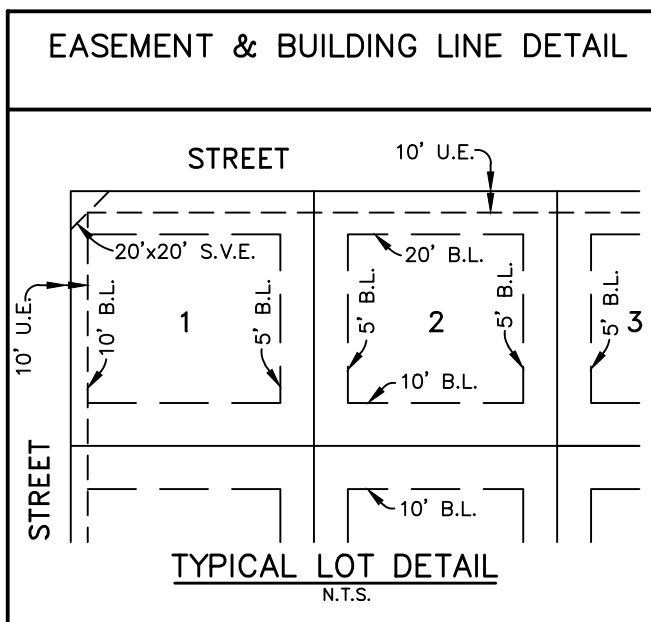
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401



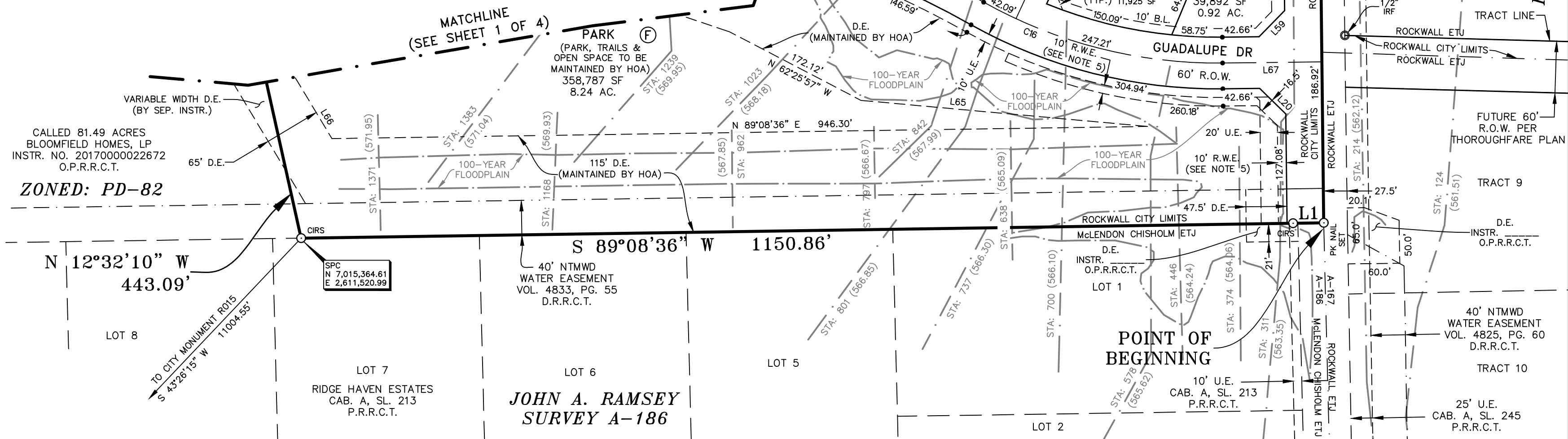
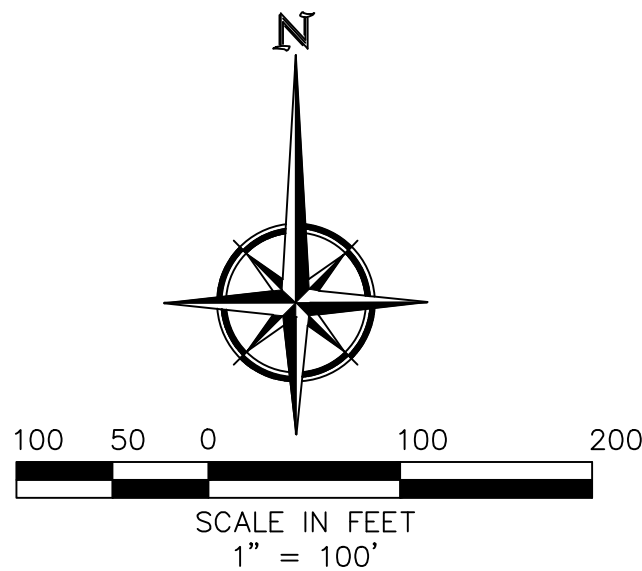
VICINITY MAP
N.T.S.



KEY MAP
N.T.S.



LEGEND	
IRF	IRON ROD FOUND
CIRS	5/8 INCH IRON ROD SET WITH ADAMS SURVEYING COMPANY LLC CAP
FCP	FENCE CORNER POST FOUND
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
R.W.E.	RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
S.V.E.	SIDEWALK & VISIBILITY EASEMENT
HOA	HOMEOWNERS' ASSOCIATION
MFFE	MINIMUM FINISHED FLOOR ELEVATION
SPC	STATE PLANE COORDINATES
◆	INDICATES CHANGE IN STREET NAME



NOTES:

- Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (TX83-NCF).
- A 5/8-inch iron rod with "ADAMS SURVEYING COMPANY LLC cap will be set at all lot corners, points of curvature, points of tangency and angle points in public rights-of-way whenever possible unless otherwise shown or noted in this drawing, after all construction for this subdivision has been completed.
- By graphical plotting, the parcel shown hereon lies within Zone X, as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0045L, dated September 26, 2008. Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain." The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All Open Space tracts, Drainage, & Detention Easements will be maintained, repaired and replaced by the Homeowners Association.
- Retaining Walls in the Park Area will be maintained, repaired and replaced by the Homeowners Association.
- Driveway depth must be 25' or more between the front of garage and edge of sidewalk.
- Retaining Walls in Residential Lots will be maintained, repaired and replaced by the Property Owners.

BENCHMARKS:

- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive
Elevation = 559.95
- CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
- CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
- CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

ZONING
1.96 DWELLING UNITS PER ACRE
(MAX. OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

OPEN SPACE = 6.04 AC.
PARK = 8.24 AC.
110 DWELLING UNITS
2.19 UNITS PER ACRE

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572

LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

FINAL PLAT
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE TEXAS 75098
(972) 941-8400 FAX (972) 941-8401

DATE: MAY 29, 2020

CASE NO. 2020-020

SHEET 2 OF 4



MEMORANDUM

TO: Mayor and City Councilmembers
FROM: Bethany Browning, Main Street Manager
DATE: June 10, 2020
**SUBJECT: Funding Request from Downtown Rockwall Association for the
Downtown Daycation Event - Friday, July 3, 2020**

The Downtown Rockwall Association is requesting \$25,000.00 in funding for their Downtown Daycation event. The event is an effort to welcome residents back to Downtown Rockwall and also provides an additional community outing to celebrate in Rockwall during the July 4th weekend. Downtown Rockwall Association organizers have been working diligently with the City of Rockwall and the Chamber of Commerce to plan the community celebration.

As in years past, the stores will be open throughout the day with sales, refreshments and special promotions. Planned activities include: a DJ all day at the Courthouse Stage, patio furniture on Kaufman for lounging, food trucks and a seated eating area, cornhole tournament, putt-putt golf in San Jacinto Plaza, culminating at 7PM with an outdoor concert by Emerald City Band. Free ice-pops and glow necklaces will be provided during the concert along with free t-shirt giveaways and balloons.

To facilitate the all-day event, the DRA is requesting the following streets be closed to traffic beginning at 11:00PM, Thursday, July 2 and ending at 11:00PM, Friday, July 3:

- 100 & 200 Blocks of East Kaufman (Goliad Street to Fannin Street)
- 100 & 200 Blocks of North San Jacinto (Rusk Street to Independent Bank Drive Thru)

The DRA is also requesting to use the restroom trailers owned by the City and have the fees waived for this event.

An event budget has been provided by the DRA:

\$15,000.00 concert (band, sound, industrial fans)
\$2,000.00 tents, tables and chairs
\$500.00 barricades
\$4,000.00 furniture
\$1,500.00 concert activities
\$1,000.00 marketing/signage

\$1,000.00 insurance
\$25,000.00 Total

There are funds available in the Administration Department operating budget for this event should the City Council approve this request.



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Amy Williams, P.E., Director of Public Works/City Engineer

DATE: June 15, 2020

SUBJECT: NORTH LAKESHORE BRIDGE REPAIR

Attachments

Contract

Letter

Pictures

Location Map

Summary/Background Information

On May 13, 2020, a citizen notified City Staff of concerns regarding cracking under the North Lakeshore bridge. The citizen noticed the cracking while walking on the trail that leads under the bridge. After investigation, the Street Department Manager confirmed that there was damage to the bridge supports.

The North Lakeshore bridge was designed by Charlie Quade, P.E. with Huitt-Zollars, Inc., in 2006. Mr. Quade was called to the site to evaluate the bridge to ensure that the bridge was safe for motorists to travel on until the can be made. In a letter dated May 15, 2020, Mr. Quade observed the bridge's deficiencies and determined that the cracking did not adversely impact the structural integrity and could continue to safely carrying traffic.

Staff has requested Huitt-Zollars, Inc. to prepare a proposal for the engineering design services necessary to repair the abutments of the North Lakeshore bridge. The engineering design fee for the design is \$42,500. Staff requests the City Council consider approving the professional engineering services contract for Huitt-Zollars, Inc. to perform the engineering design services for the North Lakeshore Bridge Repair in an amount not to exceed \$42,500, to be paid for out of Engineering Consultant Budget, and take any action necessary.

Action Needed

STATE OF TEXAS

COUNTY OF ROCKWALL



PROFESSIONAL ENGINEERING SERVICES CONTRACT

This Agreement is made and entered into in Rockwall County, Texas, between City of Rockwall, Texas ("CITY"), a municipal corporation and political subdivision of the State of Texas, acting by and through its City Manager and Huitt-Zollars, Inc., ("ENGINEER"), located at 1717 McKinney Ave. Suite, 1400, Dallas, Texas, 75202-1236, Texas, Engineers duly licensed and practicing under the laws of the State of Texas.

WHEREAS, CITY desires to engage Engineer as an independent contractor to render certain technical and professional services necessary for performing:

PROFESSIONAL ENGINEERING SERVICES for North Lakeshore Drive Bridge Repairs

NOW, THEREFORE, for and in consideration of the mutual covenants and agreements contained herein, the Parties hereby agree as follows:

1. Scope of Work

Engineer agrees to perform professional engineering services as specifically defined in this Contract as Attachment "A" and as authorized by CITY. Specifically, Engineer shall perform Professional services as requested by CITY and detailed in Attachment "A".

The Parties by mutual agreement through contract amendments may provide for additional technical and professional services to be performed under the basic general terms and conditions of this Contract. CITY reserves the right to enter into another agreement with other engineering firms to provide the same or similar professional services during the term of this Contract for different projects.

2. Compensation & Term of Agreement

Cost for such services will be an annual amount not to exceed twenty-four thousand five hundred dollars (\$24,500.00) and billed as a lump sum basis for Basic Services and eighteen thousand dollars (\$18,000.00) billed on an lump sum/hourly/unit price basis for Special Services per rates provided in Attachment "B". Engineer is not authorized to perform any work beyond the limited not to exceed amount without authorized written approval by CITY.

The term of this Agreement shall commence upon execution of this agreement and follow the schedule described in Attachment "B". In the event of termination, Engineer will assist the CITY in arranging a smooth transition process. However, Engineer's obligation to provide services to the CITY will cease upon the effective date of termination, unless otherwise agreed in writing.

3. Method of Payment

CITY shall pay Engineer its fees based on the presentation by Engineer to CITY of a correct monthly statement for all the amounts earned under the Contract together with reasonable supporting documentation verifying the accuracy of the fees and expenses. CITY shall then pay Engineer its fee within thirty (30) days after presentation of the accurate monthly statement by Engineer to CITY. CITY is a State sales and use tax exempt political subdivision of the State of Texas. All records supporting payment shall be kept in the offices of Engineer for a period of not less than three (3) years and shall be made available to CITY for inspection, audit or copying upon reasonable request.

4. Engineer's Standard of Care

Engineer shall provide its services under this Contract with the same degree of care, skill and diligence as is ordinarily provided by a professional Engineer under similar circumstances for a similar project. Engineer represents that it has the capability, experience, available personnel, and means required to perform the services contemplated by this Contract. Services will be performed using personnel and equipment qualified and/or suitable to perform the work requested by the CITY. CITY retains the right to report to Engineer any unsatisfactory performance of Engineer personnel for appropriate corrective action. Engineer shall comply with applicable federal, state, and local laws in connection with any work performed hereunder.

Engineer will seek written CITY approval to accept any contract or perform any services for any person, entity, or business working on this project. CITY may waive this potential conflict, but such waiver is at CITY's sole discretion and its decision shall be final.

5. Ownership of Documents

As part of the total compensation which CITY has agreed to pay Engineer for the professional services to be rendered under this Contract, Engineer agrees that hard copies of all finished and unfinished documents, data, studies, surveys, drawings, specifications, field notes, maps, models, photographs, preliminary reports, reports, bid packet/construction contract documents/advertisement for bids incorporating any CITY standard provisions provided by Engineer, will remain the property of the CITY. Engineer will furnish CITY with paper and electronic copies, to the extent they are available, of all of the foregoing to facilitate coordination, however, ownership of the underlying work product shall remain the intellectual property of the Engineer. Engineer shall have the right to use such work products for Engineer's purposes. However, such documents are not intended to be suitable for reuse by CITY or others on extension of the Project or on any other project. Any reuse without the express written consent of the Engineer will be at reuser's sole risk and without liability or legal exposure to the Engineer, and CITY to the extent allowed by law, shall hold harmless the Engineer from all claims, damages, losses, expenses, and costs, including attorneys' fees arising out of or resulting from the reuse of said documents without the Engineer's consent. The granting of such consent will entitle the Engineer to further compensation at rates to be agreed upon by CITY and the Engineer. The above notwithstanding,

Engineer shall retain all rights in its standard drawing details, designs, specifications, databases, computer software and any other proprietary and intellectual property information provided pursuant to this Contract, whether or not such proprietary information was modified during the course of providing the services.

6. Insurance

A. Engineer agrees to maintain Worker's Compensation and Employer's Liability Insurance to cover all of its own personnel engaged in performing services for CITY under this Contract in at least the following amounts:

Workmen's Compensation – Statutory
Employer's Liability – \$100,000
Bodily Injury by Disease - \$500,000 (policy limits)
Bodily Injury by Disease - \$100,000 (each employee)

B. Engineer also agrees to maintain Commercial General Liability, Business Automobile Liability, and Umbrella Liability Insurance covering claims against Engineer for damages resulting from bodily injury, death or property damages from accidents arising in the course of work performed under this Contract in not less than the following amounts:

\$2,000,000 General aggregate limit

\$1,000,000 each occurrence sub-limit for all bodily injury or property damage incurred all in one occurrence

\$1,000,000 each occurrence sub-limit for Personal Injury and Advertising

C. Engineer shall add CITY, its City Council members and employees, as an additional insureds on all required insurance policies, except worker's compensation, employer's liability and errors and omissions insurance. The Commercial General Liability Policy and Umbrella Liability Policy shall be of an "occurrence" type policy.

D. Engineer shall furnish CITY with an Insurance Certificate on the date this Contract is executed and accepted by CITY, which confirms that all above required insurance policies are in full force and effect.

E. Engineer agrees to maintain errors and omissions professional liability insurance in the amount of not less than one million dollars (\$1,000,000) annual aggregate, on a claims made basis, as long as reasonably available under standard policies.

7. INDEMNIFICATION

ENGINEER SHALL INDEMNIFY AND SAVE HARMLESS THE CITY AND ITS CITY COUNCIL MEMBERS AND EMPLOYEES FROM SUITS, ACTIONS, LOSSES,

DAMAGES, CLAIMS, OR LIABILITY, INCLUDING WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, ALL EXPENSES OF LITIGATION, COURT COSTS, AND REASONABLE ATTORNEY'S FEES FOR INJURY OR DEATH TO ANY PERSON, OR INJURY TO ANY PROPERTY, RECEIVED OR SUSTAINED BY ANY PERSON OR PERSONS OR PROPERTY, TO THE EXTENT CAUSED BY THE NEGLIGENT ACTS OF ENGINEER OR ITS AGENTS OR EMPLOYEES, IN THE EXECUTION OF PERFORMANCE OF THIS CONTRACT.

ENGINEER'S TOTAL LIABILITY TO CITY FOR ANY LOSS OR DAMAGES FROM CLAIMS ARISING OUT OF, OR IN CONNECTION WITH, THIS CONTRACT FROM ANY CAUSE INCLUDING ENGINEER'S STRICT LIABILITY, BREACH OF CONTRACT, OR PROFESSIONAL NEGLIGENCE, ERRORS AND OMISSIONS SHALL NOT EXCEED ONE MILLION DOLLARS (\$1,000,000). NEITHER PARTY TO THIS AGREEMENT SHALL BE LIABLE TO THE OTHER PARTY OR ANY THIRD PARTY CLAIMING THROUGH THE OTHER RESPECTIVE PARTY, FOR ANY SPECIAL, INCIDENTAL, INDIRECT, PUNITIVE, LIQUIDATED, DELAY OR CONSEQUENTIAL DAMAGES OF ANY KIND INCLUDING BUT NOT LIMITED TO LOST PROFITS OR USE OF PROPERTY, FACILITIES OR RESOURCES, THAT MAY RESULT FROM THIS AGREEMENT, OR OUT OF ANY GOODS OR SERVICES FURNISHED HEREUNDER.

8. Addresses for Notices and Communications

CITY

Amy Williams, P.E.
Director of Public Works/City Engineer
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

ENGINEER

Charles E. Quade, P.E.
Huitt-Zollars, Inc.
1717 McKinney Avenue
Suite 1400
Dallas, TX 75202-1236

All notices and communications under this Contract shall be mailed or delivered to **CITY** and **Engineer** at the above addresses.

9. Successors and Assigns

CITY and Engineer each binds itself and its successors, executors, administrators and assigns to the other parties of this Contract and to the successors, executors, administrators and assigns of such other parties, in respect to all covenants of this Contract. Except as noted in the first part of this

Paragraph, neither CITY nor Engineer shall assign, sublet or transfer its interest in this Contract without the written consent of the other. Nothing herein shall be construed as creating any personal liability on the part of any officer, council member, employee or agent of any public body which is a party hereto.

10. Termination for Convenience of the Parties

Engineer and CITY may terminate this Contract for their convenience at any time by giving at least thirty (30) days notice in writing to each other. If the Contract is terminated by CITY and/or Engineer as provided herein, Engineer will be paid for the Work provided and expenses incurred up to the termination date, if such final compensation is approved by CITY, in its sole discretion. If this Contract is terminated due to the fault of Engineer, Paragraph 10 hereof, relative to Termination for Cause, shall apply.

11. Changes

CITY may, from time to time, request changes in the Scope of Work of **Engineer** to be performed hereunder. Such changes, including any increase or decrease in the amount of **Engineer's** compensation, or time for performance, which are mutually agreed upon by and between CITY and **Engineer**, shall be incorporated in written amendments to this Contract. Any subsequent contract amendments shall be executed by the City Manager or other authorized representative as designated by the City Manager or City Council.

Any alterations, additions or deletions to the terms of this Contract, including the scope of work, shall be by amendment **in writing** executed by both CITY and Engineer.

13. Reports and Information

Engineer, at such times and in such forms as CITY may reasonably require, and as specified in the Scope of Work or in additional Contract Amendments shall furnish CITY periodic reports pertaining to the Work or services undertaken pursuant to this Contract, the cost and obligations incurred, or to be incurred in connection therewith, and any other matter covered by this Contract.

14. Entire Agreement

This Contract and its Attachments and any future Contract Amendments constitute the entire agreement, and supersede all prior agreements and understandings between the parties concerning the subject matter of this Contract.

15. Waiver

The failure on the part of either party herein at any time to require the performance by the other party, of any portion of this Contract, shall not be deemed a waiver of, or in any way affect that

party's rights to enforce such provision, or any other provision. Any waiver by any party herein of any provision hereof, shall not be taken or held to be a waiver of any other provision hereof, or any other breach hereof.

16. Severability

The invalidity or unenforceability of any provision of this Contract shall not affect the validity or enforceability of any other provision of this Contract.

17. Survival

Any and all representations, conditions and warranties made by Engineer under this Contract are of the essence of this Contract and shall survive the execution, delivery and termination of it.

18. Governing Powers and Law

Both Parties agree and understand that the City does not waive or surrender any of its governmental powers by execution of this Agreement. To that end, the parties further understand that this agreement shall not be considered a contract for goods or services under Texas Local Government Code, Section 271.151 and Contractor waives any right or entitlement granted said provisions. This Contract is governed by the laws of the State of Texas and all obligations of the parties under this Contract are performable in Rockwall County, Texas.

19. Attorney's Fees


If it is necessary for either Party herein to file a cause of action at law or in equity against the other Party due to: (a) a breach of this Contract by the other Party and/or (b) any intentional and/or negligent act or omission by the other Party arising out of this Contract, the non-breaching or non-negligent Party shall be entitled to reasonable attorney's fees and costs, and any necessary disbursements, in addition to any other relief to which it is legally entitled.

20. State or Federal Laws

This Contract is subject to all applicable federal and state laws, statutes, codes, and any applicable permits, ordinances, rules, orders and regulations of any local, state or federal government authority having or asserting jurisdiction, but nothing contained herein shall be construed as a waiver of any right to question or contest any such law, ordinance, order, rule or regulation in any forum having jurisdiction.

EXECUTED in triplicate originals on this 11TH day of JUNE 2020.

HUITT~ZOLLARS, INC.

By: 
Charles E. Quade, P.E.
Vice President

EXECUTED in triplicate originals on this ____ day of _____ 2020.

ATTEST:

City of Rockwall, Texas

Richard Crowley
City Manager

ATTACHMENT “A”

Scope of Service

PROJECT DESCRIPTION:

Huitt-Zollars, Inc. (HZI) shall conduct a Condition Assessment, prepare a report, and prepare plans, specifications, and construction cost estimate (PS&E) for repairs. This scope of services includes the City of Rockwall bridge along North Lakeshore Drive over Squabble Creek. The first project task is to conduct a condition assessment (visual, hand-on inspection) of the bridge. Findings from the condition assessment will be summarized in a Bridge Condition Assessment report that includes repair recommendations. The PS&E repairs shall be based upon the inspection findings documented in the Condition Assessment Report. Plans shall be signed and sealed by an engineer, licensed in the State of Texas. Project shall utilize Texas Department of Transportation (TxDOT) Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges, 2014. TxDOT's Standard Specifications. Concrete repairs shall in general follow the guidance provided in TxDOT's Concrete Repair Manual, 2019.

SERVICES PROVIDED BY THE CITY:

The City of Rockwall shall provide access to bridge sites for inspection

BASIC SERVICES:

1. Bridge Condition Assessment
 - a. Perform a condition assessment of bridge. Condition assessment shall be performed using methods outlined in the AASHTO Manual for Bridge Evaluation and TxDOT's Bridge Inspection Manual. The condition assessment shall include:
 - i. Visual, hands on inspection of all bridge elements of concern
 - ii. Photographs to document existing conditions
 - iii. Approximate repair quantities
 - iv. Recording of field notes
 - b. Prepare a Bridge Condition Assessment Report. Report shall summarize and tabulate all of the condition assessment findings. Report shall also provide repair recommendations for each noted deficiency.
 - c. Report drafts shall be submitted to the City of Rockwall as outlined below:
 - i. Draft Submittal – Post-inspection progress report with summary of findings and repair recommendations for City review
 - ii. Final Report Submittal – Final Bridge Condition Assessment Report, signed and sealed by an engineer registered in the State of Texas
 - d. Meet with City of Rockwall engineering staff and obtain design criteria and any other pertinent information available for the project site prior to beginning PS&E.

2. PS&E Pre-Final Design

- a. Prepare Pre-Final construction plans. Prepare the following sheets:
 - Cover Sheet
 - General Notes & Quantity Summary
 - Bridge Repair Layouts (estimated 2 sheets)
 - Sheet No. 1 – Bridge Plan, Profile, and Quantities
 - Sheet No. 2 - Repair Photos
 - Bridge Repair Details (estimated 2 total sheets)
- b. Prepare an estimate of construction quantities and Pre-Final opinion of probable construction cost.
- c. Submit Pre-Final plans and opinion of probable construction cost to the City for review and comment. Provide three hard copies and one electronic copy in PDF format for each document.
- d. Meet with City of Rockwall staff to discuss City comments on Pre-Final Design

3. PS&E Final Design

- a. Prepare Final Design plans. Effort shall include:
 - i. Revising Pre-Final plans to incorporate comments from City of Rockwall
 - ii. Updating quantities
- b. Prepare final quantities and a final opinion of probable construction cost.
- c. Submit final plans and final opinion of probable construction cost to the City for review and comment. Provide three hard copies and one electronic copy in PDF format for each document.
- d. Meet with City of Rockwall Staff to discuss City comments on Final Design

4. PS&E Final Bid Documents

- a. Incorporate City's final comments on plans and bid documents.
- b. Submit three sets of full size (22" x 34"), bound signed and sealed plans.
- c. Submit three bound copies of the bid documents and one unbound original bid document set. Bid documents shall include a schedule of bid items.

5. Bidding Phase Services

- a. Furnishing the City a construction bid set one (1) 11"x17" hard copy plans and one (1) 8.5"x11" Bid Spec Book.
- b. City will be responsible for advertisement of the project in the Local Paper
- c. HZI will make the plans and specifications will be made available from the Bid document distribution site CivCast. Consultant will manage document upload and setting up project on CivCast.

- d. During this phase service to be provided are:
 - i. Respond to contractor questions and provide design clarifications.
 - ii. Attendance at the pre-bid meeting.
 - iii. Production of all Addenda items and designs changes, submittal to City for review and correction before issuance.
 - iv. Attendance of Bid Opening
 - v. Tabulating Bids and checking for errors.
 - vi. Checking references and other qualification information for the low bidder and writing a letter of recommendation concerning award of the contract.
 - vii. Returning Bid Bonds to all non-low bidders.

LIST OF DELIVERABLES:

List of project deliverables is provided below. In parenthesis is the format by which these documents will be transmitted and, as applicable, the number of hard copies provided.

1. Draft Bridge Condition Assessment (PDF & Word, electronic via e-mail or dropbox)
2. Final Bridge Condition Assessment (PDF & Word, electronic via e-mail or dropbox)
3. Pre-Final Design (3 hard copies & 1 electronic PDF copy)
 - a. Plans (11" x 17")
 - b. Project Specification Outline (8 ½" x 11")
 - c. Opinion of Probable Construction Cost (8 ½" x 11")
4. Final Design (3 hard copies & 1 electronic PDF copy)
 - a. Plans (11" x 17")
 - b. Project Specifications (8 ½" x 11")
 - c. Opinion of Probable Construction Cost (8 ½" x 11")
5. Final Bid Documents (as outlined above under Bidding Phase Services)

SPECIAL SERVICES

1. Geotechnical Services - includes drilling and sampling of two (2) 10-foot deep soil borings, laboratory testing and engineering data per Terracon's proposal dated June 1, 2020.
2. Construction Phase Services
 - a. Coordinate with City on needs during the construction phase. The services available are listed below, and may be provided upon the request of the City of Rockwall.
 - b. HZI to provide five (5) full size set of construction plans and contract documents.
 - c. *Pre-Construction Meeting*,
 - i. Prepare for and attend the Pre-Construction Meeting prior to commencement of Work at the Site.
 - ii. Consultant shall provide Approved for Construction Plan sets to the pre-construction meeting. The following amount and sizes of plans shall be

provided: 15 – half size plans (11”x17”), 5 - Full size plans (22”x34”), 7 - Spec Books (Bound – 8.5”x11”)

- d. *Visits to Site and Observation of Construction.* If required by City, provide on-site construction observation services to clarify design concepts or assist with solutions needed to overcome obstacles in construction or to study and evaluate possible practical alternative solutions. Makes visits to the Site at intervals as directed by City in order to observe the progress of the Work. Such visits and observations by HZI are not intended to be exhaustive or to extend to every aspect of Contractor’s work in progress. Observations are to be limited to spot checking, selective measurement, and similar methods of general observation of the Work based on HZI’s exercise of professional judgment. Based on information obtained during such visits and such observations, HZI will determine if Contractor’s work is generally proceeding in accordance with the Contract Documents, and HZI shall keep City informed of the general progress of the Work.

The purpose of HZI’s visit to the site will be to enable HZI to better carry out the duties and responsibilities assigned in this Agreement to HZI during the construction phase by City, and, in addition, by the exercise of HZI efforts, to provide City a greater degree of confidence that the completed Work will conform in general to the Contract Documents and that the integrity of the design concept of the completed Project as a functioning whole as in HZI indicated in the Contract documents has been implemented and preserved by Contractor. HZI shall not, during such visits or as a result of such observation of Contractor’s work in progress, supervise, direct, or have control over Contractor’s work, nor shall HZI have authority over or responsibility for the means, methods, techniques, equipment choice and usage, sequences, schedules, or procedures of construction selected by Contractor, for safety precautions and programs incident to Contractor’s work, nor for any failure of Contractor to comply with laws and regulations applicable to Contractor’s furnishing and performing the Work. Accordingly, HZI neither guaranties the performance of any Contractor nor assumes responsibility for any Contractor’s failure to furnish and perform its work in accordance with the Contract Documents.

- e. *Clarifications and Interpretations.* Issue clarifications and interpretations of the Contract documents to City as appropriate to the orderly completion of contractor’s work. Such clarifications and interpretations will be consistent with the intent of the Contract Documents. Field Orders authorizing variations from the requirements of the Contract Documents will be made by City.
- f. *Shop Drawings and Samples.* Review and approve or take other appropriate action in respect to Shop Drawings and Samples and other data which Contract is required to Submit, but only for conformance with the information given in the Contract Document and compatibility with the design concept of the completed Project as a functioning whole as indicated in the Contract Documents. Such review and approvals or other action will not extend to means, methods, techniques, equipment choice and usage,

sequences, schedules, or procedures of construction or to related safety precautions and programs.

- g. *Substitutes and "or-equal"*. Evaluate and determine the acceptability of substitute or "or-equal" materials and equipment proposed by Contractor in accordance with the Contract documents, but subject to the provisions of applicable standards of state or local government entities.
- h. *Limitation of Responsibilities*. Huitt-Zollars, Inc. shall not be responsible for the acts or omissions of any Contractor, or of any of their subcontractors, suppliers, or of any other individual or entity performing or furnishing the Work, HZI shall not have the authority or responsibility to stop the work of any Contractor.
- i. *Final Construction Walk Through*. HZI shall be present at the final construction walk through and develop a final "punch/checklist" for the contractor to use to achieve final project acceptance.

3. Record Drawings

- a. Prepare project "Record Drawing" based on information provided by the Contractor, and/or City as to the actual field placement of the work including any changes or deletions. HZI will provide the following deliverables:
 - Electronic copy of the record drawings shall be submitted on CD/DVD or flash drive in all of the following formats.
 - Micro Station (.dgm) format
 - Adobe Portable Document (.pdf) 400 dpi (min) (24"x36")
 - Electronic copy of geotechnical reports, survey data, photographs, and exhibits used for the project, in .pdf or jpg format.
 - Electronic copy of project specifications in Microsoft Word (.doc) and PDF format.
 - Record drawings shall be sealed by the engineer of record in accordance with the Texas Board of Professional Engineers Policy Advisory Opinion Regarding Record Drawings.
 - All field changes and revisions shall be shown and noted in the revision block.
 - Revisions shall be drawn using accepted drafting standards and shall be clear and legible.
 - Line work and notes related to work deleted or changed shall be omitted from the Record Drawing.

SCOPE ASSUMPTIONS AND EXCLUSIONS:

Several assumptions and exclusions were made in preparation of the scope of services. This is done in order to define a specific scope of services and associated fees. Assumptions and exclusions are as follows:

1. Traffic control devices are not required for inspection or bridge repair.
2. Equipment for access is not required to complete visual, hands-on inspection of the bridges.
3. Visual, hands-on inspection of the bridge is limited to the bridge, bridge approach slabs, and associated appurtenances. It does not include inspection of any adjacent features not related to the bridge.
4. The Engineer will not provide any surveying services.
5. The Engineer will not provide any drainage design and/or scour analysis.
6. The Engineer will not provide any bridge load ratings.
7. The Engineer will not provide any construction engineering inspection (CEI) services or materials testing. These services will be provided by the City.
8. The Engineer shall not provide any design for relocation of utilities for the project.

Additional exclusions include:

1. Environmental / FEMA Permitting
2. Fees for Permits and Advertising
3. Providing an On-Site Representative
4. Expert Witness
5. Traffic Engineering Counts, Studies and Reports
6. Revisions and/or change orders as a result of revisions after completion of the original design (unless to correct an error or ambiguity on the plans)
7. Consulting Services by Others Not Included in this Proposal
8. All Other Engineering Services Not Included in this Proposal

ATTACHMENT "B"

Payment Schedule

Compensation for Basic Services in Tasks 1-5 shall be on a lump sum basis. The tabulation below establishes the not to exceed amount for each category of contract service:

[illegible]

Fees that are Lump Sum for each task and will be invoiced monthly based upon the overall percentage of services performed.

HUITT-ZOLLARS

Dallas/Fort Worth Office

2020

HOURLY RATE SHEET

Engineering/Architecture

Principal	\$265.00
QA Manager	\$240.00
Sr. Project Manager	\$260.00
Project Manager	\$210.00
Design Principal	\$240.00
Sr. Civil Engineer	\$215.00
Sr. Structural Engineer	\$215.00
Sr. Mechanical Engineer	\$180.00
Sr. Electrical Engineer	\$195.00
Civil Engineer	\$170.00
Structural Engineer	\$165.00
Mechanical Engineer	\$150.00
Electrical Engineer	\$150.00
Plumbing Engineer	\$150.00
EIT	\$120.00
Sr. Architect	\$200.00
Architect	\$160.00
Architect Intern 1	\$90.00
Architect Intern 2	\$110.00
Architect Intern 3	\$140.00
Sr. Landscape Architect	\$175.00
Landscape Architect	\$135.00
Landscape Architect Intern	\$100.00
Sr. Planner	\$180.00
Planner	\$160.00
Planner Intern	\$115.00
Sr. Sustainability Professional	\$175.00
Sustainability Professional	\$145.00
Sr. Designer	\$150.00
Designer	\$125.00
Sr. CADD Technician	\$135.00
CADD Technician	\$90.00

Survey

Survey Manager	\$210.00
Sr. Project Surveyor	\$170.00
Project Surveyor	\$150.00
Field Coordinator	\$135.00
Sr. Survey Technician	\$120.00
Survey Technician	\$90.00

Survey Crews

1-Person Survey Crew	\$110.00
2-Person Survey Crew	\$150.00
3-Person Survey Crew	\$175.00

Construction

Construction Manager	\$200.00
Resident Engineer	\$155.00
Sr. Resident Project Representative	\$165.00
Resident Project Representative	\$140.00

Administrative

Sr. Project Support	\$95.00
Project Support	\$75.00

Reimbursable Expenses

Consultants	Cost + 10%
Other Direct Costs	Cost + 10%
Mileage	IRS Standard Business Mileage Rate

ATTACHMENT “C”

Project Schedule

Activity	Completion Time (Calendar Weeks)
1. Notice to Proceed	<i>City</i>
2. Perform Condition Assessment	1 Weeks
3. Draft Condition Assessment Report	1 Weeks
4. City Review	2 Weeks
5. Final Condition Assessment Report	1 Week
6 PS&E Pre-Final Design	2 Weeks
7. City Review	2 Weeks
8. PS&E Final Bid Documents	2 Weeks

ATTACHMENT “D”

Sub-Consultants

1. Sub-Consultant:

Company Name: _Terracon Consultants_____

Services of the Scope Being Provided: Geotechnical

Contact Person: Nafiz Ahmed, P.E.

Title: Senior Engineer

Email: Nafiz.Ahmed@terracon.com

Phone: (214) 666 - 4618

May 15, 2020

Mr. Jeremy M. White, P.E., CFM
Civil Engineer
Public Works – Engineering Division
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

RE: North Lakeshore Drive Bridge
Observation Cracking at Abutment / Wingwall Interface

Dear Mr. White,

I visited the North Lakeshore Drive bridge located just west of the SH 205 and North Lakeshore Drive intersection late yesterday afternoon. The bridge is showing signs of distress at the four (4) corners where the abutment backwall interfaces with the extended wingwalls. The degree of observed severity varies at each of the four (4) corners with the most significant severity noted at the southeast bridge corner. In general, the observed backwall cracking is limited specifically to the bridge corners in the region between the exterior girders and the end of abutment backwall, roughly a zone less than 3 feet.

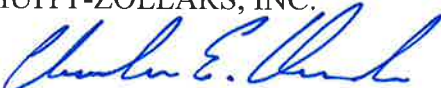
My visual inspection did not identify any deficiencies that adversely impacts the overall bridge structural integrity for safely carrying traffic. The observed bridge deficiencies are isolated to the abutment backwall and extended wingwall interface which does not warrant closing the bridge to either pedestrian or vehicular traffic.

As discussed, we will work with the City to identify the factors which are causing the observed distress and develop details to retrofit the abutment backwall and extended wingwall corners.

Should you have any questions or comments, please contact me at your convenience.

Sincerely,

HUITT-ZOLLARS, INC.



Charles E. Quade, P.E.
Vice President

PICTURE #1



PICTURE #2





PECAN VALLEY DR

Walgreens

Medical Office

N GOLIAST

Repair Location

N LAKESHORE DR

Chick-fil-a Site

Repair Location

Picture #1

Picture #2

SUTTER DR

DICKSON LN

NAPADR

SONOMA DR



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Amy Williams, P.E., Director of Public Works/City Engineer

DATE: June 15, 2020

SUBJECT: 3626 LAKESIDE DRIVE SEAWALL REPAIR

Attachments

Contract

Picture

Location Map

Summary/Background Information

In 2007, the City of Rockwall constructed a seawall along the shore of Lake Ray Hubbard behind 3626 Lakeside Drive in the Lakeside Village subdivision. The wall was constructed to protect the existing 10" sanitary sewer line from the erosion of the shore line.

Staff was notified by the property owner, at 3626 Lakeside Drive, that the seawall was failing and requested repair work to be done.

Staff requested JEP Marine Construction, Inc. to prepare a proposal for the construction necessary to replace the seawall and concrete cap. The construction cost for the replacement is \$39,890. Staff requests the City Council consider approving the construction contract for JEP Marine Construction, Inc. to perform the repair services for the seawall and concrete cap in an amount not to exceed \$39,890, to be paid for out of the Engineering Consultant Budget, and take any action necessary.

Action Needed

JEP Marine Construction Inc.
5981 FM 3097
Rockwall, TX
75032
Office 214-938-6703
Mobile 214-642-0616
E-mail robertbinder@sbcglobal.net
Website: jepmarineconstruction.com

Date: 5/26/2020 Proposal for City of Rockwall
At 3626 Lakeside Dr. Rockwall TX

Retaining Wall:

- 1) Remove existing panels and rod and concrete sidewalk from shoreline approx. 71 ln. ft.
- 2) Haul off all steel demo material and haul off
- 3) Drive 8-gauge sheet pilings per engineer and city requirements approx. 71 ln. ft.
- 4) Panels to be black and to be approx. 14 to 16 ft. long
- 5) Drive sheet pilings for dead men
- 6) Install clips for tie backs
- 7) Install ¾ sucker rod tie backs
- 8) Install top 3x4x1/4 steel angle to cap off wall
- 9) Weld all
- 10) Backfill with dirt from lake and Rough grade only
- 11) Cleanup work site
- 12) Not responsible for more wall caving in on neighbors during construction (it is in bad shape as well)

Wall removal is approx. 71 ln ft.

New wall is approx. 71 ln ft.

*Bad weather including winds, lightning, cold temps, rain, also holidays etc. slows work on this job and jobs before you and cannot be helped

*EPA, Core of Engineers, City of Dallas and local cities require JEP Marine to stop work and repair any and all equipment that is leaking or about to leak ASAP and can in effect slow work and is beyond our control

*Engineered drawings included

*Permit fee included

*Inspections included

The above bid is given on 5/5/26/2020 by J.E.P. Marine Construction Inc. and is good for 14 days from today. This bid may be retracted at any time for any reason until contract signed and deposit is received

Demo and haul off of steel is 71 ln ft. X \$65. per ft.

Total is \$4,615.

New wall install with 14 to 16 ft. panels is 71 ln. ft. X \$300. Per foot

Total is \$21,300.

Engineered drawings \$900.

Permit \$300.

Drainage plan per Rockwall \$900

Total for all is \$28,015.

Caveats:

*Any addition work or more length of wall added to job must have a change order and will be charged separately at current cost at that time. Text or email will constitute a contract.

*Due to rising material cost bid good for 7 days and may change with material increases before contract is signed and deposit is received

*No jet ski lifts are included in this price

*backfill is ROUGH grade only with excavator (no bobcat work is included) dirt from lake is wet and hard to do more than just fill behind wall and must dry out for a couple of weeks minimum and then bobcat work can be contracted separately

*NO concrete sidewalk or angle is included in this bid (can be contracted separately but dirt must settle for some time first)

Drainage issues is not supported by this bid

We are not responsible for sprinkler (we put pipe through wall with rubber grommet ready for you to do connection to carry out in lake)

We are not responsible for any more loss of wall or damage that may occur before we get to do job. Any more cost due to that will be charged separately.

Submitted by J.E.P. Marine Construction Inc.

Acceptance of proposal authorized by:

Print name: _____

Signature: _____

Date : _____

Address: _____

JEP Marine Construction Inc.
5981 FM 3097
Rockwall, TX
75032
Office 214-938-6703
Mb. 214-642-0616
E-mail robertbinder@sbcglobal.net
Website: jepmarineconstruction.com

Date: 6/2/2020 Proposal for City of Rockwall
At 3626 Lakeside Dr. Rockwall, TX

- 1) Install 3x4x1/4 steel angle on top of existing wall with 4 inch leg up
- 2) Set forms for concrete
- 3) **Dig beams** both sides of concrete per city code with trencher
- 4) Install rebar and weld to new concrete angle
- 5) Pour concrete for the approx. 71 ln ft x 6 ft. wide with **broom** finish
- 6) Break down forms and clean-up work site
- 7) Dirt work to make work area nice as possible at time of pour only
- 8) No grass or sod
- 9) Concrete pump is included
- 10) **Must have access with skid steer and trencher for prep work and clean up for this price**

*Bad weather including winds, lightning, cold temps, rain, also holidays etc. slows work on this job and jobs before you and cannot be helped

*EPA, Core of Engineers, City of Dallas and local cities require JEP Marine to stop work and repair any and all equipment that is leaking or about to leak ASAP and can in effect slow work and is beyond our control

*Engineered drawings included

*Permit fee included

*Inspections included

This bid includes everything required by city to receive green tag as of 6/2/2020 if city adds additional cost after this date it is owner's responsibility to pay until contract signed and deposit is received

The above bid is given on 6/2/2020 by Robert Binder and is good for 7 days from today.

Total is: \$11,875. WITH ACCESS WITH EQUIPMENT prep and clean up
If we have to do all dirt work by hand additional \$1,800. Will be charged

Pay schedule to be determined

Price is only good if we have access to work site with skid steer and trencher
IF WE HAVE TO DO ALL BY HAND THERE WILL BE ADDITIONAL
CHARGE

Caveats:

- *Any addition work added to job must have a change order and will be charged separately.
- *Due to rising material cost bid good for 7 days and may change with material increases before contract is signed
- *no sprinkler work included in job
- *40 ft from wall back to house is the common work area and we do not include any sod grass etc. only to smooth off as best as possible and cannot be responsible for unknowns hidden from site
- *price is with access of bobcat and trencher between houses for dirt work and dig out etc.

Submitted by Robert Binder _____

Acceptance of proposal authorized by:

Print name: _____

Signature: _____

Date : _____

Address: _____

PICTURES





June 11, 2020

Good afternoon Joey Boyd,

Our story begins in 2017 when the Chandlers Landing Board of Directors created a Fireworks Committee with the sole purpose of raising money by conducting raffles, happy hour mixers, and barbeque lunches to raise the required funds to provide our Residents a Fourth of July Fireworks show over Lake Ray Hubbard. In 2018 Tony DeMaggio studied and obtained a Federal License to provide commercial fireworks shows at Chandlers Landing, and with the help of longtime resident Scott Self we honed, and perfected the art of providing family friendly shows that were according to many Residents of Rockwall that best shows they have ever seen.

In 2019 we formed Fireworks on the Lake L.L.C. to provide shows to other communities around our lake, we have even expanded to provide shows at Rockwall Harbor/Hilton area last year, as well as New Year's Eve for the Hilton benefitting the Boys and Girls Club of Rockwall County. Thank you for giving Fireworks on the Lake, an opportunity to provide you (3) three High quality and customized shows during summer-fall season for \$15,000 on behalf of the City of Rockwall.

Sincerely:

Joe Lang, CEO of Fireworks on the Lake

Tony DeMaggio, (SEO); Phil Bishop (CFO)

Fireworks (2020):

Date	Location	Funding
New Year's	Rockwall Harbor	Funded
RHHS (graduates' sendoff)	RHHS	(Funded)
Dallas Race Week	CL Marina	*Not Funded
July 3 rd	Rockwall Harbor	Not Funded (Sponsors)
July 4 th (2x)	CL Marina	Funded (CLCA, Sponsors)
TBD (Thursday Music)	Rockwall Harbor	*Not Funded
Labor Day	Rockwall Harbor	*Not Funded
Labor Day (October fest)	CL Marina	Funded (CLCA, Sponsors)
I-30 (RHS-RHHS) (2 min Finale)	Wilkerson Stadium	Not Funded (Sponsors)
City of Rowlett	Bayside	Not Funded (City of Rowlett)
New Year's	Rockwall Harbor	(Funded, but need Sponsor)

Shows last year (2019):

Memorial Day (May 26 th)	CL Marina	Funded (CLCA, Sponsors)
Dallas Race Week	CL Marina	Funded
June 28	Rockwall Harbor	Funded
4 th of July (2x)	CL Marina	Funded (CLCA, Sponsors)
July 6 th	Rockwall Harbor	Funded
July 13 th	Rockwall Harbor	Funded
Labor Day (Sep 1 st)	CL Marina	Funded (CLCA, Sponsors)
1-30 (RHHS-RHS) (2 min Finale)	Wilkerson Stadium	Funded
Farmers Market (end Nov 30 th)	Heath City Hall	Funded



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: Z2020-018; SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL
FOR 1055 DALTON ROAD

Attachments

Development Application
Location Map
HOA Map
Neighborhood Notification Email
PON Map
PON List
Public Notice
Property Owner Notifications
2020 Notice of Appraised Value
Residential Plot Plan
Building Elevations
Floor Plan
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

Background

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57 [Case No. A1983-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 6, 2017, the subject property -- which was a part of a larger 12.327-acre tract of land (i.e. Tract 1-01 of the T. Dean Survey, Abstract No. 69) -- was rezoned from an Agricultural (AG) District to a Single-

Family Estate 2.0 (SFE-2.0) District by *Ordinance No. 17-58* [Case No. Z2017-045]. Following this change in zoning, the larger 12.327-acre tract of land was platted into two (2) lots (*i.e. Lots 1 & 2, Block A, Hodgdon Addition*) by Case No. P2017-049 on October 16, 2017. This created the 3.03-acre subject property. On February 4, 2019, the City Council approved an up-zoning request (Case No. Z2018-059) changing the zoning designation of the subject property from Single-Family Estate 2.0 (SFE-2.0) to Single-Family Estate 1.5 (SFE-1.5). Currently, the subject property is vacant.

Purpose

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

Adjacent Land Uses and Access

The subject property is located at 1055 Dalton Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Dalton Road, which is identified as a M4U (*major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 45.62-acre tract of vacant land (*i.e. Tract 1 of the C. W. Jones Survey, Abstract No. 127*) zoned Agricultural (AG) District. North of this, is Phase 3 of the Castle Ridge Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 60 single-family residential lots.

South: Directly south of the subject property is a 9.33-acre parcel of land (*i.e. Lot 2, Block A, Hodgdon Addition*), which is occupied with a single-family home. Beyond this is the Promenade Harbor Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 168 single-family residential lots.

East: Directly east of the subject property is Phase 6 of the Shores North Subdivision, which is zoned Planned Development District 3 (PD-3) for single-family land uses and consists of 70 single-family residential lots. Contained within this subdivision is Shores Boulevard, which is designated as a *Minor Collector* on the City's Master Thoroughfare Plan.

West: Directly west of the subject property is a 9.33-acre parcel of land (*i.e. Lot 2, Block A, Hodgdon Addition*), which is occupied with a single-family home. Beyond this is the Promenade Harbor Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 168 single-family residential lots.

Characteristics of the Request and Conformance to the City's Codes

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill*

in or Adjacent to an Established Subdivision as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” This section goes on to require that “... (a)ll proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located within 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit.” In this case, the subject property shares a common boundary (*i.e. the eastern property line*) with Phase 6 of the Shores North Subdivision, which was platted in 2002 and is considered to be 100% developed. Based on this adjacency the proposed home requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” With this being said, the proposed home is oriented toward Dalton Road and is physically separated from the established subdivision by a stand of trees and floodplain. In addition, only one (1) other home faces on to Dalton Road (*i.e. the home on Lot 1, Block A, Hodgdon Addition -- 1085 Dalton Road*) that is in a close proximity to the subject property, and both the proposed home and the existing home are built in a single-family estate style (*i.e. larger home on a larger lot*) as opposed to the more traditional suburban style of the existing homes in the Shores North Subdivision. Based on this, the traditional criteria used to compare homes in an *Established Subdivision* is not applicable in this case.

The home being proposed by the applicant has a ~7,752 SF building footprint and will incorporate a 384 SF accessory building (*i.e. labeled as pool/cabana on the site plan*). Architecturally the home will utilize a farmhouse style utilizing a HardiBoard oriented in a board-and-batten style. Asphalt shingles will be used as the primary material on the roof with metal accent roofs used on the overhangs and gables. The chimneys will be brick. The proposed home meets or exceeds all requirements of the Unified Development Code (UDC) for a home in the Single-Family Estate 1.5 (SFE-1.5) District. With this being said, the approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Notifications

On May 27, 2020, staff mailed 72 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Promenade Harbor, Rockwall Shores, and the Shores on Lake Ray Hubbard Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the

Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received three (3) notices in favor of the applicant's request.

Conditions of Approval

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:

(a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.

(b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,

(c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

(2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

Action Needed

The City Council is being asked to consider the applicant's request for a Specific Use Permit (SUP) and [1] approve, [2] approve with conditions, or [3] deny the request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1055 DALTON ROAD, ROCKWALL, TX 75087
Subdivision HODGSON ADDITION Lot 1 Block A
General Location DALTON ROAD APPROX 1/2 MILE WEST OF TH HWY 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SINGLE FAMILY RESIDENTIAL Current Use VACANT
Proposed Zoning SINGLE FAMILY RESIDENTIAL Proposed Use SINGLE FAMILY HOME
Acreage 3.03 Lots [Current] 1 Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner REX & BEVERLY FITHIAN ☐ Applicant
Contact Person REX FITHIAN Contact Person
Address 653 MISSION DRIVE Address
City, State & Zip ROCKWALL, TX 75087 City, State & Zip
Phone 214 215 2030 Phone
E-Mail rex@dpcservices.net E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Rex Fithian / Beverly Fithian [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of May, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of May, 2020.

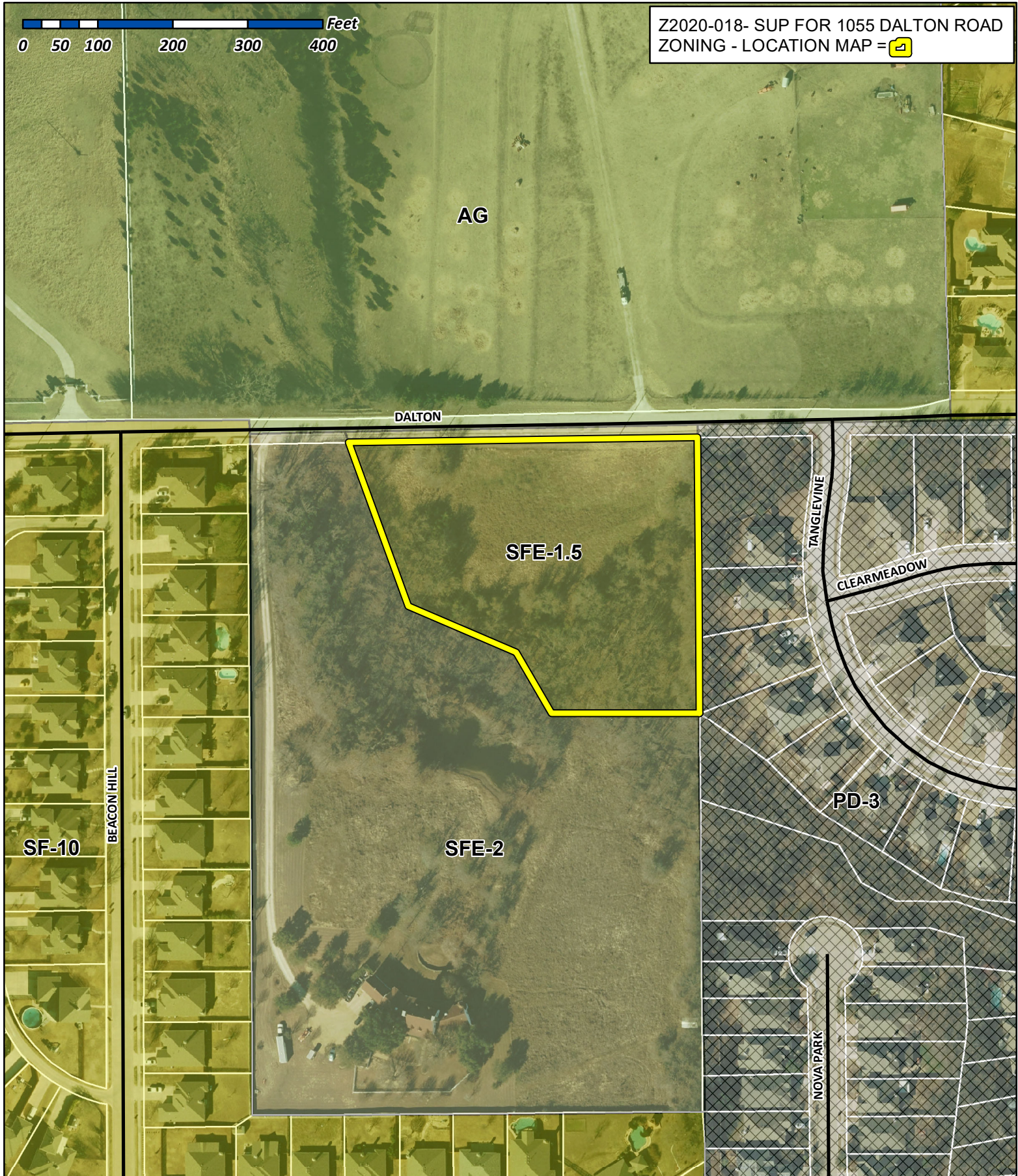
Owner's Signature

Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION



My Commission Expires 12-08-2020



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

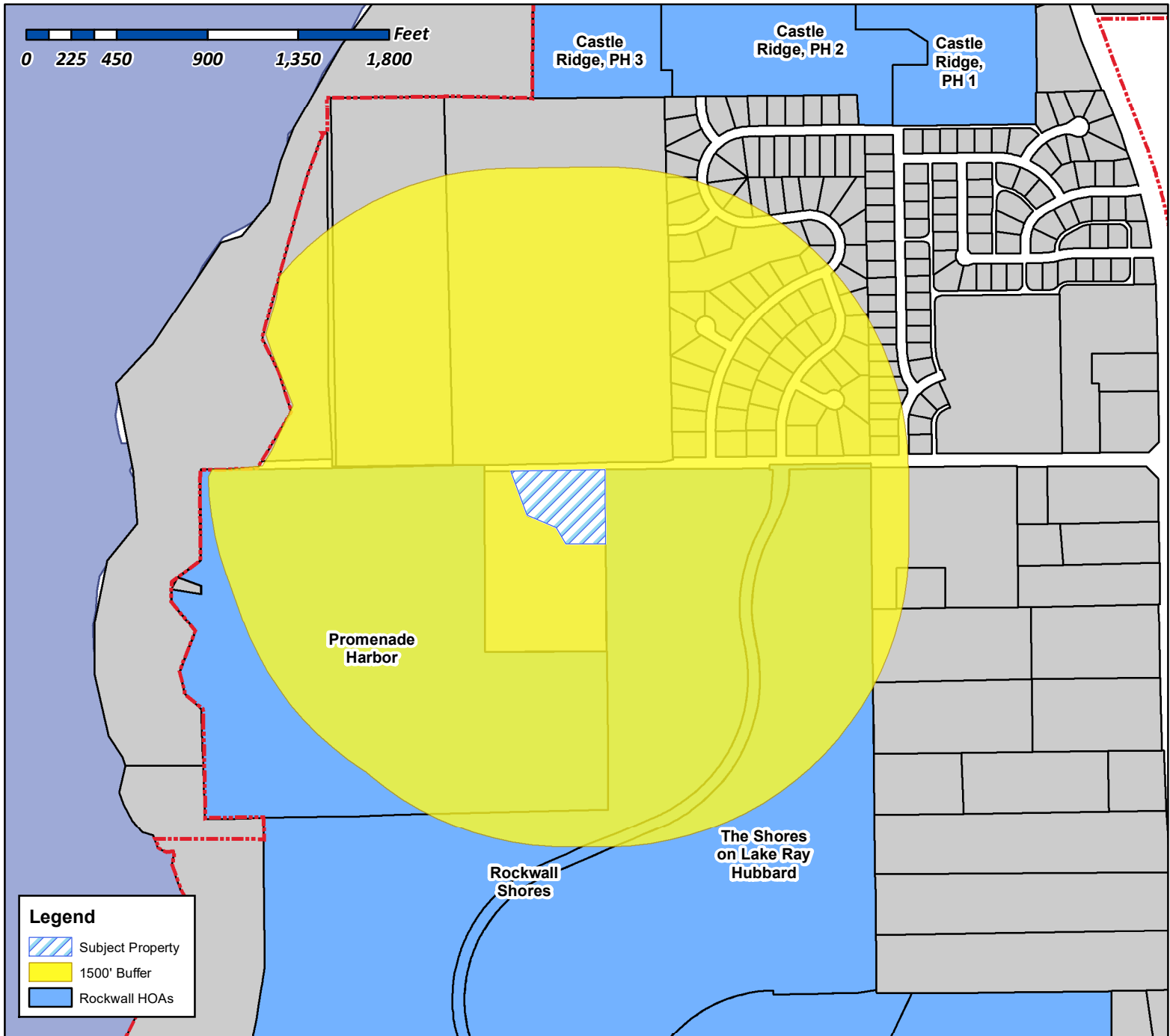




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

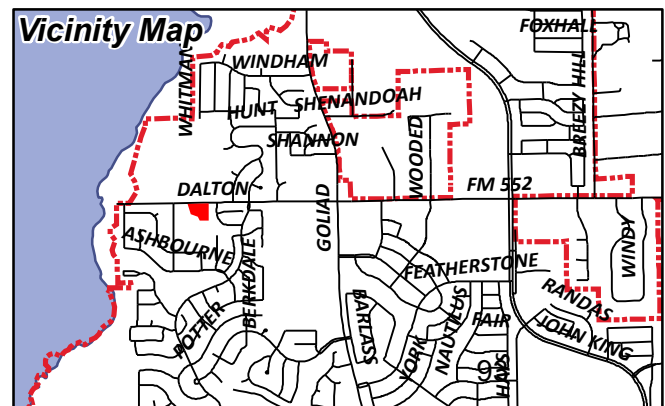
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-018
Case Name: SUP for 1055 Dalton Rd
Case Type: Specific Use Permit
Zoning: Single-Family Estates 1.5 (SFE-1.5)
District
Case Address: 1055 Dalton Road

Date Created: 5/17/2020

For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, May 20, 2020 11:45:31 AM
Attachments: [HOA Map \(05.14.2020\).pdf](#)
[PUBLIC NOTICE.PDF](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [May 29, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, June 9, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, June 15, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-018 SUP for Residential Infill for 1055 Dalton Road

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

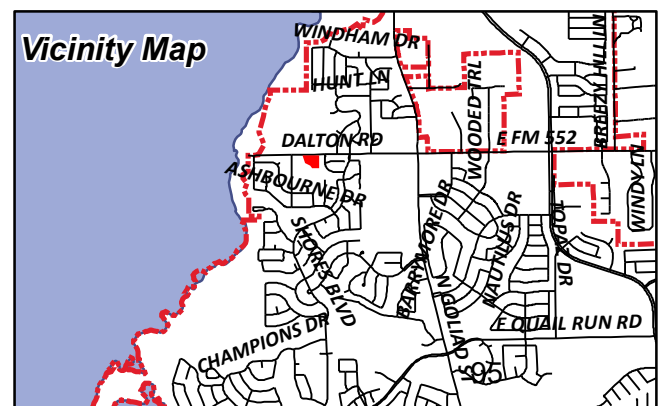
City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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CURRENT RESIDENT
1085 DALTONRD
ROCKWALL, TX 75087

WALKER LEONARD A JR & TRESSIA Y
1340 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1345 CLEARMEADOW
ROCKWALL, TX 75087

JESTER IRVING P & ALICE
1345 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1350 CLEARMEADOW
ROCKWALL, TX 75087

SANDERS BRIAN PETER AND CASSANDRA ALICE
1355 CLEAR MEADOW CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1355 TANGLEVINE
ROCKWALL, TX 75087

SAMPLES CHRISTINA ELISE
1360 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1365 CLEARMEADOW
ROCKWALL, TX 75087

HEARN LESLIE
1365 TANGLEVINE DR
ROCKWALL, TX 75087

VANDERVER WES A & SARA A
1370 CLEAR MEADOW COURT
ROCKWALL, TX 75087

SAENZ SANDRA AND ADRIAN
1370 TANGLEVINE LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1375 CLEARMEADOW
ROCKWALL, TX 75087

LANGFORD JAMES GORDON
1380 TANGLEVINE LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1385 TANGLEVINE
ROCKWALL, TX 75087

NEECE DAVID W SR & LYNNE MARIE
1390 TANGLEVINE LN
ROCKWALL, TX 75087

HOWARD STEPHANIE RAMAGE AND
GREGORY MAYO HOWARD
1395 CLEAR MEADOW CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1395 TANGLEVINE
ROCKWALL, TX 75087

WILSON ANDREW AND CARRI
1400 TANGLEVINE LANE
ROCKWALL, TX 75087

BRINKLEY JESSE K
1410 TANGLEVINE DR
ROCKWALL, TX 75087

SHOLTIS EUGENE J JR AND SHANNON L
1420 TANGLEVINE LN
ROCKWALL, TX 75087

COFFMAN THOMAS E &
LINDA DARNELL
1431 COASTAL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1440 TANGLEVINE
ROCKWALL, TX 75087

CLARK CHARLES L & SANDRA J TRUSTEES
CHARLES L & SANDRA J CLARK FAMILY TRUST
1739 MORLEY STREET
SIMI VALLEY, CA 93065

WILLIS MICHAEL & LISA
1750 DALTON RD
ROCKWALL, TX 75087

ALVES SAMUEL
2080 BERKDALE LN
ROCKWALL, TX 75087

LANGSTON TIFFINI S
215 HARRIS COVE
LONGVIEW, TX 75605

PARKS NADINE R
2701 NOVA PARK CT
ROCKWALL, TX 75087

THOMAS PATIENCE AND JAMES
2710 NOVA PARK
ROCKWALL, TX 75087

MICHIE JOHN D & PHYLLIS R
2711 NOVA PARK CT
ROCKWALL, TX 75087

IZAK MARY L
2720 NOVA PARK CT
ROCKWALL, TX 75087

DIANE SAUTUCCI DEWBERRY LIVING TRUST
DIANE S DEWBERRY - TRUSTEE
2721 NOVA PARK CT
ROCKWALL, TX 75087

SAENZ RICHARD GEORGE AND BERNADINE
2730 NOVA PARK CT
ROCKWALL, TX 75087

NIEBUR ALAN R & COURTNEY
2731 EGANRIDGE LN
ROCKWALL, TX 75087

DELLA FRANK E II
2731 NOVA PARK COURT
ROCKWALL, TX 75087

KEEL DON E & NANCY A
2740 BEACON HILL DR
ROCKWALL, TX 75087

NABI HOSNI A & LYNN
2740 NOVA PARK CT
ROCKWALL, TX 75087

WOODDELL SCOTT W AND DEBBIE L
2741 NOVA PARK CT
ROCKWALL, TX 75087

GRASTY RAYMOND B
2750 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2760 BEACON HILL
ROCKWALL, TX 75087

SCHAFFHAUSER SUSAN K
2765 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2770 BEACON HILL
ROCKWALL, TX 75087

THOMPSON DONALD AND MARY
2775 BEACON HILL DR
ROCKWALL, TX 75087

BRITTAIN WAYNE W &
BARBARA J
2780 BEACON HILL DR
ROCKWALL, TX 75087

BERGMANN KATHARINA
2785 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2790 BEACON HILL
ROCKWALL, TX 75087

CURRENT RESIDENT
2795 BEACON HILL
ROCKWALL, TX 75087

ONEILL KATHLEEN E
2800 BEACON HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
2805 BEACON HILL
ROCKWALL, TX 75087

CURRENT RESIDENT
2810 BEACON HILL
ROCKWALL, TX 75087

MCDANIEL DAVID L & LINDA D
2810 CAVENDISH CT
ROCKWALL, TX 75087

WALKER DONALD H
2815 BEACON HILL DR
ROCKWALL, TX 75087

HOLBROOK SANDRA
2820 BEACON HILL DR
ROCKWALL, TX 75087

EDWARDS SUSAN L
2820 CAVENDISH CT
ROCKWALL, TX 75087

JOHNSON DAVID J
2825 BEACON HILL DR
ROCKWALL, TX 75087

JACOBSON KYLE AND CHLOE A REED
2830 BEACON HILL DR
ROCKWALL, TX 75087

CHIU THOMAS
301 CRESTBROOK
ROCKWALL, TX 75087

AMH 2015-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

CULLINS KENNETH & HEATHER
3114 STONEY HOLLOW LANE
ROCKWALL, TX 75087

DAYMAN DENNIS & JENNIFER
519 CELLARS CT
ROCKWALL, TX 75087

DATTA SOURYA AND
REKHA HARIHARAN
558 FLAGLER ST
SAN JOSE, CA 95127

NABORS MIKE N ETUX JULIE
7101 HUNT LN
ROCKWALL, TX 75087

DOWNS MICHAEL
7103 HUNT LN
ROCKWALL, TX 75087

CURRENT RESIDENT
7105 HUNT LN
ROCKWALL, TX 75087

CSH 2016-2 BORROWER LLC
8665 EAST HARTFORD DR SUITE 200
SCOTTSDALE, AZ 85255

PALMIERI THERESE
970 W YELLOWJACKET LN APT 618
ROCKWALL, TX 75087

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 30601
AGOURA ROAD SUITE 200PT
AGOURA HILLS, CA 91301

ESB PRIVATE TRUST
C/O EDWARD JONES TRUST COMPANY
P. O. BOX 66503
ST. LOUIS, MO 63166

VANWINKLE DAVID T AND PATRICIA K
P. O. BOX 773451
STEAMBOAT SPRINGS, CO 80477

HODGDON DAVID L & SUE WYCHE
PO BOX 1106
ROCKWALL, TX 75087

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

FLORES JAMES & PATRICIA
PO BOX 992
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— — — PLEASE RETURN THE BELOW FORM — — —

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Cullins

Address:

3114 Stoner Hollow / 401 B Country Ridge Rd

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

As is, constantly collects trash. Would be nice to see something built on this area —

Name:

Sandra Holbrook

Address:

2822 Beacon Hill Dr

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Andrew & Carri Wilson

Address:

1400 Tangievine Dr.

Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

2020 Notice of Appraised Value

ROCKWALL CENTRAL APPRAISAL DISTRICT
841 JUSTIN ROAD
ROCKWALL, TX 75087
Phone: 972-771-2034 Fax: 972-771-6871

Property ID: 94334
Ownership %: 100.00
GEO ID: S3984-000A-0001-00-0R
Legal: HODGDON ADDITION, BLOCK A, LOT 1
Legal Acres:
Situs: DALTON RD ROCKWALL, TX 75087
Owner ID: 1097351
EFile PIN: zjVtAduMEgbS

DATE OF NOTICE: April 15, 2020

19121 1 AV 0.389*****AUTO**S-DIGIT 75087 EDGS 2 FT 96
Property ID: 94334 - S3984-000A-0001-00-0R
FITHIAM BEVERLY AND REX
653 MISSION DR
ROCKWALL TX 75087-8404



Dear Property Owner,
We have appraised the property listed above for the tax year 2020. As of January 1, our appraisal is outlined below.

Appraisal Information				Last Year - 2019			Proposed - 2020		
Improvements (Structures / Buildings, etc.) Market Value				0			0		
Market Value of Non Ag/Timber Land				157,560			262,700		
Market Value of Ag/Timber Land				0			0		
Market Value of Personal Property/Minerals				0			0		
Total Market Value				157,560			262,700		
Productivity Value of Ag/Timber Land				0			0		
Appraised Value				157,560			262,700		
Homestead Cap Value excluding Non-Homesite Value (i.e. Ag, Commercial)				0			0		
Exemptions (DV - Disabled Vet, DP-Disabled Person, HS-Homestead, OV65-Over 65)									
2019 Exemption Amount	2019 Taxable Value	Taxing Unit	2020 Proposed Assessed Value	2020 Exemption Amount	2020 Taxable Value	2020 Tax Rate	2020 Estimated Taxes	Freeze Year and Tax Ceiling	
0	157,560	CITY OF ROCKWALL	262,700	0	262,700	0.387900	1,019.02		
0	157,560	ROCKWALL COUNTY	262,700	0	262,700	0.325000	853.78		
0	157,560	ROCKWALL ISD	262,700	0	262,700	1.350000	3,546.45		

DO NOT PAY FROM THIS NOTICE Total Estimated Tax: \$5,419.25

"The Texas Legislature does not set the amount of your local taxes. Your property tax burden is decided by your locally elected officials, and all inquiries concerning your taxes should be directed to those officials."

*Your residence homestead is protected from future appraisal value increases in excess of 10% per year from the date of the last appraisal PLUS the value of any new improvements. Any property previously omitted from the appraisal will be added as allowed by Section 25.21 of the Texas Property Tax Code. The above tax estimates use last year's tax rates for the taxing units shown. The governing body of each unit (school board, county commissioners, and so forth) decides whether property taxes increase. The appraisal district only determines your property's value. The taxing units will set tax rates later this year. If you wish to appeal, you must file a WRITTEN protest with the ARB by the deadline date:

** If you are age 65 or older and received the \$10,000 school tax exemption on your home last year from the school listed above, your school taxes for this year will not be higher than when you first received the exemption on your home. If you are disabled and received the \$10,000 school tax exemption on your home last year from the school listed above, your school taxes for this year will not be higher than the 2003 taxes or the first year you received the exemption, whichever is later. If your county, city, or junior college has approved a limitation on your taxes in the preceding year, your county, city, or junior college taxes will not be higher than the first year your county, city, or junior college approved the limitation or the first year you qualified for the limitation. If you improved your property (by adding rooms or buildings) your school, county, city, or junior college ceiling may increase for these improvements. If you are a surviving spouse age 55 or older of a person that qualified for the age 65 or older exemption, you may retain the school, county, city, or junior college tax ceiling. Contact the appraisal office if you disagree with this year's proposed value for your property or if you have any concerns with the property description or address information. If the issue cannot be resolved, you have the right to appeal to the Appraisal Review Board (ARB).

Deadline for filing a protest: May 15, 2020
Location of Hearings: 841 JUSTIN ROAD, ROCKWALL, TX 75087
ARB will begin hearings: May 18, 2020

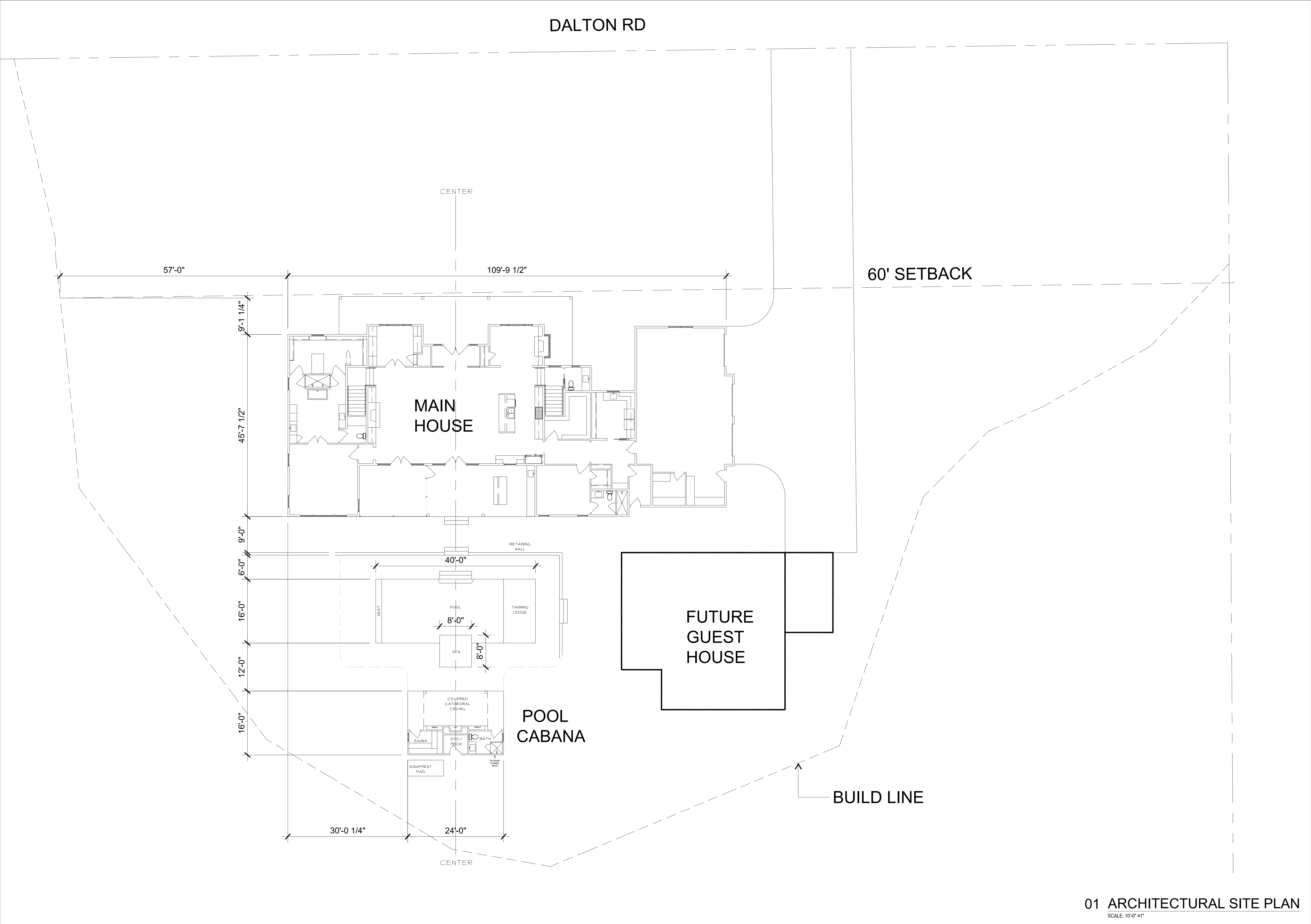
THIS IS NOT A BILL

A PROTEST FORM to send to the Appraisal District Office is on the back of this notice. If you intend to appear and present evidence before the ARB. A protest is sufficient if it includes the protesting property owner, account number, property address and reason for protesting. The ARB will notify you of the date, time, and place of your scheduled hearing. Enclosed, also, is information to help you in preparing your protest.

If you have any questions or need more information, please contact the appraisal district office at 972-771-2034 or at the address shown above.

Sincerely,

Chief Appraiser




FITHIAN
RESIDENCE
ROCKWALL, TX

ISSUE LOG	
DATE ISSUE	DESCRIPTION

REVISION LOG		
DATE ISSUE	DESCRIPTION	REV. NO.

ISSUED FOR:

- ☒ PRELIMINARY -
- ☐ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION



ARCH. PROJ. #:	SCALE:
20201	REF. DRAWING

SHEET NO.

A2.1

SITE PLAN

01 ARCHITECTURAL SITE PLAN
SCALE: 10'-0" = 1"

[illegible]

REVISION LOG

[illegible]**ISSUED FOR:**

- ☒ PRELIMINARY -
☐ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



ARCH. PROJ. #:	SCALE:
20201	REF. DRAWING

SHEET NO.

A5.1

ELEVATIONS
BOARD & BATTEN



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

ISSUE LOG

DATE ISSUE	DESCRIPTION

REVISION LOG

DATE ISSUE	DESCRIPTION	REV. NO.

ISSUED FOR:

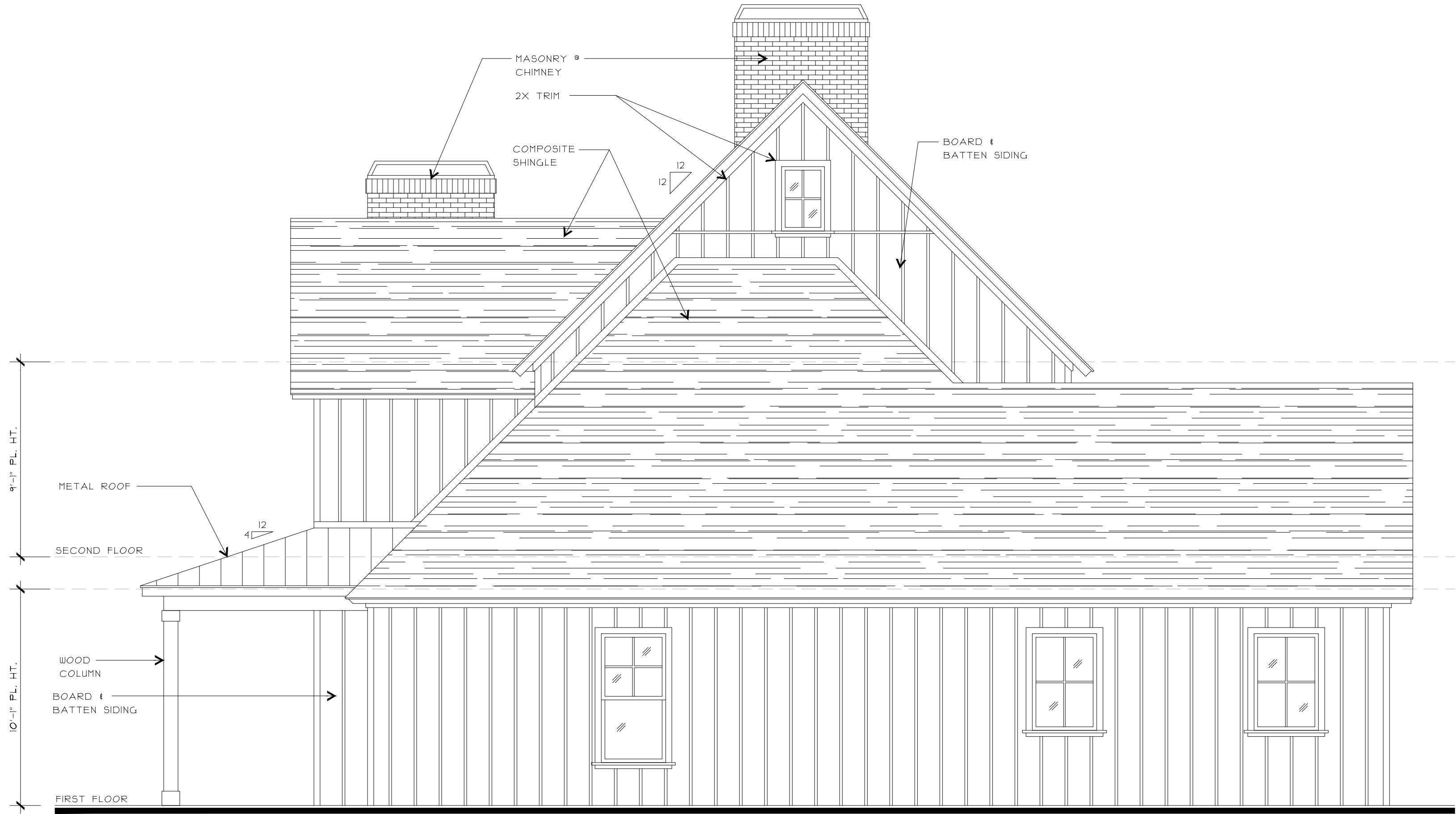
- ☒ PRELIMINARY -
☐ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



ARCH. PROJ. #: 20201	SCALE: REF. DRAWING
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SHEET NO.

A5.2
ELEVATIONS
BOARD & BATTEN



02 WEST ELEVATION
SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

SQUARE FOOTAGE CALCS

SF	AREAS
3,215	1ST FLOOR PLAN
1,791	2ND FLOOR PLAN
348	ATTIC #1 / CATWALK
210	ATTIC #2
5,624	TOTAL CONDITIONED
829	GARAGE
198	SHOP/ STORAGE
531	COVERED PORCH
564	COVERED/SCREENED PATIO
2,128	TOTAL
7,752	TOTAL UNDER ROOF

$$\begin{aligned} 3275 + 1971 &= 5066 \\ 5066 + 348 &= 5414 \\ 5066 + 210 &= 5276 \\ 5066 + 348 + 210 &= 5624 \end{aligned}$$

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**OPTIONAL
**OPTIONAL
```

ISSUE LOG

[illegible]

REVISION LOG

[illegible]**ISSUED FOR:**

- ☒ PRELIMINARY -
☐ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION

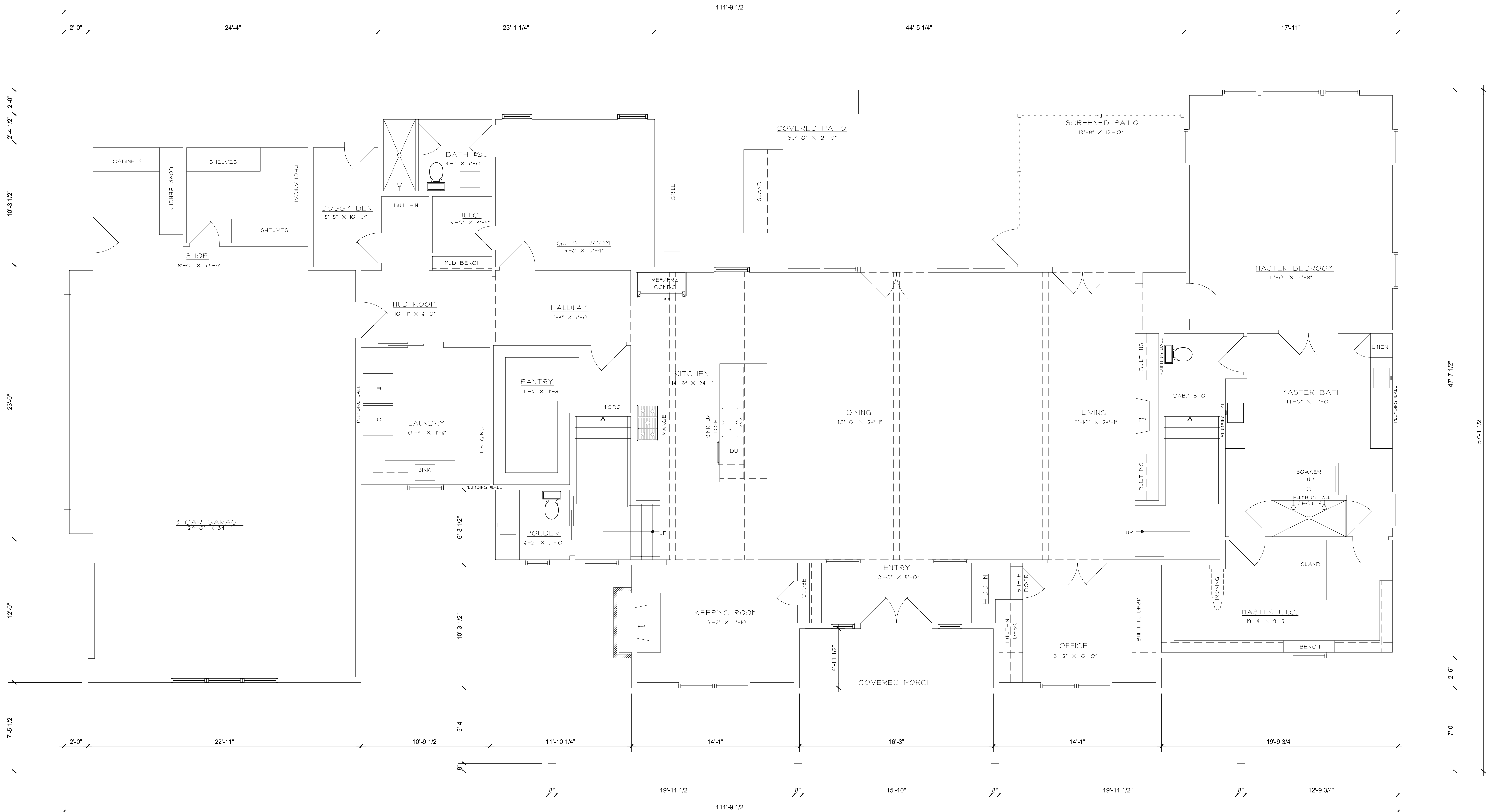


ARCH. PROJ. #:	SCALE:
20201	REF. DRAWING

SHEET NO.

A3.1

FIRST FLOOR PLAN



01 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

3/27/20

[illegible][illegible]

ISSUED FOR:

☒ PRELIMINARY -
☐ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION

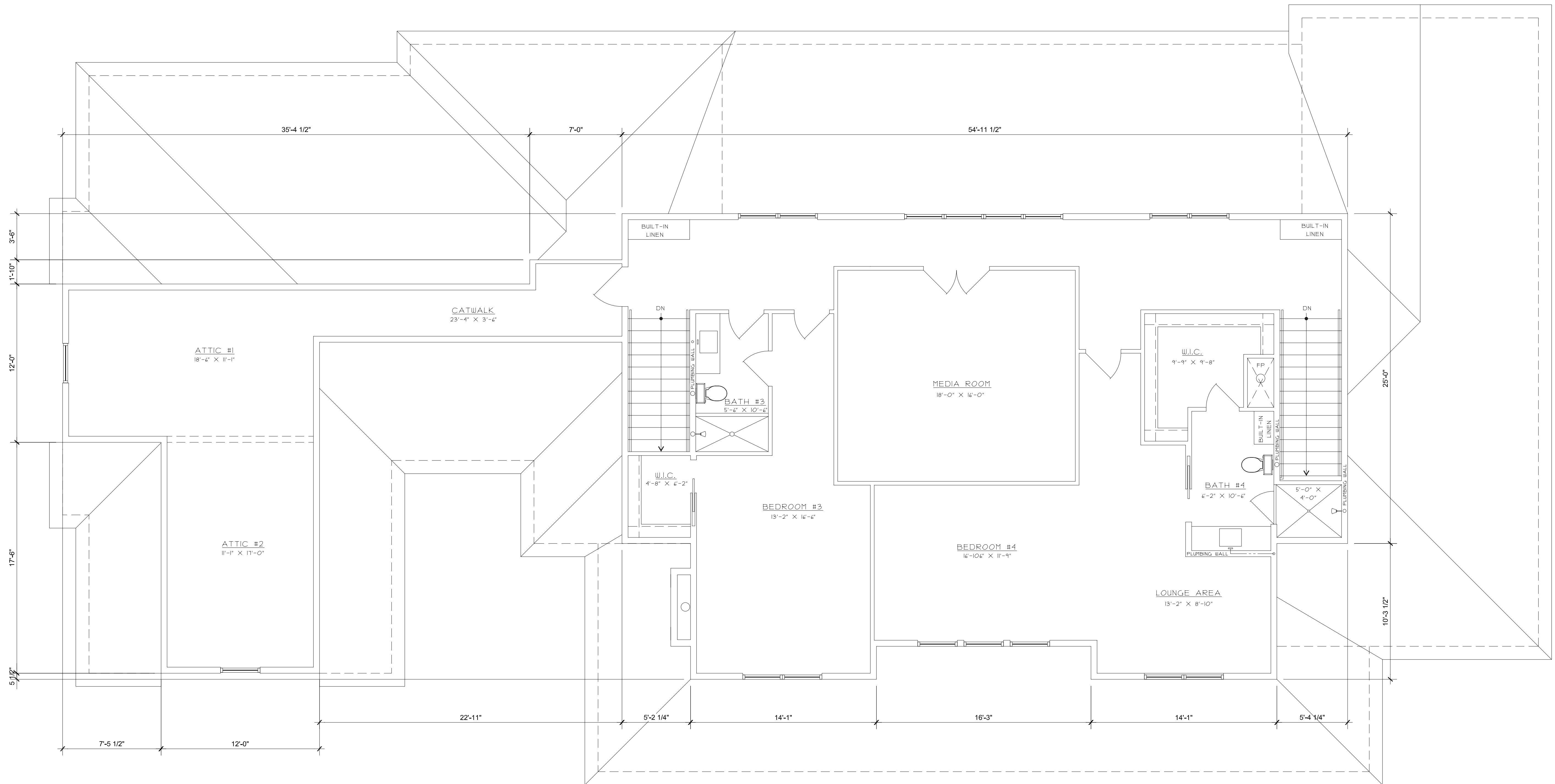


ARCH. PROJ. #:	SCALE:
20201	REF. DRAWING

SHEET NO.

A3.2

SECOND FLOOR PLAN



01 SECOND FLOOR PLAN

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 3.03-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, HODGDON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 3.03-acre parcel of land being described as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended

in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map

Address: 1055 Dalton Road

Legal Description: Lot 1, Block A, Hodgdon Addition

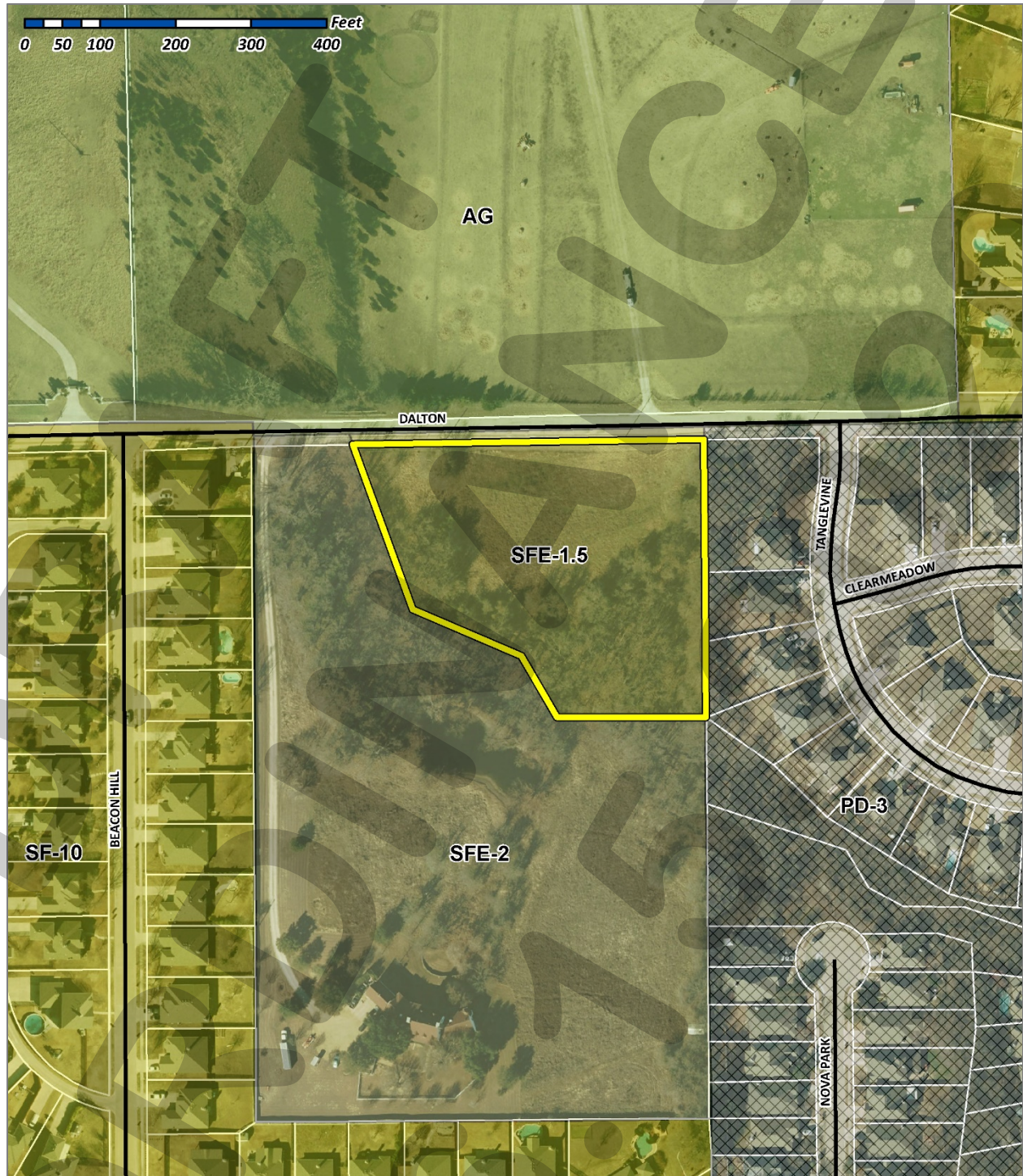


Exhibit 'B':
Residential Plot Plan

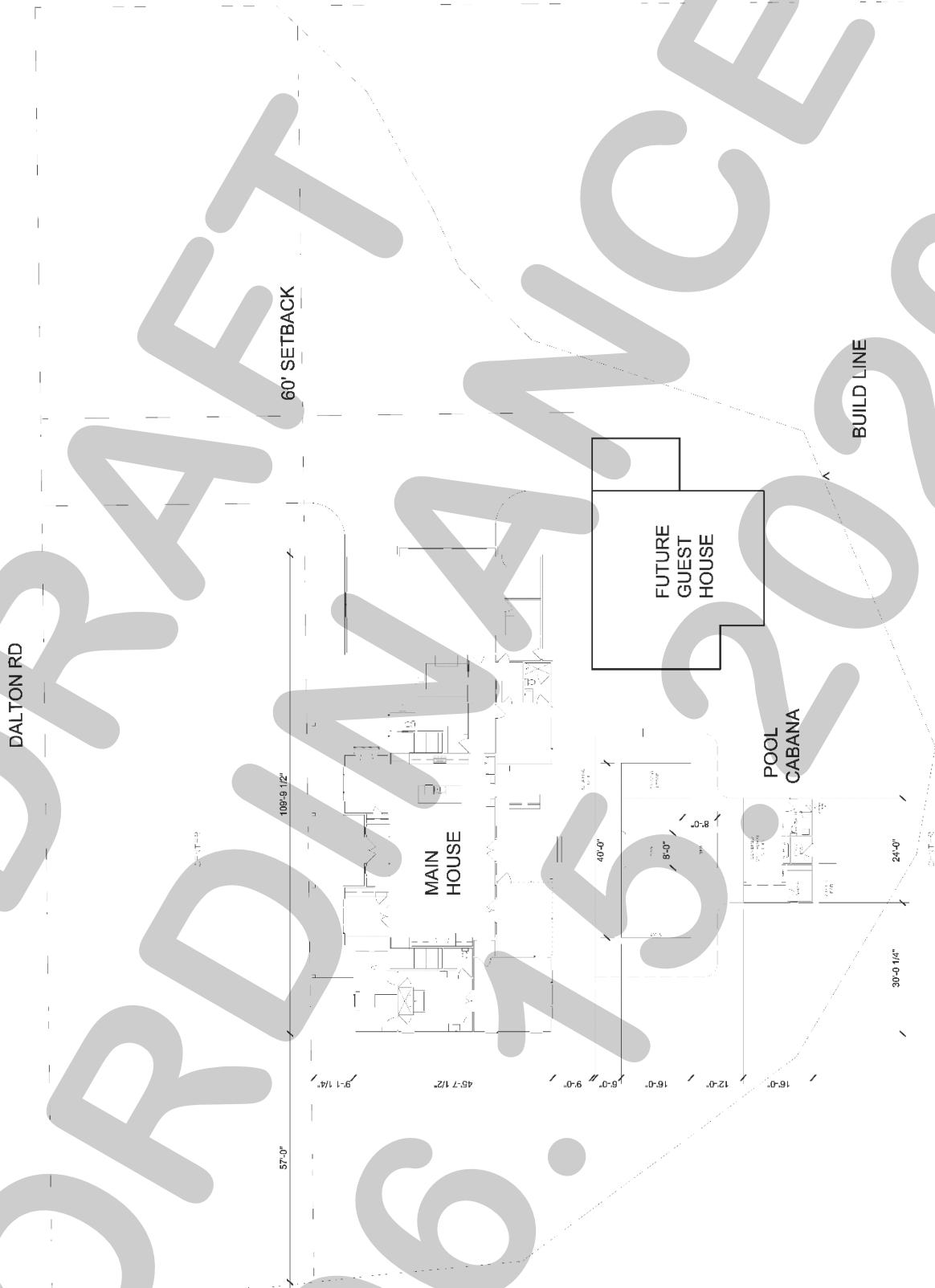


Exhibit 'C':
Building Elevations

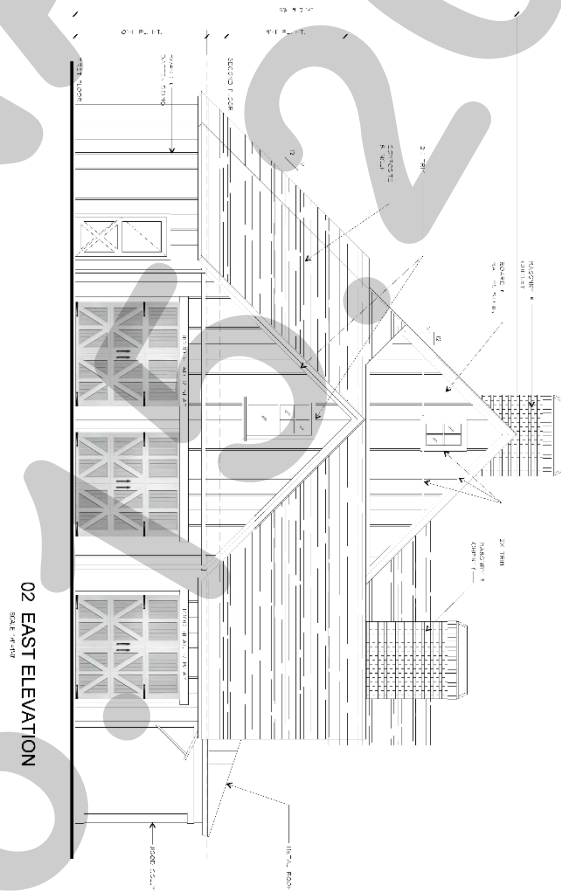
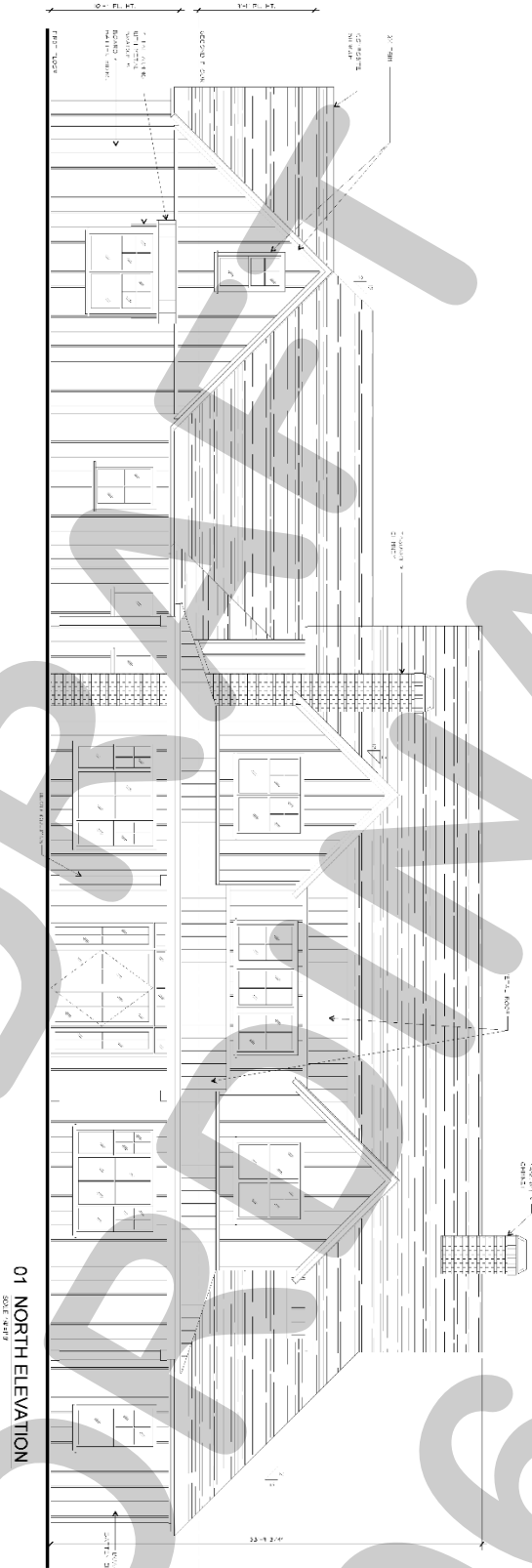
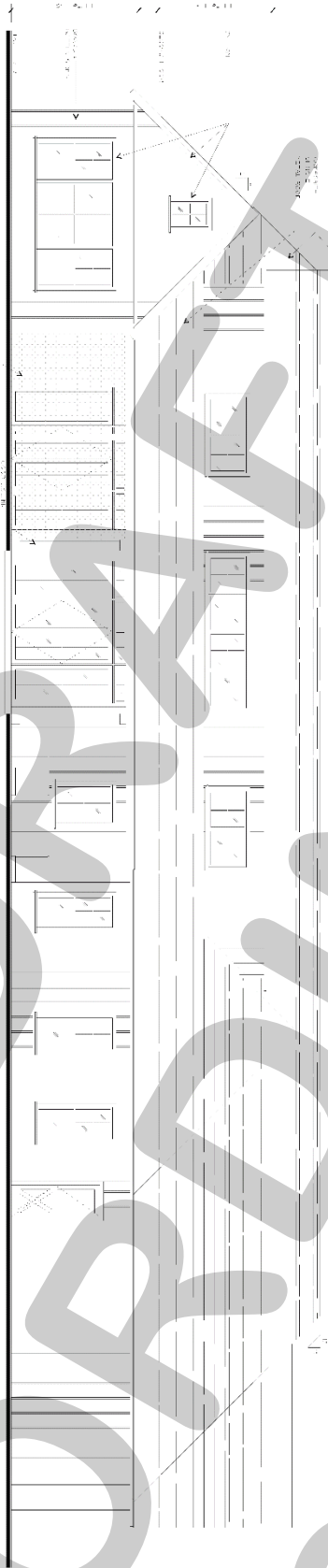
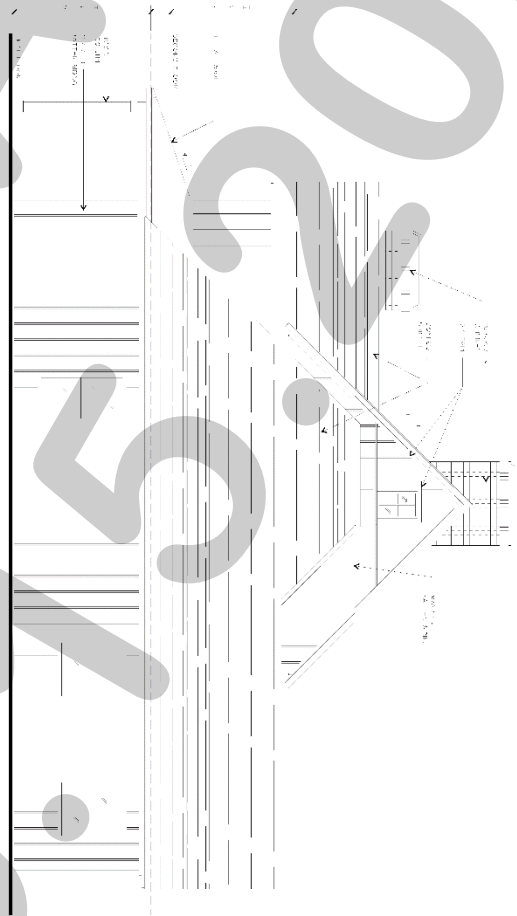


Exhibit 'C':
Building Elevations

01 SOUTH ELEVATION



02 WEST ELEVATION





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: Z2020-019; *SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 247 CHRIS DRIVE*

Attachments

Development Application
Location Map
HOA Map
PON Map
PON List
Public Notice
Property Owner Notifications
Survey
Residential Plot Plan
Building Elevations
Floor Plan
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

Background

The subject property was originally platted as Lots 1050 & 1051 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. At some point prior to 2006, Lot 1050 was subdivided by metes and bounds into two (2) equal tracts of land, and one-half was combined with Lot 1051 and one-half was combined with a portion of Lot 1049 by common ownership. The subject property was annexed into the City of Rockwall on February 17, 2009 by *Ordinance No. 09-07*. On

September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [Ordinance No. 09-37] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with Ordinance No. 16-01, which made minor changes to the *Consideration of a Special Request* section of the ordinance. According to the Rockwall Central Appraisal District (RCAD), the mobile home currently situated on the subject property was installed in 1984 and is 1,280 SF. In 1998, a 130 SF accessory building was constructed on the property, and in 2000 a 192 SF covered porch was constructed onto the mobile home.

Purpose

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

Adjacent Land Uses and Access

The subject property is located at 247 Chris Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R 2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Yvonne Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Chris Drive, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes.

Characteristics of the Request and Conformance to the City's Codes

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Chris Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Chris Drive Between County Line Road and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes located along Chris Drive are oriented toward Chris Drive.	The front elevation of the home will face onto Chris Drive.
Year Built	1973-2017	N/A
Building SF on Property	672-3,650 SF	2,624 SF
Building Architecture	Various (<i>Majority Mobile/Modular Home</i>)	Comparable Existing Homes
Building Setbacks:		

Front	Estimated Between zero (0) and 20-Feet 20-Feet
Side	The side yard setbacks appear to be between zero (0) and six (6) feet.
Rear	The rear yard setbacks appear to range from zero (0) and greater than ten (10) feet.
Building Materials	Modular Homes, HardiBoard, Combination of HardiBoard Siding Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.
Paint and Color	Blue, Yellow, Tan, Brown, White, Green, Pink Red, and Grey <i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal Composite Shingle
Driveways	Driveways are all in the front and visible from Chris Drive. Some existing driveway being used by homes have garages and/or the mobile home will continued to carports; however, the majority are used and that they are not just driveways. The applicant has stated that the existing driveway being used by the mobile home will continued to be used and that they are not proposing to construct a garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 75 [*Ordinance No. 09-37*] and for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Chris Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

Notifications

On May 27, 2020, staff mailed 161 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notice in favor of the applicant's request.

Conditions of Approval

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows

(a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.

(b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,

(c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

(2) Prior to the issuance of a building permit for a single-family home the subject property needs to be replatted into one (1) residential lot.

(3) The proposed single-family home will be required to demonstrate that a minimum of two (2) off-street parking spaces will be provided prior to the issuance of a building permit.

(4) Prior to the acceptance and issuance of a Certificate of Occupancy (CO) for the proposed home, the existing mobile home and covered porch shall be removed from the property.

(5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

Action Needed

The City Council is being asked to consider the applicant's request for a Specific Use Permit (SUP) and [1] approve, [2] approve with conditions, or [3] deny the request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☐ Final Plat (\$300.00 + \$20.00 Acre)¹
☐ Replat (\$300.00 + \$20.00 Acre)¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address

247 CHRIS DR.

Subdivision

ROCKWALL LAKE PROPERTIES

General Location

South of Interstate 30

Lot

1051

Block

and 1/2 of Lot 1050

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning

Residential

Current Use

Residential

Proposed Zoning

Residential-Specific Use

Proposed Use

Residential

Acreage

Less Than one Acre

Lots [Current]

1 1/2

Lots [Proposed]

1 1/2

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)☐ Owner

Contact Person

Address

City, State & Zip

Phone

E-Mail

☒ Applicant

Contact Person

Address

City, State & Zip

Phone

E-Mail

J.W. Jones

J.W. Jones

555 N. 5th St.
Suite 113

GARLAND TX 75040

214-535-2850

Jay.jones1941@hotmail.com

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared J.W. Jones (Name) the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of MAY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of May, 2020.

APPLICANTS

Owner's Signature

Notary Public in and for the State of Texas



DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • (P) (972) 771-7745 • (F) (972) 771-7727



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

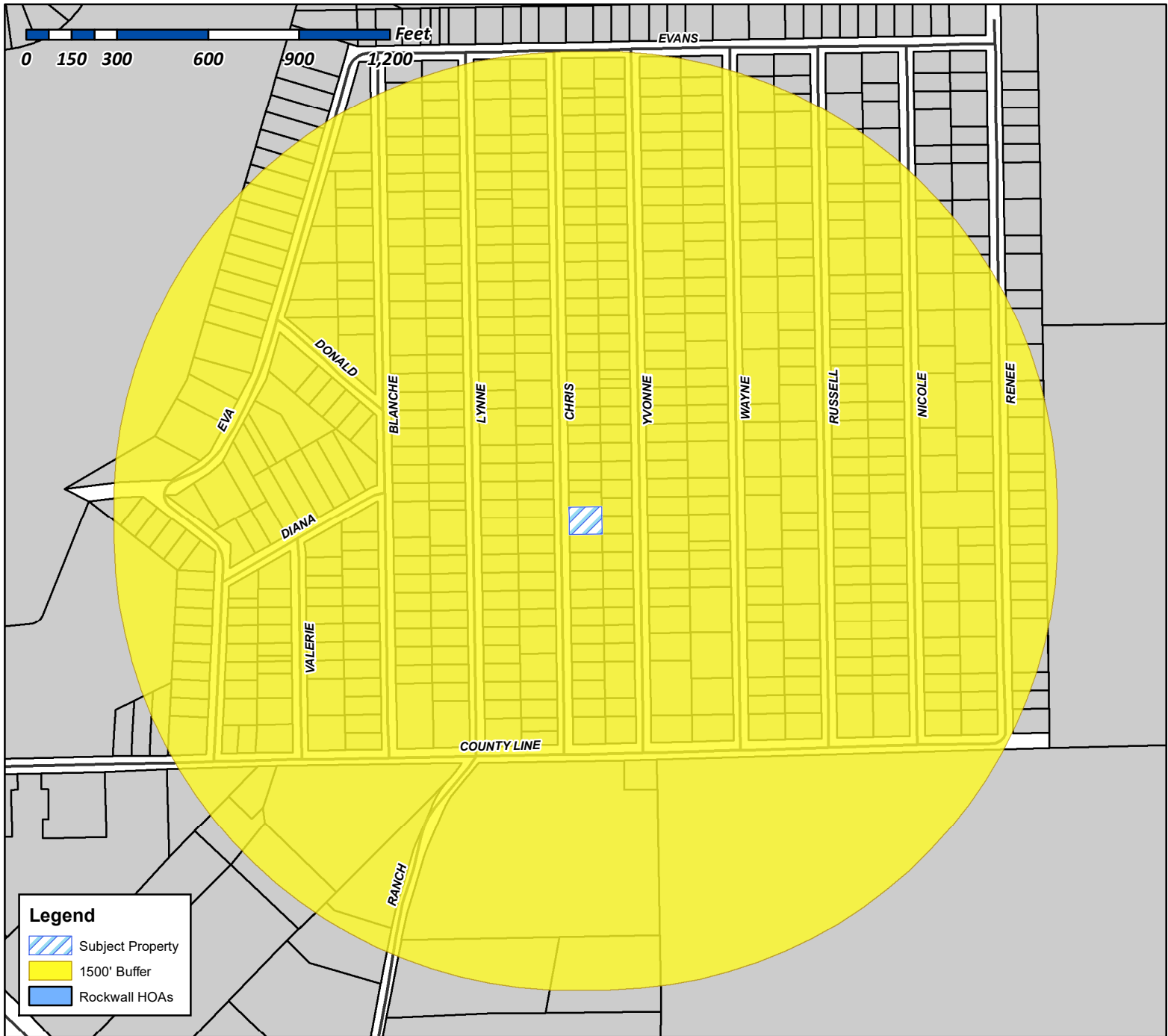




City of Rockwall

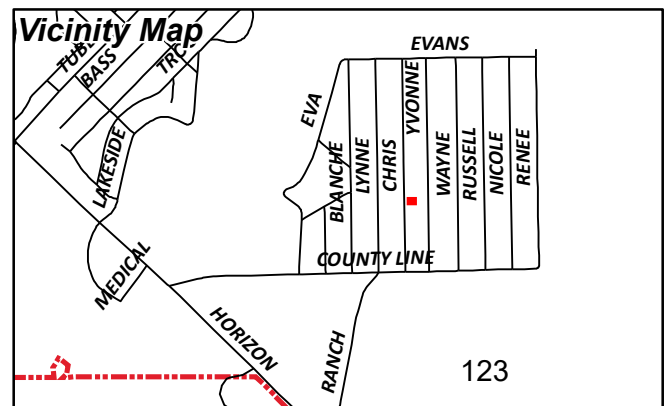
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development 75 (PD-75)
District
Case Address: 247 Chris Drive

Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

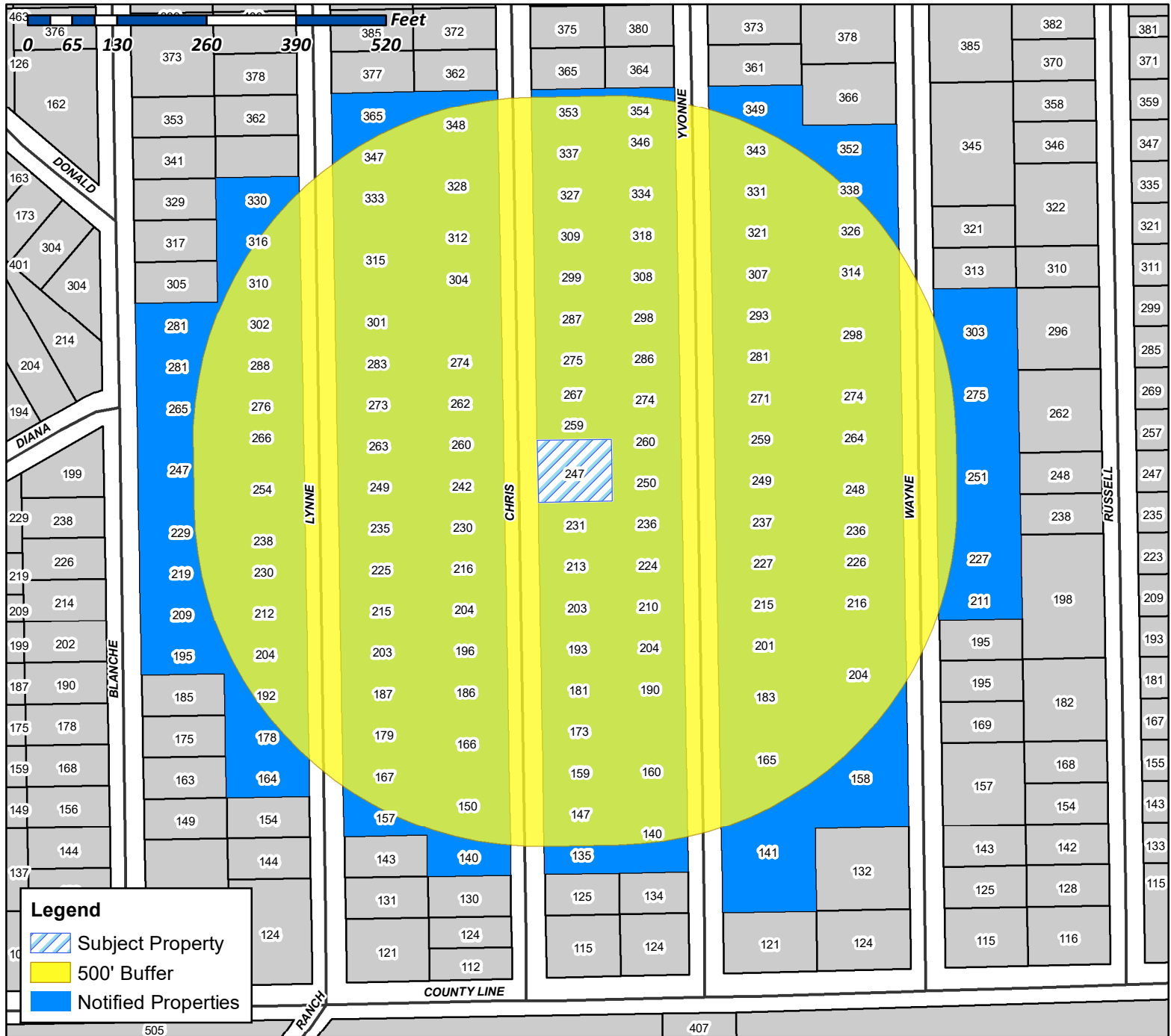




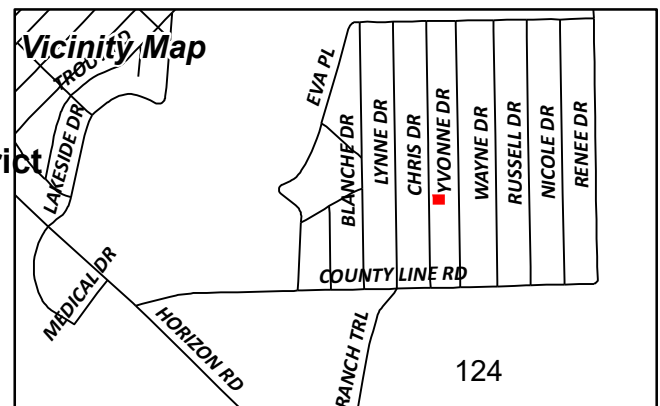
City of Rockwall

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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development-75 (PD-75) District
Case Address: 247 Chris Drive



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

GONZALES JOSE & INES
1059 LOCAL VISTA DR
DALLAS, TX 75217

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

CURRENT RESIDENT
135 CHRIS
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
140 OVERBROOK DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

OSORNIO EDUARDO
163 Eastridge Dr
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

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179 LYNNE
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
186 CHRIS
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO & KARLA CAMACHO 190 YVONNE DR ROCKWALL, TX 75032	CURRENT RESIDENT 192 LYNNE ROCKWALL, TX 75032	CURRENT RESIDENT 193 CHRIS ROCKWALL, TX 75032
GARCIA JOSE 195 BLANCHE DR ROCKWALL, TX 75032	CURRENT RESIDENT 196 CHRIS ROCKWALL, TX 75032	RAMIREZ RUBEN & MARTHA 200 CHAMBERLAIN DR FATE, TX 75189
YANEZ JUAN 201 YVONNE DR ROCKWALL, TX 75032	BALDERAS JOSE G 2027 MIDLAKE LN ROCKWALL, TX 75032	CURRENT RESIDENT 203 CHRIS ROCKWALL, TX 75032
WILSON JAMES F & ROBERTA B J 203 LYNNE DR ROCKWALL, TX 75032	CURRENT RESIDENT 204 CHRIS ROCKWALL, TX 75032	CURRENT RESIDENT 204 LYNNE ROCKWALL, TX 75032
CURRENT RESIDENT 204 WAYNE ROCKWALL, TX 75032	MEDINA MARIA V AND MARITZA ALONSO 204 YVONNE ROCKWALL, TX 75032	URBINA ARACELI C 209 BLANCHE DR ROCKWALL, TX 75032
CURRENT RESIDENT 210 YVONNE ROCKWALL, TX 75032	CURRENT RESIDENT 211 WAYNE ROCKWALL, TX 75032	CRUZ MARIA D AND IGNACIO D 212 LYNNE DR ROCKWALL, TX 75032
PEREZ GILBERTO 212 LYNNE DR ROCKWALL, TX 75032	BALDERAS LEANDRO & LAURA 213 CHRIS DR ROCKWALL, TX 75032	CURRENT RESIDENT 215 LYNNE ROCKWALL, TX 75032
CURRENT RESIDENT 215 YVONNE ROCKWALL, TX 75032	CURRENT RESIDENT 216 CHRIS ROCKWALL, TX 75032	CURRENT RESIDENT 216 WAYNE ROCKWALL, TX 75032
OSORNIO KEVIN 220 CRAWFORD LANE ROYSE CITY, TX 75189	CARMONA JOEL 221 NICOLE DR ROCKWALL, TX 75032	MAZARIEGOS ROMULO AND ESTELA 224 YVONNE DR ROCKWALL, TX 75032
CURRENT RESIDENT 225 LYNNE ROCKWALL, TX 75032	CURRENT RESIDENT 226 WAYNE ROCKWALL, TX 75032	CURRENT RESIDENT 227 WAYNE ROCKWALL, TX 75032

KENDALL LEAH T
227 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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YOLANDA GUEVARA
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ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
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CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

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236 WAYNE
ROCKWALL, TX 75032

RAMIREZ MELESIO
236 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
237 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
238 LYNNE
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CURRENT RESIDENT
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

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249 YVONNE
ROCKWALL, TX 75032

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250 YVONNE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
254 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
259 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
259 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
260 CHRIS
ROCKWALL, TX 75032

DODSON CHARLES & GLENDA
260 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
262 CHRIS
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
264 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
265 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
266 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
267 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
271 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
273 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
274 CHRIS
ROCKWALL, TX 75032

GUEVARA ELIAS
274 EASTRIDGE DR
ROYSE CITY, TX 75189

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
274 YVONNE
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
276 LYNNE
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
281 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
283 LYNNE
ROCKWALL, TX 75032

RICO ANTONIO
286 YVONNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

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288 LYNNE
ROCKWALL, TX 75032

CHAPELA AARON JAIME
292 CHRIS
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
ROCKWALL, TX 75032

GARCIA RICARDO
298 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
298 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
302 LYNNE
ROCKWALL, TX 75032

RANGEL JORGE MIGUEL
302 S GOLIAD
ROCKWALL, TX 75087

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
308 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
309 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
310 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
312 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
314 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
315 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
316 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
318 YVONNE
ROCKWALL, TX 75032

CASTANEDA LUCERO ADILENE AND ALFREDO
TORRES
321 YVONNE DR
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
330 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
331 YVONNE
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

GODINEZ INOCENTE AND
CORDELIA ESPERANZA MONROY TUMIN
334 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

RUBIO LORENA & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

MOLINA MARLIN J & JAIME
340 YVONNE DR
ROCKWALL, TX 75032

SAAVEDRA SILVIA
343 YVONNE DR
ROCKWALL, TX 75032

GUADARRAMA TARCICIO &
MARIA M NAJERA
346 YVONNE DR
ROCKWALL, TX 75032

DIAZ JUAN
347 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
348 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
349 YVONNE
ROCKWALL, TX 75032

MORENO SALVADOR &
ANA MARGARITA RODRIGUEZ
352 LYNNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

FORTUNA FRANCISCO & LUISA
354 YVONNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO
365 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

VELASQUEZ JORGE
543 BASS RD
ROCKWALL, TX 75032

RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-019: SUP for Residential Infill for 247 Chris Drive

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Jennifer Maciel

Address:

303 Wayne Drive Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

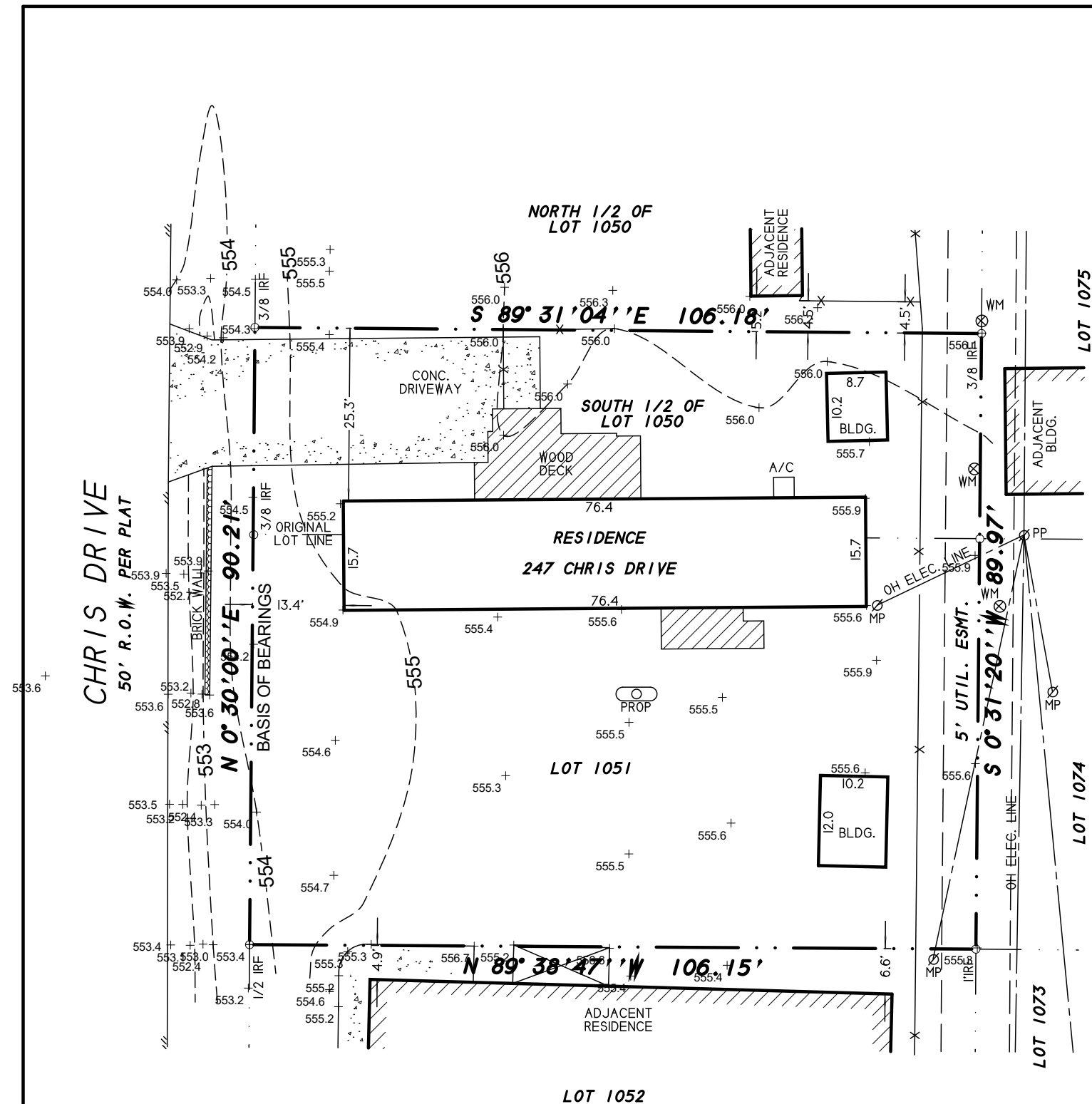
add value to all properties in this Mobile Home
Upgrades the over-all look of this area. Park

Name: Marlene & Rick Greer (Jr.)

Address: 299 Chris Drive Rockwall, Texas 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

Harold D. Fetty III, R.P.L.S. No. 5034



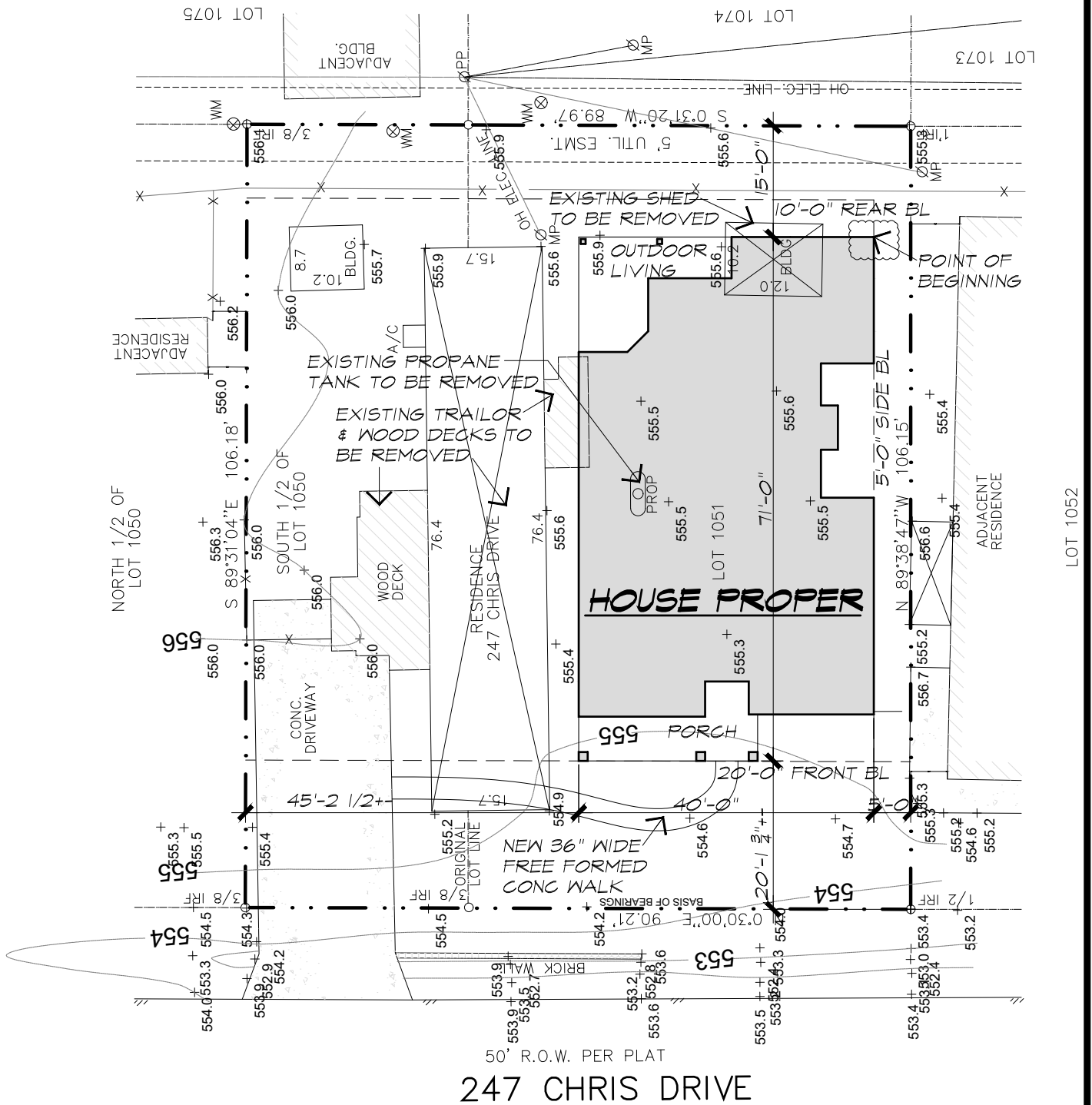
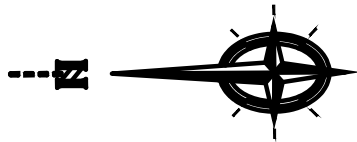
SYMBOL LEGEND									
Ⓢ	Ⓜ	Ⓣ	Ⓢ	Ⓢ	Ⓢ	Ⓢ	Ⓢ	Ⓢ	Ⓢ
TELEVISION	GAS	TEL	PH	PH	PP				
CABLE RISER	METER	RISER	HYDRANT	HYDRANT	POLE				
▲	Ⓢ	Ⓢ	Ⓢ	Ⓢ	Ⓢ				
ELEC	ELEC	WM	WM	LP	LP				
METER	BOX	METER	METER	POLE	POLE				
	SUBSURFACE								
	JUNCTION BOX								
—X—	—	—	—	—	—				
FENCE	EASEMENT LINE	PROPERTY LINES	A/C	PROPANE					
			COND.	TANK					
			UNIT						

SURVEY DATE SEPTEMBER 16, 2019
SCALE 1" = 20' FILE # 20100500
CLIENT JONES GF # NONE

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NOTE:
EXISTING ITEMS NOT NOTED
TO BE REMOVED ARE TO
REMAIN

LOT AREA = 9563.87 SF
LOT COVERAGE = 27.44%

PLAN #PG 2244
DATE: 12/20/2019

SITE PLAN

SCALE: 1" = 20'-0"

1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

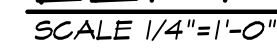
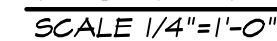
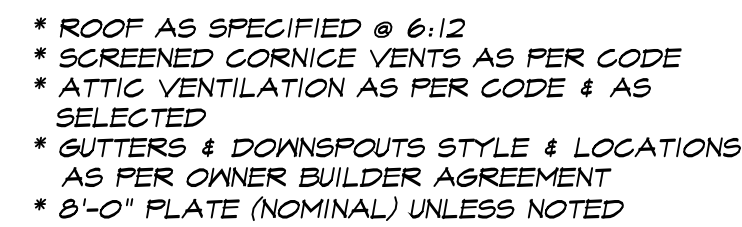
M Rouse Designs

2307 HIGHRIIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

COPYRIGHT 2019 - M Rouse Designs - ALL RIGHTS RESERVED

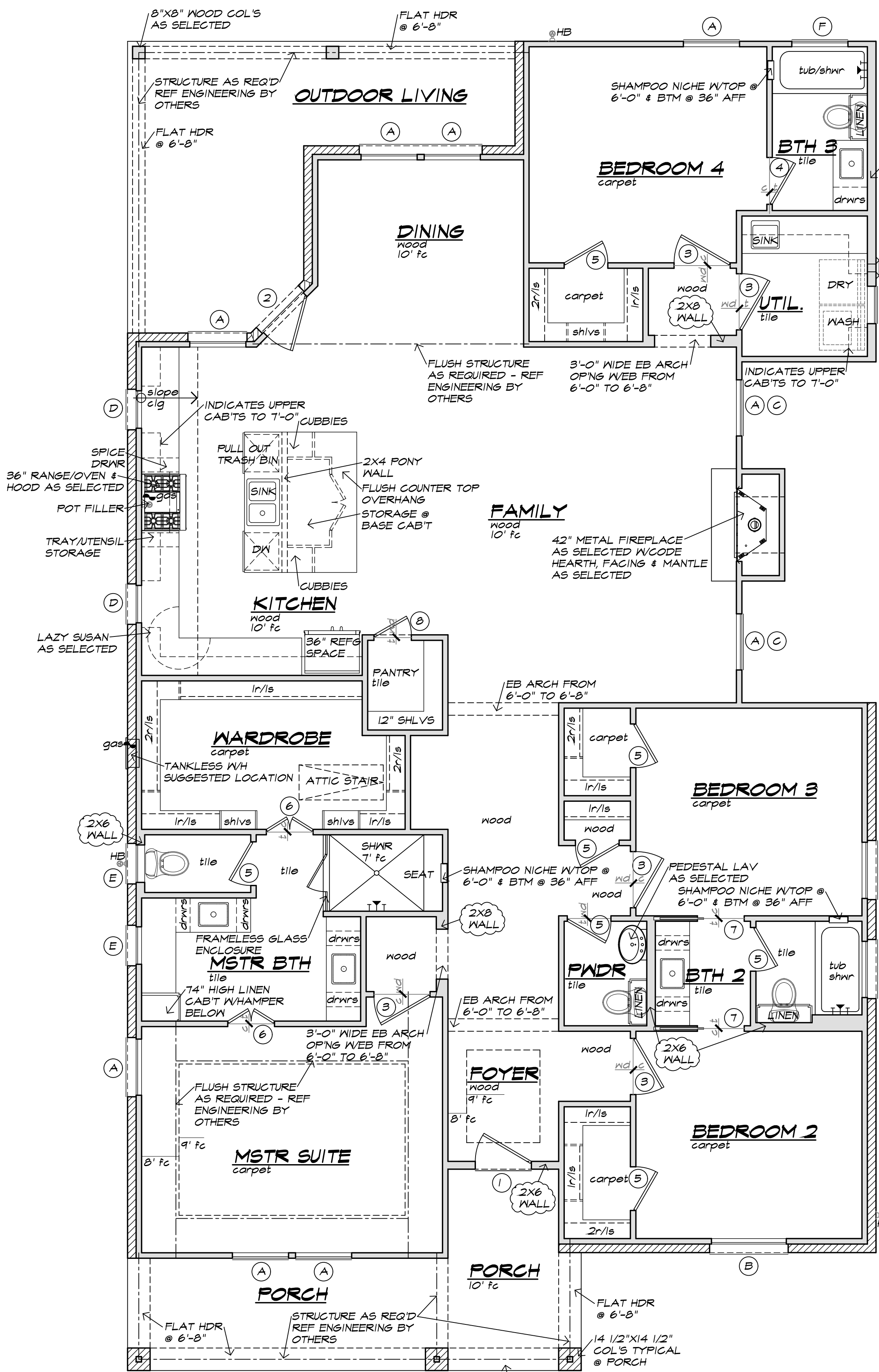
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



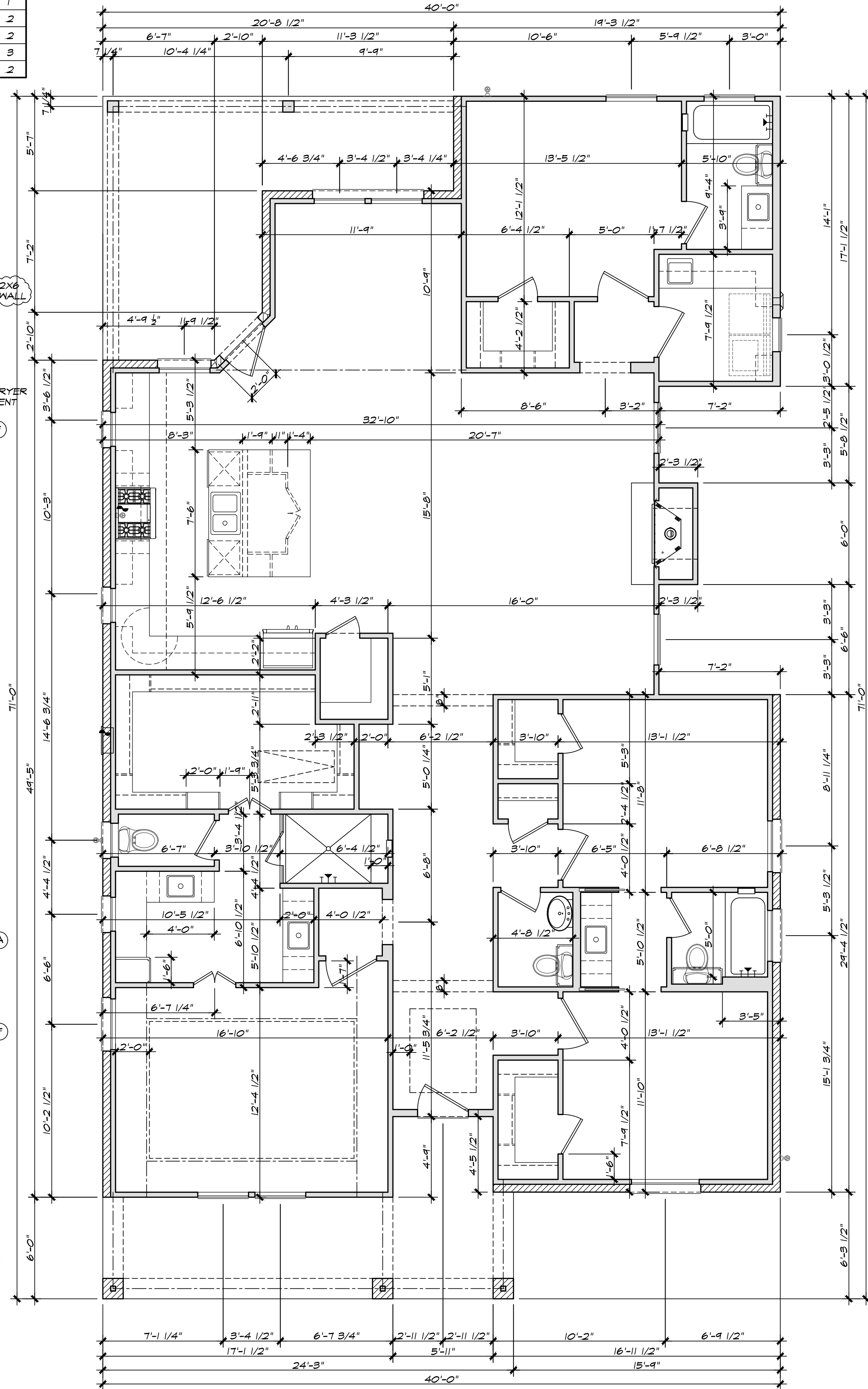
DESIGN NUMBER
PG 2244

36

DOOR SCHEDULE					WINDOW SCHEDULE				
TYPE	SIZE	DESCRIPTION	#		TYPE	SIZE	DESCRIPTION	#	
1 STEEL ENTRY UNIT	3'-0" X 6'-8"	WROUGHT IRON INSERT AS SELECTED	1	A	A SINGLE HUNG	3'-0" X 6'-0"	DIVIDED LITE @ 6'-8" HDR	10	
2 SOLID CORE	3'-0" X 6'-8"	EXTERIOR FRENCH AS SELECTED	1	B	B SINGLE HUNG	4'-0" X 6'-0"	DIVIDED LITE @ 6'-8" HDR	1	
3 SOLID CORE	3'-0" X 6'-8"	INTERIOR AS SELECTED	5	C	C FIXED	3'-0" X 1'-6"	DIVIDED LITE @ 9'-0" HDR	2	
4 SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED	1	D	D FIXED	2'-0" X 3'-8"	DIVIDED LITE @ 6'-8" HDR	2	
5 SOLID CORE	2'-4" X 6'-8"	INTERIOR AS SELECTED	2	E	E SINGLE HUNG	2'-0" X 3'-0"	DIVIDED LITE @ 6'-8" HDR	3	
6 SOLID CORE	PR 1'-3" X 6'-8"	INTERIOR AS SELECTED	6	F	F HORIZ SLDR	3'-0" X 2'-0"	@ 6'-8" HDR	2	
7 SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED POCKET	2						
8 SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED	1						



NOTATION PLAN
SCALE 1/4"=1'-0"



DIMENSION PLAN
SCALE 1/4"=1'-0"

GENERAL NOTES

- (WHERE APPLICABLE)
- * All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C., w/ 1/2" plywood sheathing w/water vapor barrier, unless noted otherwise. (Blocked @ Midspan) & as per code.
 - * Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
 - * All metal fireplaces to be top of the line double lined (min)-code units as per mfg. (Wgas logs optional).
 - * All fireplaces to have tile, marble, or brick hearths & facing, as per builder & as selected by owner.
 - * All shelving to be 3/4" V-grooving supported at edges & on 4" O.C. (Bookshelves to have hidden "Ribbon" lighting- optional)
 - * All closets to have at least one single rod & two shelves, unless noted otherwise. W/wood to top hardware. Most to have 2 rods, 2 on 8 shelves, or more as per builder.
 - * All exterior doors, garage, and attic doors to be weather stripped.
 - * All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above)
 - * Kitchen counter tops to be formica, corian or stone w/turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/disposers, down-draft cooktop w/6 optional burners & w/grill as selected. Refrigerator to have water supply w/out-off. All plugs to be GFI. (As required by code.)
 - * Stairs to have optional step lights as selected, continuous handrails w/1 1/2" grip & 36" high, 1" nosing w/4" clear spacing. Guardrails to be 42" high.
 - * All bath vanities to be marble or stone w(optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder.)
 - * All ceiling corners at main rooms to have molding. (Verify mtdg- pkg.)
 - * Windows to be wood or metal, double pane insulated- shown in nominal sizes, w/extra caulking & head flashing where required. (See builder.)
 - * Windowsills & casing to be wood or drywall.
 - * All main drywall corners to have Bull-Nose (optional).
 - * Connect gutters and downspouts to an underground drainage piping system. (Verify w/owner and builder/engineer.)
 - * All brick arches & designs w/reinforcing, & w/type "S" mortar.
 - * Brick columns to have treated wood post centers, or steel as shown. Wood columns to be set on anchored metal plinths & wall ties to brick.
 - * All yard hydrants to be freeze proofed.
 - * Provide high "R" ratings for all attic floors & walls. (optional)
 - * All gas appliances to have code vents.
 - * All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/drain.
 - * A/C ducts should be routed around most usable attic space.
 - * Dryer vents to be outside.
 - * Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
 - * Radiant barriers are optional.
 - * Uniform cornice vents @ entire perimeter, screened w/insulation baffled for air flow.
 - * Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
 - * Framing members shown are suggested minimums. Engineering design takes priority over these schematic drawings. (See builder.)
 - * All long span ceilings to be stripped 2" O.C., w/1/4" leveling. (optional)
 - * All rafter spans to be braced 12" O.C. (maximum). (see eng.)
 - * All ridges and beam connections to have metal clips & nailing. (see eng.)

- Adapted Construction Codes:
- 2015 International Residential Code with local amendments
 - 2015 International Building Code with local amendments
 - 2015 International Fire Code with local amendments
 - 2015 International Fuel Gas Code with local amendments
 - 2015 International Mechanical Code with local amendments
 - 2015 International Energy Conservation Code with local amendments
 - 2015 International Existing Building Code with local amendments
 - 2014 National Electrical Code with local amendments

AREAS	
TOTAL LIVING (AC)	2244.56 SQ. FT.
PORCH	178.98 SQ. FT.
OUTDOOR LIVING	205.79 SQ. FT.
TOTAL COVERAGE	2624.33 SQ. FT.

GENERAL NOTES:

- * ALL FINISHED CEILING @ 8'-0" AFF UNLESS NOTED
- * ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- * ALL 4'S @ 45° UNLESS NOTED OTHERWISE
- * CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- * ALL PLATE LINES AS NOTED ON ELEVATIONS
- * ALL WINDOW HEADERS AS NOTED
- * WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
- * ALL INTERIOR FINISHES TO BE AS SELECTED UNLESS NOTED
- * ALL VANITIES TO BE 36" HIGH

INDOOR AIR QUALITY MEASURES

- * AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN
- * AIR HANDLER INSTALLATION WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
- * AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE
- * EXTERIOR DOORS TO HAVE PROPER WEATHER STRIPPING

**A CUSTOM RESIDENCE
FOR THE
GUARDIOLA FAMILY
ROCKWALL, TEXAS**

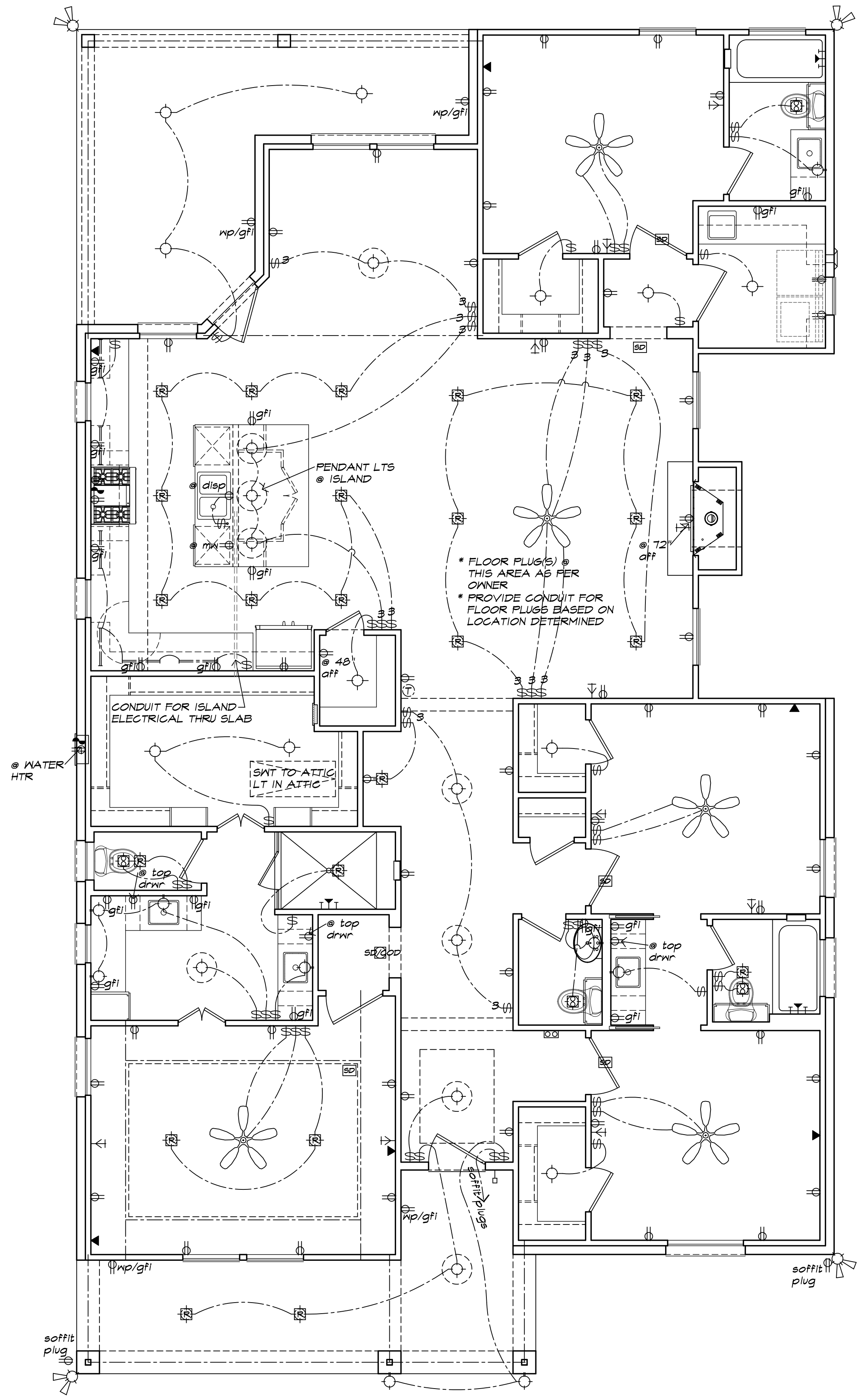
M Rouse Design

2307 HIGHLIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

REVISED DATE
12/20/2014

SHEET
A/I

DESIGN NUMBER
PG 2244

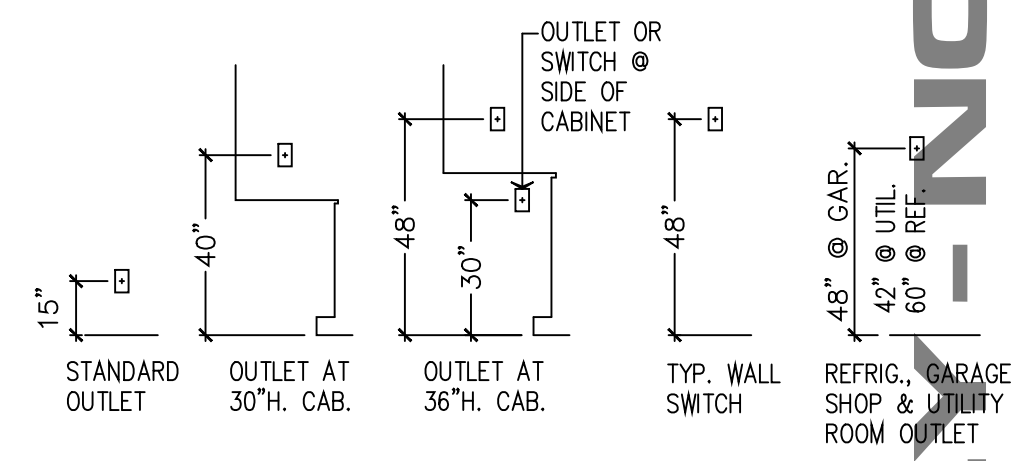


LIGHTING & ELECTRICAL LEGEND	
	LANDLINE - OPTIONAL
	SWITCH
	6"Ø RECESSED LIGHT UNLESS NOTED
	RECESSED EXHAUST FAN
	SURFACE MOUNTED WALL LIGHT
	HANGING LIGHT
	DUPLEX RECEPTACLE
	220 RECEPTACLE
	DUPLEX WEATHER PROOFED GROUND
	GROUND FAULT INTERRUPTER
	DUPLEX GROUND FAULT INTERRUPTER
	TV OUTLET (CAT 6Ø)
	SMOKE DETECTOR
	PUSH BUTTON TO CHIME
	DOOR CHIME
	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
	CEILING FAN W/LIGHT KIT UNLESS NOTED
	SMOKE/CARBON MONOXIDE DETECTOR
	THERMOSTAT
	PUSH/AIR GARBAGE DISPOSAL SWITCH
	SURFACE LIGHT
	D-MARK DATA CONNECTION POINT
	UNDER/OVER CABINET FLUORESCENT LIGHT

ELECTRICAL NOTES
(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

- * ALL LANDSCAPING LIGHTING & JUNCTION BOX LOCATIONS TO BE BY OTHERS & AS PER OWNER BUILDER AGREEMENT
- * CARRIAGE LTS TO BE @ 6'-0" AFF
- * SEE OWNER FOR ATTIC LIGHTING & PREFERRED PLACEMENT



ELECTRICAL OUTLET LOCATIONS

LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
NOTE:
FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

A CUSTOM RESIDENCE
FOR THE
GUARDIOLA FAMILY
ROCKWALL, TEXAS

M Rouse Designs
2307 HIGHRIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

REVISED DATE
12/20/2014

SHEET
A3

DESIGN NUMBER
PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall not be responsible for any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall not be responsible for any discrepancies and/or omissions.

Copyright 2013 - M Rouse Designs - ALL RIGHTS RESERVED

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1051 AND ALL OF LOT 1050, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre parcel of land being described as a portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map and Survey

Address: 247 Chris Drive

Legal Description: A Portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2



Exhibit 'A'

Location Map and Survey

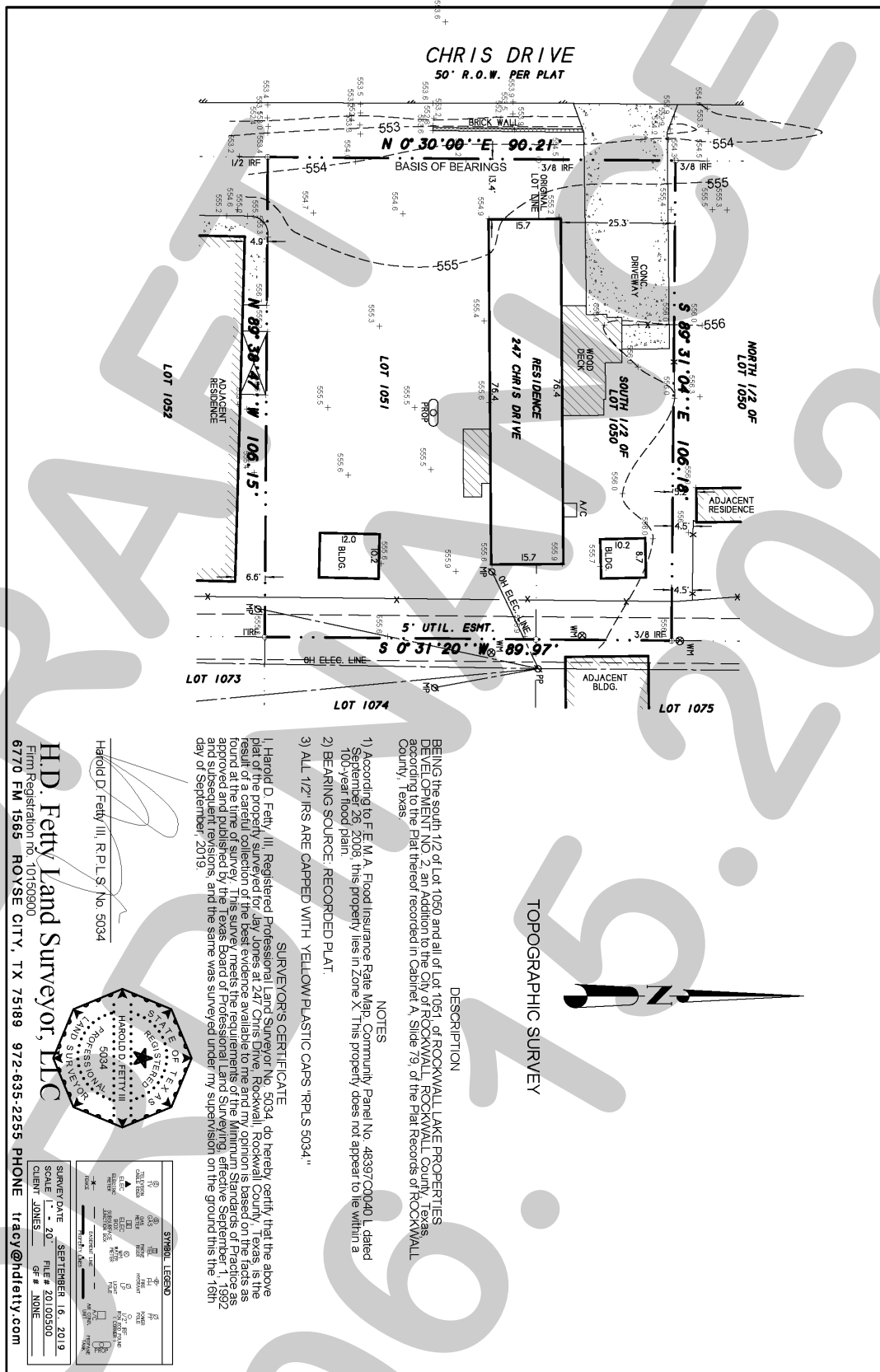


Exhibit 'B':
Residential Plot Plan

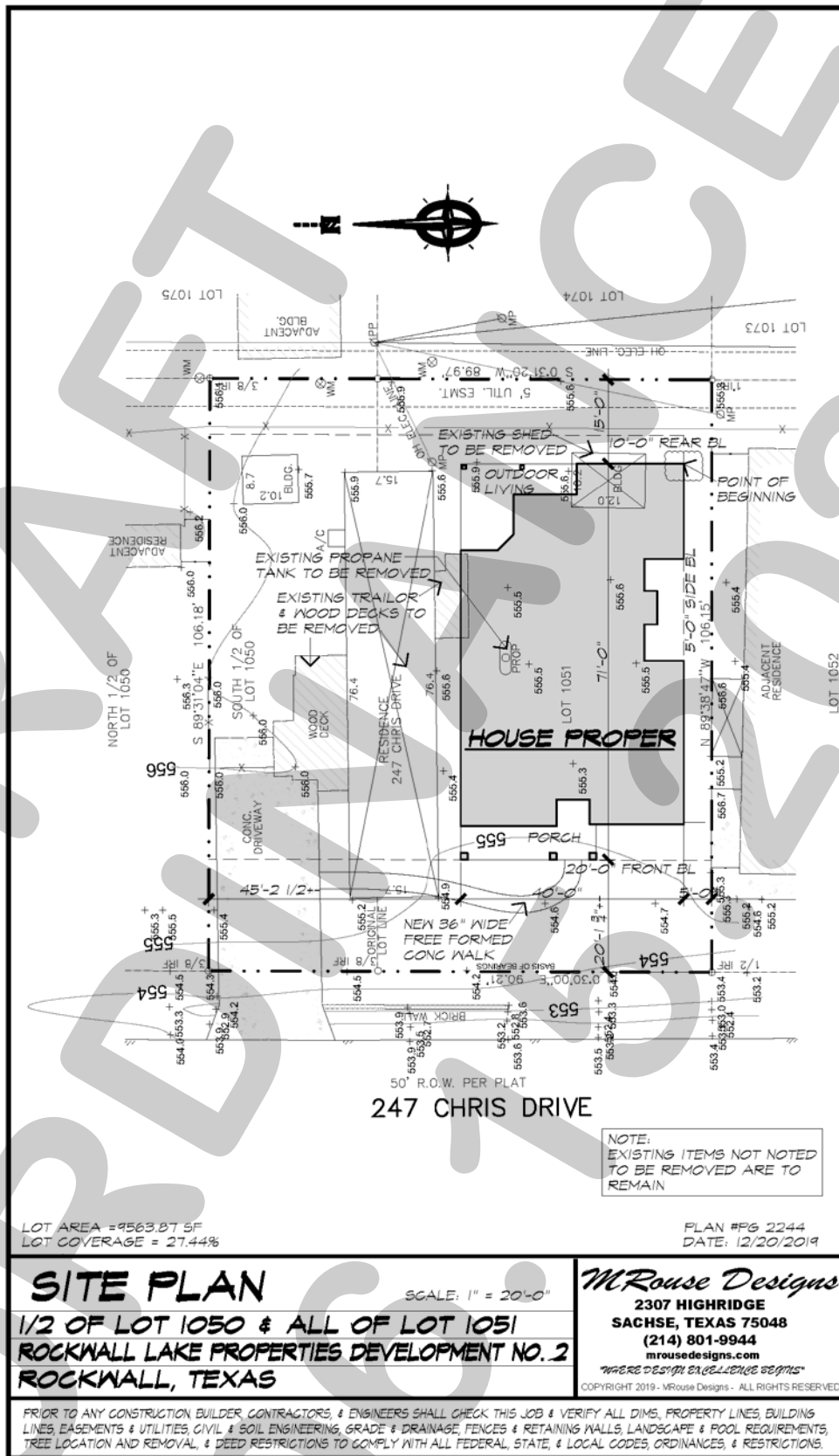
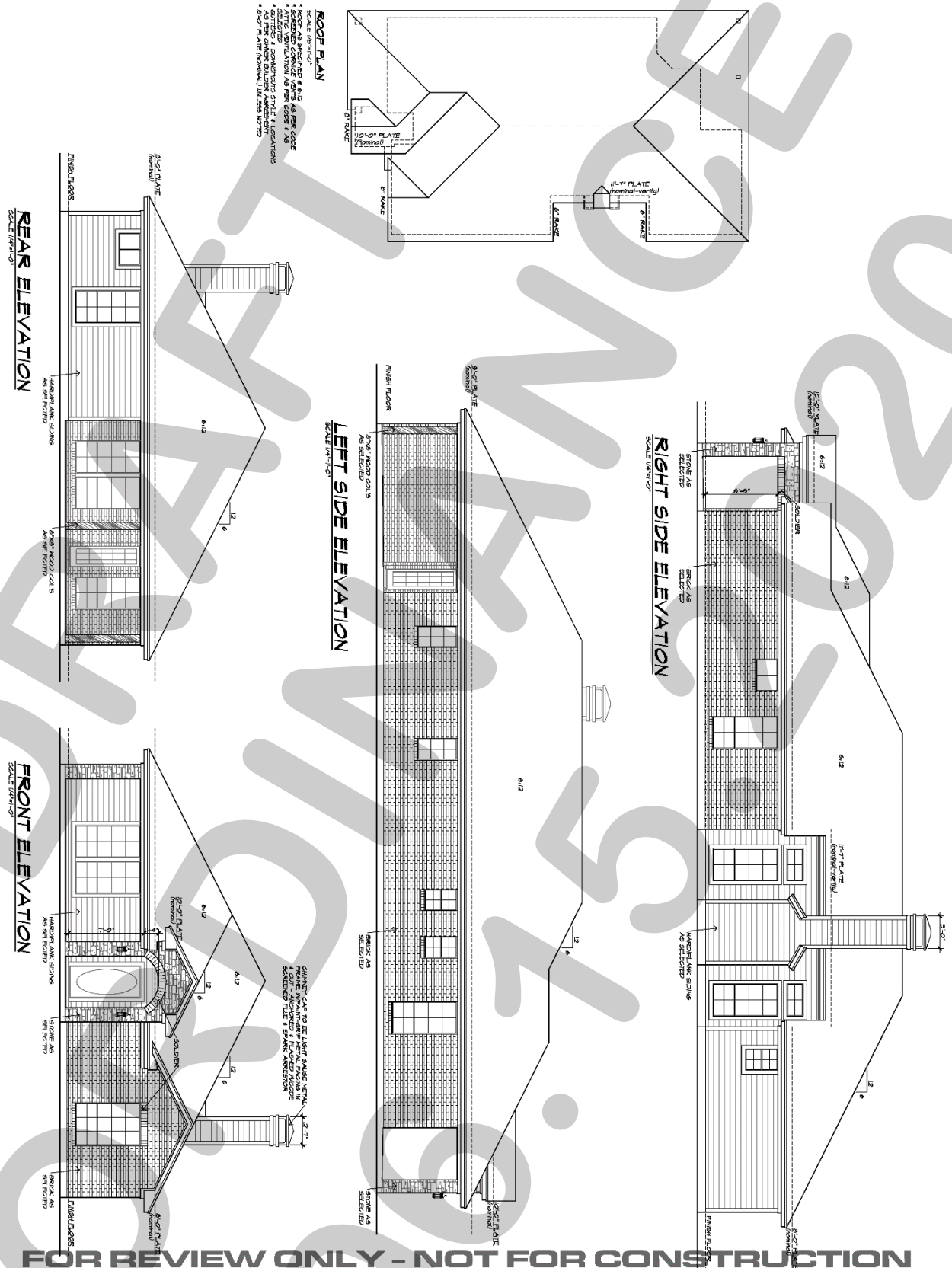


Exhibit 'C':
Building Elevations





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: Z2020-020; *SPECIFIC USE PERMIT FOR A SECONDARY LIVING UNIT/GUEST QUARTERS/ACCESSORY DWELLING UNIT AND CARPORT AT 1308 RIDGE ROAD*

Attachments

Development Application
Location Map
HOA Map
Neighborhood Notification Email
PON Map
PON List
Public Notice
Property Owner Notifications
Concept Plan
Building Elevations
Floor Plan
Carport Examples
Applicants Photos
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a *Specific Use Permit (SUP)* for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

Background

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02*. According to the City's historic zoning maps, the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. As of May 16, 1983, this designation

had been changed to Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD), the single-family home on the subject property was constructed in 1975 and has a building footprint of ~3,276 SF (2,760 SF of Living Area). In 1978, a 1,848 SF detached garage was constructed. According to the applicant a portion of this garage was converted into a *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit*.

Staff should note that prior to submitting this request the applicant began demolition of the existing detached garage without securing a demolition permit; however, upon staff pointing this out before the Planning and Zoning Commission Work Session Meeting, the applicant applied for and was issued a demolition permit (BLD2020-1303).

Purpose

The applicant -- *Brian Bader* -- is requesting the approval of a Specific Use Permit (SUP) for: [1] a *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit* that exceeds more than 30% of the primary structure in conformance with Subsection 02.02(B)(6), *Guest Quarters/Secondary Living Unit*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), [2] and for a carport attached to a secondary structure that exceeds the maximum square footage permitted for carports as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

Adjacent Land Uses and Access

The subject property is addressed as 1308 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are eight (8) tracts of land (*i.e. two [2] vacant tracts of land and six [6] single-family homes*) zoned Single-Family 10 (SF-10) District. Beyond this are ten (10) tracts of land with eight (8) single-family homes that have been converted to office buildings. These properties are zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses.

South: Directly south of the subject property are two (2) vacant parcels of land (*i.e. Lots 1 & 2, Block B, Eagle Point Estates Addition*) zoned Single-Family 10 (SF-10) District. Beyond this are nine (9) single-family homes zoned Single-Family 10 (SF-10) District. South of this is Becky Lane, which is identified as an *R 2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Ridge Road, which is designated as a *M4D (major collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.802-acre parcel of land (*i.e. Lot 6, Block A, Rockwall Commons Addition*) that is currently developed with a 140-unit apartment complex (*i.e. Lakeridge Apartments*). This property is zoned Planned Development District 1 (PD-1) for multifamily land uses.

West: Directly west of the subject property is the Eagle Point Estates Subdivision, which

is zoned Single-Family 10 (SF-10) District and contains 13 single-family residential lots. Also, west of the subject property is the Ridge Road Village Subdivision, which is zoned Single-Family 10 (SF-10) District and contains 185 single-family residential lots. Beyond this is the takeline for Lake Ray Hubbard, followed by the corporate limits for the City of Rockwall.

Characteristics of the Request

The applicant has submitted an application, site plan, and drawings showing the interior layout of the proposed *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit*. Based on the site plan, a 28-foot by 21-foot (*i.e.* 588 SF) carport will be constructed on the eastern building façade of the existing 1,848 SF accessory building. Images provided by the applicant show that the carport will be architecturally integrated into the existing accessory building (*i.e.* *the pitched roof of the carport will be integrated into the pitched roof of the accessory building*), and will be accessible via a 12-foot wide concrete driveway that will be extended from the existing circular concrete drive in front of the primary structure. In addition, a 12-foot by 40-foot (*i.e.* 480 SF) concrete patio will be constructed adjacent to the southern building façade. The floor plan submitted by the applicant shows that the *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit* will be contained within the existing accessory building, and that the building will not be expanded to accommodate the proposed use. In addition, according to the applicant's letter the metal R-Panel on the exterior of the existing building will be removed and replaced with HardiBoard siding.

Conformance with the City's Codes

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Guest Quarters/Secondary Living Unit* is permitted as an accessory use in the Single-Family 10 (SF-10) District. In addition, Subsection 02.03(B)(6), *Guest Quarters/Secondary Living Unit*, of this Article goes on to state that *Guest Quarters/Secondary Living Units* must be: [1] ancillary to a single-family home, [2] no more than 30% of the area of the primary structure, and [3] not sold or conveyed separately. *Guest Quarters/Secondary Living Units* not meeting these requirements can request a Specific Use Permit (SUP). In this case, the primary structure has a building footprint of ~3,276 SF, which would allow a maximum *Guest Quarters/Secondary Living Unit* of 982.80 SF. The proposed expansion of the existing *Guest Quarters/Secondary Living Unit* would increase the total area of this use to 1,848 SF or 865.20 SF larger than what is permitted by the UDC. Based on this the applicant is requesting a Specific Use Permit (SUP) for the size of the *Guest Quarters/Secondary Living Unit*.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), carports are permitted to be a maximum of 500 SF and should be architecturally integrated into the primary structure. This section goes on to state that, "(a)ccessory buildings or structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In this case, the applicant is proposing a 588 SF carport, which is 88 SF over what is permitted by the UDC. In addition, the carport will be attached to the existing accessory building and not to the primary structure. Based on

these issues, the applicant is requesting a Specific Use Permit (SUP) for the size and location of the carport.

Staff Analysis

The accessory building at the rear of the subject property was constructed in 1978 and was constructed as a detached garage and *Guest Quarters/Secondary Living Unit*. Staff does not have any information on the square footage breakdown between the *Guest Quarters/Secondary Living Unit* and the detached garage, but -- *based on the applicant* -- approximately 30% or ~554.40 SF of the existing floor area was dedicated to the *Guest Quarters/Secondary Living Unit* land use. Based on this the applicant's request represents an increase of 70% of the existing *Guest Quarters/Secondary Living Unit* area. Staff should point out that based on the estimate provided by the applicant, the structure is currently in compliance with the floor area requirement (*i.e. 30% of the primary structure*) permitted by-right within the Single-Family 10 (SF-10) District.

Article 13, *Definitions*, of the Unified Development Code (UDC), defines *Guest Quarters/Secondary Living Unit* as "(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration [*money paid for work or a service*] and is not rented or otherwise used as a separate domicile." According to the property owner's letter the purpose of converting this structure is to provide a place for their daughter to live. Based on the floor plan provided by the applicant, the *Guest Quarters/Secondary Living Unit* will consist of two (2) bedrooms, two (2) full bathrooms, a full kitchen, living room, and laundry room. In addition, the proposed carport (*which will be accessible via driveway extension off of the existing circular drive in the front of the primary structure*) will provide two (2) parking spaces for the *Guest Quarters/Secondary Living Unit*.

Staff should point out that the existing structure is located behind the front façade of the primary structure, and only has slight visibility -- *through two (2) vacant lots* -- from Ridge Road. At the rear of the subject property there is a thick tree line impairing visibility of the structure from the alleyway and the adjacent houses to the west of the subject property. In addition, the proposed carport should only add slight visibility of the roofline from Ridge Road. Staff should point out that there are two (2) other detached garages of a similar size to the existing accessory building (*i.e. at 1400 & 1404 Ridge Road*); however, there does not appear to be any other detached *Guest Quarters/Secondary Living Unit* in the area. With all this being said, the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* and carport is a discretionary decision for the City Council, upon a recommendation from the Planning and Zoning Commission.

Notifications

On May 27, 2020, staff mailed 48 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Waterstone Homeowner's Association (HOA), which is the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code

(UDC). At the time this report was drafted, staff had received two (2) responses in favor of the applicant's request.

Conditions of Approval

If the City Council chooses to approve the applicant's request to for a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/ Accessory Dwelling Unit* and *Carport* that exceed the maximum permissible size, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:

(a) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the concept plan, conceptual building elevations, and conceptual floor plan depicted in *Exhibits 'B', 'C' & 'D'* of the Specific Use Permit (SUP) ordinance.

(b) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed a maximum size of 1,848 SF.

(c) The *Carport* shall not exceed a maximum size of 588 SF.

(d) The subject property shall not have more than the two (2) accessory structures (*i.e. [1] guest quarters/secondary living unit/accessory dwelling unit, and [2] carport*) without amending this Specific Use Permit (SUP).

(e) The existing accessory building along the northern property shall be removed from the property prior to the issuance of a building permit for the *Guest Quarters/Secondary Living Unit/Accessory Dwelling* and *Carport*.

(f) Prior to the acceptance of the *Carport* the existing driveway shall be extended to the accessory structure as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.

(2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Womble dissenting.

Action Needed

The City Council is being asked to consider the applicant's request for a Specific Use Permit (SUP) and [1] approve, [2] approve with conditions, or [3] deny the request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Plotting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

1308 RIDGE ROAD

Subdivision

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner

Victoria Kaprantzas

☐ Applicant

Contact Person

Victoria Kaprantzas

Contact Person

Brian Baden

Address

2748 Mira Vista Ln.

Address

20603 CR 3310

City, State & Zip

Rockwall Tx 75032

City, State & Zip

Pulmon Tx

Phone

214 228-7055

Phone

214 868-0943

E-Mail

ewiagrak@hotmail.com

E-Mail

bbaden@cityofmesquite.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared VICTORIA KAPRANTZAS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

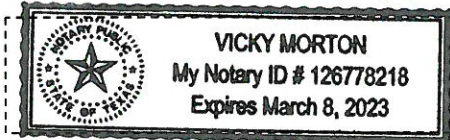
Given under my hand and seal of office on this the 15 day of MAY, 20 2020

Owner's Signature

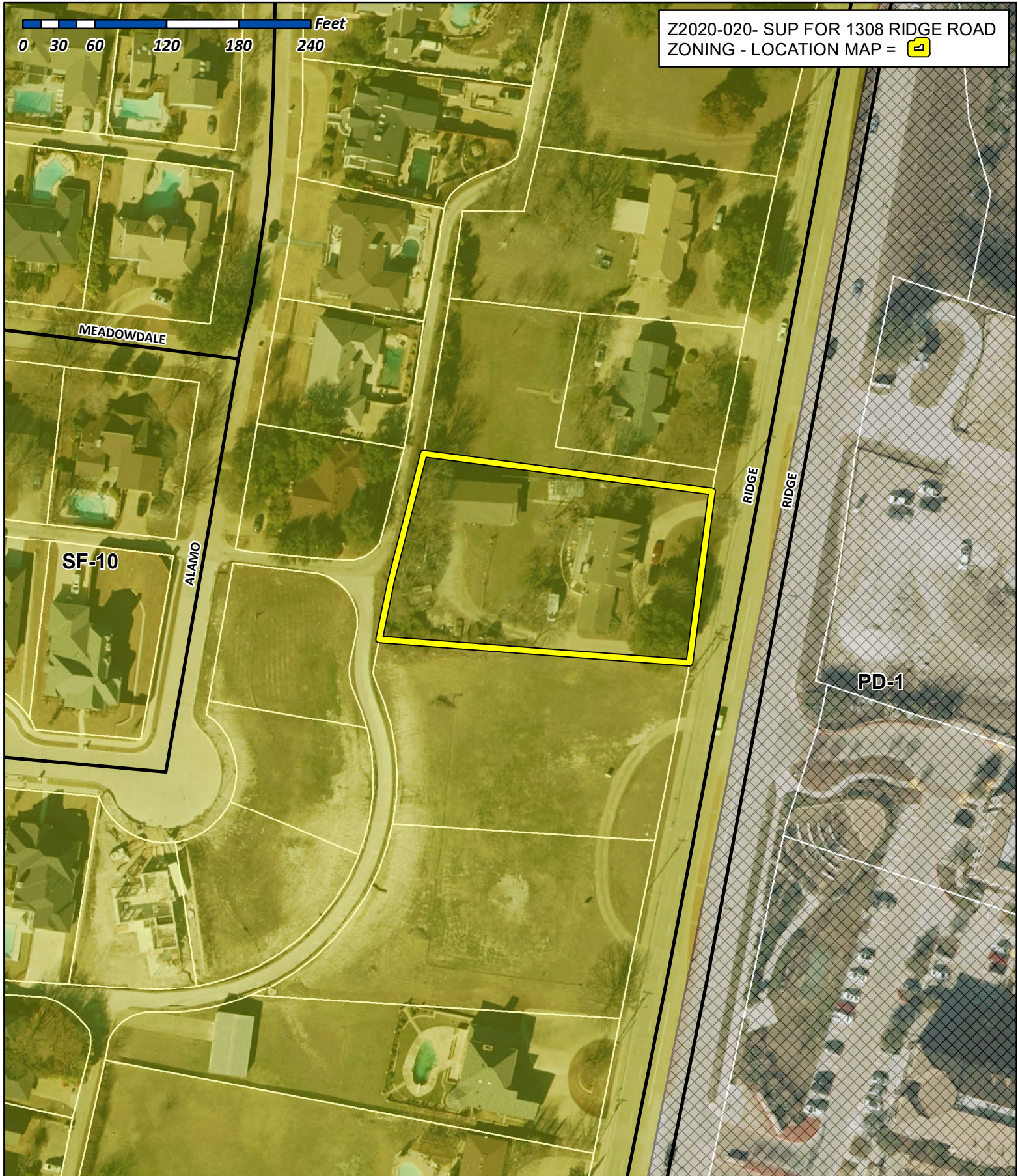
Victoria Kaprantzas

Notary Public in and for the State of Texas

Vicky Morton



My Commission Expires



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

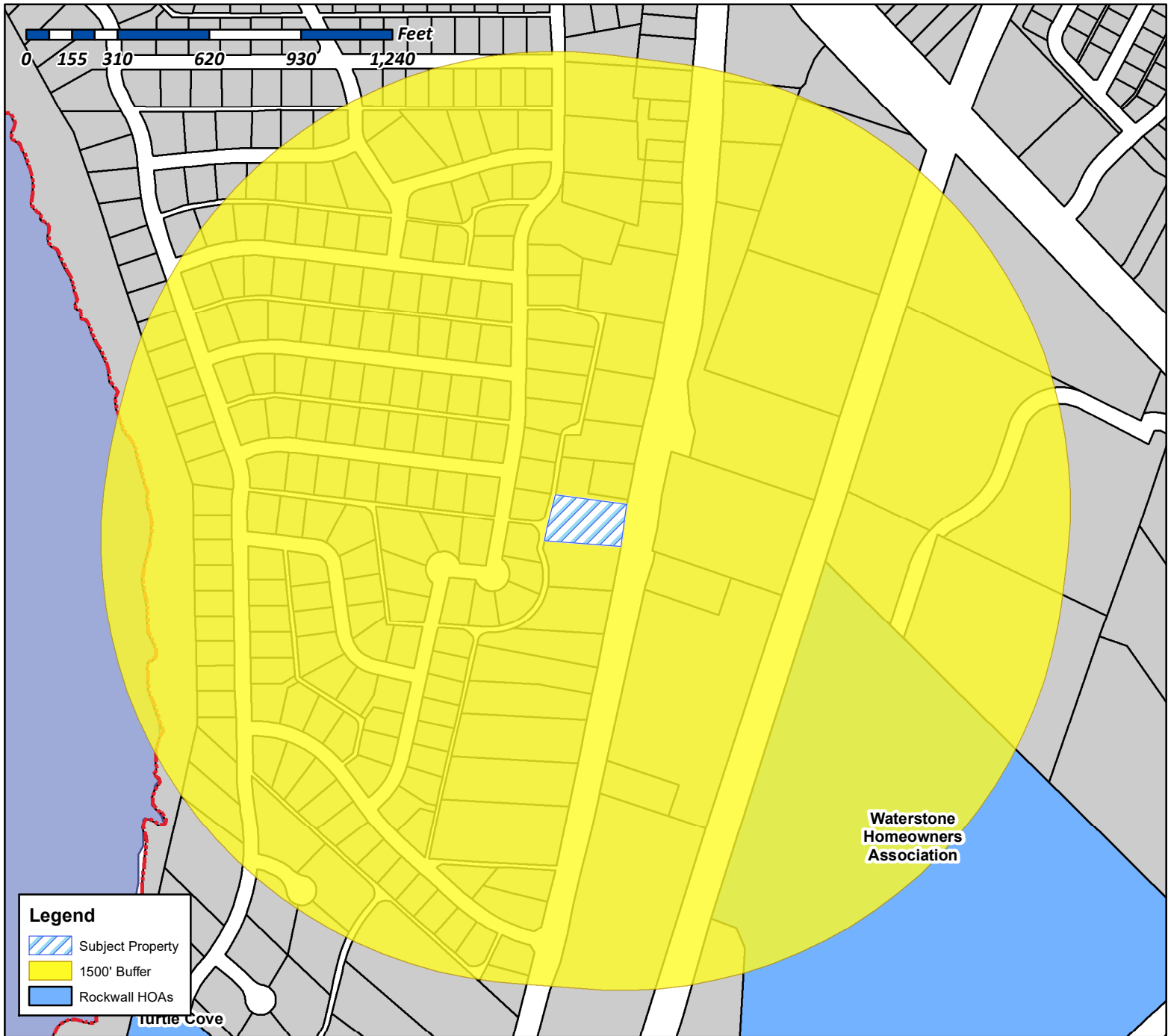




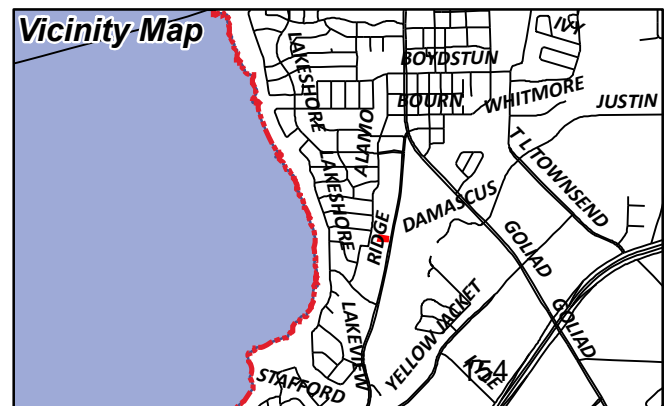
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-020
Case Name: SUP for 1308 Ridge Road
Case Type: Specific Use Permit
Zoning: Single-Family 10 (SF-10) District
Case Address: 1308 Ridge Road



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, May 20, 2020 11:44:54 AM
Attachments: [HOA Map \(05.18.2020\).pdf](#)
[PUBLIC NOTICE.PDF](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 29, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 9, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 15, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-020 SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

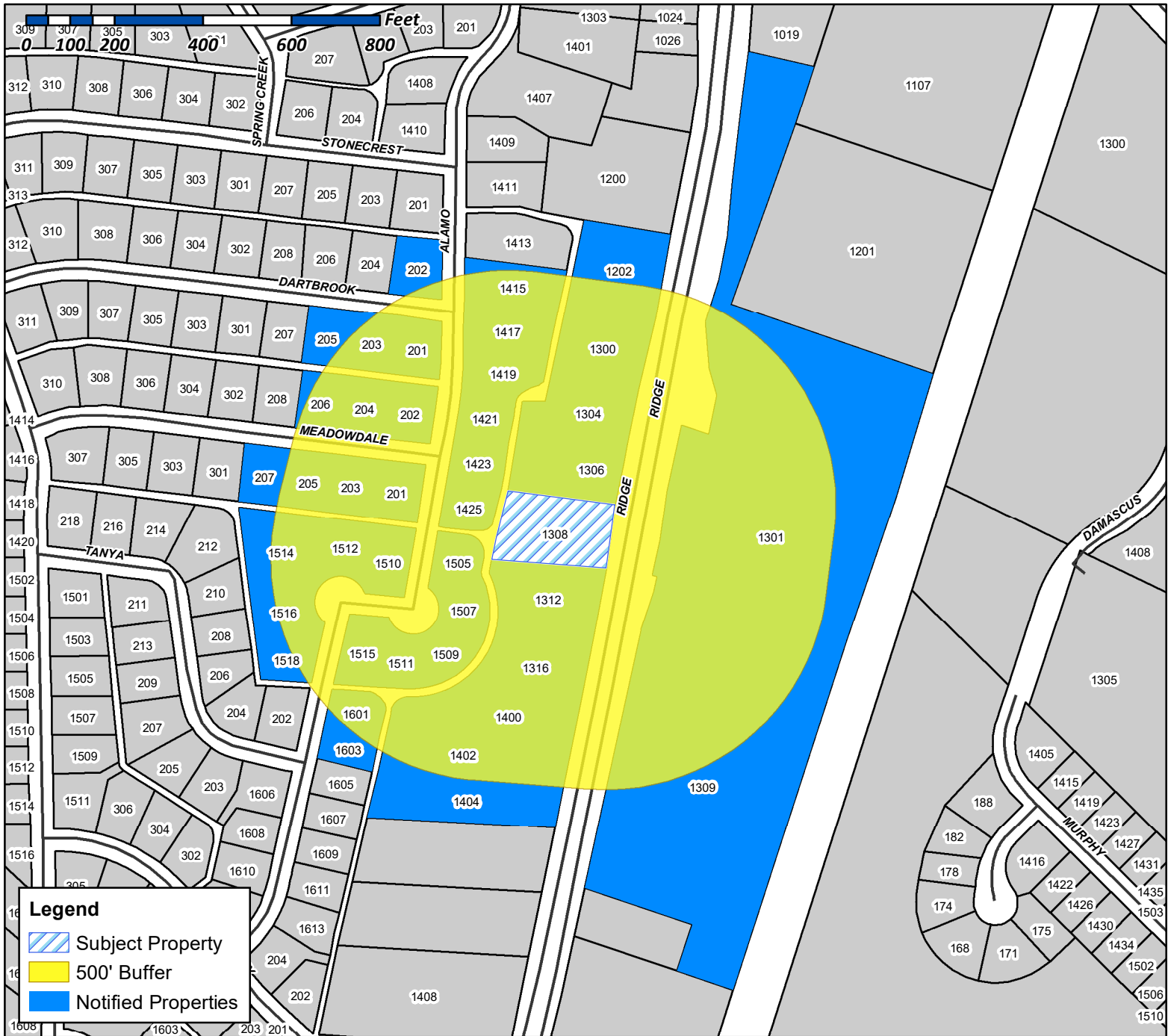
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

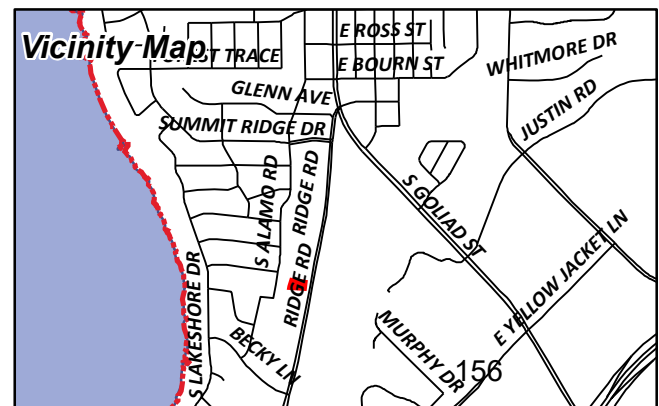
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Case Number: Z2020-020
Case Name: SUP for 1308 Ridge Road
Case Type: Specific Use Permit
Zoning: Single-Family 10 (SF-10) District
Case Address: 1308 Ridge Road

Date Created: 5/18/2020

For Questions on this Case Call (972) 771-7745



VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1202 RIDGE
ROCKWALL, TX 75087

STEGMAN WILLIAM JR
12640 EAST NORTHWEST HWY SUITE 409
DALLAS, TX 75228

CURRENT RESIDENT
1300 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1301 RIDGE
ROCKWALL, TX 75087

JACOBS DAVID R & BEVERLY
1304 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1306 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1308 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1309 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1312 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1316 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1400 RIDGE
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M
1402 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST
MICHAEL WAYNE ROGERS AND RELLA
VILLASANA ROGERS TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

GILLOCK MICHAEL J AND JEANETTE L
1415 S ALAMO RD
ROCKWALL, TX 75087

UNDERWOOD MARK ALLAN
1417 S ALAMO
ROCKWALL, TX 75087

BROOKS RICHARD L
1419 S ALAMO RD
ROCKWALL, TX 75087

DEEN JASON AND JENNIFER
1421 S ALAMO RD
ROCKWALL, TX 75087

ROSS JOSHUA A
1423 S ALAMO RD
ROCKWALL, TX 75087

PINNELL CHARLES C & GENEVA
1425 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1505 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1507 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1509 S ALAMO
ROCKWALL, TX 75087

PARRISH GERALD L JR AND JENNIFER F
1510 S ALAMO RD
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE
1511 S ALAMO RD
ROCKWALL, TX 75087

SCROGGS JUSTIN D
1512 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1514 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1515 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1516 S ALAMO
ROCKWALL, TX 75087

CARLSEN SCOTT & JAMIE
1518 S ALAMO
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS
1592 EDMONDSON TRL
ROCKWALL, TX 75087

WEDDLE TRUST
JOHN C WEDDLE AND PAULETTE S WEDDLE
TRUSTEES
1601 S ALAMO RD
ROCKWALL, TX 75087

LYLE WILLIAM M JR & ERICA
1603 S ALAMO RD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
16600 DALLAS PARKWAY SUITE 300
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY SUITE 300
DALLAS, TX 75248

HOTT SARI D
201 DARTBROOK
ROCKWALL, TX 75087

VIZZINI SABARINA L
201 MEADOWDALE DR
ROCKWALL, TX 75087

BARNHILL BARNEY
202 DARTBROOK
ROCKWALL, TX 75087

HIRIGOYEN IGNACIO A & LISA RAE
202 MEADOWDALE DRIVE
ROCKWALL, TX 75087

MURPHREE MICHAEL G AND AMANDA L
203 DARTBROOK
ROCKWALL, TX 75087

HERRIN MARVIN ET UX
203 MEADOWDALE DR
ROCKWALL, TX 75087

TSARDOULIAS HRISTOS
204 MEADOWDALE DRIVE
ROCKWALL, TX 75087

NOLAN DANIEL & DENISE
205 DARTBROOK
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D
205 MEADOWDALE DR
ROCKWALL, TX 75087

HAIGNEY PETER F
206 MEADOWDALE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
207 MEADOWDALE
ROCKWALL, TX 75087

CAMERON LAND HOLDINGS LLC
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L
2701 SUNSET RIDGE SUITE 610
ROCKWALL, TX 75032

101 HUBBARD DR LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

ROCKWALL COMMONS LLC
341 VERACLIFF CT
OVIEDO, FL 32765

REID STEPHEN M II AND JAN K
3437 W 7TH ST #123
FORT WORTH, TX 76107

WON HOME CORPORATION
4321 BUCKNELL DRIVE
GARLAND, TX 75042

GREEN KRIS
5626 CAMBRIA DRIVE
ROCKWALL, TX 75032

KEEGAN MARTHA SUE
LIBERTY HEIGHTS GRACIOUS RETIREMENT
LIVING
936 W. YELLOW JACKET LANE
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

PEOPLES BILLY W
PO BOX 35
ROCKWALL, TX 75087

CRUSE ROBERT B AND MARGARET A
PO BOX 5468
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-020: SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-020: SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTICE OF PUBLIC HEARING

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Case No. Z2020-020: SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

EXISTING STRUCTURE SO OK

Name:

DW BOBER

Address:

1310 RIDGE RD (1312 & 1316)

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-020: SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

EXISTING STRUCTURE SO OK

Name:

DW BOAST

Address:

1400 RIDGE RD

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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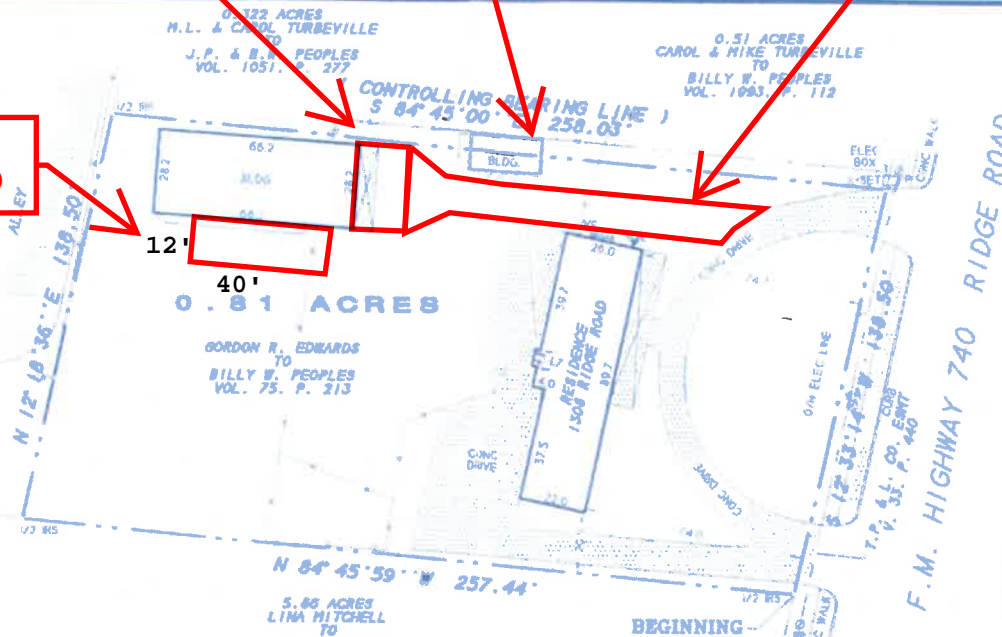
NEW 28' X 21'
CARPORT

STRUCTURE
REMOVED

NEW 12' DRIVEWAY
TO GUEST QUARTERS

NEW 12' X 40'
CONCRETE PATIO

RIDGE ROAD VILLAGE
CAB. A. SLIDE 131



DESCRIPTION

All that certain lot, tract or parcel of land situated in the DANIEL ATKINS SURVEY, ABSTRACT NO. 1, City of Rockwall, Rockwall County, Texas, and being all of that 0.817 acres tract of land as described in a Warranty deed from Gordon R. Edwards to Billy W. Peoples, dated March 31, 1986 and being recorded in Volume 75, Page 213 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of F.M. Highway 740 Ridge Road, at the Southeast corner of said 0.817 acres tract of land, said point being at the Northeast corner of a 5.86 acres tract of land as described in a Deed from Linda Mitchell to O.L. Mitchell, as recorded in Volume 126, Page 907 of the Deed Records of Rockwall County, Texas;

THENCE N. 84 deg. 45 min. 59 sec. W. along the North line of said Mitchell tract, a distance of 257.44 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the East boundary line of RIDGE ROAD VILLAGE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 131 of the Plat Records of Rockwall County, Texas;

THENCE N. 12 deg. 18 min. 36 sec. E. along the East line of said Addition, a distance of 138.50 feet to a 1/2" iron rod found for corner at the Northwest corner of said Peoples tract;

THENCE S. 84 deg. 45 min. 00 sec. E. (Controlling bearing line) along the North line of said Peoples tract, a distance of 258.03 feet to an "X" cut in concrete for corner at the Northeast corner of same, said point being in the West right-of-way line of F.M. Highway 740 Ridge Road;

THENCE S. 12 deg. 33 min. 14 sec. W. along said right-of-way line, a distance of 138.50 feet to the POINT OF BEGINNING and containing 0.81 acres of land.

BEGINNING

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED IN VOL. 75, PG. 213, D.R.R.C.T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Petty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for RANGER TITLE COMPANY, WMC MORTGAGE CORP. and BILLY W. PEOPLES at 1308 RIDGE ROAD, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 13th day of May, 2004.

Harold D. Petty III, R.P.L.S. No. 5034

R.S.C.I.

ROCKWALL SURVEYING CO., INC. LAND SURVEYING

1884 S. FM 861 ROYSE CITY, TX 75189 972-772-5434 PHONE 972-772-5443 FAX



SYMBOL LEGEND			
TV	DATA	TEL	PH
WALL	WALL	WALL	WALL
BLK	BLK	BLK	BLK
BLK	BLK	BLK	BLK
BLK	BLK	BLK	BLK
BLK	BLK	BLK	BLK
BLK	BLK	BLK	BLK
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BLK	BLK	BLK	BLK

MAY 13 2004
40 P.C. 20040839
PEOPLES 20040839















CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT AND CARPORT THAT EXCEED THE MAXIMUM ALLOWABLE SIZE ON A 0.81-ACRE TRACT OF LAND IDENTIFIED AS TRACT 27 OF THE D. ATKINS SURVEY, ABSTRACT NO. 1, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that exceed the maximum allowable size on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* as stipulated by Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and to the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling* and *Carport* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the concept plan, conceptual building elevations, and conceptual floor plan depicted in *Exhibits 'B', 'C' & 'D'* of this ordinance.
- (2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed a maximum size of 1,848 SF.
- (3) The *Carport* shall not exceed a maximum size of 588 SF.
- (4) The subject property shall not have more than the two (2) accessory structures (*i.e. [1] guest quarters/secondary living unit/accessory dwelling unit, and [2] carport*) without amending this Specific Use Permit (SUP).
- (5) The existing accessory building along the northern property shall be removed from the property prior to the issuance of a building permit for the *Guest Quarters/Secondary Living Unit/Accessory Dwelling* and *Carport*.
- (6) Prior to the acceptance of the *Carport* the existing driveway shall be extended to the accessory structure as depicted in *Exhibit 'B'* of this ordinance.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map

Address: 1308 Ridge Road

Legal Description: Tract 27 of the D. Atkins Survey, Abstract No. 1



Exhibit 'B':
Concept Plan

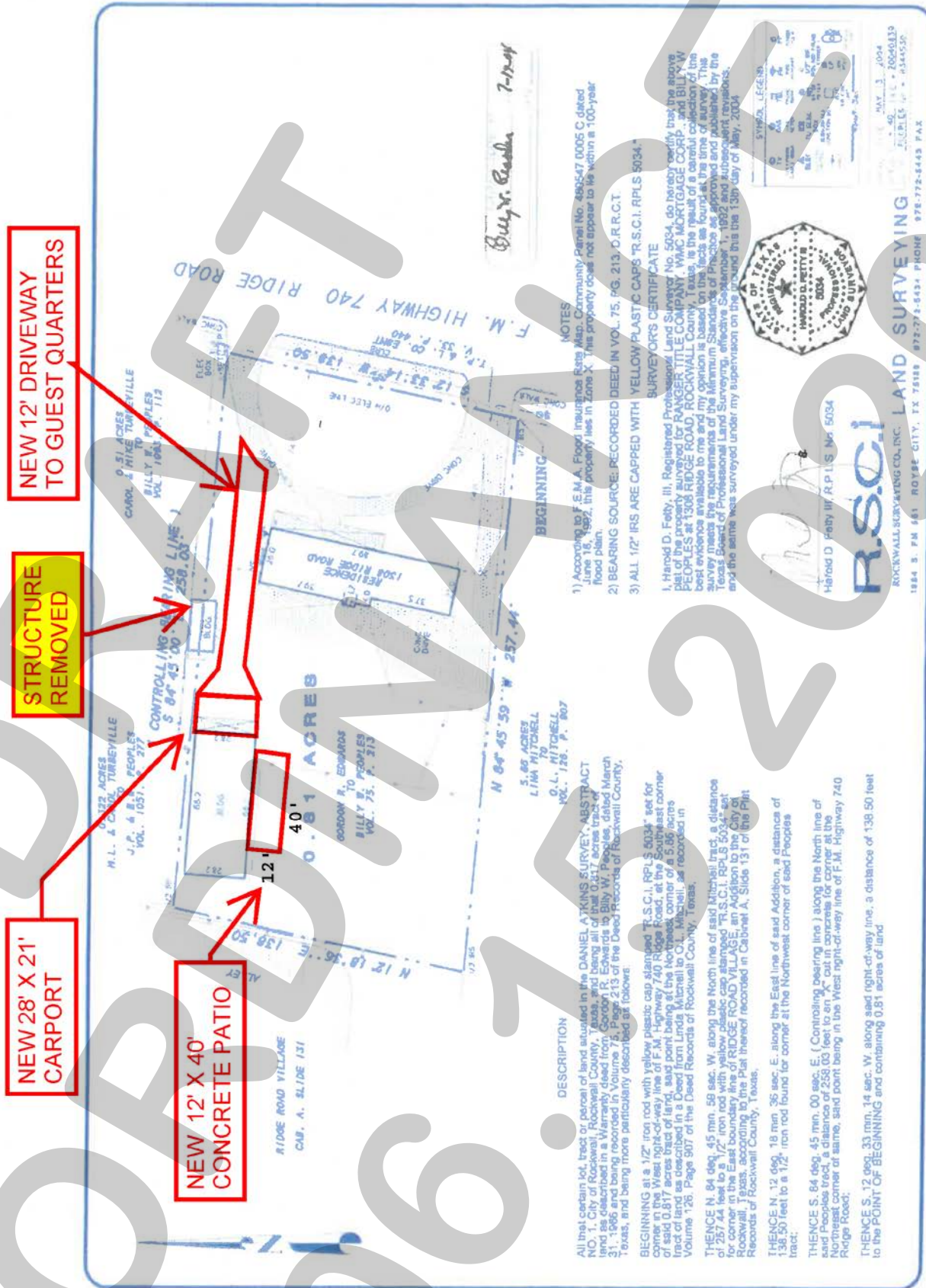


Exhibit 'C':
Conceptual Building Elevations



Exhibit 'D':
Conceptual Floor Plan





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: Z2020-021; *ZONING CHANGE FROM AGRICULTURAL (AG) DISTRICT TO SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT AT WALLACE LANE AND HORIZON ROAD [FM-3097]*

Attachments

Development Application
Location Map
HOA Map
PON Map
PON List
Public Notice
Property Owner Notification
Applicants Letter
Surveys
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

Background

The subject property is a four (4) acre portion of a larger tract of land that is situated within the W.W. Ford Survey, Abstract No. 80 and is generally located at the northwest quadrant of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and is commonly referred to as the *Wallace Tract*. The City Council approved *Ordinance No. 08-13*, annexing the subject property on February 18, 2008. At the time of annexation, the subject property was zoned as Agricultural (AG) District. No portion of the subject property has been rezoned since the property was annexed.

Purpose

On May 15, 2020, the applicants -- *Donald and Cathy Wallace* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District.

Adjacent Land Uses and Access

The subject property is generally located at the northwest quadrant of the intersection of H. Wallace Lane and Horizon Road [FM-3097]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this thoroughfare is the eastside of the Lake Rockwall Estates subdivision, which is zoned Planned Development District 75 (PD-75) [Ordinance No. 16-01] for Single-Family 7 (SF-7) District land uses. Adjacent to this property on the eastside of Lake Rockwall Estates is an 84.0-acre vacant tract of land being a portion of a larger 144.0-acre tract of land identified as Tract 3 of the J. R. Johnson Survey, Abstract No. 128. This property is zoned Agricultural (AG) District.

South: Directly south of the subject property is Horizon Road [FM-3097], which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the City's corporate boundaries followed by the City of Heath. On the eastside, south of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are several residential land uses zoned Agricultural (AG) and Single-Family Estate 1.5 & 2.0 (SFE-1.5 & SFE-2.0) Districts. In addition, there are several office buildings zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. These uses are a part of the Alliance Addition office park.

East: Directly east of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are the Oaks of Buffalo Way and Willowcrest Estates Subdivisions, which consist of 91 single-family residential lots. These subdivisions are zoned Single-Family Estate 1.5 (SFE-1.5) District and Planned Development District 51 (PD-51) for single-family estate land uses.

West: Directly west of the subject property are several non-residential properties zoned Commercial (C) District. Beyond this is Ranch Trail Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan.

Characteristics of the Request

The applicant is requesting to rezone the four (4) acre portion of subject property from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for the purpose of constructing a single-family residential home on each of the two (2) acre lots. It should be noted that the applicant will be required to final plat the four (4) acre tract into two (2) buildable lots in order to construct the homes.

Infrastructure

Based on the applicant's submittal the following infrastructure is required:

Water Improvements

The Water Distribution Master Plan indicates that a 12-inch waterline will be constructed in the front of these properties in the future. The applicant will be required to dedicate a 20-foot utility easement at the front property line at the time of platting in order to accommodate the installation of the water line.

Sewer Improvements

Since City sanity sewer lines are greater than 100-feet from the subject property and the proposed lots will both be greater than 1½-acre in size, the applicant will need to provide an On-Site Sewage Facility (OSSF) meeting the City of Rockwall and Rockwall County's standards.

Roadways

The Master Thoroughfare Plan contained in the Comprehensive Plan indicates *H. Wallace Lane* is identified as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible dedicating any additional right-of-way (*i.e. as measured 30-feet from the centerline of the roadway*) necessary for this roadway at the time final plat.

Conformance with the City's Codes

According to Subsection 03.03, *Single-Family Estate 2.0 (SFE-2.0) District* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family Estate 2.0 (SFE-2.0) District is the proper zoning classification for rural, estate lots that are a minimum of two (2) acres in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, this portion of the *Wallace Tract (i.e. 259.924-acres)* was annexed into the City in 2008 and is primarily agriculturally used land. Staff should note that the majority of the properties adjacent to H. Wallace Lane are zoned Agricultural (AG) District, with the exception of two (2) properties that were rezoned in the past creating four (4) Single-Family Estate Lots (*i.e. SFE-2.0 & SFE-1.5*). If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for the Single-Family Estate 2.0 (SFE-2.0) District, which are summarized as follows:

<i>Development Standards</i>	<i>Single-Family Estate 2.0 (SF-2.0) District</i>
<i>Number of Dwelling Units/Lot</i>	<i>1.0</i>
<i>Number of Dwelling Units/Acre</i>	<i>1.0</i>
<i>Minimum Dwelling Unit</i>	<i>2,200 SF</i>

<i>Minimum Lot Area</i>	<i>87,120 SF</i>
<i>Minimum Lot Width</i>	<i>150-Feet</i>
<i>Minimum Lot Depth</i>	<i>250-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>50-Feet</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>
<i>Minimum Side Yard Setback</i>	<i>25-Feet</i>
<i>Between Buildings</i>	<i>10-Feet</i>
<i>Building Height</i>	<i>36-Feet</i>
<i>Maximum Lot Coverage</i>	<i>35%</i>
<i>Required Parking Spaces</i>	<i>2</i>

Conformance with OURHometown Vision 2040 Comprehensive Plan

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Southwest Residential District* and is designated for *Low Density Residential (LDR)* land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District, is in conformance with the *Low Density Residential (LDR)* designation. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "... (p)reserve the City's current residential to non-residential land use ratio (*i.e. 80% Residential; 20% Commercial*) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.90% residential land uses to 24.10% non-residential land uses. Since this request is in conformance with the *Land Use Plan*, the land use ratio will remain unchanged if approved.

Notifications

On May 29, 2020, staff notified eight (8) property owners and occupants within 500-feet of the subject property. There are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

Conditions of Approval

If the City Council chooses to approve the applicant's request to rezone the subject property from an *Agricultural (AG) District* to a *Single-Family Estate 2.0 (SFE 2.0) District*, then staff would propose the following conditions of approval:

(1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission made a motion to recommend approval of the zoning change from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for the subject property with staff conditions. The motion was approved by a vote of 7-0.

Action Needed

The City Council is being asked to consider the applicant's request for a zoning change and [1] approve, [2] approve with conditions, or [3] deny the request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☒ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address ADJACENT TO 330 H. WALLACE LN. ROCKWALL, TX 75032

Subdivision WALLACE TRACT

Lot

Block

General Location HORIZON / WALLACE LN.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG/FARM

Current Use AG/FARM

Proposed Zoning RESIDENTIAL

Proposed Use SINGLE FAMILY RES.

Acreage 4

Lots [Current] 1

Lots [Proposed] 2

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner DONALD & CATHY WALLACE

☐ Applicant

Contact Person CATHY WALLACE

Contact Person

Address 330 H. WALLACE LN

Address

City, State & Zip ROCKWALL, TX 75032

City, State & Zip

Phone 214-668-7752

Phone

E-Mail catlyn52@gmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared CATHY WALLACE [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 260.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 15th day of May, 20 20.

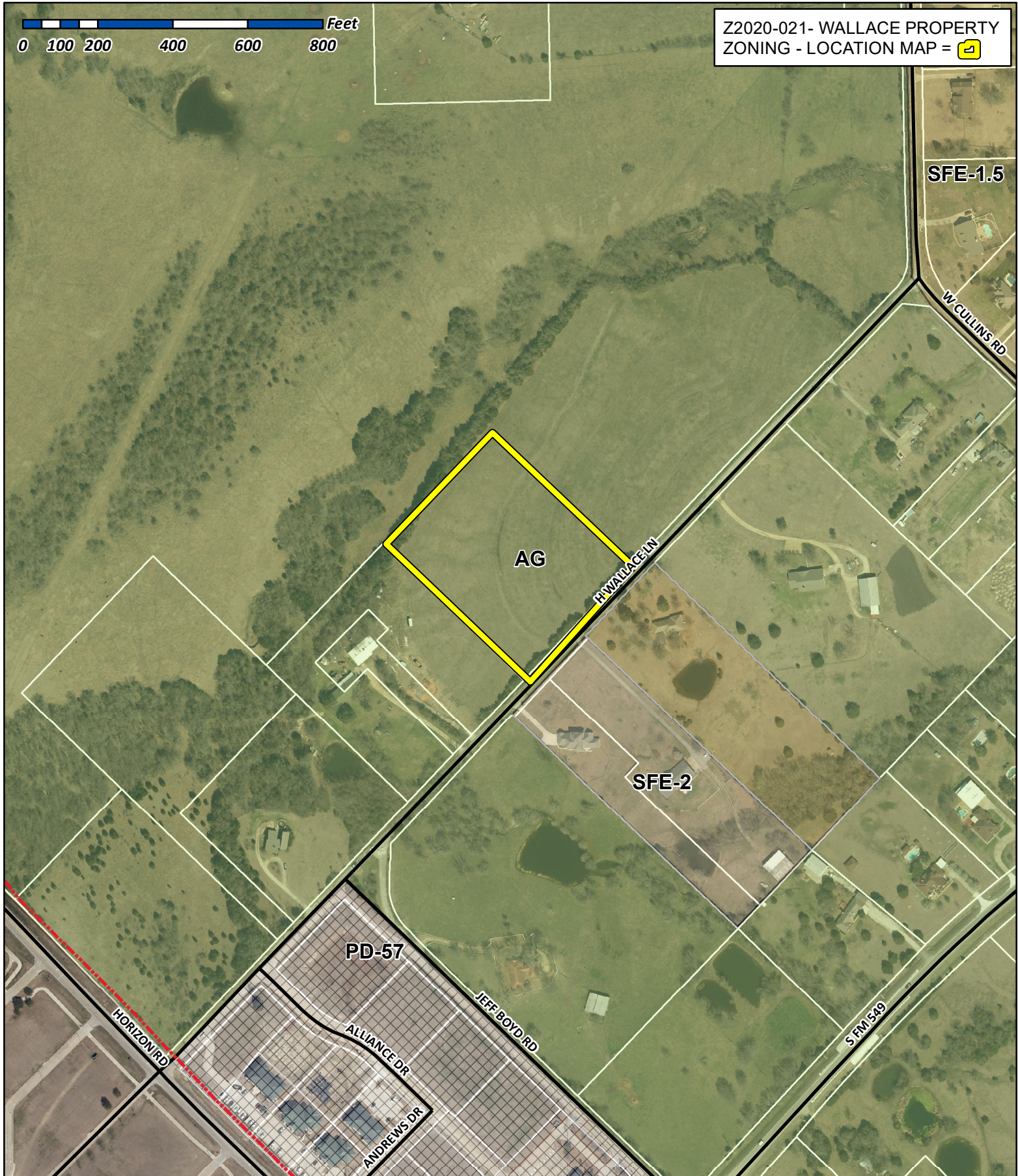
Owner's Signature

Cathy Wallace

Notary Public in and for the State of Texas

Misti A. Jones





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

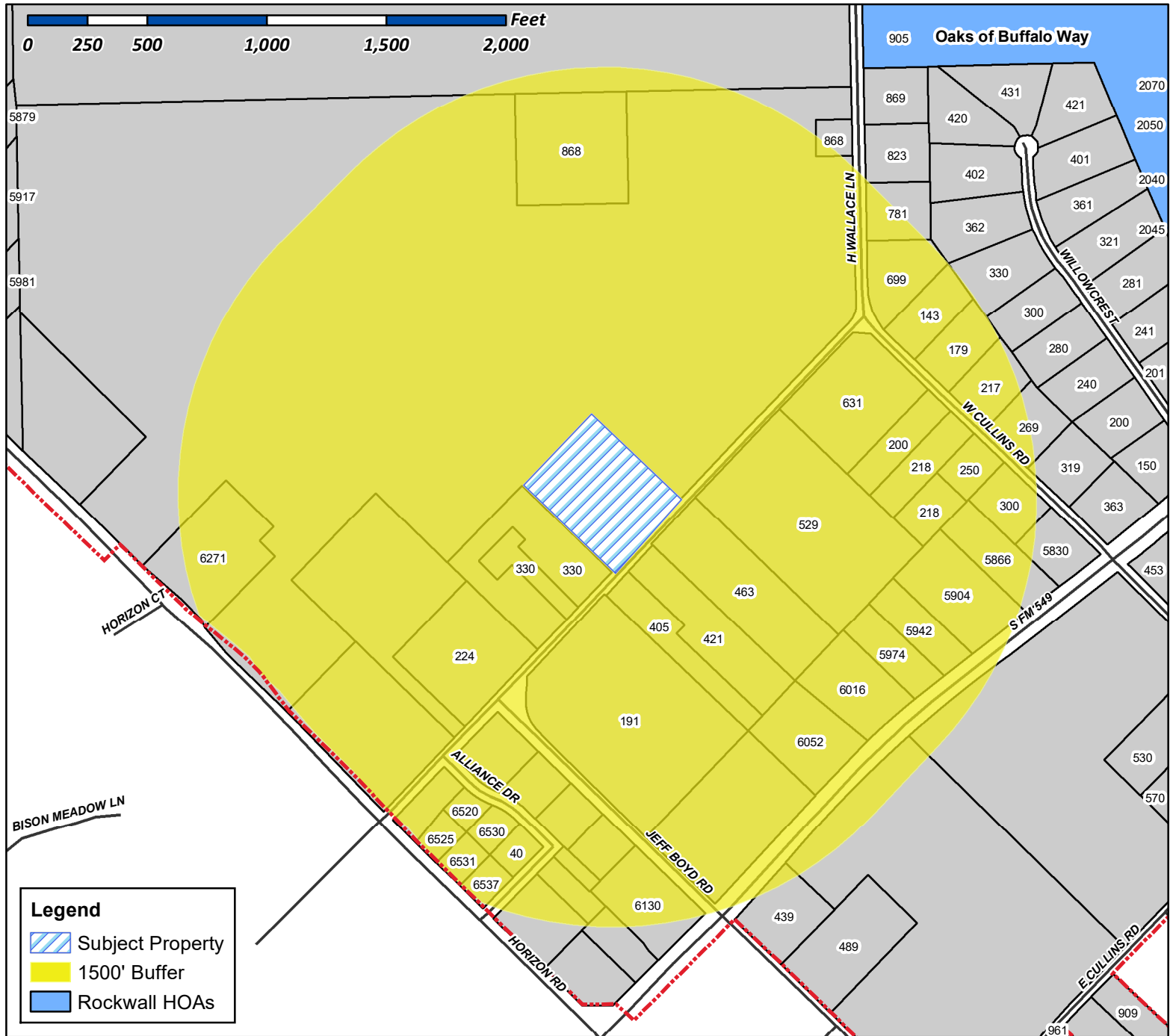




City of Rockwall

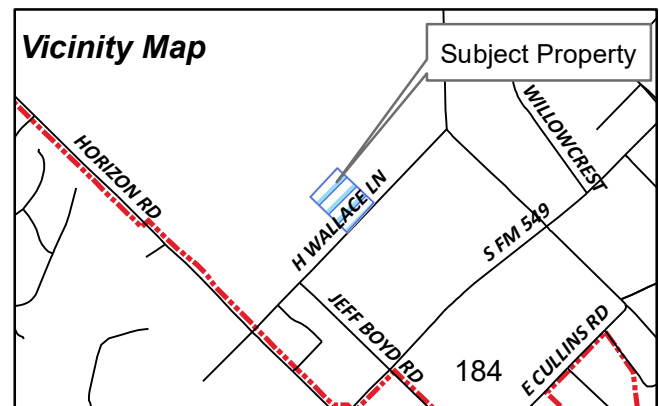
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-021
Case Name: Zoning Change AG to SFE-1.5
Case Type: Zoning
Zoning: AG
Case Address: Wallace Property

Date Created: 5/19/2020
For Questions on this Case Call (972) 771-7745



HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

MORTON MARGARET ANNE WALLACE
224 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

KRECEK RICHARD L AND JANETTE C
405 H WALLACE LN
ROCKWALL, TX 75032

PALOMBA LISA
421 H WALLACE LN
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-021: Zoning Change from Agricultural (AG) District to Single-Family Estate 2.0 (SFE-2.0) District for Wallace Property

Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W. W. Ford Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— . . . PLEASE RETURN THE BELOW FORM —

Case No. Z2020-021: Zoning Change for Zoning Change from Agricultural (AG) District to Single-Family Estate 2.0 (SFE-2.0) District for Wallace Property

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-021: Zoning Change for Zoning Change from Agricultural (AG) District to Single-Family Estate 2.0 (SFE-2.0) District for Wallace Property

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Margaret Anne Wallace Morton

Address:

214 H. WALLACE LN.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

5-15-20

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, Tx. 75087

RE: Rezoning Request

To Whom it May Concern,

Please accept this letter as a request to rezone four (4) total acres of our property, directly adjacent to 330 H. Wallace Lane, Rockwall, Tx. 75032, from Agriculture/Farming, to Residential/Single-Family Housing. Once the property has been rezoned, it is our goal to sell/gift the property to our son and daughter so that they will be able to build a home on the property.

If you should have any questions or concerns, please do not hesitate to give me a call.

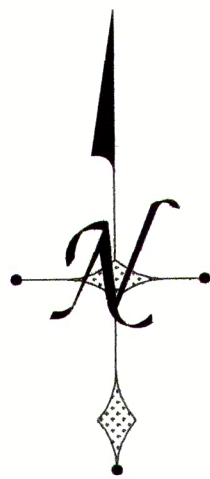
Thank you for your time and consideration ~

Regards,

A handwritten signature in cursive script that reads "Don Wallace Cathy Wallace". The signature is written in black ink and is positioned above the printed names.

Donald & Cathy Wallace

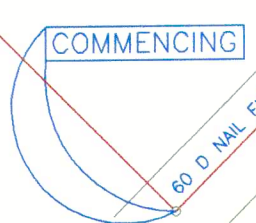
REMAINDER OF
DONALD WALLACE
VOLUME 177, PAGE 750



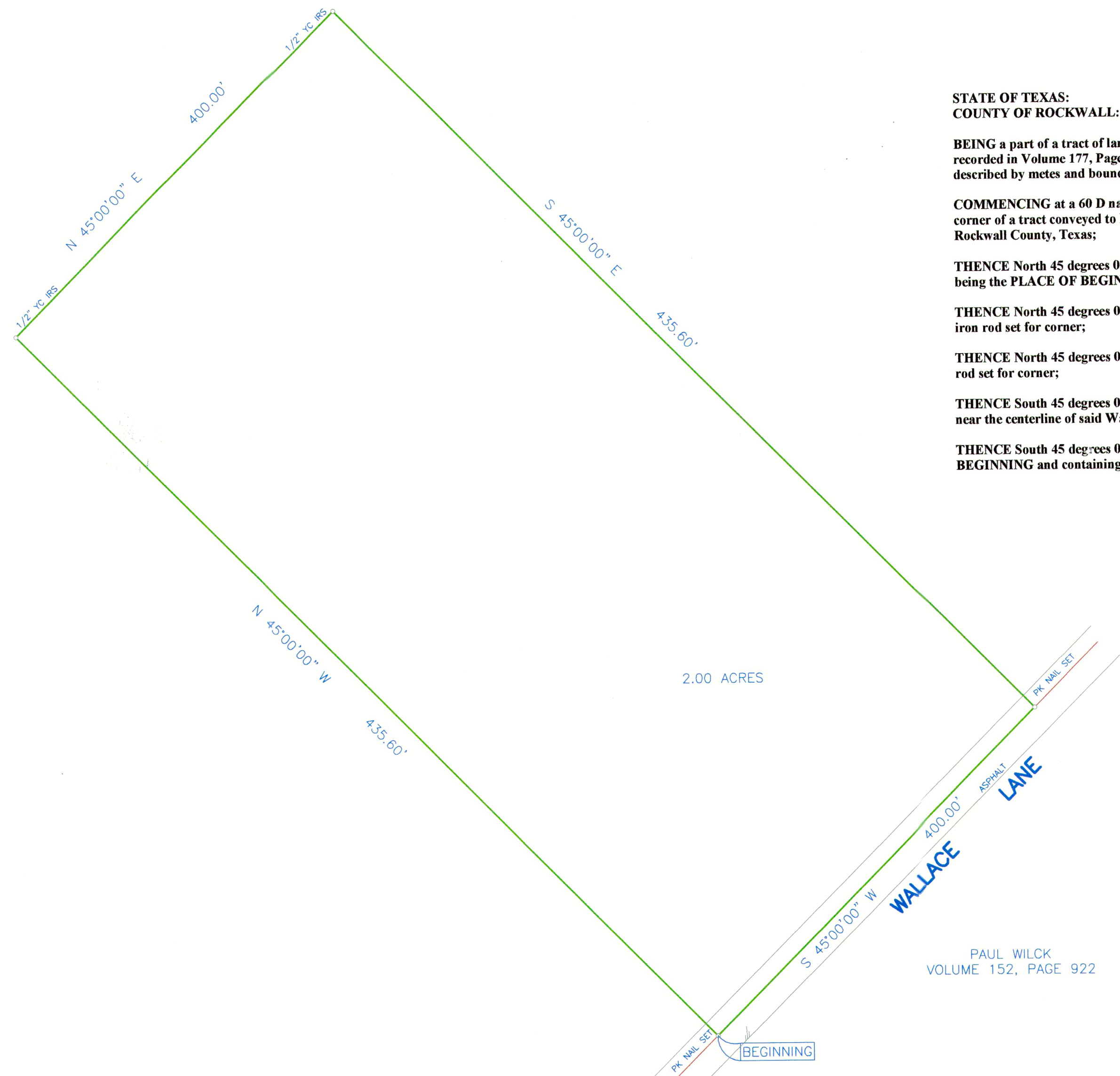
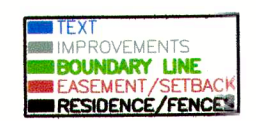
THIS CERTIFICATION DOES NOT
TAKE INTO CONSIDERATION
ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

TITLE AND ABSTRACTING WORK FURNISHED BY DON WALLACE

DONALD WALLACE
VOLUME 6568, PAGE 258



THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
DON WALLACE
USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK AND
UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS
FOR ANY LOSS RESULTING THEREFROM.



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a part of a tract of land situated in the Headright Survey of W.W. Ford conveyed to Donald Wallace as recorded in Volume 177, Page 150 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 60 D nail found for corner near the centerline of Wallace Lane, a being the Southeast corner of a tract conveyed to Donald Wallace as recorded in Volume 6568, Page 258 of the Deed Records of Rockwall County, Texas;

THENCE North 45 degrees 00 minutes 00 seconds East a distance of 284.70 feet to a PK nail set for corner and being the PLACE OF BEGINNING;

THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

THENCE South 45 degrees 00 minutes 00 seconds West, a distance of 400.00 feet to the PLACE OF BEGINNING and containing 2.00 acre of land.

PAUL WILCK
VOLUME 152, PAGE 922

RHODES
Surveying
WWW.RHODESURVEYING.COM

SURVEY PLAT

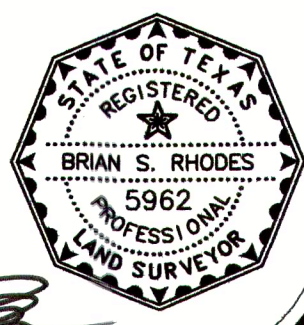
BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. WALLACE LANE, in the city ROCKWALL, ROCKWALL COUNTY Texas.

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

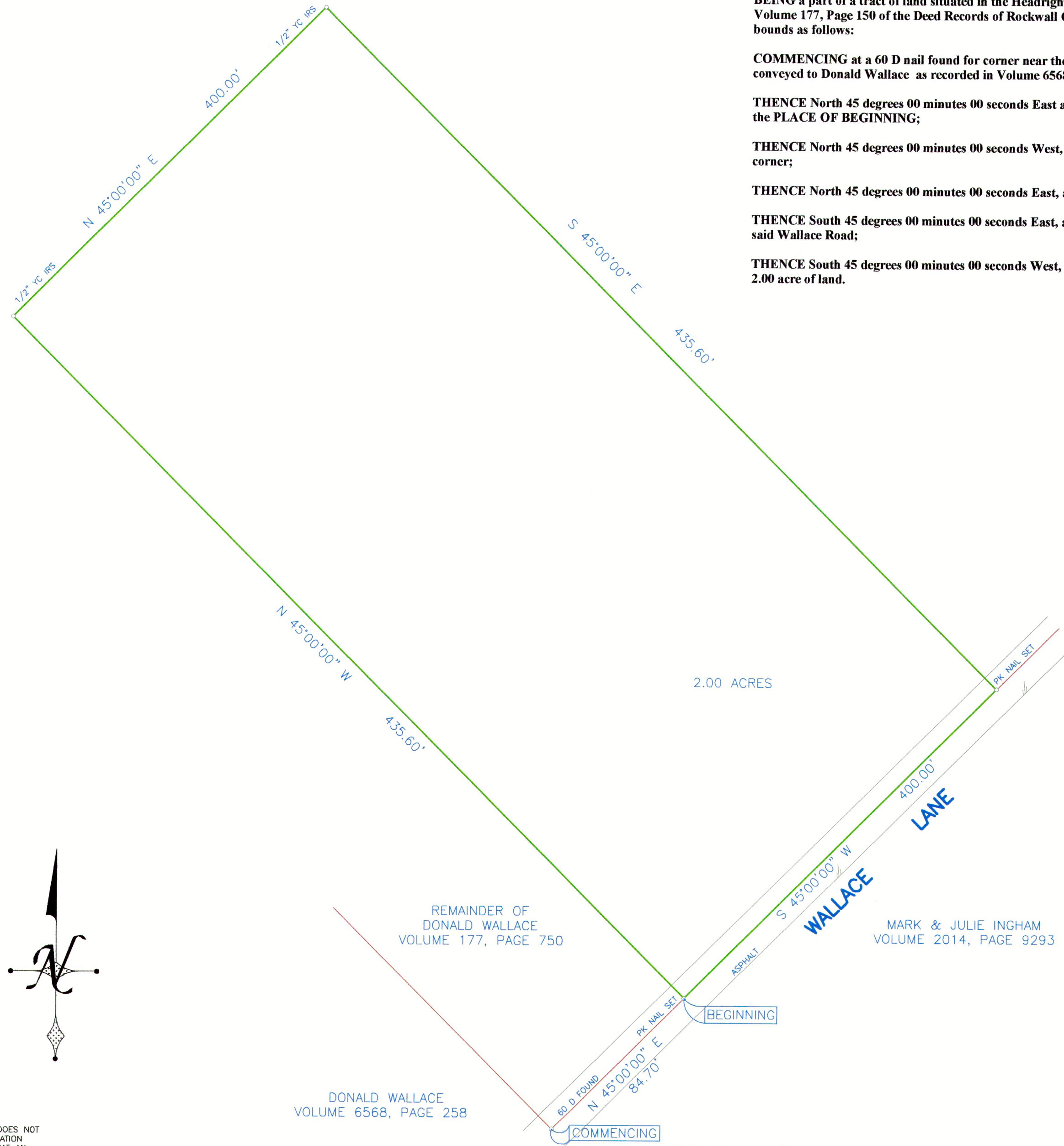
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'
Date: 07/25/2014
G. F. No.:
Job no.: 83951-B
Drawn by: CW

P.O. BOX 175
FATE TEXAS 75132
PHONE 972-475-8940
FAX 972-475-9036



REMAINDER OF
DONALD WALLACE
VOLUME 177, PAGE 750



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a part of a tract of land situated in the Headright Survey of W.W. Ford conveyed to Donald Wallace as recorded in Volume 177, Page 150 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

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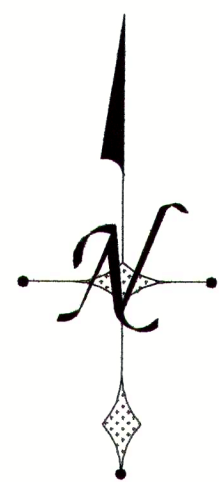
THENCE North 45 degrees 00 minutes 00 seconds East a distance of 84.70 feet to a PK nail set for corner and said point being the PLACE OF BEGINNING;

THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

THENCE South 45 degrees 00 minutes 00 seconds West, a distance of 400.00 feet to the PLACE OF BEGINNING and containing 2.00 acre of land.



REMAINDER OF
DONALD WALLACE
VOLUME 177, PAGE 750

DONALD WALLACE
VOLUME 6568, PAGE 258

MARK & JULIE INGHAM
VOLUME 2014, PAGE 9293

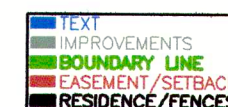
2.00 ACRES

BEGINNING

COMMENCING

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
DON WALLACE

USE OF THIS SURVEY FOR ANY OTHER PURPOSE
OR OTHER PARTIES SHALL BE AT THEIR RISK AND
UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS
FOR ANY LOSS RESULTING THEREFROM.



RHODES
Surveying
WWW.RHODESSURVEYING.COM

SURVEY PLAT

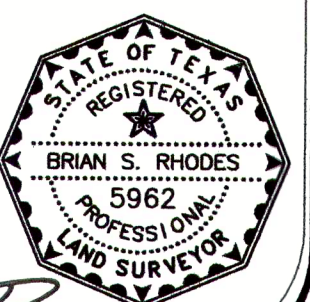
BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. _____, in the city of _____, Rockwall County, Texas.

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'
Date: 07/25/2014
G. F. No.:
Job no.: 83951-A
Drawn by: CW

P.O. BOX 175
FATE TEXAS 75132
PHONE 972-475-8940
FAX 972-475-9036



THIS CERTIFICATION DOES NOT
TAKE INTO CONSIDERATION
ADDITIONAL FACTS THAT AN
ACCURATE TITLE SEARCH AND OR
EXAMINATION MIGHT DISCLOSE.

TITLE AND ABSTRACTING WORK FURNISHED BY _____ DON WALLACE

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT FOR A FOUR (4) ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACT 44-01 OF THE W.W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Donald and Cathy Wallace for a change in zoning from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SF-2.0) District.

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family Estate 2.0 (SFE-2.0) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.03, *Single-Family Estate 2.0 (SFE-2.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Legal Description

Legal Description for Tract 1:

**STATE OF TEXAS:
COUNTY OF ROCKWALL:**

BEING a part of a tract of land situated in the Headright Survey of W.W. Ford conveyed to Donald Wallace as recorded in Volume 177, Page 150 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 60 D nail found for corner near the centerline of Wallace Lane, a being the Southeast corner of a tract conveyed to Donald Wallace as recorded in Volume 6568, Page 258 of the Deed Records of Rockwall County, Texas;

THENCE North 45 degrees 00 minutes 00 seconds East a distance of 284.70 feet to a PK nail set for corner and being the PLACE OF BEGINNING;

THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a ½ inch yellow-capped iron rod set for corner;

THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a ½ inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

THENCE South 45 degrees 00 minutes 00 seconds West, a distance of 400.00 feet to the PLACE OF BEGINNING and containing 2.00 acre of land.

Legal Description for Tract 2:

**STATE OF TEXAS:
COUNTY OF ROCKWALL:**

BEING a part of a tract of land situated in the Headright Survey of W.W. Ford conveyed to Donald Wallace as recorded in Volume 177, Page 150 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 60 D nail found for corner near the centerline of Wallace Lane, a being the Southeast corner of a tract conveyed to Donald Wallace as recorded in Volume 6568, Page 258 of the Deed Records of Rockwall County, Texas;

THENCE North 45 degrees 00 minutes 00 seconds East a distance of 84.70 feet to a PK nail set for corner and said point being the PLACE OF BEGINNING;

THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a ½ inch yellow-capped iron rod set for corner;

THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a ½ inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

THENCE South 45 degrees 00 minutes 00 seconds West, a distance of 400.00 feet to the PLACE OF BEGINNING and containing 2.00 acre of land.

Exhibit 'B' Survey

Survey for Tract 1

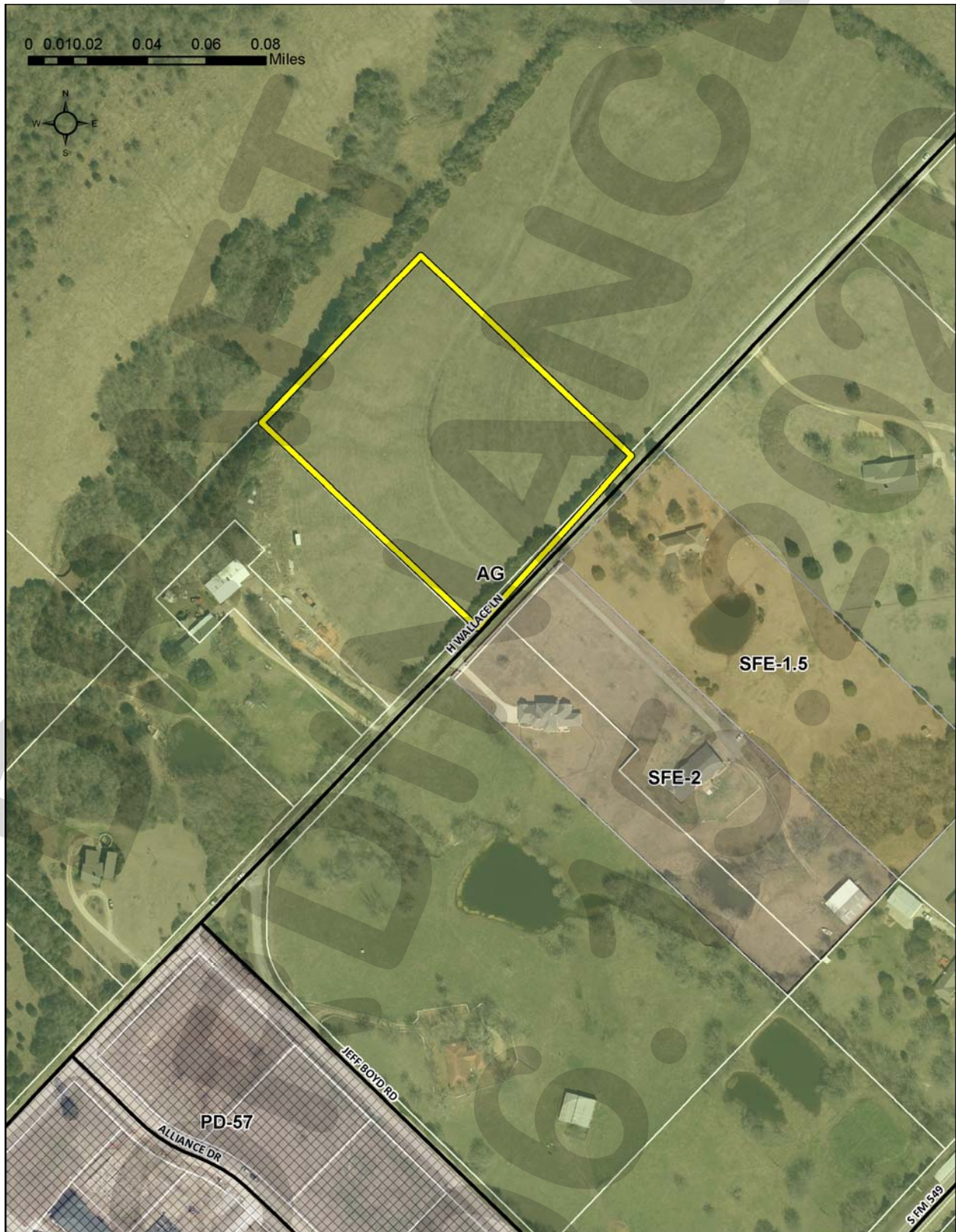


Survey for Tract 2



Exhibit 'C'
Location Map & Legal Description

General Location: Northeast of the Intersection of H. Wallace Lane and Horizon Road [FM3097]
Legal Description: A Portion of Tract 44-01 of the W.W. Ford Survey, Abstract No. 80





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: Z2020-022; *SPECIFIC USE PERMIT (SUP) FOR A DETACHED GARAGE AT 803 KERNODLE STREET*

Attachments

Development Application
Location Map
HOA Map
Neighborhood Notification Email
PON Map
PON List
Public Notice
Property Owner Notification
Concept Plan
Building Elevations
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a *Specific Use Permit (SUP)* for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

Background

The subject property is considered to be a part of the Old Town, and was platted with the B. F. Boydston Addition prior to 1959 and after 1934 (*per the 1934 Sanborn maps and the City's annexation ordinances*). According to the City's historic zoning maps the subject property has been zoned Single-Family 7 (SF-7) District since at least May 16, 1983. Prior to this, the City's historic zoning maps show that the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. According to the Rockwall Central Appraisal District (RCAD) the home on the subject property was constructed in 1964 and has a total building footprint of 2,862 SF (2,014 SF of Living Area).

Purpose

The property owner and applicant -- *Brad Johnson* -- is requesting the approval of a Specific Use Permit (SUP) to construct an detached garage that exceeds the maximum square footage permitted for detached garages as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

Adjacent Land Uses and Access

The subject property is addressed as 803 Kernodle Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) single-family homes (*i.e. 805 & 807 Kernodle Street*) zoned Single-Family 7 (SF-7) District. North of this is the intersection of E. Heath Street and N. Fannin Street. N. Fannin Street is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Harris Heights Subdivision, which is zoned Single-Family 7 (SF-7) District and contains 58 single-family residential lots.

South: Directly south of the subject property are two (2) single-family homes (*i.e. 703 & 705 Kernodle Street*) zoned Single-Family 7 (SF-7) District. Beyond this is Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is the boundary of the Historic District followed by three (3) single-family homes (*i.e. 601 & 607 Kernodle Street and 301 Margaret Street*) zoned Single-Family 7 (SF-7) District. 301 Margaret Street is designated as a *High Contributing Property* within the Historic District.

East: Directly east of the subject property is Kernodle Street, which is designated as a *R 2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) single-family homes (*i.e. 802 & 806 Kernodle Street and 801 & 803 Austin Street*) zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is Fannin Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.46-acre vacant tract of land zoned Single Family 7 (SF-7) District. Following this is the *Heath Street Pump Station*, which is owned by the City of Rockwall.

Characteristics of the Request

The applicant has submitted an application, site plan, and drawings requesting to build a 30-foot by 40-foot (*i.e. 1,200 SF*) detached garage with three (3) roll up doors facing Kernodle Street. Per the drawings provided by the applicant the detached garage will have a pitched roof and be a total height of 12-feet. The exterior of the accessory building will be clad in metal and the roof will utilize an asphalt shingle that is complimentary to the asphalt shingle used on the primary structure. The building will be

situated at the rear of the subject property, 36-feet behind the existing single-family home, ten (10) feet from the rear property line, and 12-feet from the northern property line. The accessory building will be situated behind a six (6) foot fence and be slightly visible Kernodle Street and Fannin Street. Staff should note that the applicant has stated that he intends to install an electric gate across the driveway and extend the existing driveway to the proposed structure.

Conformance with the City's Codes

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, detached garages are limited to a maximum height of 15-feet and must meet the same minimum setbacks established for the primary structure. Staff should note that the definition of a front yard setback in the Unified Development Code (UDC) states that "... (w)here lots have multiple frontages on one or more streets, the required front yard shall be provided on each street." This means that the setback adjacent to Fannin Street is treated as a front yard setback making it 20-feet. Subsection 07.04 of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

Staff Analysis

In this case, the applicant's request has two (2) issues that need to be solved through separate processes: [1] the size of the accessory building requires a Specific Use Permit (SUP), and [2] the proposed rear yard setback of the structure encroaches into the required 20-foot building setback adjacent to Fannin Street. Looking at the size of the proposed structure the code allows a maximum of 625 SF, which means that the applicant's request will exceed the maximum size by 575 SF. With regard to the issue with the setback, staff has included a provision in the draft ordinance that -- *if approved* - - will require the applicant to submit for approval through the Board of Adjustments (BOA). The reason that staff is choosing to take the Specific Use Permit (SUP) forward before the building setback variance is because the applicant would be able to adjust the structure to still be in compliance with the Specific Use Permit (SUP) ordinance if denied by the Board of Adjustments (BOA). In making a decision on the Specific Use Permit (SUP) the Planning and Zoning Commission will need to consider if the size of the structure is appropriate for the area, if the structure is compatible with the primary structure, and/or if the visibility of the structure is sufficiently screened to negate any negative impact on adjacent properties. Staff should note that due to the fact that this area predates the current requirements, there are several examples of detached garages that are larger than the current requirements. In addition, there are at least three (3) examples of detached garages on Kernodle Street that do not appear to meet the current requirements (*i.e. Estimated Detached Garage Sizes: 602 Kernodle Street – ~1,000 SF; 607 Kernodle Street – ~800 SF; 703 Kernodle Street – ~800 SF*); however, all of these structures appear to be constructed of the same or similar materials as the primary

structure. In the Planning and Zoning Commission Work Session meeting on May 28, 2020, the applicant indicated that he was constructing the structure with a brick ledge to brick the building in the future, but that he was not making that a part of this request. Staff should also note that there are other metal accessory buildings in the surrounding area, but none of these buildings are as large as what the applicant is proposing. Taking all of this into account, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Notifications

On May 27, 2020, staff mailed 99 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Association (HOA), which is the only HOA or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) notices (*i.e. one [1] mailed and three [3] online*) and two (2) email in favor of the applicant's request.

Conditions of Approval

If the City Council chooses to approve the applicant's request to for a Specific Use Permit (SUP) for a detached garage that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:

- (a) The *Detached Garage* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance.
- (b) The *Detached Garage* shall not exceed a maximum size of 1,200 SF.
- (c) The *Detached Garage* shall not exceed a maximum of 15-feet in total height.
- (d) The subject property shall not have more than one (1) accessory building.
- (e) Prior to the acceptance of the structure from the City, the applicant will be required to extend the existing driveway to the structure and provide a gate in the fence allowing the structure to function as a *Detached Garage*.

(2) The applicant will be required to submit and be approved for a variance to the building setback along Fannin Street from the Board of Adjustments (BOA).

(3) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Womble and Logan dissenting.

Action Needed

The City Council is being asked to consider the applicant's request for a Specific Use Permit (SUP) and [1] approve, [2] approve with conditions, or [3] deny the request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-022

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 803 Kennedle

Subdivision

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential

Current Use Residential

Proposed Zoning Residential

Proposed Use Residential

Acreage .67

Lots [Current] 1

Lots [Proposed] 1

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Brad Johnson

☒ Applicant Brad Johnson

Contact Person Brad Johnson

Contact Person Brad Johnson

Address 803 Kennedle

Address 803 Kennedle

City, State & Zip Rockwall, TX 75087

City, State & Zip Rockwall, TX 75087

Phone 817-781-5425

Phone 817-781-5425

E-Mail bradj@lindamood.net

E-Mail bradj@lindamood.net

NOTARY VERIFICATION [REQUIRED]

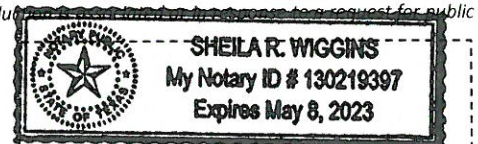
Before me, the undersigned authority, on this day personally appeared Brad Johnson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary for the purpose of request for public information."

Given under my hand and seal of office on this the 15 day of May, 2020.

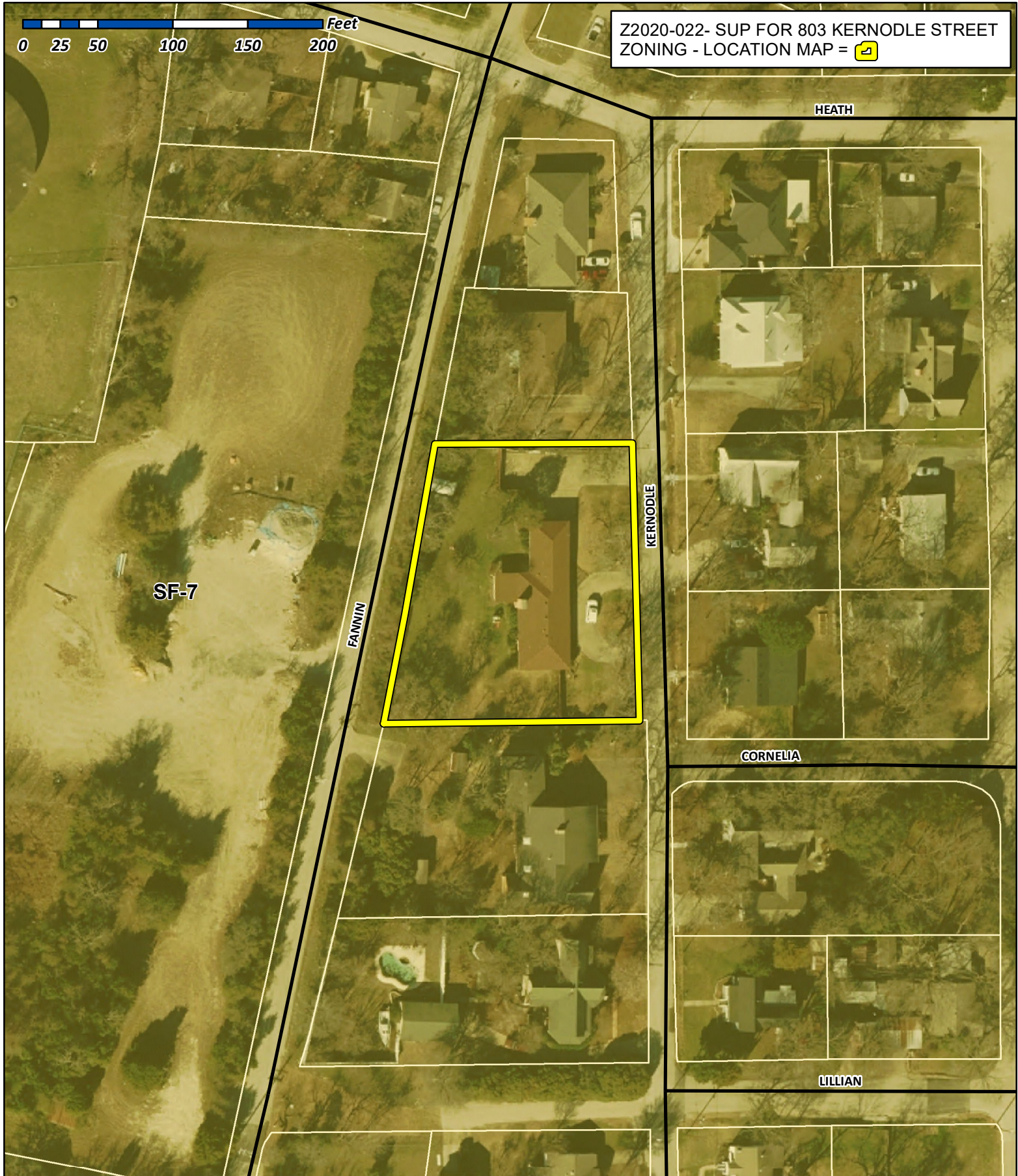
Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

May 8, 2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

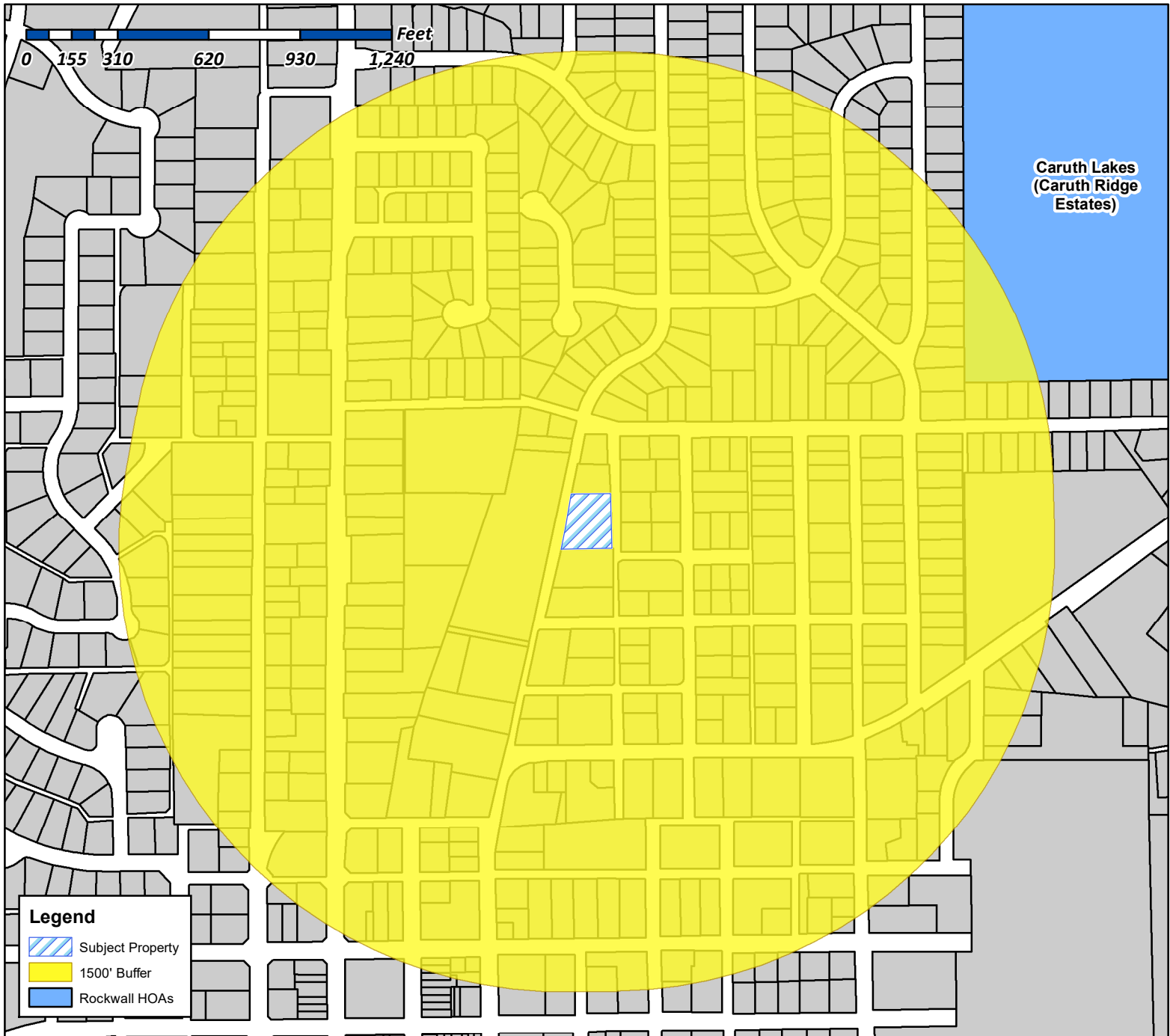




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-022
Case Name: SUP for 803 Kernodle Street
Case Type: Specific Use Permit
Zoning: Single-Family 7 (SF-7) District
Case Address: 803 Kernodle Street

Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, May 20, 2020 11:45:02 AM
Attachments: [HOA Map \(05.18.2020\).pdf](#)
[PUBLIC NOTICE.PDF](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 29, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 9, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 15, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-022- SUP for Detached Garage for 803 Kernodle Street

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a Specific Use Permit (SUP) for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



CITY LIFT STATION
100 E HEATH
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA
119 E HEATH ST
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D
12 AMITY LANE
ROCKWALL, TX 75087

LABARRE THAD & PATRICIA
120 ORCHARD LN
ROCKWALL, TX 75087

MCCALLUM PAMELIA L
166 NW 6TH CT
BACO RATON, FL 33432

DOOLEY RHONDA N
19801 E 86TH ST N
OWASSO, OK 74055

KENNEDY HAYLEY
201 CHAMPION DR
WYLIE, TX 75095

CITY LIFT STATION
201 E WASHINGTON ST
ROCKWALL, TX 75087

RICE GARRETT R AND JAMIE B
202 E HEATH ST
ROCKWALL, TX 75087

BLANKENSHIP JAMES WISE & LISA
203 E HEATH ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

ORTAMOND DONALD J & JANA R
301 MARGARET ST
ROCKWALL, TX 75087

LOFTUS GERALDINE
302 E MARGARET ST
ROCKWALL, TX 75087

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

TIPPING VIVIAN E LUSK
401 E HEATH ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
403EHEATH
ROCKWALL, TX 75087

PARK ALLEN
405EHEATH
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BUTTGEN JAMES D
501 KERNODLE ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
503 LILLIAN
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

VANHORN PENNI AND
505EHEATH
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
506 CORNELIA
ROCKWALL, TX 75087

SMITH ALAN E & JUDY ROPER SMITH
506 KERNODLE ST
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

BROWN JONATHAN R & CHRISTY A
601 KERNODLEST
ROCKWALL, TX 75087

HALL DOUGLAS A & MARCI
601 N FANNIN ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

PEOPLES MICHAEL L &
602 AUSTINST
ROCKWALL, TX 75087

MCCALLUM PAMELIA L
602 KERNODLEST
ROCKWALL, TX 75087

LOFLAND JANA J
603 AUSTIN ST
ROCKWALL, TX 75087

CRISWELL BARBARA
604 GOLIAD
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

MATA JAIME AND TRINA THOMAS
606 KERNODLEST
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE
701 AUSTIN ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

KREIFELS NATALIE E AND JACOB T
702 KERNODLEST
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

ZIMMERMAN CAROLYN
705 KERNODLE ST
ROCKWALL, TX 75087

BELANGER CORKY
707 PARKS
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

CRISWELL BARBARA
7110 HUNT LANE
ROCKWALL, TX 75087

MATA JAIME AND TRINA THOMAS
752 WINDSONG LN
ROCKWALL, TX 75032

BROWN JONATHAN R & CHRISTY A
7814 KILLARNEY LANE
ROWLETT, TX 75089

KENNEDY HAYLEY
801 AUSTIN
ROCKWALL, TX 75087

WELCH CHRISTOPHER
802 KERNODLE ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN
ROCKWALL, TX 75087

MCKEEVER RANDALL L AND TERRI L
803 KERNODLE STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D
806 KERNODLE ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTIN
ROCKWALL, TX 75087

LABARRE THAD & PATRICIA
808 KERNODLE
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTIN
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

WILSON CHARLES W
900 N FANNIN ST
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G
902 N FANNIN STREET
ROCKWALL, TX 75087

HEMPHILL REBECCA
903 N FANNIN ST
ROCKWALL, TX 75087

HALL WYNNE &
JOANN CAMPBELL
904 N FANNIN ST
ROCKWALL, TX 75087

ROSS THOMAS II & LACY
905 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

ROE JOHN A AND PATRICIA K
907 N FANNIN ST
ROCKWALL, TX 75087

BIRT PAUL G & CHRISTI ANA
908 NORTH FANNIN STREET
ROCKWALL, TX 75087

J J M B INVESTMENT LP
909 FANNIN
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

ALLEN MARK C AND
DONNA K BOYD
956 CHAD WAY
ROCKWALL, TX 75087

MISER RALPH C
993 HOLLI LN
ROCKWALL, TX 75087

DOOLEY RHONDA N
995 HOLLI
ROCKWALL, TX 75087

MESSINGER BARNARD A & BONNIE
998 HOLLI LN
ROCKWALL, TX 75087

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

PEOPLES MICHAEL L &
LINDA CAUBLE
PO BOX 41
ROCKWALL, TX 75087

J J M B INVESTMENT LP
PO BOX 460247
GARLAND, TX 75046

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-022: SUP for Detached Garage for 803 Kernodle Street

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a Specific Use Permit (SUP) for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-022: SUP for Detached Garage for 803 Kernodle Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Called FREEDOM

Name: TED FUNK

Address: 604 KERNADIE ROCKWALL TX. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-022

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Garrett

Last Name *

Rice

Address *

202 E. Heath St.

City *

Rockwall

State *

TC

Zip Code *

75087

Email Address *

garrettrice77@gmail.com

Phone Number

214-762-9061

Please check all that apply: *

- ☒ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-022

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Tiffanie

Last Name *

Bushnell

Address *

805 Kernodle

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

tiffbushnell@sbcglobal.net

Phone Number

972-207-9624

Please check all that apply: *

- ☒ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other:

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-022

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Brooke

Last Name *

Padachy

Address *

810 Kernodle

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

bpadachy@gmail.com

Phone Number

Please check all that apply: *

- ☒ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Gamez, Angelica

From: Keith Garrison <ndtbf@sbcglobal.net>
Sent: Saturday, May 30, 2020 7:23 AM
To: Planning
Subject: Z2020-22

I have no issue with the building of a detached garage at this location.

Keith Garrison

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

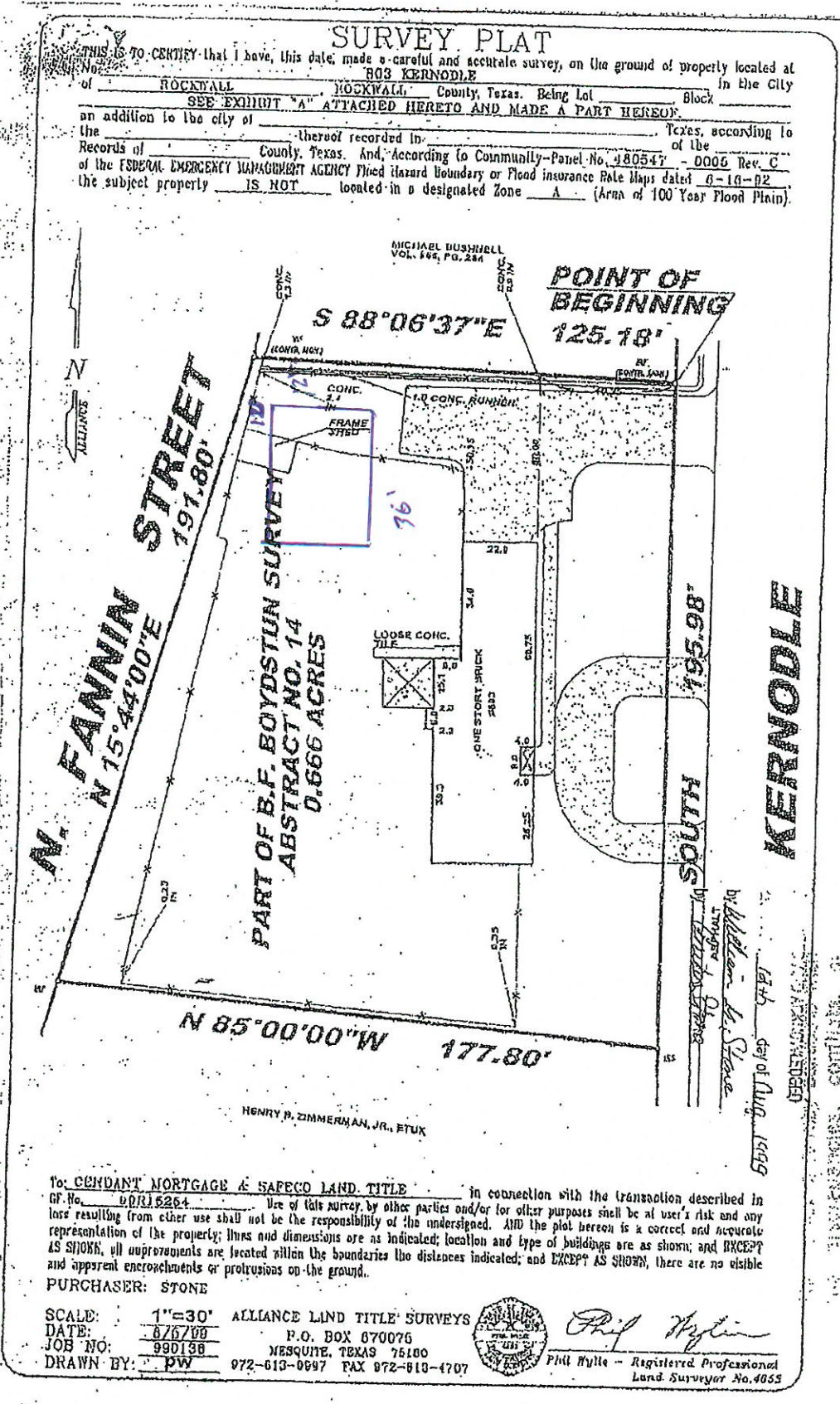
From: Elizabeth Trowbridge <e.trowbridge@att.net>
Sent: Thursday, June 4, 2020 4:46 PM
To: Planning
Subject: CASE Z2020-022

I AM IN FAVOR.

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

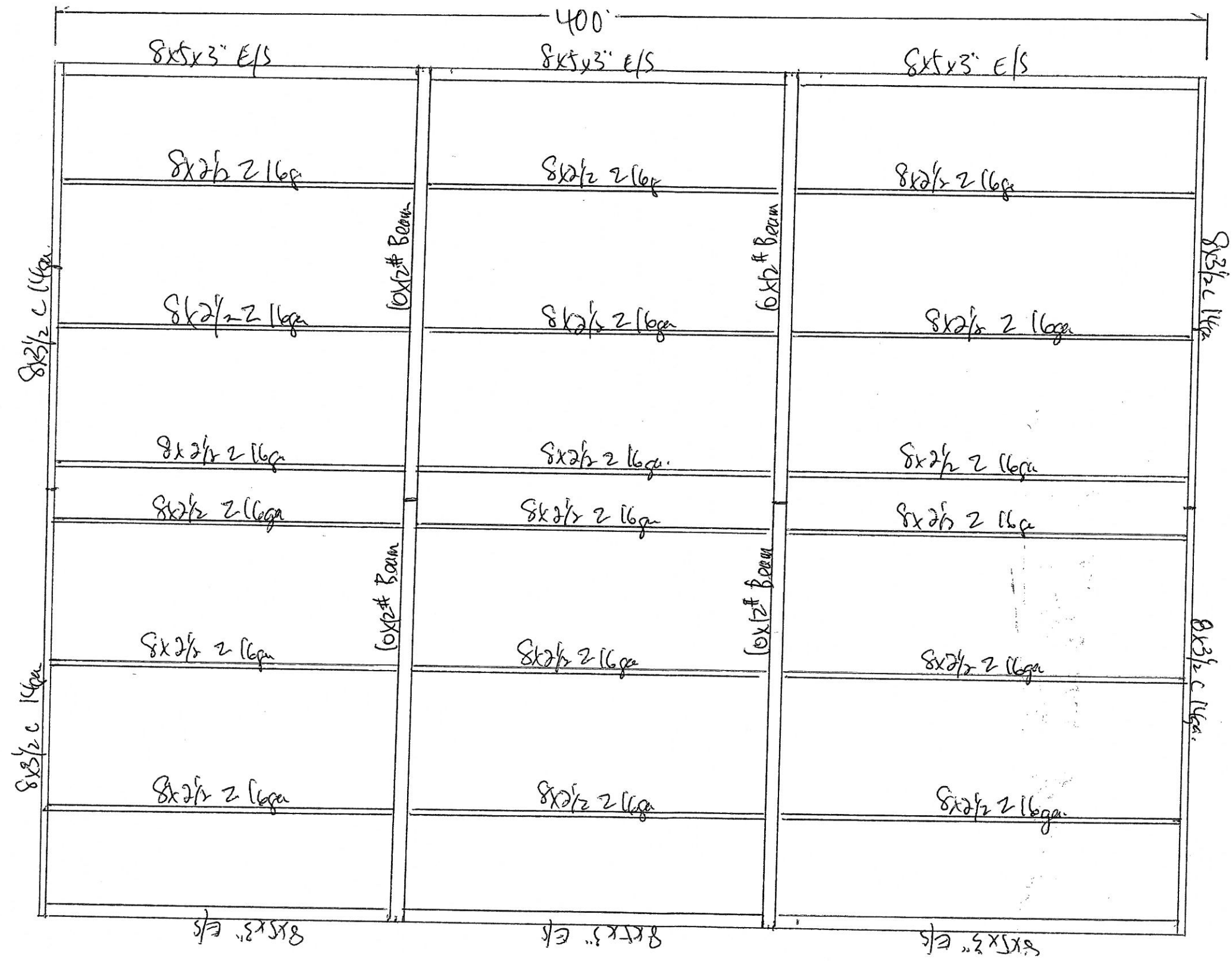
10 feet from rear property line
 12 feet from North Property line
 36 feet from house



2020-022

Brad Johnson

Roof Framing

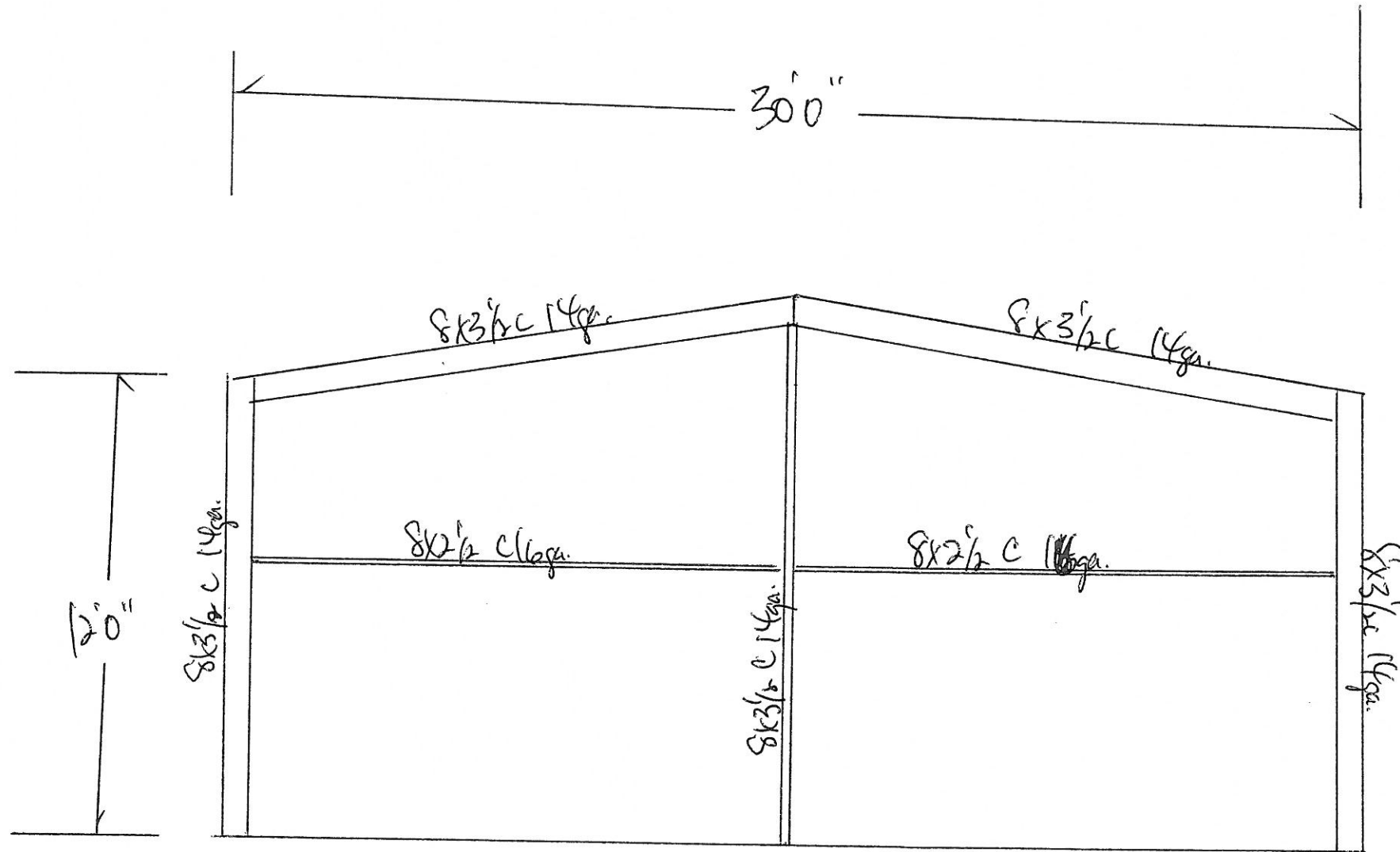


70'0"

Boad Johnson 30x40x12

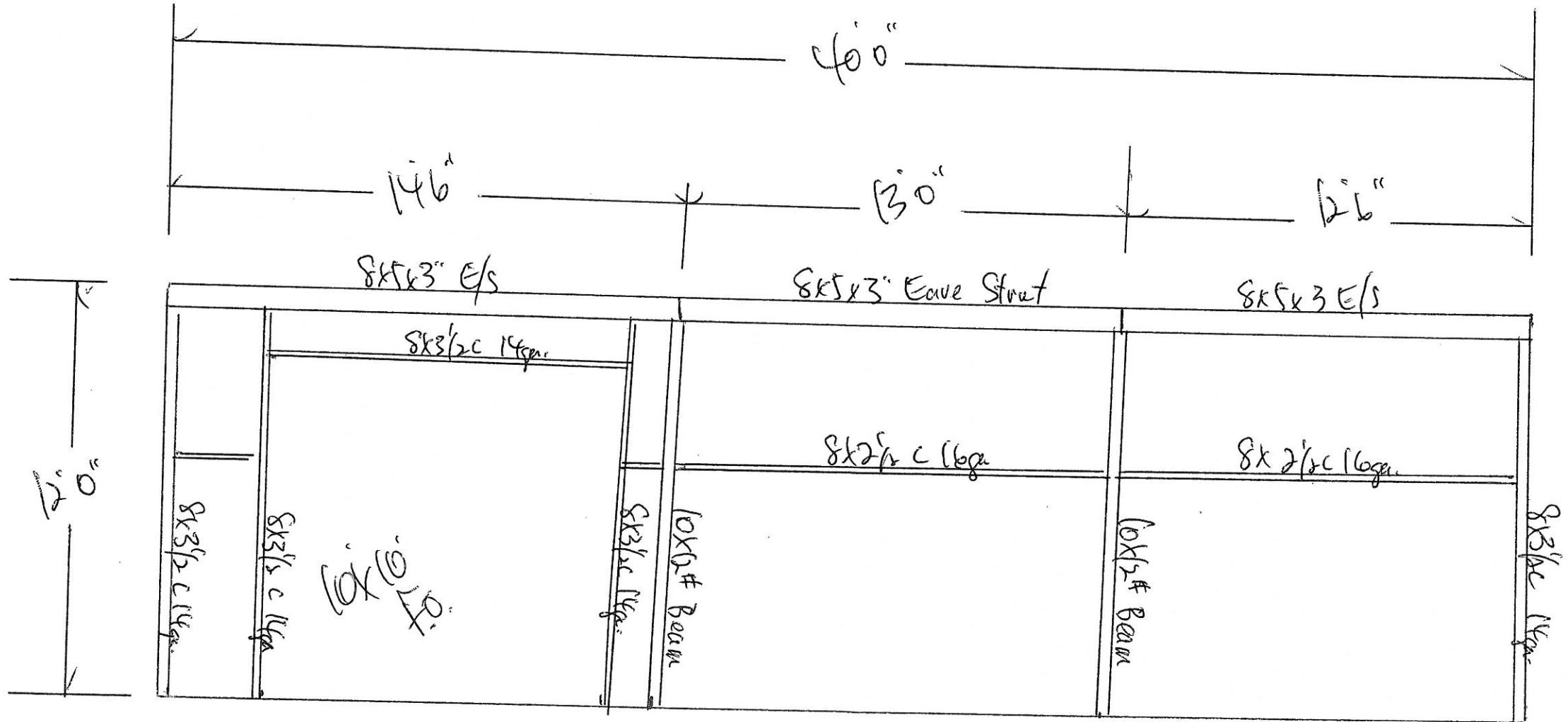
End Wall Framing

Both Walls Same



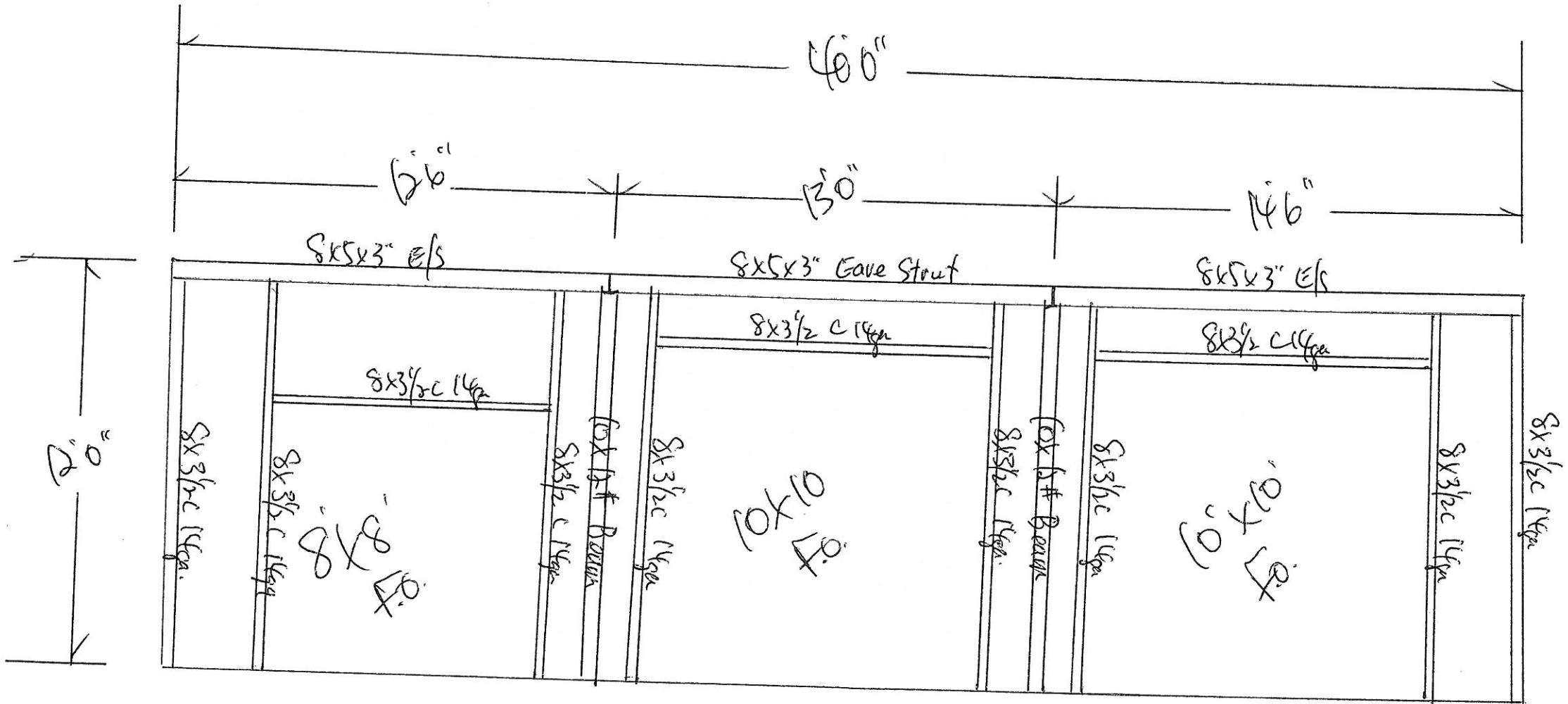
Brad Johnson 30x40x12

West Wall



Brad Johnson 30' 40' 12'

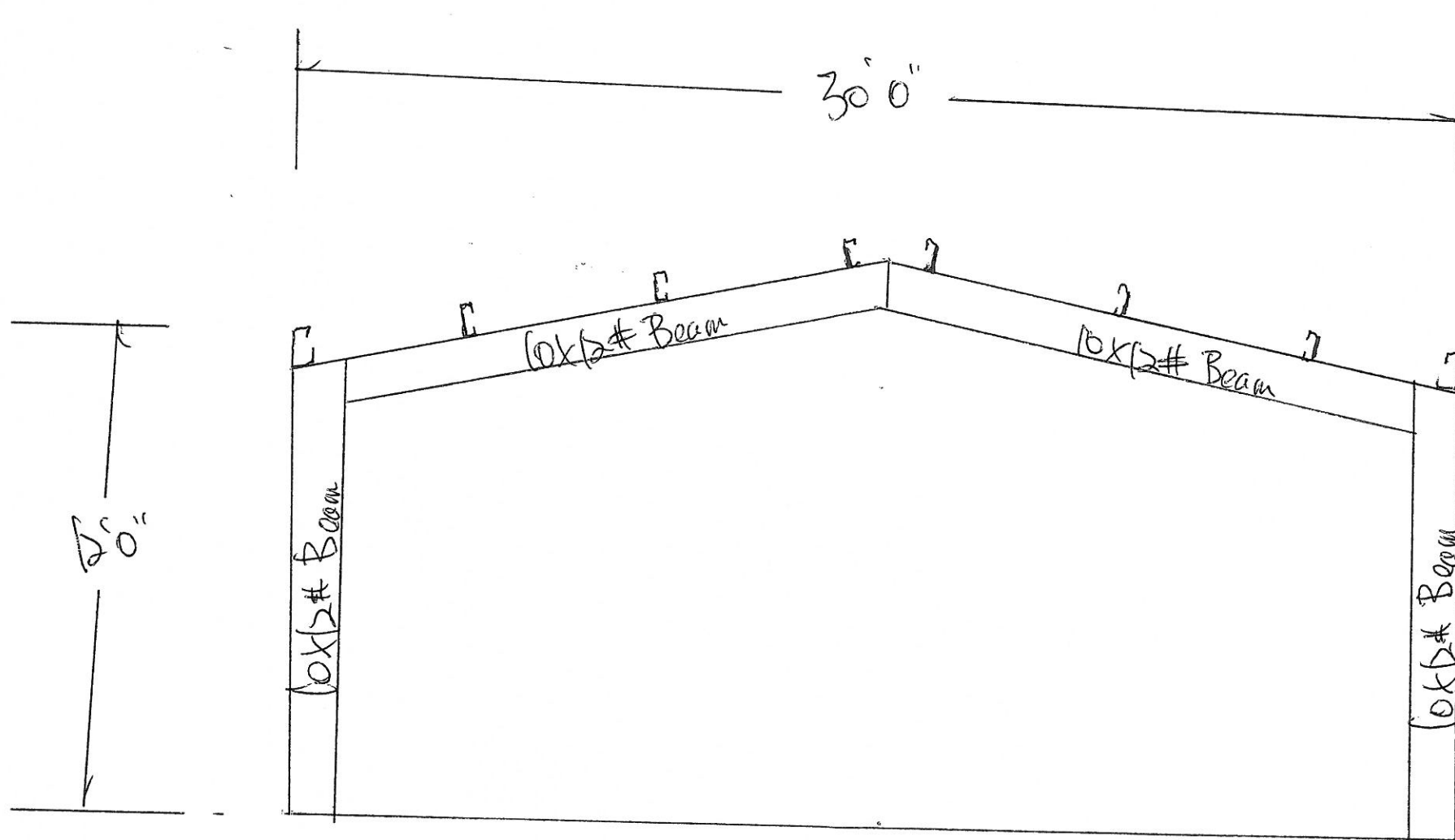
East Side Wall



Brad Johnson

Main Frame

Both Same



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *DETACHED GARAGE* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.666-ACRE PARCEL OF LAND IDENTIFIED AS BLOCK 38 OF THE B. F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brad Johnson for the approval of a Specific Use Permit (SUP) to allow a *Detached Garage* that exceeds the maximum allowable size on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Detached Garage* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and to the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Detached Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Detached Garage* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Detached Garage* shall not exceed a maximum size of 1,200 SF.
- (3) The *Detached Garage* shall not exceed a maximum of 15-feet in total height.
- (4) The subject property shall not have more than one (1) accessory building.
- (5) Prior to the acceptance of the structure from the City, the applicant will be required to extend the existing driveway to the structure and provide a gate in the fence allowing the structure to function as a *Detached Garage*.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

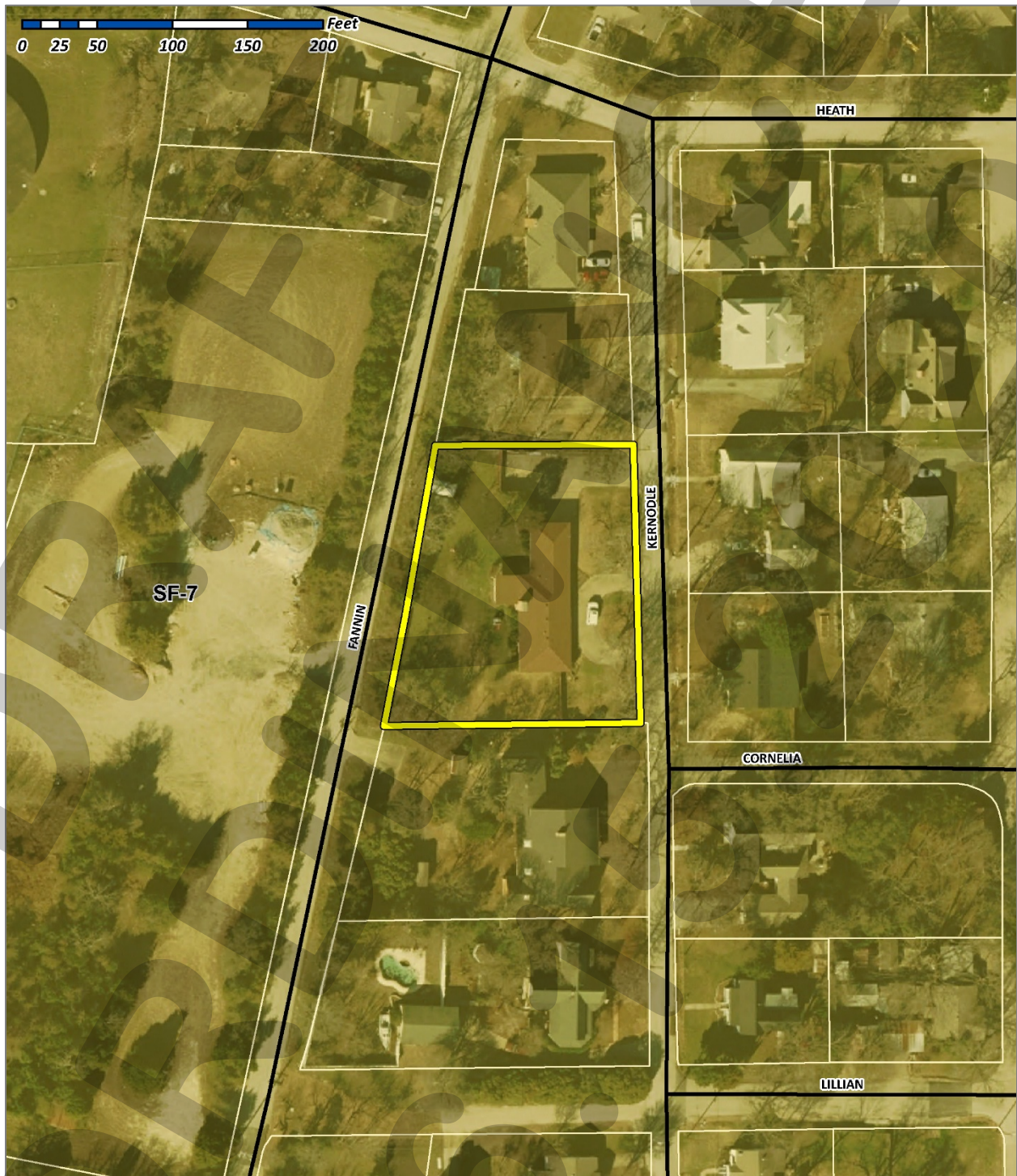
1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map

Address: 803 Kernodle Street

Legal Description: Block 38 of the B. F. Boydston Addition



**Exhibit 'B':
Concept Plan**

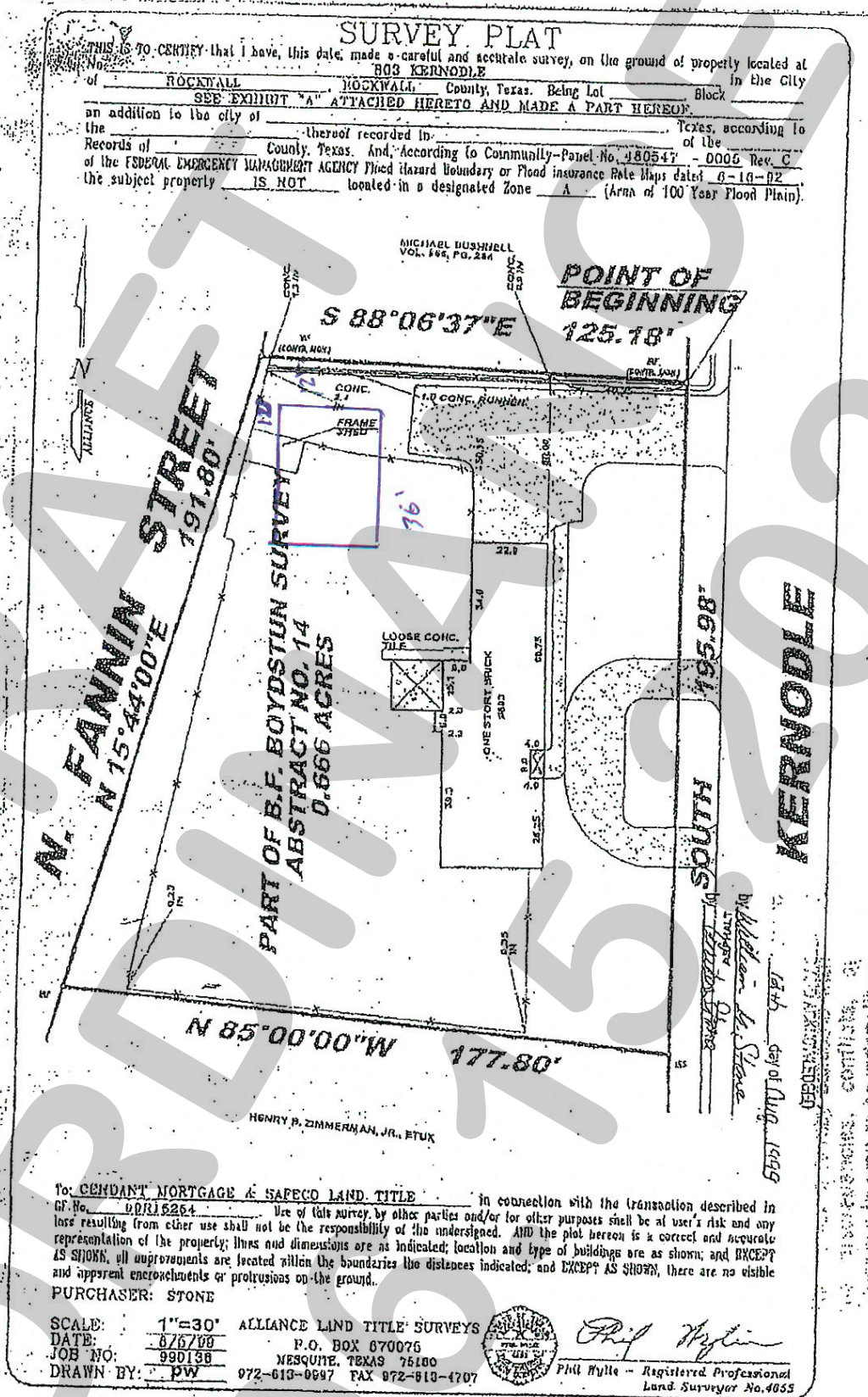
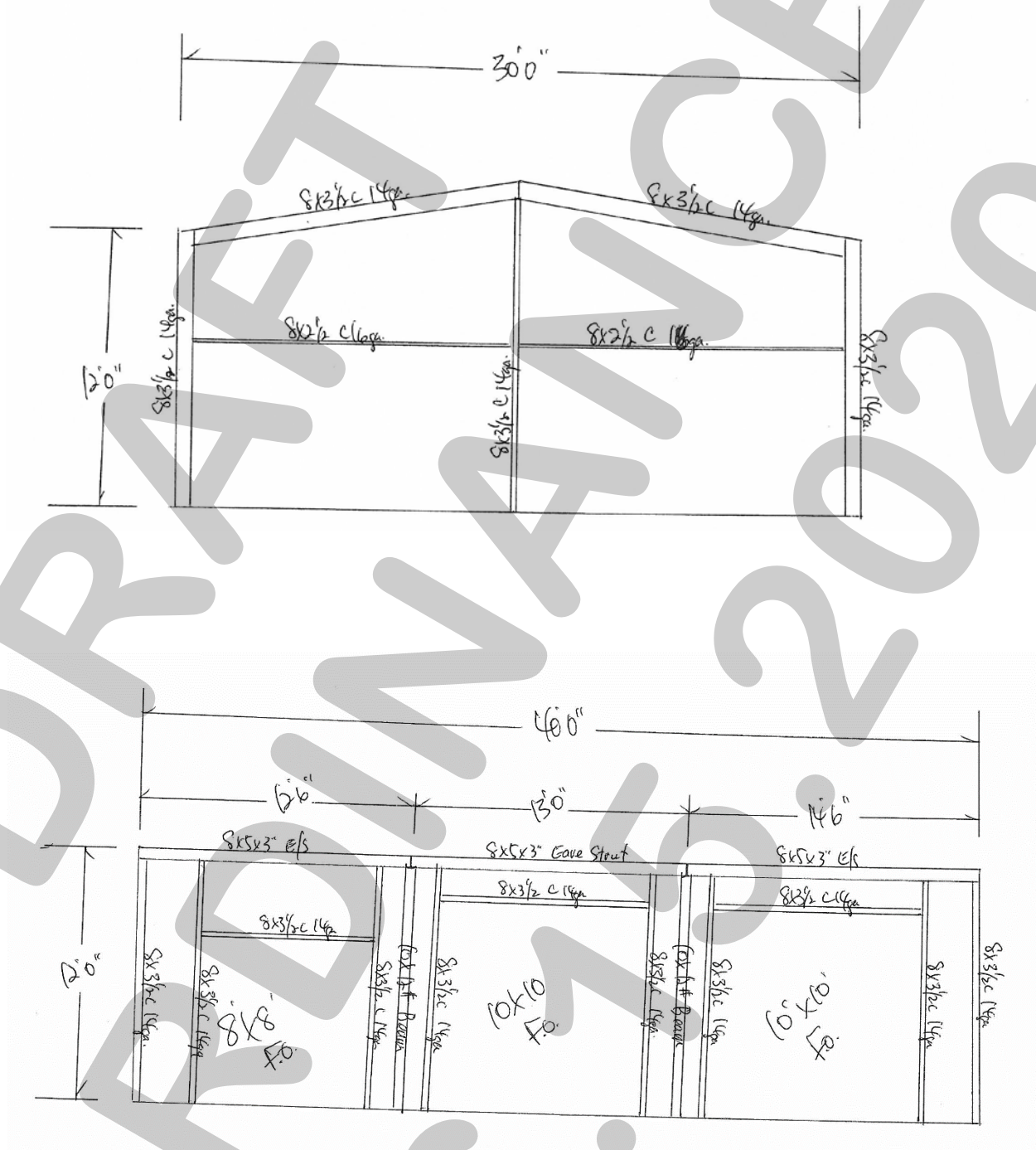


Exhibit 'C':
Conceptual Building Elevations





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: June 15, 2020

SUBJECT: *Z2020-016; SUP FOR A SECONDARY LIVING UNIT/GUEST
QUARTERS/ACCESSORY DWELLING UNIT AND CARPORT AT 844 ZION
HILL CIRCLE*

Attachments

Updated Plans
Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Survey
Site Plan
Floor Plan
Applicants Photos of Structure
Applicants Photos of Surrounding Area
Draft Ordinance

Summary/Background Information

On April 7, 2020, staff had received an application from Chris Kehrer of Titan Contractors requesting a Specific Use Permit (SUP) for a *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport* for the subject property after it was discovered that the structure had been built without a permit. As a note, the subject property was rezoned on April 6, 2020 from an Agricultural (AG) District to a Single-Family One (SF-1) District for the purpose of requesting the SUP. After reviewing the SUP request, the Planning and Zoning Commission passed a motion to recommend denial of the SUP by a vote of 5-2, with Commissioners Welch and Thomas dissenting. On May 18, 2020, the City Council reviewed the SUP request and raised questions regarding the size of the structure (*i.e. detached garage, carport, etc.*) and its ability to be tied into the roofline of the primary structure. During the public hearing, the applicant requested the City Council grant additional time for his architect to draw up plans that would better depict how the structure could be integrated into the primary structure. Ultimately, the City Council approved a motion to table the SUP request to the *June 15, 2020 meeting*.

On June 10, 2020, the applicant provided staff with the attached plans showing a *breezyway* attaching the two (2) structures. Based on what was submitted by the applicant, the City Council will need to make a determination if the proposed *breezyway* sufficiently integrates the two (2) structures into one (1). Staff should also remind the City Council that due to the Planning and Zoning Commission's recommendation of denial, a three-quarter majority vote is required to approve the request. Should the City Council have any questions staff will be available at the meeting on *June 15, 2020*.

Action Needed

The City Council is being asked to consider the applicant's request for a Specific Use Permit (SUP) and [1] approve, [2] approve with conditions, or [3] deny the request.

CHOATE RESIDENCE

840 ZION HILLS CIR, ROCKWALL, TX 75087

MEDICAL
CHURCHES

COMMERCIAL

RESIDENTIAL

RESTAURANTS

INSTITUTIONAL

MERSHAWN

1520 E. INTERSTATE 30
ROCKWALL, TX 75087

PHONE: (469) 745-1701

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
- ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACES FOR ALL FABRICATED INSTALLATIONS

CONSTRUCTION

1. EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE ARCHITECT.

2. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL GOVERNING BUILDING CODE. ANY NON=CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.

3. THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.

4. ALL SITE WORK AND LANDSCAPING TO BE ESTABLISHED AND DESIGNED BY OTHERS. UNLESS SHOWN ON THE DRAWINGS. ALL MECHANICAL WORK SUCH AS, BUT NOT LIMITED TO ELECTRICAL, PLUMBING, HEATING AND AIR CONDITIONING, VENTILATION, ETC, ARE TO BE ESTABLISHED AND DESIGNED BY OTHERS.

5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

6. ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF OWNER IN WRITING AND RESOLVED AND DOCUMENTED IN WRITING BEFORE CONTINUING WITH THE WORK IN QUESTION.

7. IN THE EVENT A DISCREPANCY IS FOUND IN CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

8. THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

9. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. FOUR COPIES OF EACH SUBMITTAL ARE REQUIRED. THE CONTRACTOR MAY SUBMIT PRIOR TO OWNER ALTERNATE MANUFACTURES OF ALL ITEMS SPECIFIED ON THESE DRAWINGS.

10. ALL STUD WALLS ARE DIMENSIONED 4" NOMINAL, THIN 2" NOMINAL, PLUMBING WALLS ARE 6" NOMINAL.

11. ASSUME MINIMUM FIBER STRESS 1200 P.S.I. FOR ALL STRUCTURAL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.

12. ALL LAVATORIES AND BATHS SHALL BE MECHANICALLY VENTILATED THROUGH NON COMBUSTIBLE DUCTS TO PROVIDE AND AIR CHANGE EVERY 12 MINUTES. UNDERCUT ALL BATHROOM DOORS 1".

13. IN ABSENCE ON NAILING SCHEDULE USE SUCH TABLES AS FOUND IN THE LATEST EDITION OF THE UNIFORM BUILDING CODE.

14. CONTRACTOR MUST VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

15. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.

16. CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.

17. ALL PATIOS AND PORCHES TO SLOPE A ¼" PER 1'-0" IN THE DIRECTION INDICATED ON THE PLANS (AWAY FROM THE HOUSE).

18. ALL SILLS IN CONTACT WITH CONCRETE SHALL BE WOLMANIZED AND HAVE A CONTINUOUS SILL SEALER.

19. ALL WORK AND MATERIAL TO BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT AND ACCEPTANCE.

20. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.

21. PROVIDE SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITIONS.

22. STORE MATERIALS IN SPACE DESIGNATED BY OWNER.

23. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR DIRECTED.

24. THERE SHALL BE NO DEVIATION FROM SPECIFICATION WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT OR ENGINEER.

25. PLUMBING WALLS SHALL BE 2X6 WOOD STUDS, REMAINING INTERIOR STUD WALLS TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.

26. ROOFING SHALL BE CLASS "A" AND COMPLY WITH CHAPTER 32 FROM THE LATEST EDITION OF THE U.B.C.

27. ALL ROOFING EDGES SHALL HAVE TWO LAYERS OF 15 LB. FELT UNDERLAYMENT SOLID MOPPED TOGETHER EXTENDING FROM ROOF EDGE TO 24" OVER HEATED SPACE BELOW.

28. THERE SHALL BE AN AIR SUPPLY VENT IN EVERY BATHROOM.

29. DRYER VENT(S) SHALL BE CONNECTED TO THE OUTSIDE.

30. AIR CONDITIONER CONDENSER PAD MUST BE CONCRETE, MINIMUM 4" THICK REINFORCED WITH #3 REBAR AT 18" O.C. EACH WAY.

31. UNDERGROUND PIPING SHALL BE INSTALLED ON FIRM BEDDING.

32. NO PVC PIPE SHALL BE EXPOSED OUTSIDE THE BUILDING(S).

33. ALL SOFFITS AND DROPPED CEILINGS TO BE FIRESTOPPED.

34. FIRESTOP ALL WALLS AT 8'-0" VERTICALLY.

35. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION RECOMMENDED PRACTICES FOR THICKNESS. NAILING AND TAPING ON CORRECT STUD SPACING.

36. ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS MANUAL FOR HOUSE FRAMING.

37. ALL LUMBER TO BE GRADE MARKED MIN. NO. 2 K.D.S.Y.P. UNLESS NOTED OTHERWISE.

38. DOUBLE JOIST BELOW PARALLEL PARTITION AND AT STAIR OPENINGS.

39. ALL BEARING POSTS SHALL RUN (OR BE BLOCKED) CONTINUOUSLY FROM POINT OF BEARING TO TOP OF FOUNDATION.

40. CABINET SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING, TO ASSURE AN EXACT RT. THE CABINETS SHALL MATCH PLANS AND ELEVATIONS.

41. SLOPE GRADE AWAY FROM BUILDING AT ¼" PER 1'-0" MIN. FOR A DISTANCE OF 10'-0" MIN.

42. ALL HEADERS TO BE 2 2X10'S NO. 2 K.D. UNLESS NOTED OTHERWISE.

43. EXHAUST FANS VENT TO OUTSIDE.

44. PROVIDE SPLASH BLOCK AT EACH DOWN SPOUT. REFER TO ROOF PLAN.

45. WATER RESISTANT GYPSUM BOARD SHALL BE USED AT ALL BATH TUB AND SHOWER COMPARTMENTS.

46. MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL NOT EXCEED 25.

47. THERMOSTATS USED FOR HEATING AND COOLING SHALL BE CAPABLE OF BEING SET FROM 55 DEGREES F. TO 85 DEGREES F. WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.

48. ALL H.V.A.C. EQUIPMENT AND DUCT WORK SHALL COMPLY WITH THE NATIONAL AND STATE GOVERNING CODES AND OR AUTHORITIES.

49. CAULKING AND SEALANT AT EXTERIOR JOINTS, AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.

50. CHANGES IN THIS WORK ARE ONLY AUTHORIZED IF IN WRITING FROM THE OWNER OR ARCHITECT.

51. ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC. TO BE AN APPROVED EXTERIOR GRADE.

52. CORROSION RESISTANT FLASHING (GALV.) IS REQUIRED AT THE TOP AND SIDES OF ALL WINDOWS AND ROOF OPENINGS, AND AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION AND FRAME WALLS/OR APPROVED WATER. RESISTANT SHEETING AND CAULKING TO BE USED AT TOP AND SIDE TO GUARANTEE LEAK PROOF.

53. AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER ROOT OF
- SASH. TRACK DOORS SHALL NOT EXCEED 0.5 CFM PER SQUARE FEET OF DOOR AREA.

54. ALL WORK RELATED AND DEPENDENT UPON STRUCTURAL CRITERIA SHALL BEAR THE SEAL AND LICENSE NUMBER OF A PROFESSIONAL ENGINEER OF THE STATE OF TEXAS (I.E. FOUNDATIONS, FLOOR AND ROOF FRAMING, AND LOADING MAXIMUMS).

55. DESIGN LOADS DO NOT INCLUDE SUPERIMPOSED LOADS SUCH AS AC UNIT AND OTHER MECHANICAL EQUIPMENT. SHOP DRAWINGS OF EQUIPMENT AND PROPOSED SUPPORT FRAMING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

56. THE CONTRACTOR SHALL SUPPLY AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION, AND WELDING OS STEEL TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES.

57. SUBMIT TWO PRINTS AND ONE SEPIA OF EACH SHEET OF SHOP DRAWINGS FOR ARCHITECTS REVIEW PRIOR TO FABRICATION. CONTRACTOR MUST CHECK ALL SHOP DRAWINGS, NOTING ANY DISCREPANCIES BEFORE SUBMISSION.

58. CURRENT EDITIONS OF ACI 318 AND THE UNIFORM BUILDING CODE BEING ACTIVELY USED BY THE LOCAL BUILDING OFFICIALS ARE TO SET THE GUIDELINES AND STANDARDS.

59. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO THE COMMENCING OF CONSTRUCTION.

60. ALL NOTES AND DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS THROUGHOUT THE PROJECT, WHETHER SPECIFICALLY NOTED OR NOT.

61. PROVIDE COMPLETE CLOSURE AT WALLS EXTENDING TO BOTTOM OF STRUCTURE OR BOTTOM OF DECK WITH NECESSARY PRE FORMED INSERTS OR APPLICABLE MATERIALS.

62. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING OR OTHER SUITABLE BACKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING, EDGES WHERE FINISHED MATERIALS CHANGE, DOOR STOPS, SHELF BRACKETS INSIDE ALL CLOSET AREAS, HANDRAILS, AND ALL MOUNTED EQUIPMENT.

63. WOOD BLINDS @ ALL WINDOWS.
- ## SHEET INDEX
- COVER SHEET

A1 EXISTING SITE PLAN

A2 PROPOSED SITE PLAN

A3 EXISTING FLOOR PLAN

A4 PROPOSED FLOOR PLAN

A5 EXISTING ELEVATIONS

A6 PROPOSED ELEVATIONS

A7 EXISTING ROOF PLAN

A8 PROPOSED ROOF PLAN
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- ## ELECTRICAL
1. ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCHED AT TOP ONLY.

2. ALL SWITCHES TO BE 4'-0" ABOVE FINISHED FLOOR (AFF) TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.

3. ALL CONVENIENCE OUTLETS ARE 1'-0" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS NOTED OTHERWISE.

4. ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.

5. ALL EXTERIOR LIGHTS SHOWN ON ELECTRICAL PLAN(S) AS TIMER CONTROLLED ARE CIRCUITED TO ELECTRICAL TIMER PANEL LOCATED IN UTILITY ROOM, UNLESS PHOTO CELL SYSTEM IS USED.

6. SMOKE DETECTORS SHALL BE LOCATED WITHIN 12" OF CEILING AND BE U.L. APPROVED

7. VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.

8. CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE (UNLESS OTHERWISE INSTRUCTED BY OWNER).

9. NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 12'-0" FROM A RECEPTACLE OUTLET.

10. ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE LATEST NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, Inc.

11. ELECTRICAL CONTRACTOR SHALL, BEFORE CONSTRUCTION, VERIFY SPACE REQUIRED FOR METER INSTALLATION AND SHALL NOTIFY THE GENERAL CONTRACTOR AND THE ARCHITECT OF ANY PROBLEM.

12. GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOMS, KITCHENS OR WITHIN 5'-0" OF WATER. AS PER SECTION 210-8 N.E.C.
- ## LIGHTING KEY
-  VARIABLE SPEED FAN

 1X4 FLUORESCENT

 CLG. MOUNTED FIXTURE

 WALL MOUNTED FIXTURE

 RECESSED CAN

 VANITY LIGHT

 EXHAUST FAN

 DBL. SOFFIT FLOOD LIGHT

 SOFFIT DOWN LIGHT

 UNDER CAB. LIGHT
- ## SWITCH KEY
-  SWITCH

 3-WAY SWITCH

 DIMMER SWITCH

 HINGE SWITCH

 3-WAY DIMMER SWITCH

 TIMER SWITCH
- ## STRUCTURAL
1. ALL STRUCTURAL STEEL SHALL BE DOMESTIC A.S.T.M. A-36 AND CONFORM TO STANDARD A.I.S.C. SPECIFICATIONS.

2. ALL CONNECTIONS TO BE FIELD AND SHOP WELDED AND TO DEVELOP MEMBER IN SHEAR.

3. NO SPLICES PERMITTED UNLESS APPROVED BY THE ENGINEER (PROFESSIONAL ENGINEER OF TEXAS).

4. PIPE COLUMNS SHALL BE DOMESTIC STEEL CONFORMING TO A.S.T.M. A-501, WELDED AND SEAMLESS, CONCRETE FILLED WITH VENTS AT TOP, MIDDLES AND BOTTOM (IF APPLICABLE).

5. SHOP COAT ALL STRUCTURAL STEEL WITH RUSTOLEUM 1089 RED PRIMER OR ZINC CHROMATE FIELD COAT ALL STEEL WITH SAME PAINT. TOUCH UP ALL WELDS AND ABRASIONS IN FIELD.

6. BOLTS SHALL BE HIGH STRENGTH CONFORMING TO A-325.

7. WELDING ELECTRODES SHALL CONFORM TO A.S.T.M. AWS. 55, H70XX SERIES.

8. WELDERS SHALL CARRY EVIDENCE OF QUALIFICATION WITHIN THE PAST 12 MONTHS UNDER THE AWS. PROCEDURE FOR THE TYPE OF WORK REQUIRED.

9. ALL EXPOSED STEEL SHALL BE GROUND SMOOTH AND FREE OF ANY ROUGH SHARP EDGES.
- ## POWER KEY
-  OUTLET

 HIGH VOLTAGE OUTLET

 42" ABOVE FINISHED FLOOR GROUND FAULT INTERRUPT

 EXTERIOR DUPLEX OUTLET

 DOUBLE DUPLEX OUTLET

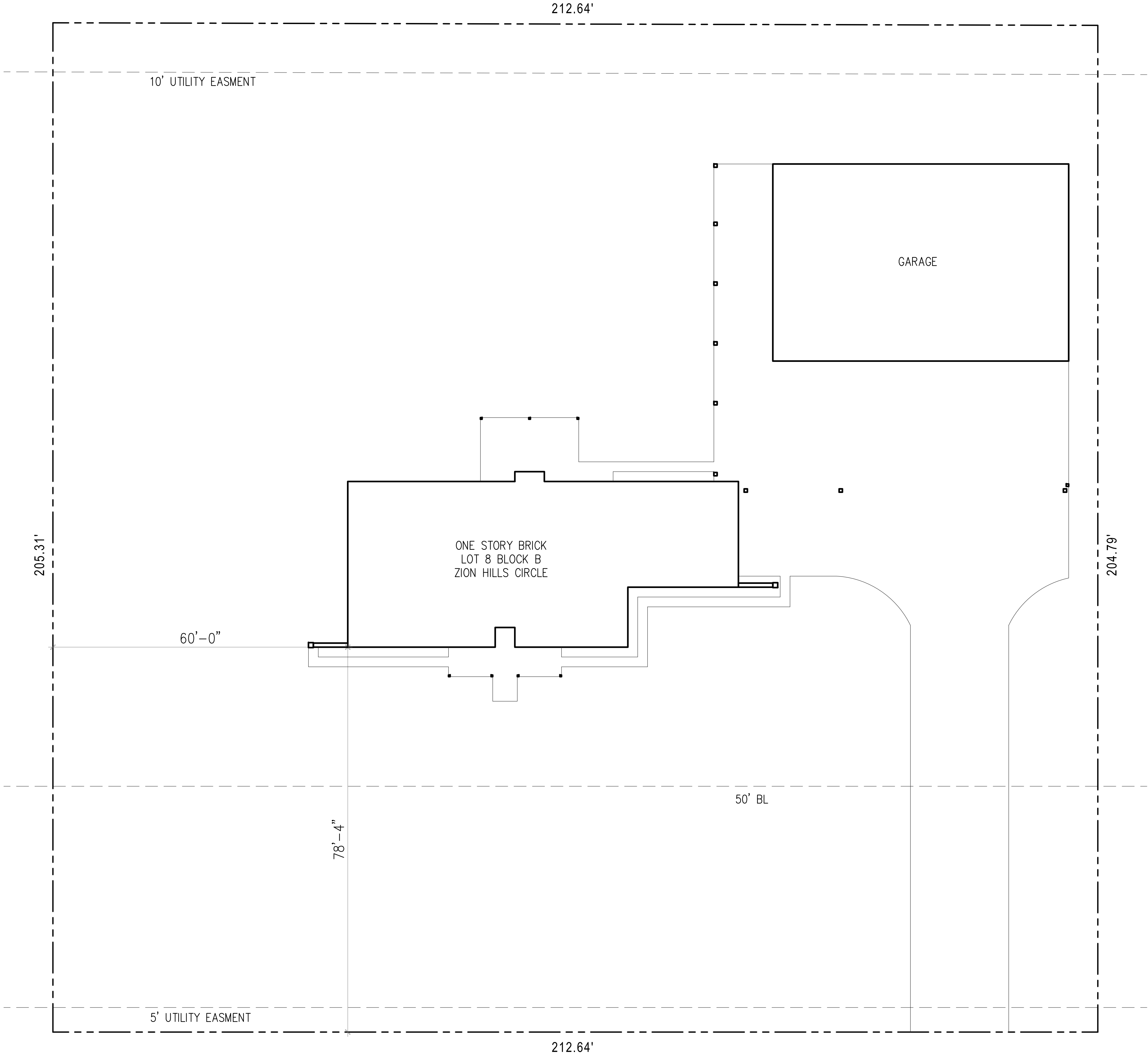
 SOFFIT DUPLEX OUTLET

 FLOOR DUPLEX OUTLET

 SMOKE DETECTOR

 CARBON MONOXIDE DETECTOR
- 200506_CHOATE
- 239

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



GENERAL NOTES:

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No.	Date	Revision	By

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840 ZION HILLS CIR.
EXISTING
SITE PLAN

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Date:	6/2/2020
Project No.:	200506
Designed:	HB
Drawn:	HB
Checked:	WM

SHEET
A1 OF
8

MEDICAL COMMERCIAL CHURCHES

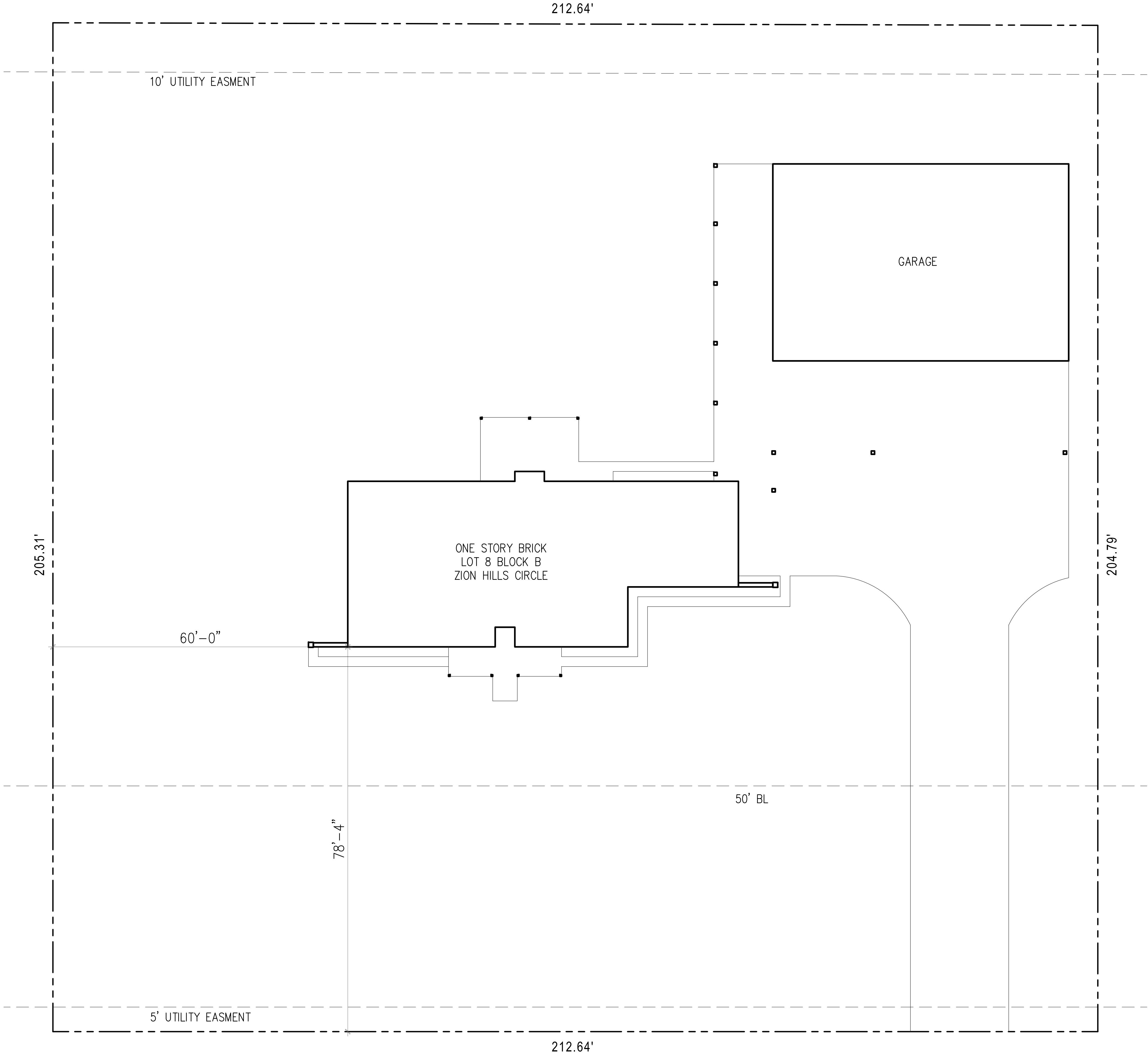
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RESIDENTIAL RESTAURANTS INSTITUTIONAL

1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087

PHONE: 469-745-1701

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ROCKWALL, TEXAS 75087

PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.

PROPOSED
SITE PLAN

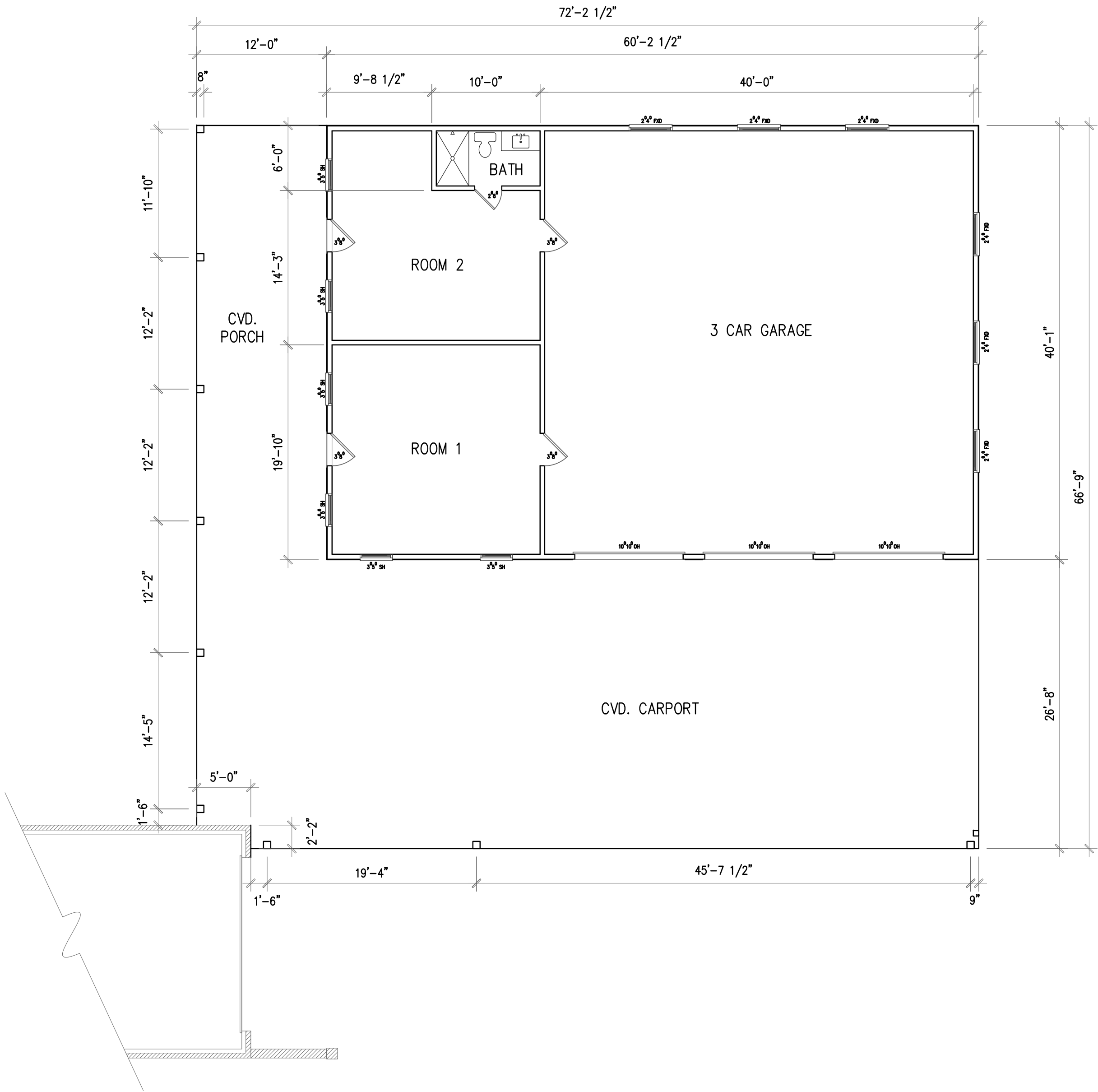
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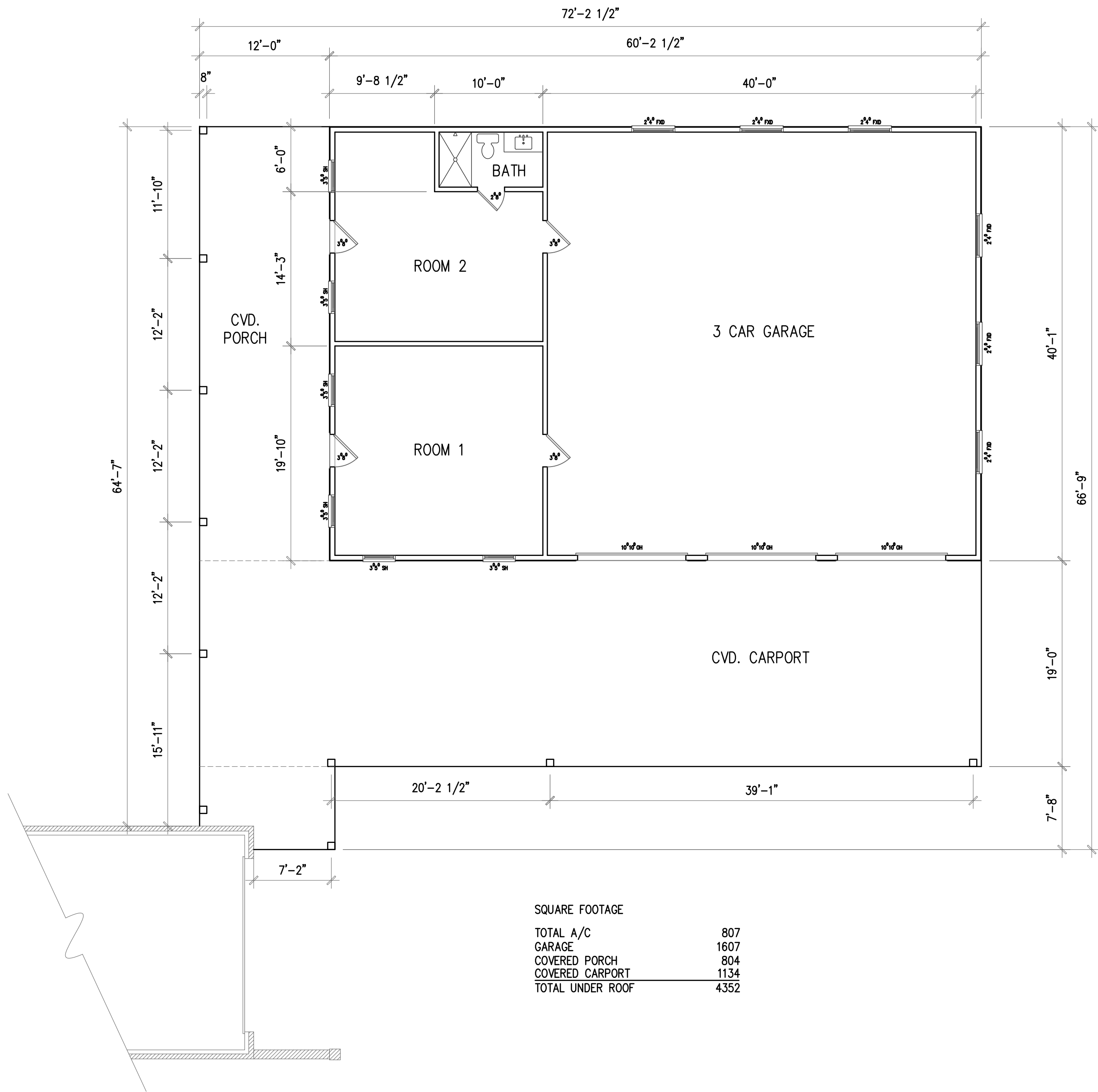
CHOATE RESIDENCE
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EXISTING
FLOORPLAN

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Date:	6/3/2020
Project No.:	200506
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A3 OF
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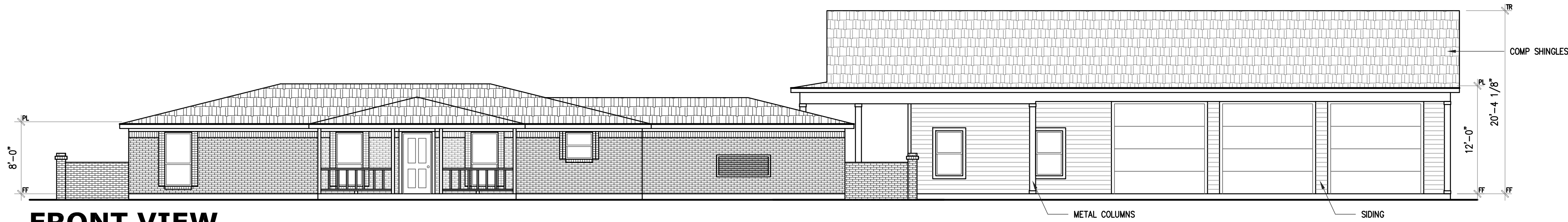
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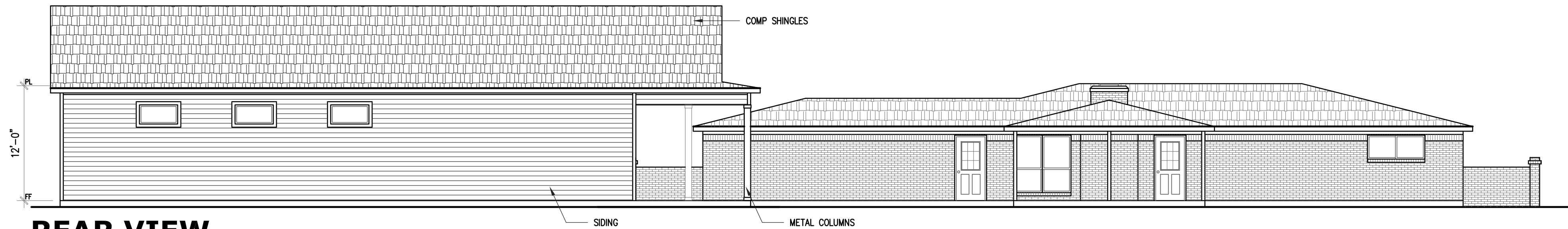
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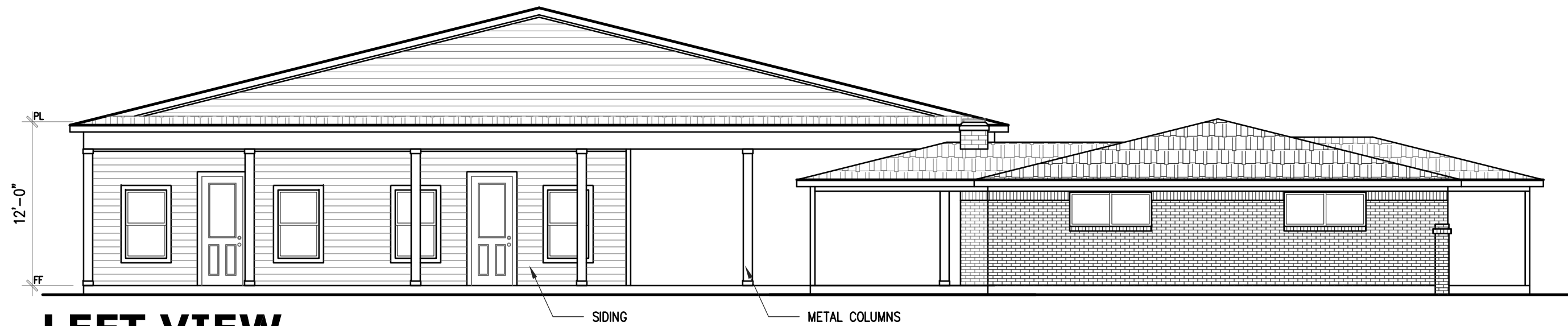
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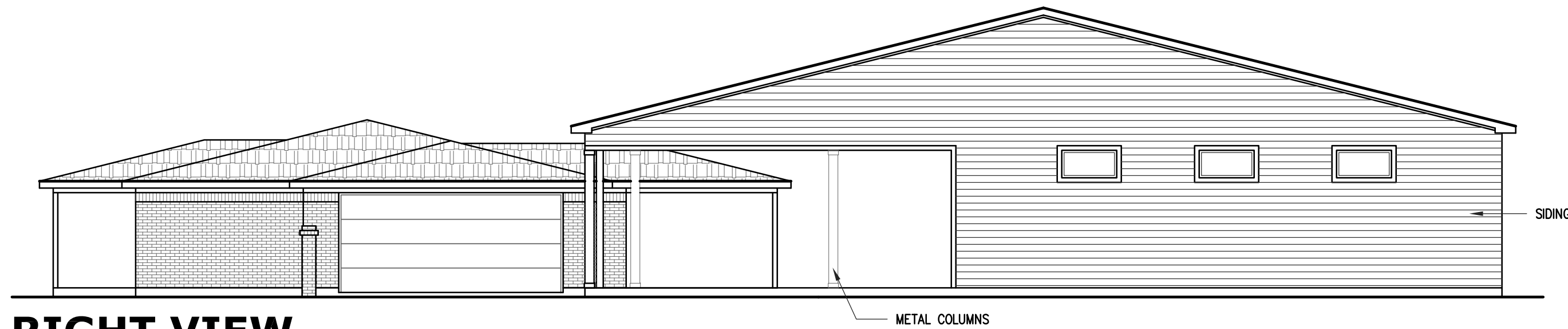
FRONT VIEW



REAR VIEW



LEFT VIEW

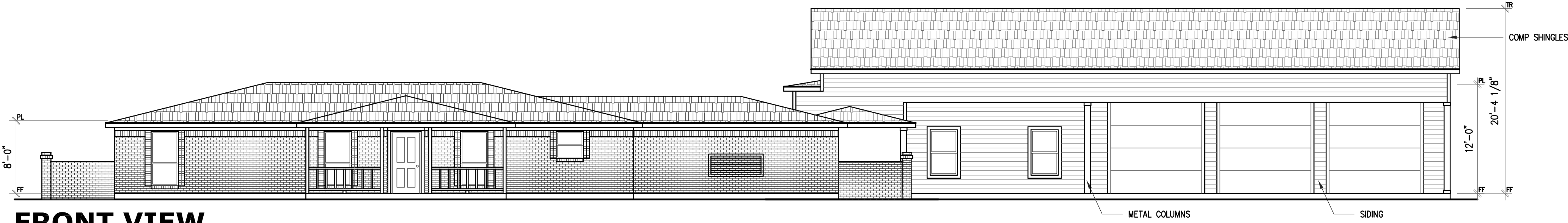


RIGHT VIEW

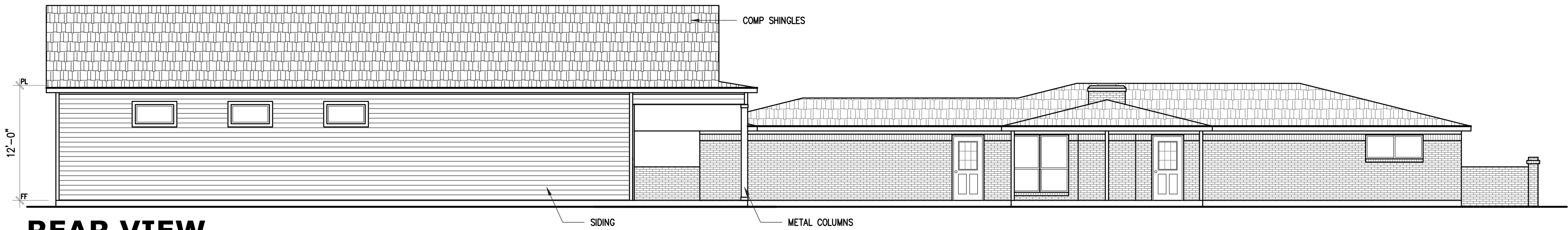
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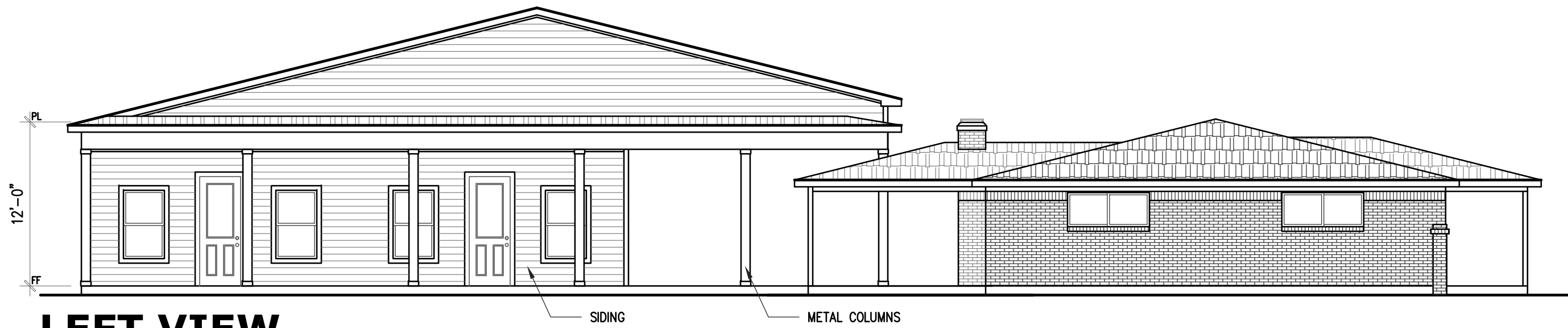
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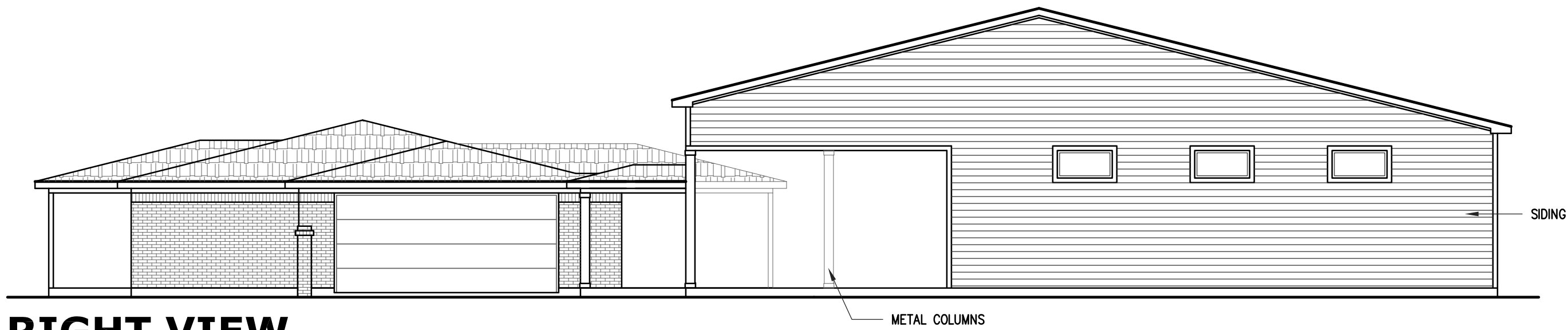
FRONT VIEW



REAR VIEW



LEFT VIEW

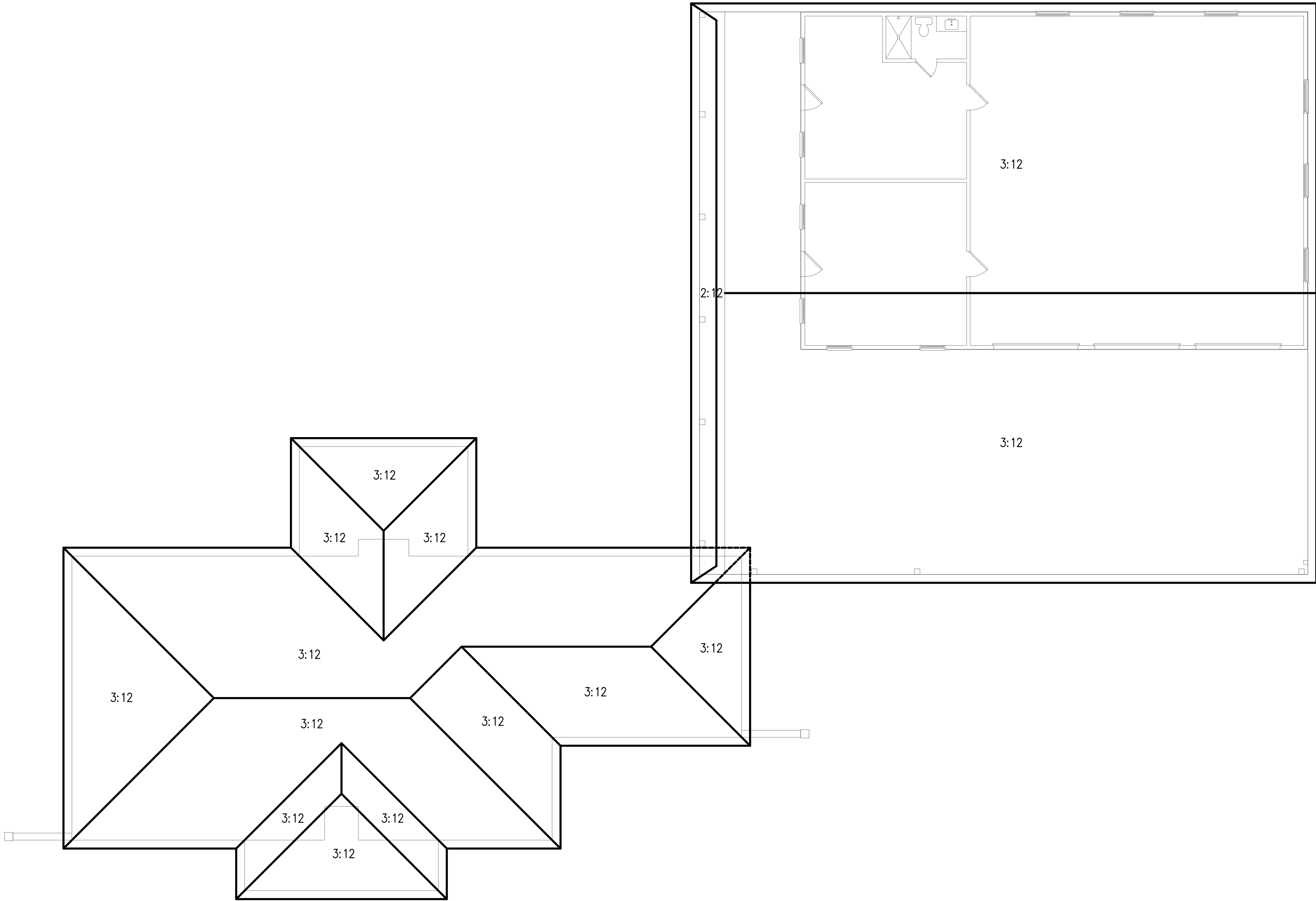


RIGHT VIEW

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PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.

EXISTING
ROOF PLAN

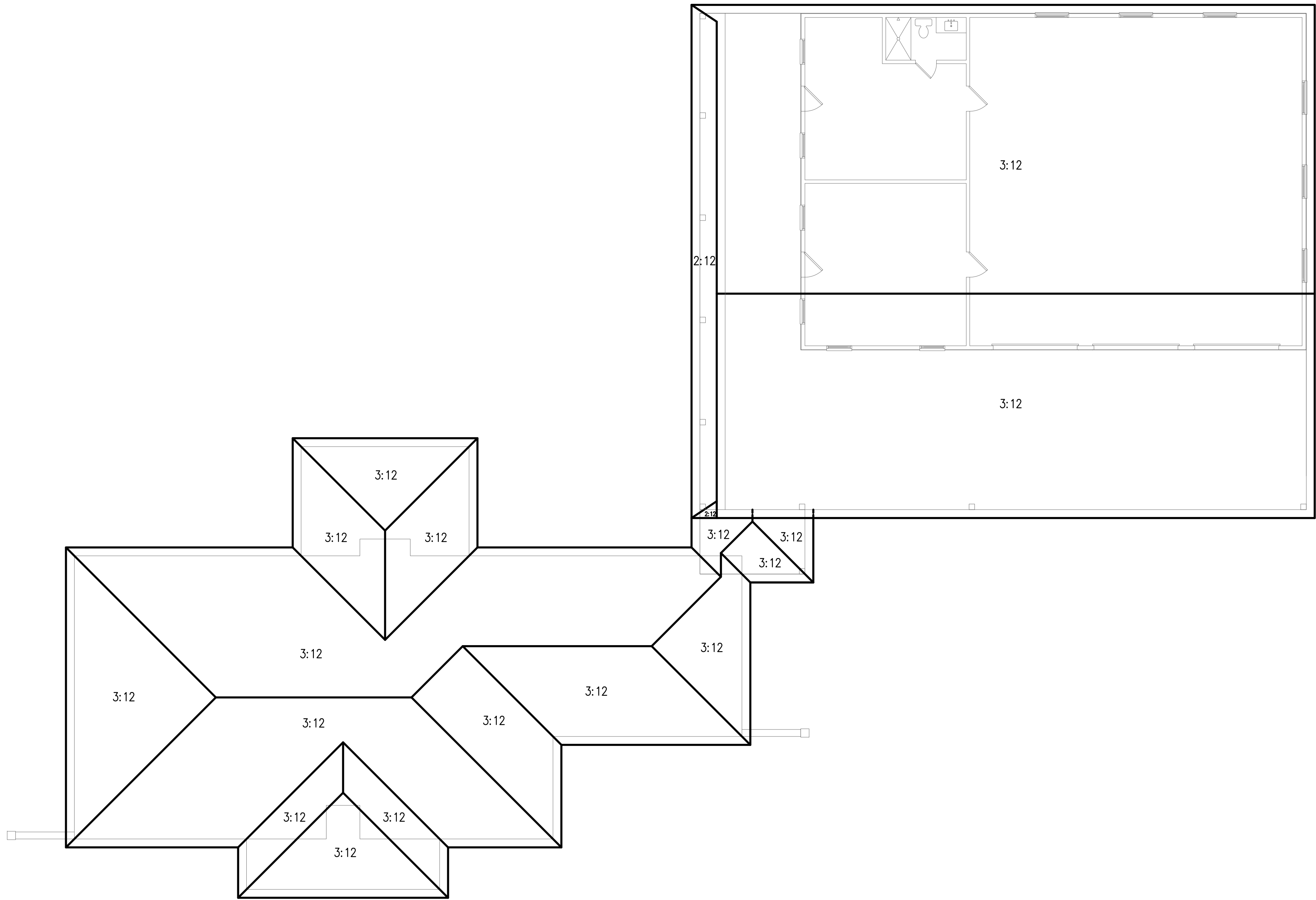
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PROPOSED
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SHEET
A8 OF 8



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: May 18, 2020

APPLICANT: Chris Kehrer; *Titan Contractors*

CASE NUMBER: Z2020-016; *SUP for a Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport at 844 Zion Hill Circle*

SUMMARY

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 10-01*, annexing the subject property on January 4, 2010, and assigning the property a classification of Agricultural (AG) District. According to Rockwall Central Appraisal District (RCAD) records, the primary structure on the subject property was constructed in 1978, has a 1,988 SF main living area, a 483 SF attached garage, and two (2) covered porches (i.e. 240 SF & 160 SF). On November 27, 2019, the applicant -- *who is the contractor and not the property owner* -- submitted a building permit proposing the construction of a ~4,812 SF accessory structure that consisted of a 1,620 SF carport, a 792 SF covered porch, and a 2,400 SF detached garage. During the permit review process, the applicant was informed that the size of the carport and detached garage would require a Specific Use Permit (SUP), unless the plans were revised to reduce the size of the carport to 500 SF or less and either [1] reduce the detached garage to 625 SF or less, or [2] attach the entire structure to the primary structure. In late January 2020, the applicant submitted revised plans proposing to remove the carport and add an eight (8) foot awning attaching the structure to the primary structure. On February 7, 2020, the Building Inspections Department issued a building permit based on the revised plans; however, later the same day a Building Inspector reported that the applicant had already constructed the majority of the building based on the plans that were provided with the original building permit (i.e. a 2,400 SF detached garage with a 1,620 SF carport), and a *Stop Work Order* was issued by the Building Inspections Department. It should be noted, that at the time the *Stop Work Order* was issued, the Building Inspector noted that the detached garage was built as a secondary guest quarters (i.e. it incorporated air-conditioned space and plumbing). Staff should also note that the property owner was unaware that a building permit had not been issued for the structure. Based on these events the Building Inspections Department issued three (3) citations to the contractor (i.e. the applicant) on the grounds of failure to comply with the construction standards. The Planning and Zoning Department had recommended that the applicant request approval of the structure as it was built by adhering to the following steps by: [1] that the property be rezoned from an Agricultural (AG) District to a Single-Family One (SF-1) District, and [2] the applicant request a Specific Use Permit (SUP) for an oversized carport and secondary living unit/guest quarters/accessory dwelling unit. On April 6, 2020, the City Council approved *Ordinance No. 20-06* that rezoned the subject property from an AG to SF-1 District, completing step [1]. On April 7, 2020, the applicant submitted an application requesting a SUP in accordance with the Planning and Zoning Department's recommendation, and has provided photos of the proposed structure and nearby structures within the neighborhood. It should be noted that the applicant was allowed to install windows on the proposed structure since the rezoning in order to protect the interior from any weather events.

PURPOSE

On April 7, 2020, the applicant -- *Chris Kehrer* -- submitted an application requesting a Specific Use Permit (SUP) to allow for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC). The subject property is zoned Single-Family One (SF-1) District for residential land uses.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 844 Zion Hill Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are single-family homes located within the Zion Hills Subdivision followed by a vacant tract of land. These properties are zoned Agricultural (AG) District with the exception of two (2) of the properties, which are zoned Single Family 1 (SF-1) District. Beyond this is Cornelius Road, which is identified as an M4U (*major collector, four [4] lane, undivided roadway*) according to the City's Master Thoroughfare Plan. This roadway delineates the corporate limits of the City of Rockwall.

South: Directly south of the subject property are single-family homes located within the Zion Hills Subdivision that are zoned Agricultural (AG) District. Beyond the single-family homes is SH-66, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is a single-family home located within the Zion Hills Subdivision followed by FM-3549 [*i.e. N. Stodghill Road*], which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the corporate boundaries of the City of Rockwall. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property are single-family homes located within the Zion Hills Subdivision followed by two (2) landscaping businesses (*i.e. North Texas Lawns & Landscape and Landscape Source*) located along SH-66. These properties are zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

In April of this year, the applicant rezoned the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for the purpose of requesting a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*. This was the result of the applicant not pulling a building permit prior to constructing an accessory structure. Staff should note that the size of the addition (*i.e. 4,752 SF*) exceeds the size of the primary structure (*i.e. 2,871 SF*); however, the applicant can choose to redesign the structure and integrally attach it to the primary structure through a breezeway, which would alleviate the need for a SUP for the secondary living unit/guest quarters/accessory dwelling unit (a SUP would still be required for the carport). Regardless of how this is remedied, the applicant will be required to submit updated plans to the Building Inspections Department that reflect exactly what was and/or will be constructed on the property.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, the Zion Hills Subdivision was annexed into the City in 2010 and consists of lots that are one (1) acre or greater. Staff should note that the majority of the properties in the Zion Hills Subdivision are still zoned Agricultural (AG) District; however, two (2) properties (*i.e. 825 & 853 Zion Hills Circle*) have been rezoned to Single-Family 1 (SF-1) District. The purpose for rezoning these two (2) properties was to allow the addition of accessory structures on the properties (*i.e. one [1] accessory building by SUP -- 825 Zion Hills Circle; and, one [1] guest quarters/secondary living unit by right -- 853 Zion Hills Circle*).

According to the Subsection 07.04, of Article 05, of the Unified Development Code (UDC), accessory building and accessory structures shall be accessory to a residential use and located on the same lot, and only two (2) accessory structures are permitted per single-family lot, with the exception of carports that are integrated into the main accessory structure. In addition, if there is an existing accessory building greater than 625 SF, no additional accessory buildings or structures are permitted. Should the SUP be approved, this will be the only accessory building allowed on the subject property. In the Single-Family 1 (SF-1) District, an accessory structure is limited to 144 SF and a detached garage limited to 625 SF with a maximum height of 15-feet, without the need to obtain a Specific Use Permit (SUP). Additionally, a carport is limited to 500 SF and a maximum of 15-feet in height. In this case, the applicant is proposing one (1), ~4,812 SF structure that incorporates a living quarters, detached garage, carport, and covered patio that do not conform to the requirements of the Unified Development Code (UDC) and requires approval of a Specific Use Permit (SUP). It should be known that covered porches that are attached to the primary structure are exempt from the size restrictions, but are required to meet the same setbacks as the primary structure. In this case, the covered patio (i.e. 792 SF) is in conformance with the UDC.

STAFF ANALYSIS

When analyzing the applicant's request to allow for the ~4,812 SF *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, staff should note that the existing primary structure equals 2,871 SF under roof, which means that overall the new accessory structure is ~68% greater in size than the existing primary structure. According to the Unified Development Code (UDC), the maximum allowable size for an accessory structure in a Single-Family 1 (SF-1) District is 625 SF for a detached garage, 144 SF for an accessory structure, and 500 SF for a carport without requiring a SUP; however, the applicant is exceeding the size limitation for all of these by incorporating multiple accessory uses into a single building (i.e. a living quarters, detached garage, carport, and covered patio).. Based on the information provided to staff, this requires approval of a Specific Use Permit (SUP) to allow for the accessory structure, secondary living unit/guest quarters/accessory dwelling unit, and carport. Staff should point out that if the applicant had tied in and integrally attached the structure to the primary structure as depicted in the second building permit that had been submitted to the City, the only item requiring a SUP would be the 1,620 SF carport. As a note, if the structure is not integrally tied in with the primary structure, the applicant will be required to submit an application to appear before the Board of Adjustment (BOA) requesting a variance to the ten (10) foot separation requirement between structures. This has been added as a condition of approval of the SUP. With that being said, the approval of this request is a discretionary decision for the City Council, pending a recommendation by the Planning and Zoning Commission.

NOTIFICATIONS

On April 28, 2020, staff notified 29 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) that allows for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - a) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of the draft ordinance.
 - b) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
 - c) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.

- d) The *Carport* shall not be exceed 1,620 SF.
 - e) The accessory structure shall not exceed 4,755 SF in total size.
 - f) No additional accessory structures shall be permitted on the *Subject Property*.
 - g) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
 - h) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.
- (2) Within 60 days of approval of the Specific Use Permit (SUP), the applicant must revised and obtain a building permit from the Building Inspections Department prior to commencing any work on the structure;
 - (3) Within 60 days of approval of the Specific Use Permit (SUP), if the applicant does not revise and/or obtain a building permit that integrally tie's in the *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* with the existing primary structure, the applicant will be required to obtain a written order from the Board of Adjustment (BOA) that will allow for the structure to be within the 10-feet of the primary structure as constructed.
 - (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On May 18, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Welch and Thomas dissenting. According to Subsection 02.03(G), *Protest of Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...if such change is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
Subdivision Zion Hill
General Location Hwy 66 & CR 3549

Lot B Block B

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1
Proposed Zoning NA
Acreage 1 Acre

Current Use SF 1 Residential Private
Proposed Use Residential Private
Lots [Current] Lots [Proposed]

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner David Cheate
Contact Person David Cheate
Address 844 Zion Hill Circle
City, State & Zip Rockwall, TX 75087
Phone 214-869-3318
E-Mail Alertdrain@yahoo.com

☒ Applicant Titan Contractors
Contact Person Chris Kehrer
Address 410 Normandy Ln
City, State & Zip Heath, TX 75032
Phone 214-900-2517
E-Mail Chris@TitanContractors.net

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

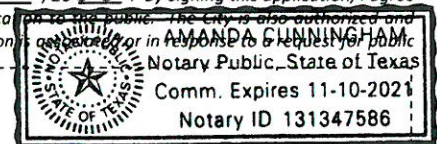
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is requested or in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate

Notary Public in and for the State of Texas

Amanda Cunningham



My Commission Expires 11-10-2021



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

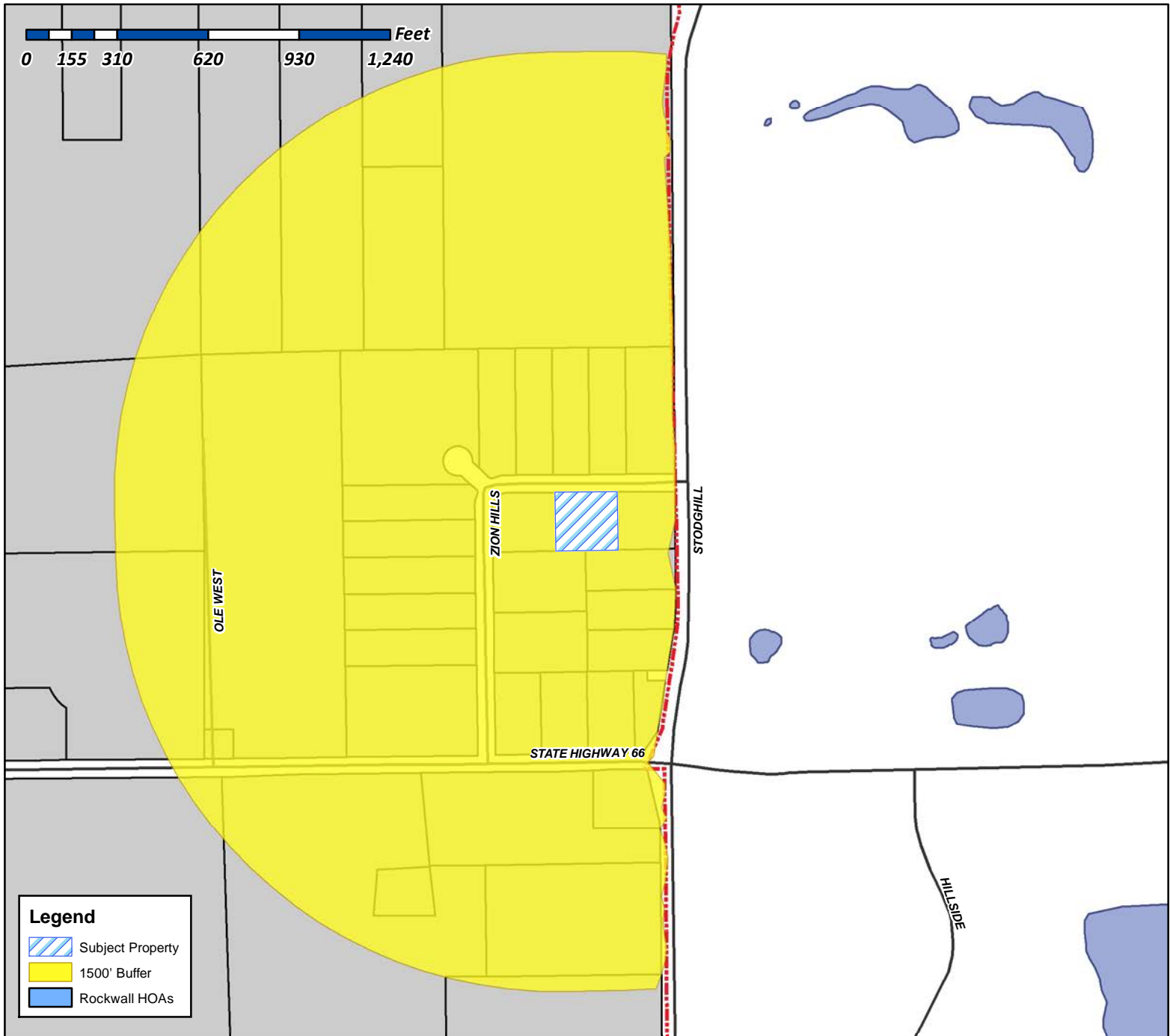




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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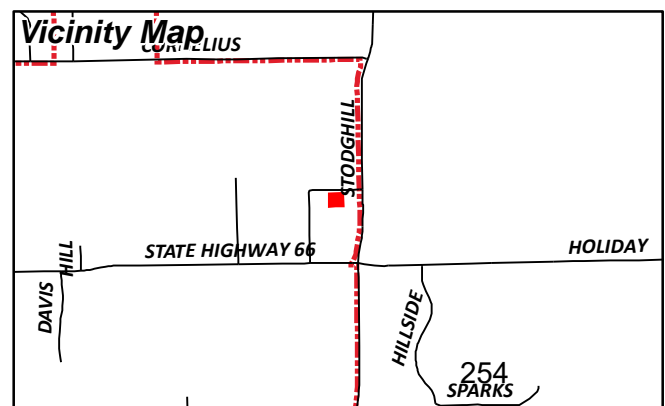
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Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle

Date Created: 4/20/2020

For Questions on this Case Call (972) 771-7745

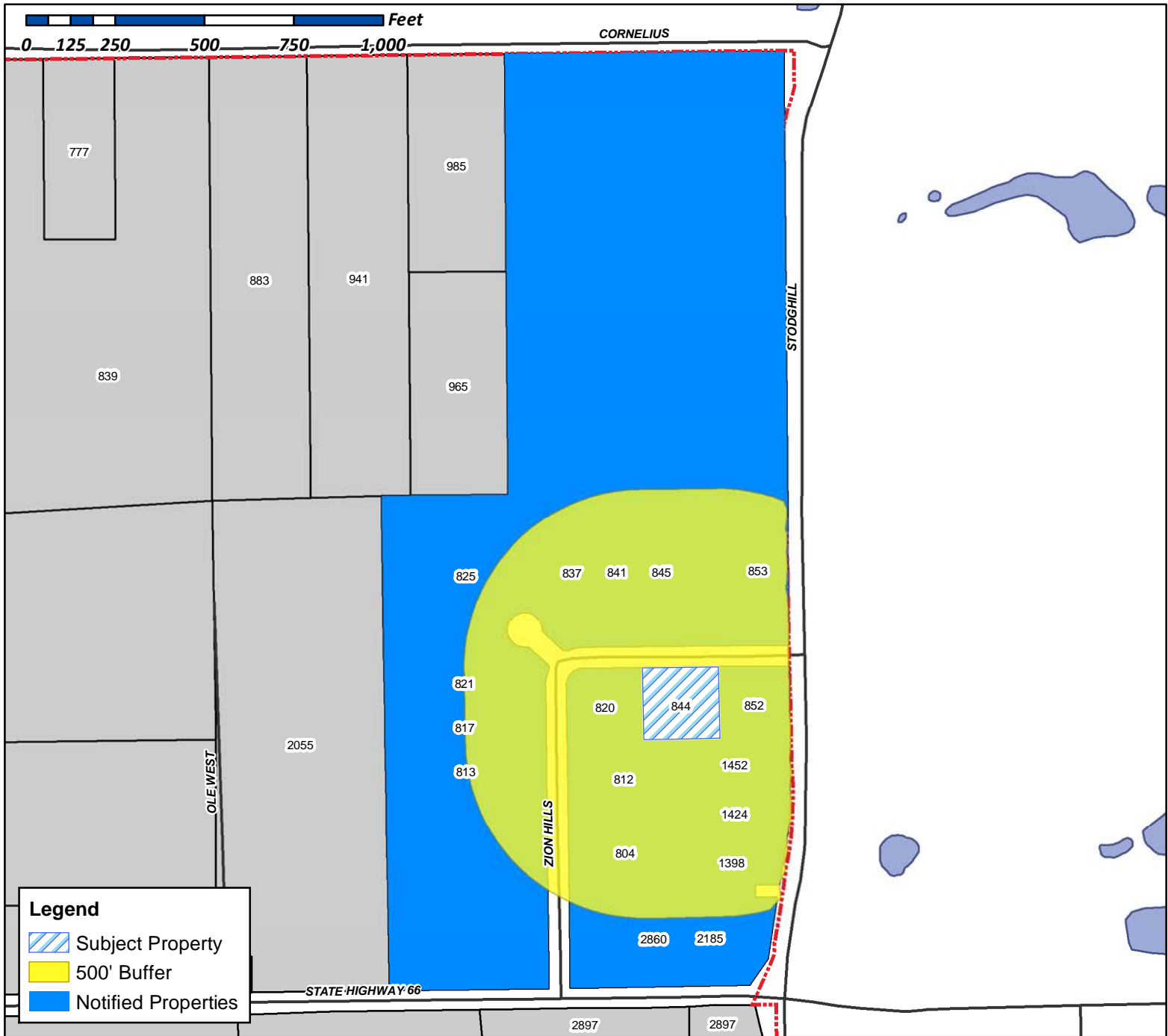




City of Rockwall

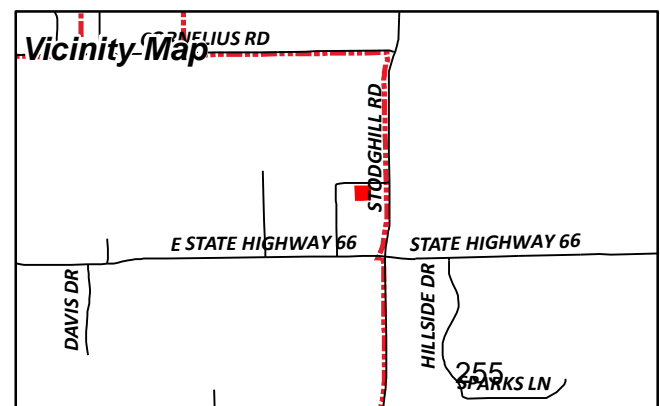
Planning & Zoning Department
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For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1398 FM 3549 STODGHILL #3210
ROCKWALL, TX 75087

WEYGANDT DIANE M AND
MEGAN WOOD
1424 N FM 3549 STODGHILL ROAD
ROCKWALL, TX 75087

BROWN JEFFREY C & LISA
1452 FM 3549 STODGHILL RD
ROCKWALL, TX 75087

VECELLIO FRANCIS
1470 S JOHN KING BLVD #3210
ROCKWALL, TX 75032

CURRENT RESIDENT
2185 WILLIAMS
ROCKWALL, TX 75087

CURRENT RESIDENT
2860 HWY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS
4501 EDMONDSON AVE
DALLAS, TX 75205

LAKE RAY HUBBARD BIBLE CHURCH
INC
801 ZION HILL CIR
ROCKWALL, TX 75087

WHITE CHRISTOPHER AND CLAUDIA
804 ZION HILL CIR
ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A
812 ZION HILL CIR
ROCKWALL, TX 75087

LE THAO THI PHUONG HONG
813 ZION HILL CIR
ROCKWALL, TX 75087

CODY OLIVIA L & STEPHEN H
817 ZION HILL CIR
ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA
820 ZION HILL CIR
ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M
821 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 ZION HILL
ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J
837 ZION HILL CIR
ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL
841 ZION HILL CIR
ROCKWALL, TX 75087

CHOATE DAVID E ET UX
844 ZION HILL CIR
ROCKWALL, TX 75087

AKARD DANNY AND CATHY
845 ZION HILL CIR
ROCKWALL, TX 75087

BROWN DAVID C & LINDA K
852 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
853 ZION HILL
ROCKWALL, TX 75087

WOODY JESSYE JEAN
PO BOX 315
FATE, TX 75132

LAKE RAY HUBBARD CHURCH
PO BOX 698
ROCKWALL, TX 75087

HARLE REUBIN E
PO BOX 912
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— — — PLEASE RETURN THE BELOW FORM — — —

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be

SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No.

Zion Hills Circle in the City of Rockwall, being described

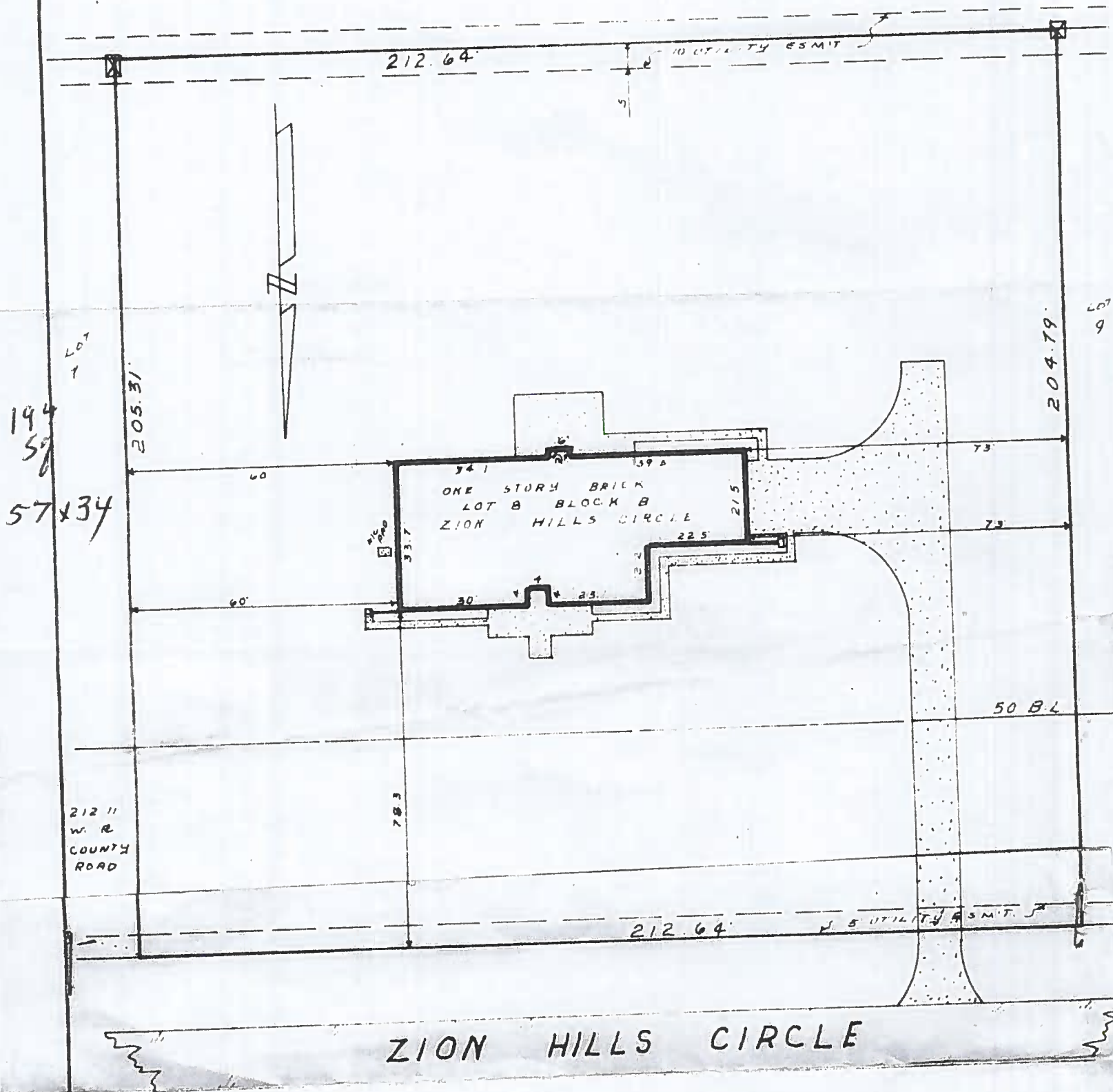
as follows:

Lot No. 8, Block No. P, City Block No.

of Zion Hill Estates, an addition to the City of Rockwall

Texas, according to the Filed plat thereof recorded in Vol. , at page 23 of the Plat

Map Deed Records of Rockwall County, Texas

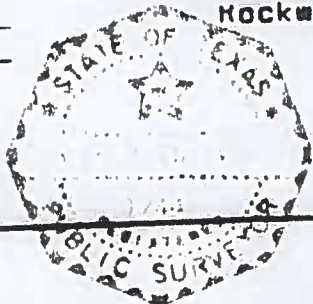


The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

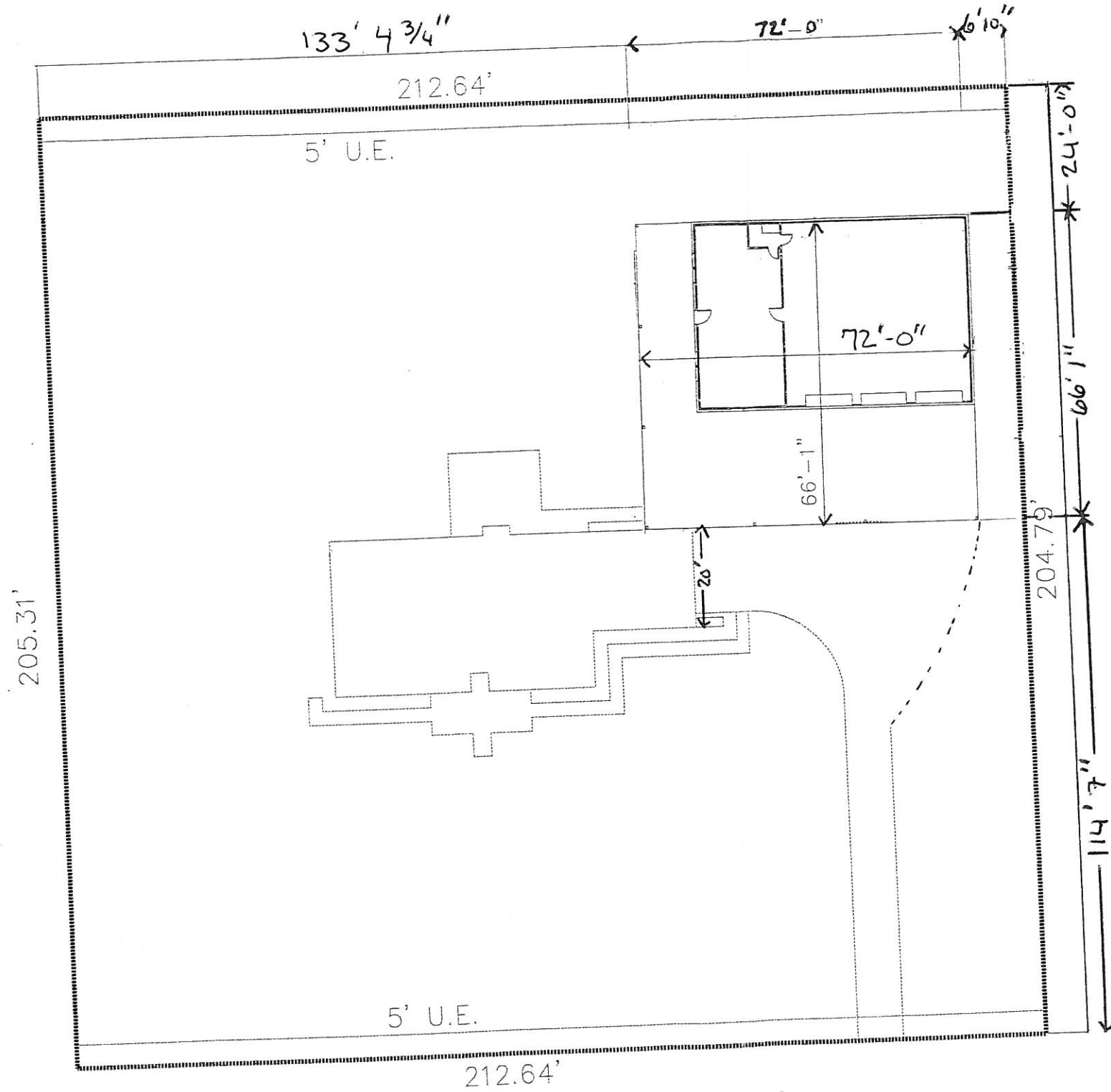
SCALE: 1" = 30'
DATE: 5-10-79
RE-SURVEY:

Bob O. Brown Land Surveyor
302 N. 2nd St. Rockwall, Texas 75087
Rockwall 722-3036 Dallas 226-7522



Bob O. Brown
Registered Public Surveyor

DRAWN	CHECKED
<u>W. L.</u>	



ZION HILLS CIRCLE

Setbacks

These plans are intended to provide the basic construction information necessary to construct the project. The owner is responsible for obtaining all permits and for complying with all applicable codes and regulations. The owner is also responsible for obtaining all necessary approvals from the appropriate authorities. The owner is further responsible for obtaining all necessary approvals from the appropriate authorities. The owner is further responsible for obtaining all necessary approvals from the appropriate authorities.

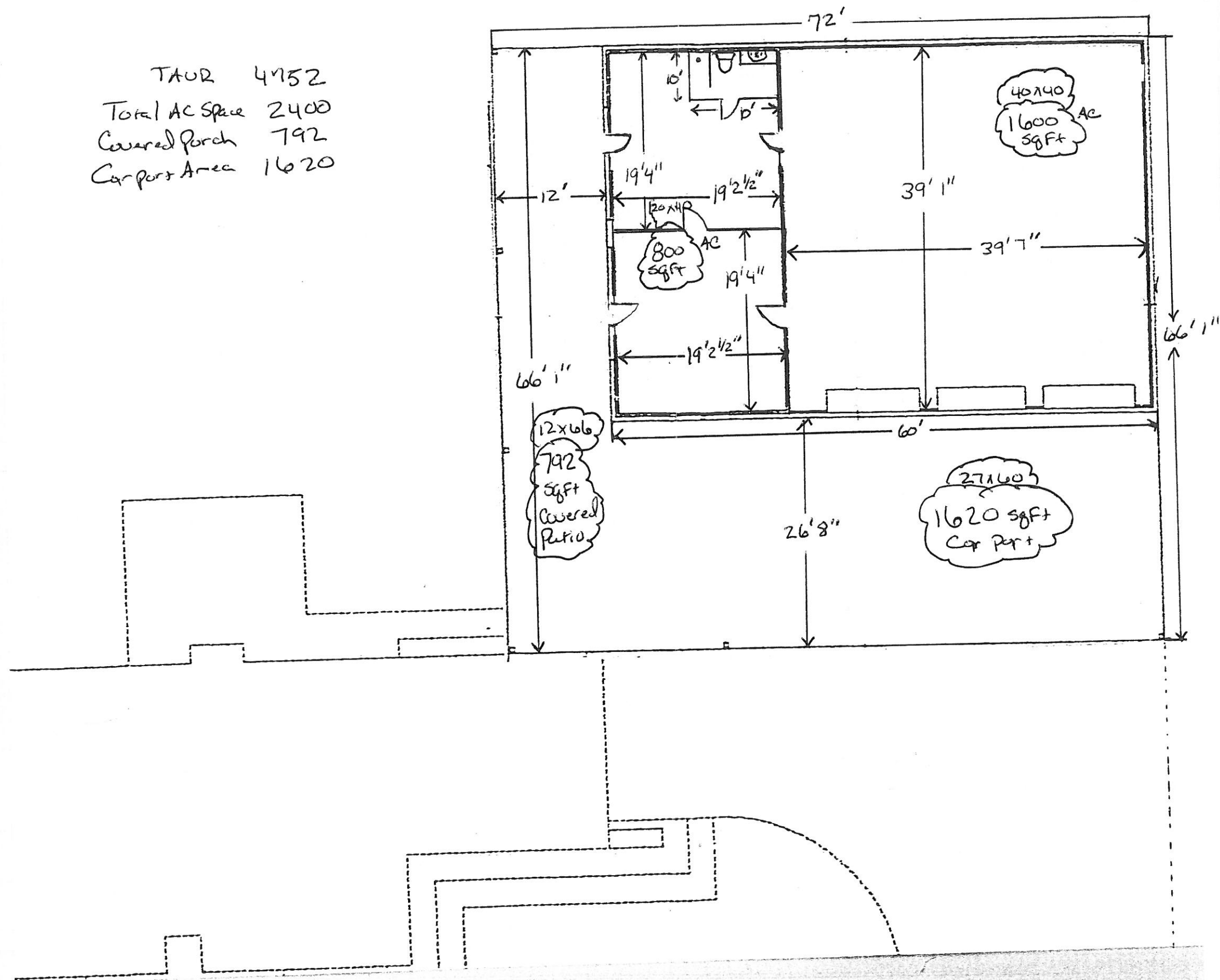
CENTERLINE
214-563-3127

A RESIDENCE FOR THE:
CHOCATEE
LOT 8 / BLOCK B
ZION HILLS CIRCLE
ROCKWALL, TEXAS, 75087

ISSUED DATE
7-29-13
DRAWN BY
CENTERLINE
REVISIONS

COPYRIGHT
2013
PP
3 of 3

TAUR 4752
 Total AC Space 2400
 Covered Porch 792
 Carport Area 1620



















CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT AND CARPORT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Kehrer of Titan Contractors for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Section 07, *District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 03.01, *General Residential District Standards*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, with the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on the *Subject Property* and conformance to these conditions is required for continued use of the structure:

- 1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
- 3) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.
- 4) The *Carport* shall not be exceed 1,620 SF.
- 5) The accessory structure shall not exceed 4,755 SF in total size.
- 6) No additional accessory structures shall be permitted on the *Subject Property*.
- 7) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- 8) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF JUNE, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 18, 2020

2nd Reading: June 1, 2020

Exhibit 'A'
Zoning Exhibit

Address: 844 Zion Hill Circle

Legal Description: Lot 8, Block B, Zion Hill Addition

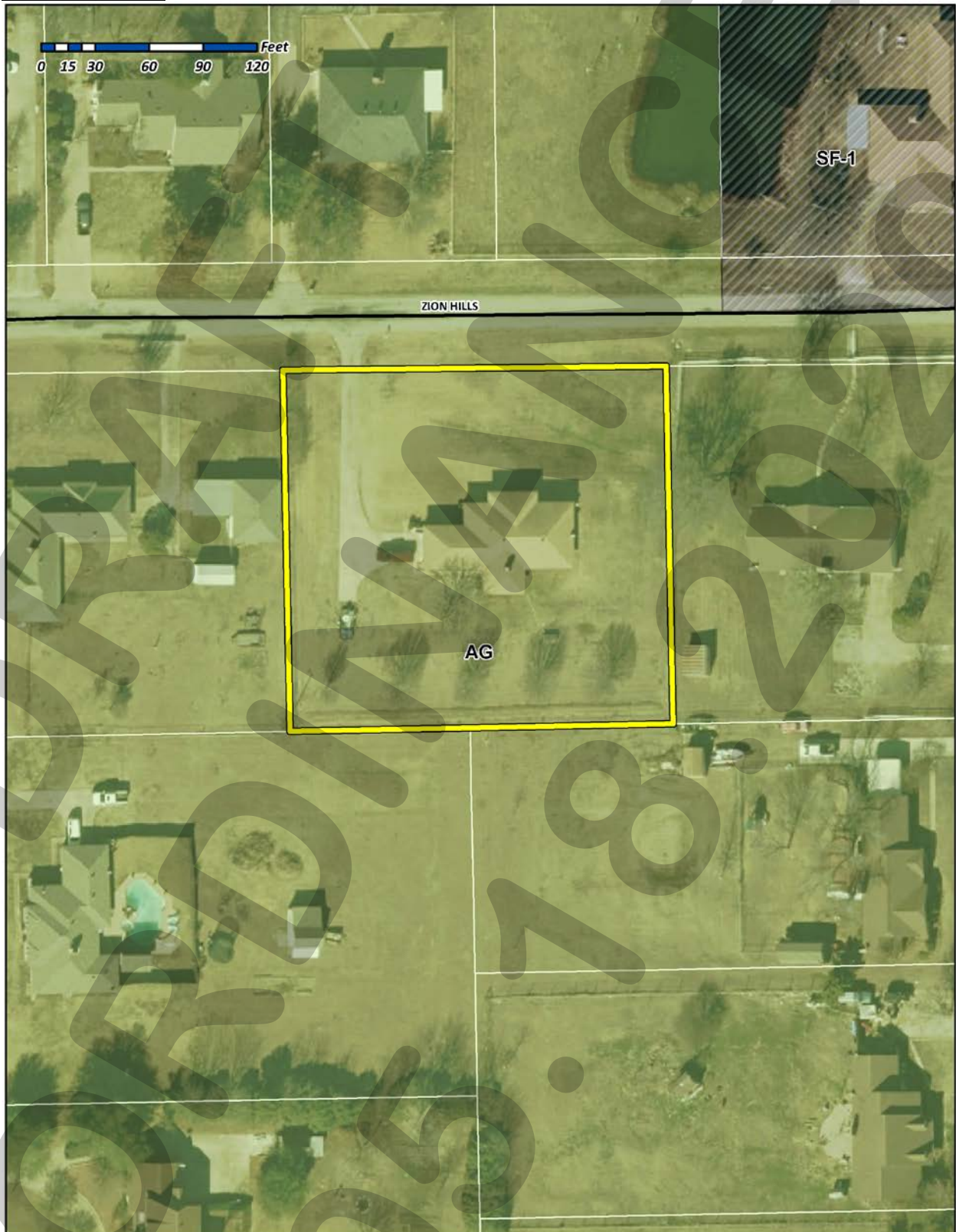


Exhibit 'B'
Site Plan

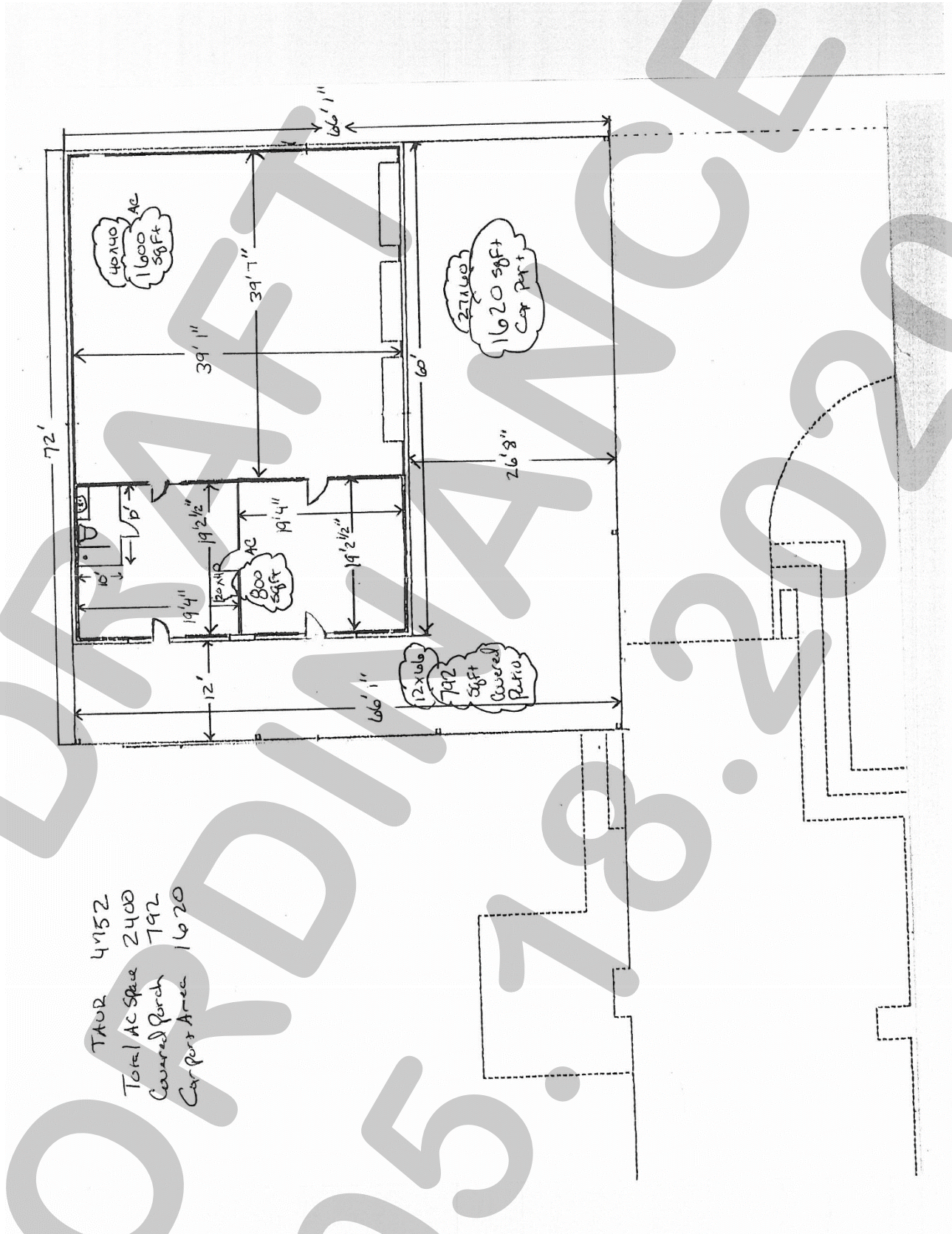


Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations

